



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK PERMIT ISSUED



CITY OF PORTLAND

FEB 17 2011

BUILDING PERMIT

This is to certify that 1 Cow Plaza/Monaghan Woodworks Located At 1 CANAL PLAZA CBL: 032 1036001
has permission to Interior Renovations Suite 888, 8th floor PERMIT# 2011-02-398

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

Jeff Per BW

Fire Prevention Officer

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

[Signature] 2/16/11

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CARD.

OK to SCAN

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

PERMIT ISSUED
FEB 17 2011

Job No: 2011-02-398-ALTCOMM	Date Applied: 2/10/2011	CBL: 032 - - 1 - 036 - 001 - - - - -	
Location of Construction: 1 CANAL PLAZA - 8 th floor - suite 888	Owner Name: * COW PLAZA I LLC	Owner Address: 100 COMMERCIAL ST PORTLAND, ME - MAINE 04101	CITY OF PORTLAND
Business Name:	Contractor Name: Finlay, Brad	Contractor Address: 100 COMMERCIAL ST PORTLANDMAINE04101	Phone: 2683
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: offices	Proposed Use: Same: Offices - alterations to 8 th floor - suite 888	Cost of Work: 10000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: 2B IBC - 2009
		Signature: <i>[Signature]</i> (58)	Signature: <i>[Signature]</i>
Proposed Project Description: One Canal Plaza 8th floor Suite 888		Pedestrian Activities District (P.A.D.) 12/16/11	
Permit Taken By:		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>ok - S</i> 2/10/11</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHON
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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>One Canal PLAZA - 8th floor (Suite 800)</u>		
Total Square Footage of Proposed Structure/Area <u>1488 SQ FT</u>		Square Footage of Lot <u>N/A</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>032 I036 001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Cow PLAZA I LLC</u> Address <u>100 COMMERCIAL ST</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>775-2252</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>9730.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>120</u>
Current legal use (i.e. single family) <u>BUSINESS</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>BUSINESS</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>INTERIOR renovations for tenant fit-up.</u>		
Contractor's name: <u>Momaghan Woodworks Inc.</u> Address: <u>100 COMMERCIAL ST, PORTLAND</u> City, State & Zip: _____ Telephone: <u>2683832</u>		
Who should we contact when the permit is ready: <u>BRAD FINLAY</u> Telephone: _____ Mailing address: _____ FEB 25 2011		

RECEIVED
Telephone: 2683832

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.
Dept. of Building Inspections
City of Portland Maine

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 2/5/2011

This is not a permit; you may not commence ANY work until the permit is issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

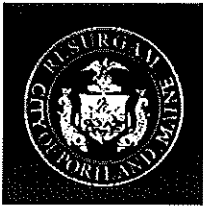
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing prior to drywall
 2. Final Inspection at the completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-02-398-ALTCOMM

Located At: 1 CANAL PLAZA

CBL032 - - I - 036 - 001 - - - -

Conditions of Approval:

Fire

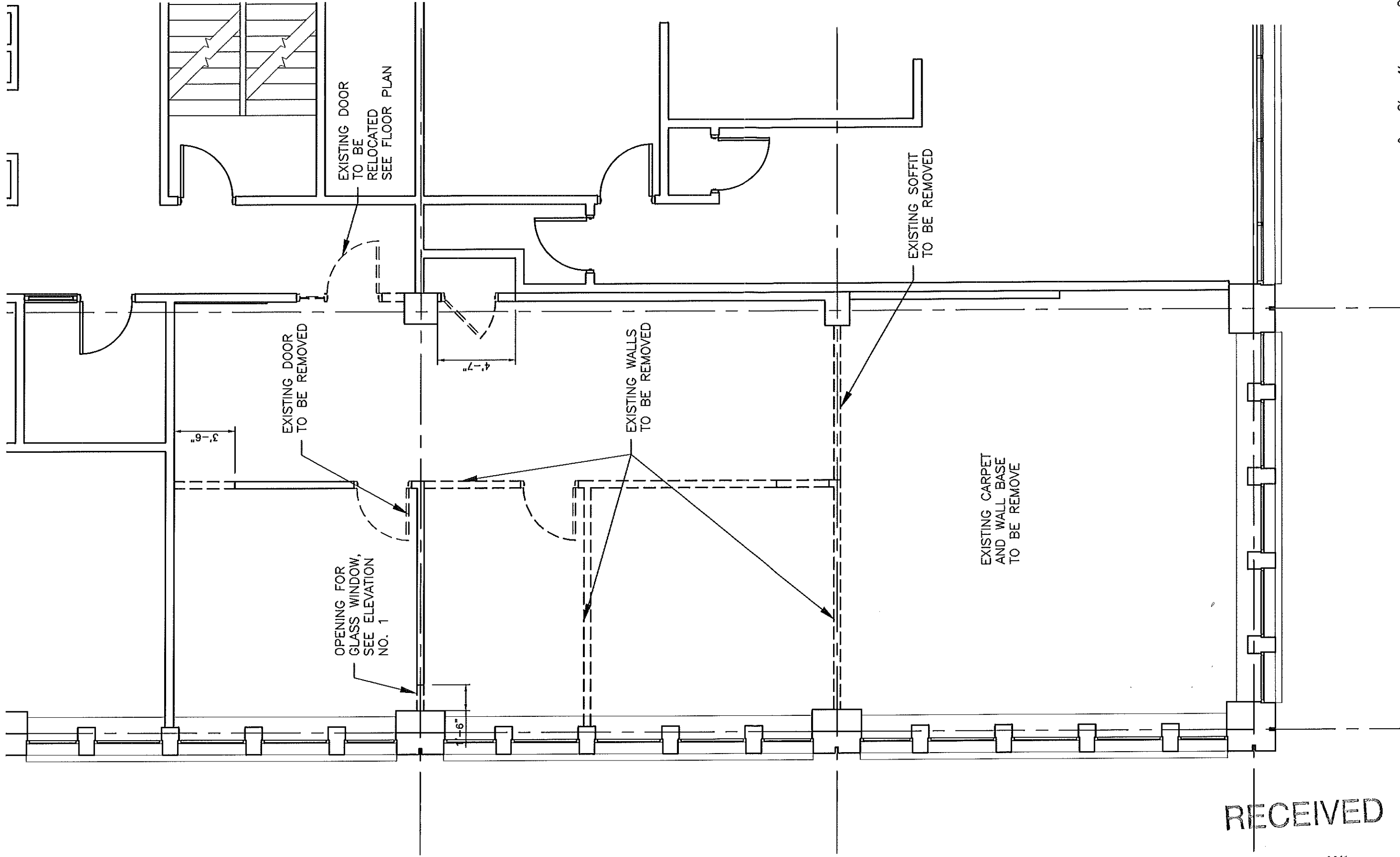
1. All construction shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. Fire extinguishers are required. Installation per NFPA 10.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
6. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
7. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
8. Non-combustible construction of this structure requires all construction to be Non-combustible.
9. Any cutting and welding done will require a Hot Work Permit from Fire Department.

Building

1. Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

2-18-11

OK to close in
WLB



RECEIVED

FEB - 5 2011

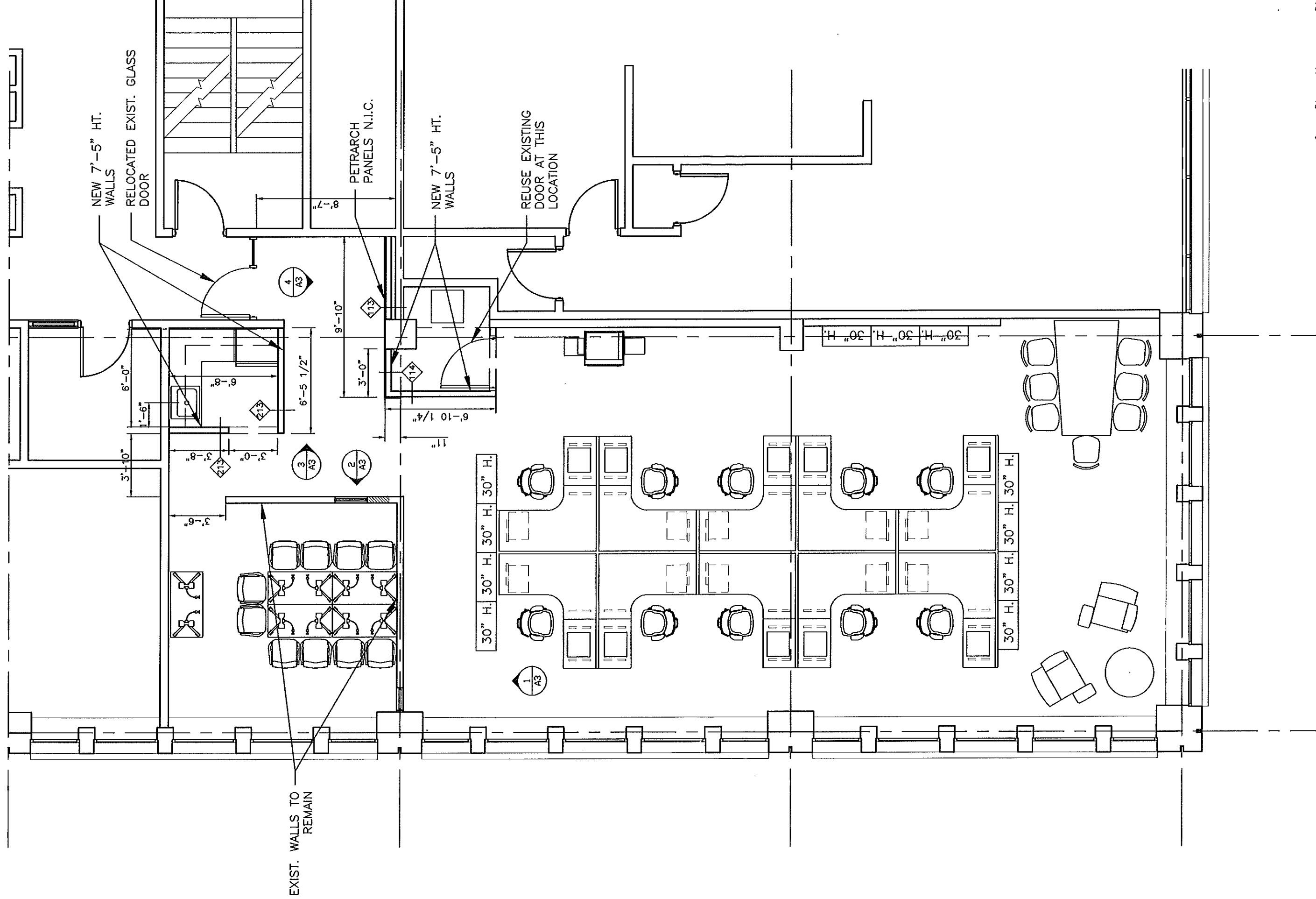
Dept. of Building Inspections
City of Portland Maine

February 07, 2011

ONE CANAL PLAZA
Suite 888
PORTLAND, MAINE

DEMOLITION FLOOR PLAN

A-00



February 07, 2011

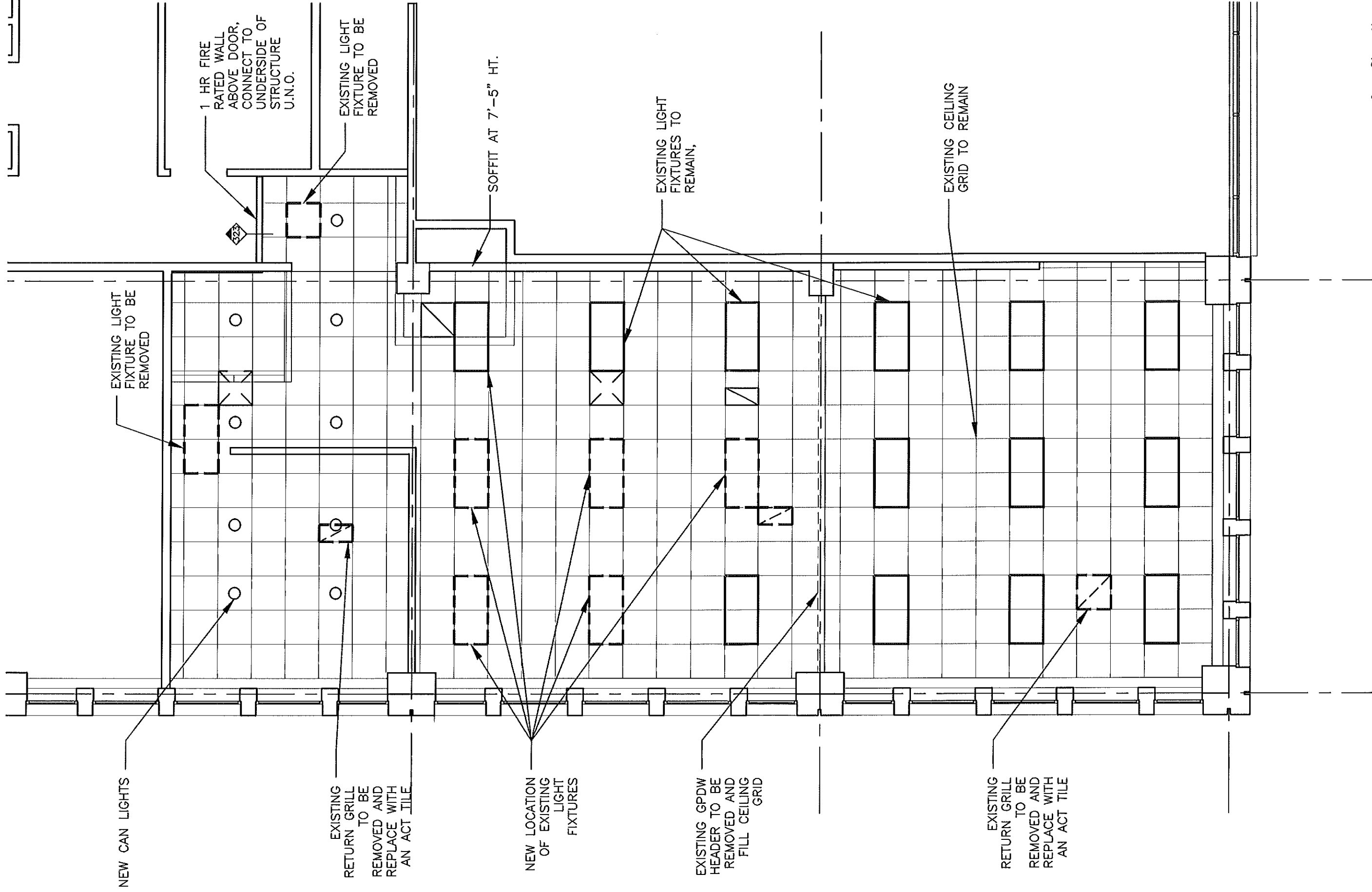
ONE CANAL PLAZA
Suite 888
PORTLAND, MAINE

FLOOR PLAN

A-01

3/16" = 1'-0"





NEW CAN LIGHTS

EXISTING LIGHT FIXTURE TO BE REMOVED

1 HR FIRE RATED WALL ABOVE DOOR, CONNECT TO UNDERSIDE OF STRUCTURE U.N.O.

EXISTING RETURN GRILL TO BE REMOVED AND REPLACE WITH AN ACT TILE

EXISTING LIGHT FIXTURE TO BE REMOVED

SOFFIT AT 7'-5" HT.

NEW LOCATION OF EXISTING LIGHT FIXTURES

EXISTING LIGHT FIXTURES TO REMAIN,

EXISTING GPDW HEADER TO BE REMOVED AND REPLACE WITH FILL CEILING GRID

EXISTING CEILING GRID TO REMAIN

EXISTING RETURN GRILL TO BE REMOVED AND REPLACE WITH AN ACT TILE

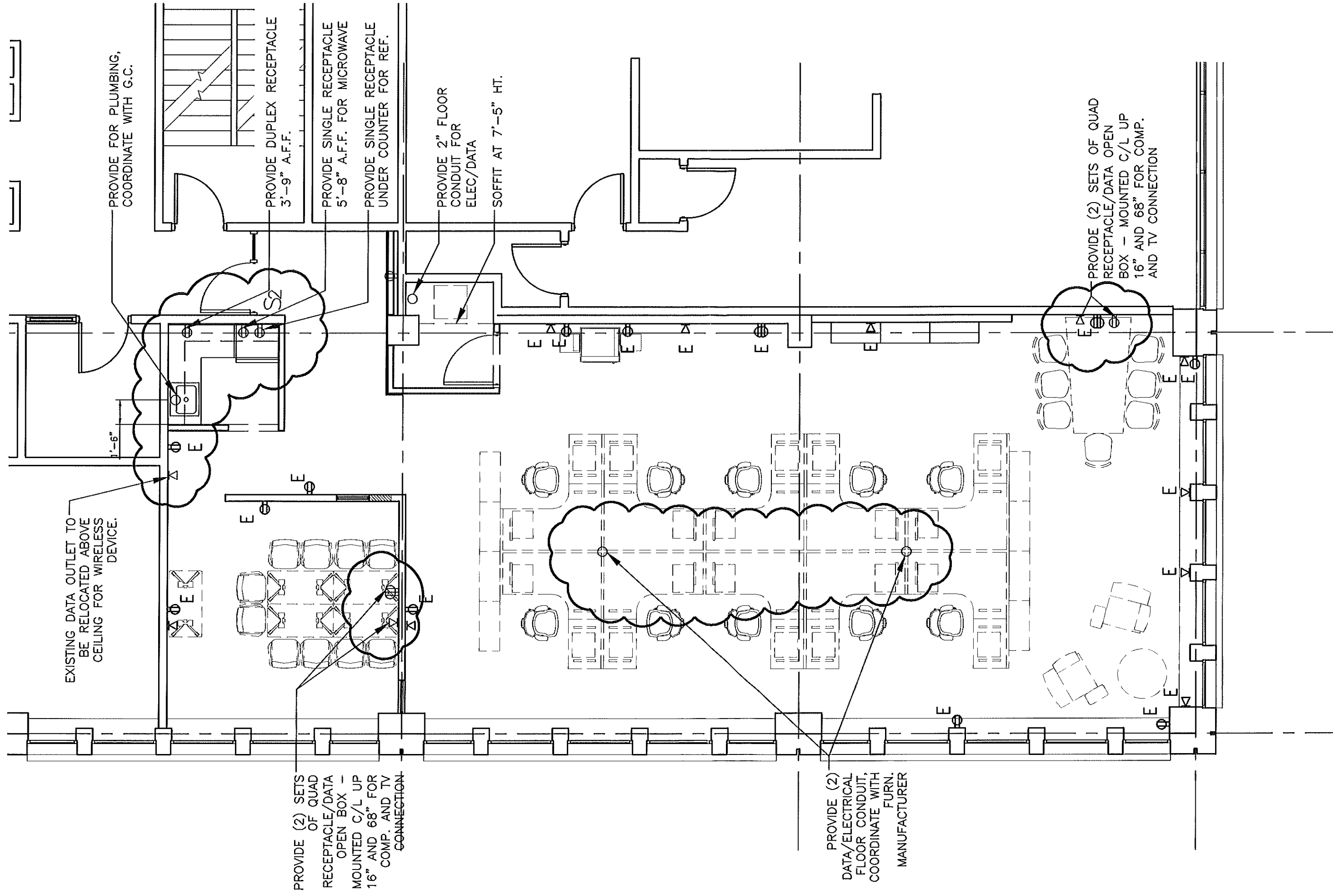
February 07, 2011

ONE CANAL PLAZA
Suite 888
PORTLAND, MAINE

REFLECTED CEILING PLAN

A-02





February 07, 2011

ONE CANAL PLAZA
Suite 888
PORTLAND, MAINE

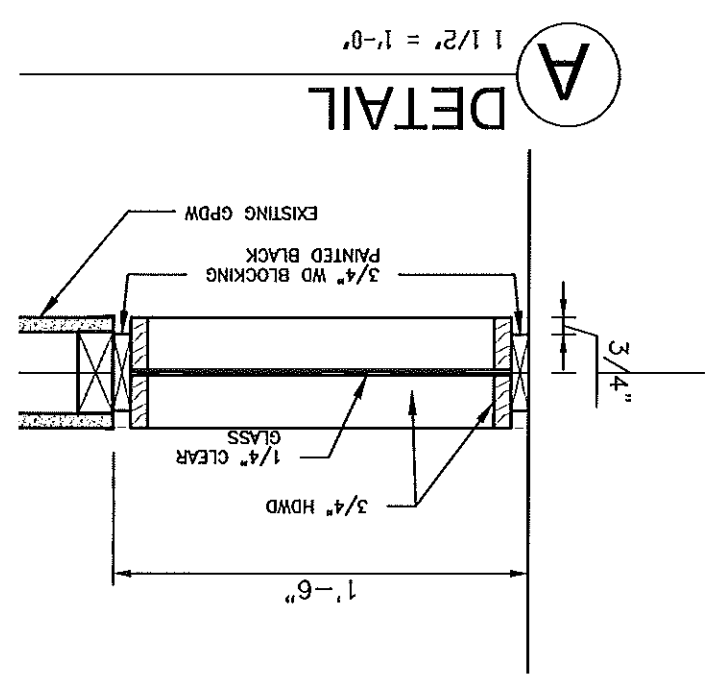
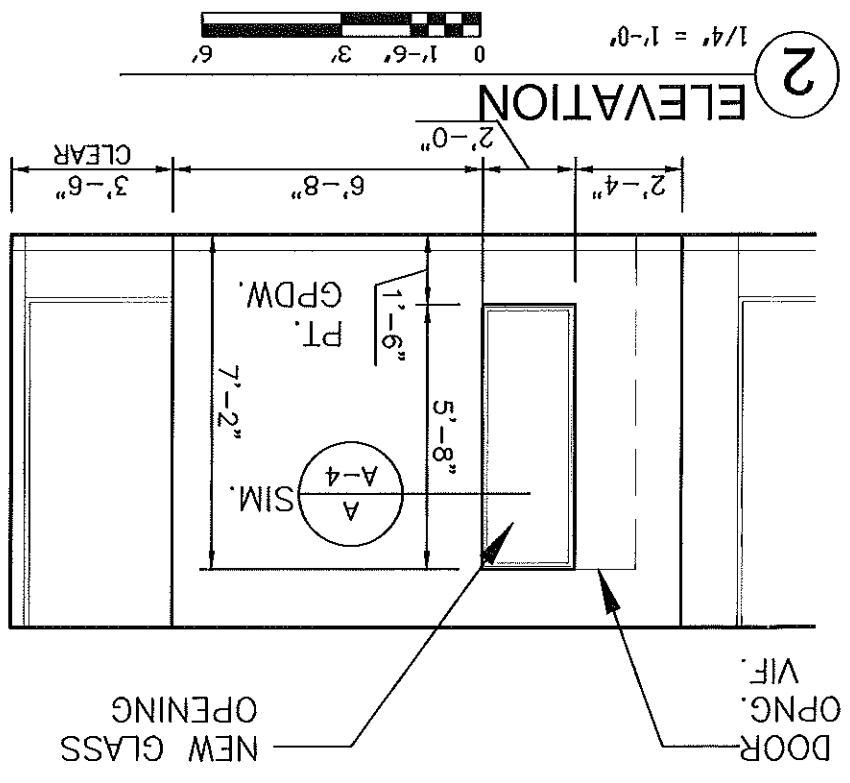
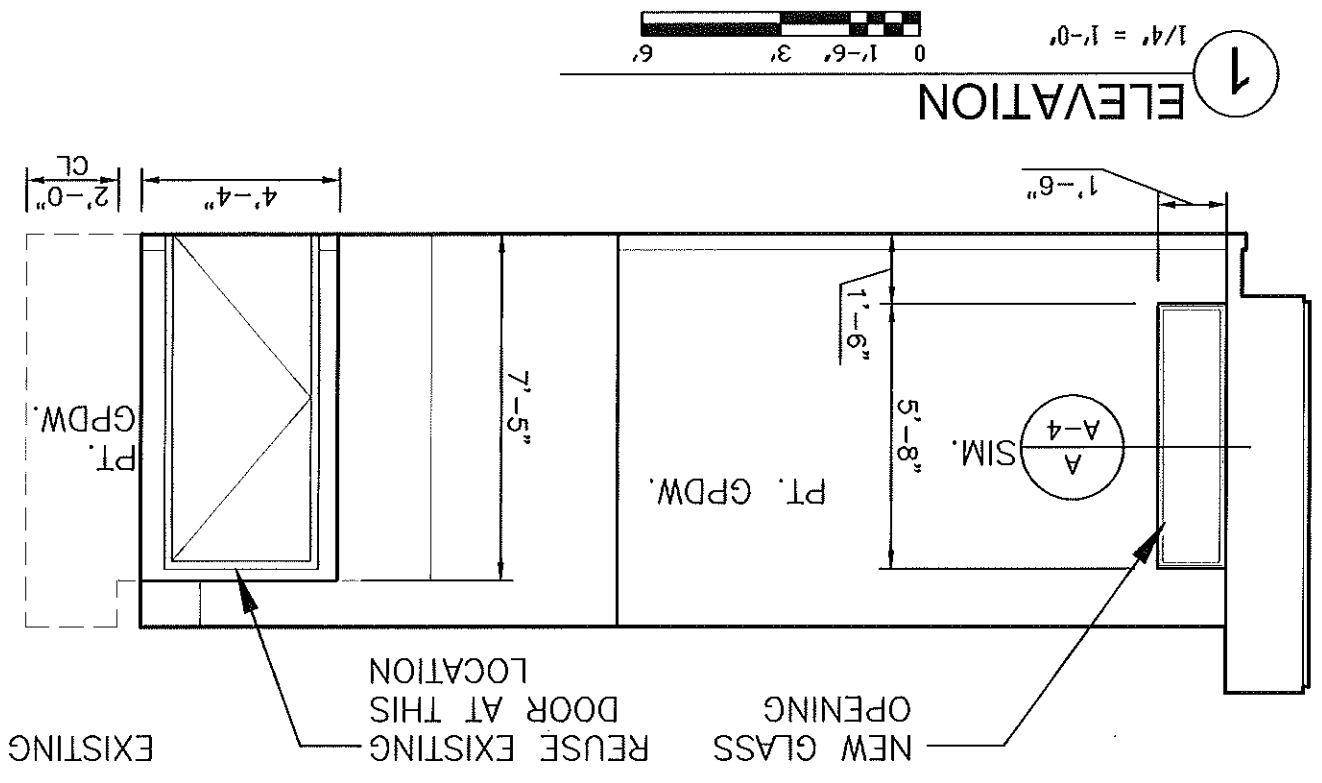
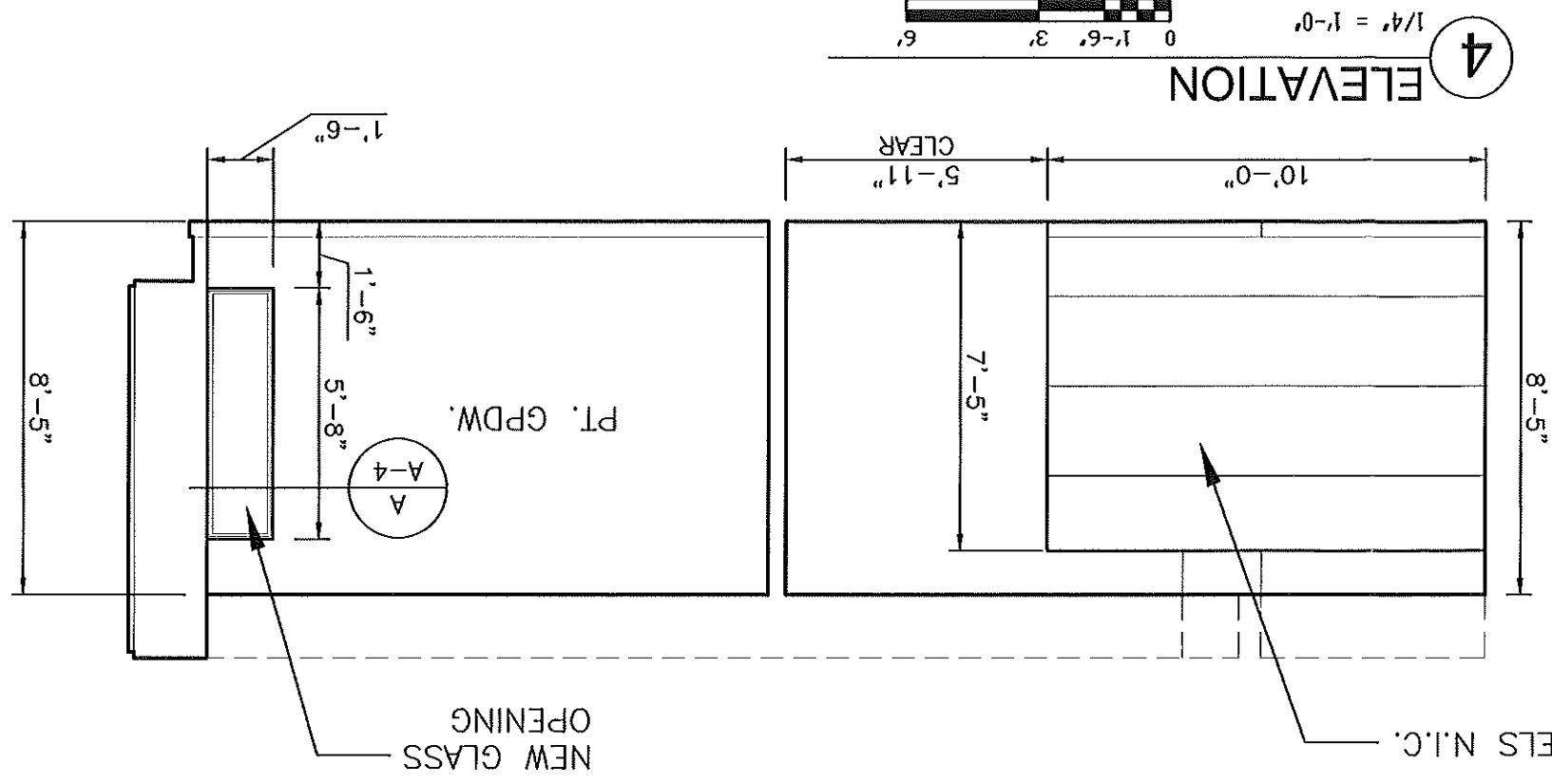
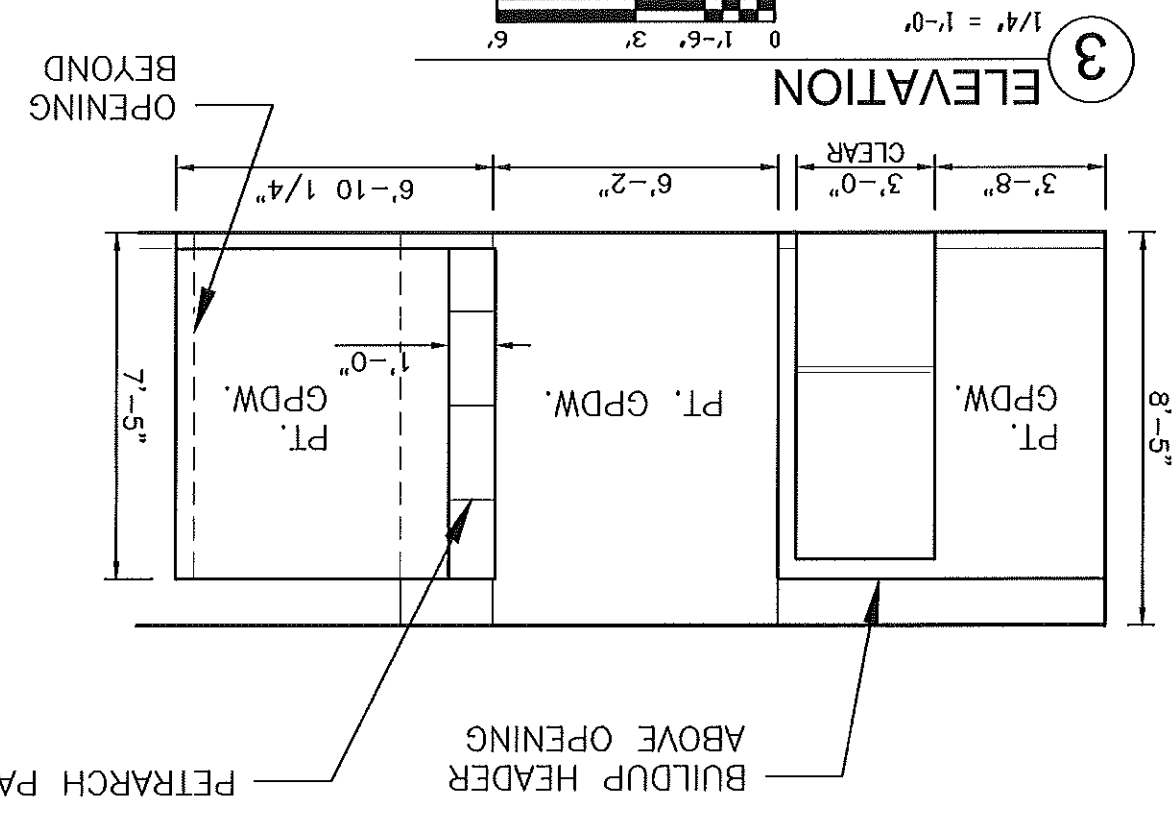
ELEC/DATA FLOOR PLAN

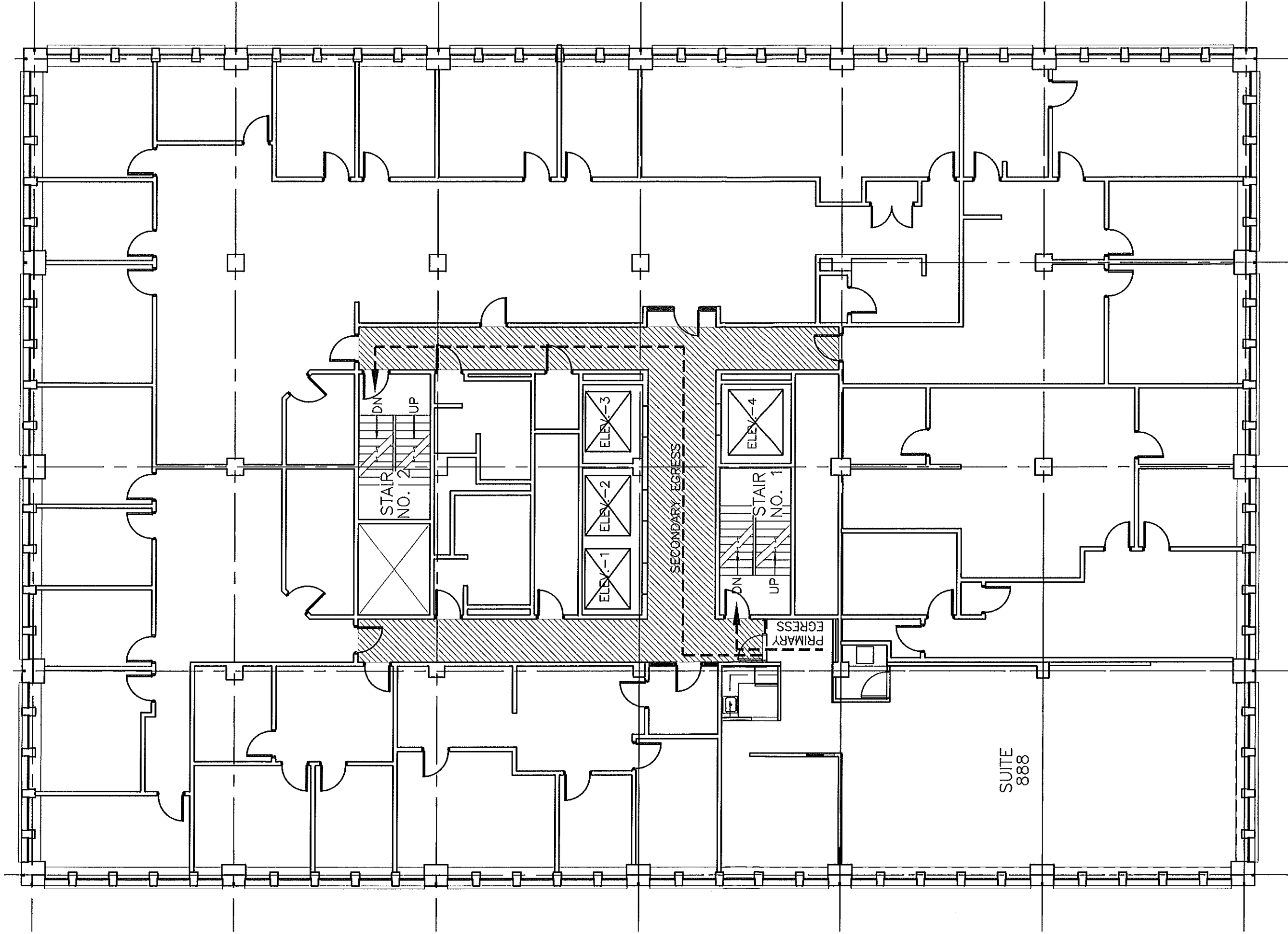
A-03

3/16" = 1'-0"



ELEVATIONS





1 EIGHTH FLOOR PLAN
 3/32" = 1'-0"
 0 5'-4" 10'-8" 16'

February 07, 2011

ONE CANAL PLAZA
 Suite 888
 PORTLAND, MAINE

EGRESS FLOOR PLAN

A-05

WALL TYPES

