

THE BANK OF MAINE

2 CANAL PLAZA

PORTLAND, MAINE

DRAWING INDEX

NO.	DESCRIPTION	DATE	BY	CHKD
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 PORTLAND, MAINE

REVISIONS		
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1	04.05.11	BID DOCUMENTS

DATE:	04.05.11
PROJECT #:	010111
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE:	AS NOTED

SHEET TITLE
 TITLE SHEET & DRAWING INDEX

G100

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ABBREVIATIONS

ALUM OR AL ALUMINUM	AMP ACoustical WALL PANEL	ACT ACoustical CEILING TILE	BIT BITUMINOUS	BM BOTTOM	BRG BEARING	BRK BRICK	C CABINET	CB CHALK BOARD	CC CENTER TO CENTER	CH CONCRETE HARDENER	CJ CONTROL JOINT	CL CENTER LINE	CLG CEILING	CMU CONCRETE MASONRY UNITS	CONC CONCRETE	CONT CONTINUOUS	CONST CONSTRUCTION	CONTR CONTRACTOR	CT CERAMIC TILE	DBL DOUBLE	DF DRINKING FOUNTAIN	DA DIAMETER	DM DIMENSION	DNA DOES NOT APPLY	DTL DETAIL	DWG DRAWING	E EAST	EA EACH	EF EACH FACE	EJ EXPANSION JOINT	EL ELEVATION	ELEC ELECTRICAL	ELEV ELEVATOR	EMHO ELECTROMAGNETIC HOLD OPEN	EQ EQUAL	EW EACH WAY	EWG ELECTRIC WATER COOLER	EXIT OR (E) EXISTING	EXP EXPANSION	EXT EXTERIOR	FD FLOOR DRAIN	FDN FOUNDATION	FE FIRE EXTINGUISHER	FFE FINISH FLOOR ELEVATION	FIN FINISH	FN FL OR FFFINISH FLOOR	FN GR FINISH GRADE	FL FLOOR	FR FIRE RATING	FRMG FRAMING	FT FEET (FOOT)	PV FIELD VERIFY	PWC FABRIC WALL COVERING	G GRANITE	GA GAUGE	GALV GALVANIZED	GB GRAB BARS	GC GENERAL CONTRACTOR	CYSUM GYPSUM WALL BOARD	HD HANDICAP	HDR HEADER	HRW HARDWARE	HM HOLLOW METAL	HORZ HORIZONTAL	HT HEIGHT	ID INSIDE DIAMETER	IF INSIDE FACE	IN INCHES	INSUL INSULATION	INT INTERIOR	LOC LOCATION	M MARBLE	MAS MASONRY	MAX MAXIMUM	MB MARKER BOARD	MECH MECHANICAL	MFR MANUFACTURER	MIN MINIMUM	MISC MISCELLANEOUS	MDO MASONRY OPENING	MR MOP RECEPTOR	MRSB MOISTURE RESISTANT GYPSUM BOARD	MTL METAL	N NORTH	NA NOT APPLICABLE	NC NOT IN CONTACT	NO NUMBER	NOM NOMINAL	NTS NOT TO SCALE	OA OVERALL	OC ON CENTER	OD OUTSIDE DIAMETER	OP OPENING	OPP OPPOSITE	OF OUTSIDE FACE	EXP EXPANSION	PTD PAINT	PL PLATE	PLY WOOD	PNL PANEL	P.A. PRESSURE TREATED	PT & D PAPER TOWEL AND WASTE DISPENSER	PTN PARTITION	RD ROOF DRAIN	REF REFERENCE	REFR REFRIGERATOR	REIN REINFORCED	REQ REQUIRED	ROOM ROOM	RO ROUGH OPENING	S SOUTH	SC SHOWER CURTAIN	SD SUMP DISPENSER	SCHED SCHEDULE	SECT SECTION	SHT SHEET	SM SIMILAR	SND SANITARY NAPKIN DISPOSAL	SO SQUARE	SSS SYNTHETIC SPORTS SURFACE	STD STANDARD	STL STEEL	STRUC STRUCTURAL	SV SHEET VINYL	T TEMPERED (GLASS)	TB TACK BOARD	THK THICKNESS	TO TOP OF	TOB TOP OF BEAM	TOM TOP OF MASONRY	TOW TOP OF WALL	TP TOILET PAPER DISPENSER	TYP TYPICAL	UNO UNLESS NOTED OTHERWISE	VBR VAPOR BARRIER	VCT VINYL COMPOSITION TILE	VERT VERTICAL	VWC VINYL WALL COVERING	W WEST	W WITH	WC WATER CLOSET	WD WOOD
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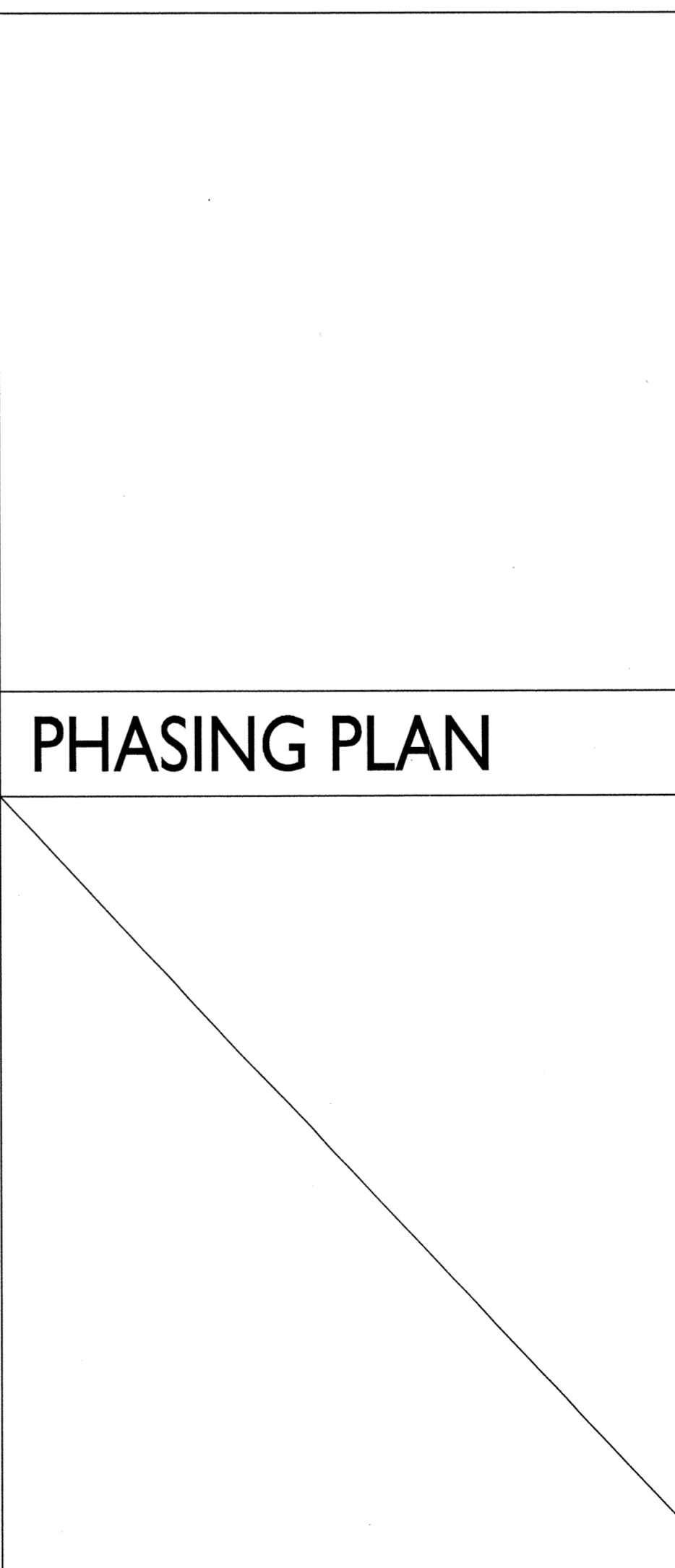
LEGEND

	BUILDING SECTION MARKER
	CEILING TAG
	COLUMN CENTER LINE
	DETAIL MARKER
	DOOR TAG
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	PLANT TAG
	REVISION CLOUD WITH TAG
	ROOM TAG
	SECTION MARKER
	WALL TYPE
	WINDOW TAG

GENERAL NOTES

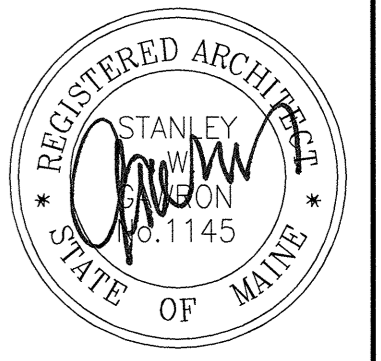
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED WITH THE ARCHITECT.
2. DO NOT ALTER OR PENETRATE ANY EXISTING STRUCTURAL ELEMENTS, EXTERIOR WALL COMPONENTS, OR FIRE RATED WALLS.
3. THE LOCATIONS OF DOORS NOT DIMENSIONED SHALL BE 6 INCHES FROM ADJACENT WALL.
4. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC 2009, BOCA, NFPA 101, & ANSI.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED & ALL CONNECTIONS TO BE STAINLESS STEEL.
6. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. **DO NOT SCALE THE DRAWINGS.**
7. GC SHALL REVIEW AND CONFORM TO BUILDING GUIDELINES FOR CONSTRUCTION.
8. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THIS CONTRACT OR AS APPROVED BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL SEAL, PATCH AND FILL ANY FLOOR AND/OR WALL PENETRATIONS DUE TO DEMOLITION/CONSTRUCTION.
9. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS.
10. PROVIDE (5) 2" DIAMETER CONCRETE FLOOR CORE DRILLS TO SUPPLY POWER AND DATA TO FEATURE WALLS, MILLWORK AND CONFERENCE ROOMS.
11. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF EXISTING MECHANICAL AND PLUMBING ELEMENTS. CONTRACTOR SHALL RENOVATE EXISTING ALARM SYSTEM TO MAINTAIN CONFORMANCE TO NFPA 13 & 101. CONTRACTOR SHALL VERIFY SIZE & LOCATION OF ALL ELECTRICAL SERVICES AND EQUIPMENT.
12. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN LAVATORIES, AND ALL OTHER HIGH HUMIDITY AREAS.
13. FINISHES: FINISHES OTHER THEN THE STANDARD FINISHES ARE ALL INDICATED ON THE DRAWINGS. CEILING FINISHES ARE SHOWN ON THE REFLECTED CEILING PLANS AND ALL OTHER FINISHES ARE SHOWN ON THE INTERIOR FINISH LEGEND AND SCHEDULE AND/OR INTERIOR ELEVATIONS. FINISHES INDICATED FOR A PARTICULAR ROOM OR SPACE ARE APPLICABLE FOR THE ENTIRE ROOM OR SPACE, UNLESS OTHERWISE NOTED.
14. ALL EXPOSED SURFACES ARE TO BE PAINTED, WHETHER OR NOT INDICATED ON THE DRAWINGS, EXCEPT AS FOLLOWS: WHERE SPECIAL COATINGS ARE INDICATED; PREFINISHED ITEMS, CONCEALED SURFACES, OPERATING PARTS, AND LABELS. IF PREFINISHED, PAINTING THE FOLLOWING: EXPOSED MECHANICAL DUCTWORK, WALL DIFFUSERS, GRILLES AND LOUVERS, ROOF TOP MECHANICAL EQUIPMENT, AND SPEAKER GRILLES. FINISHED METAL SURFACES, EXCEPT AS LISTED ABOVE. SEE SPECIFICATIONS ON DRAWINGS IDENTIFYING THE TYPES OF PAINTS AND SPECIALTY COATINGS TO BE USED IN ACCORDANCE WITH MATERIAL BEING PAINTED OR COATED.
15. BUILDING INSULATION: PROVIDE AS INDICATED ON WALL DETAILS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND DRAWINGS. FOR DRAWING CLARITY, INSULATION MAY NOT BE SHOWN, EVEN IF IT IS PROVIDED.
16. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECT'S REVIEW.
17. THE DESIGN AND INSTALLATION OF THE FIRE PROTECTION SYSTEMS SHALL BE PROVIDED THROUGH A DESIGN/BUILD CONTRACT UNDER THE GENERAL CONTRACTOR.
18. GENERAL CONTRACTOR SHALL SUPPLY POWER AND COORDINATION TO THE TENANT SUPPLIED SYSTEMS FURNITURE AND EQUIPMENT.
19. GENERAL CONTRACTOR SHALL SUPPLY POWER AND CONDUITS WITH PULL-STRINGS FOR DATA AND TELEPHONE. TO ALL OWNER SUPPLIED WORKSTATIONS. THE DESIGN AND INSTALLATION OF THE DATA AND TELEPHONE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE TENANT. GENERAL CONTRACTOR TO PROVIDE CONDUIT WITH PULL-STRINGS TO ALL LOCATIONS RECEIVING DATA, TELEPHONE, AUDIO VISUAL AND SECURITY.

SITE LOCATION MAP



PROJECT DIRECTORY

TENANT: THE BANK OF MAINE 190 WATER STREET GARDINER, MAINE 04345	OWNER: EAST BROWN COW 100 COMMERCIAL STREET PORTLAND, MAINE 04101 207-775-2252	ARCHITECT: GAWRON TURGEON ARCHITECTS 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	LANDSCAPE ARCHITECT: GAWRON TURGEON ARCHITECTS 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	GENERAL CONTRACTOR: TO BE SELECTED
STRUCTURAL ENGINEER: NOT USED	MECHANICAL ENGINEER: BENNETT ENGINEERING 7 BENNETT ROAD P.O. BOX 297 FREEPORT, ME 04032-0297	ELECTRICAL ENGINEER: BENNETT ENGINEERING 7 BENNETT ROAD P.O. BOX 297 FREEPORT, ME 04032-0297	ARCH. SPECIFICATION WRITER: GAWRON TURGEON ARCHITECTS 29 BLACK POINT ROAD SCARBOROUGH, MAINE 04074 207-883-6307	



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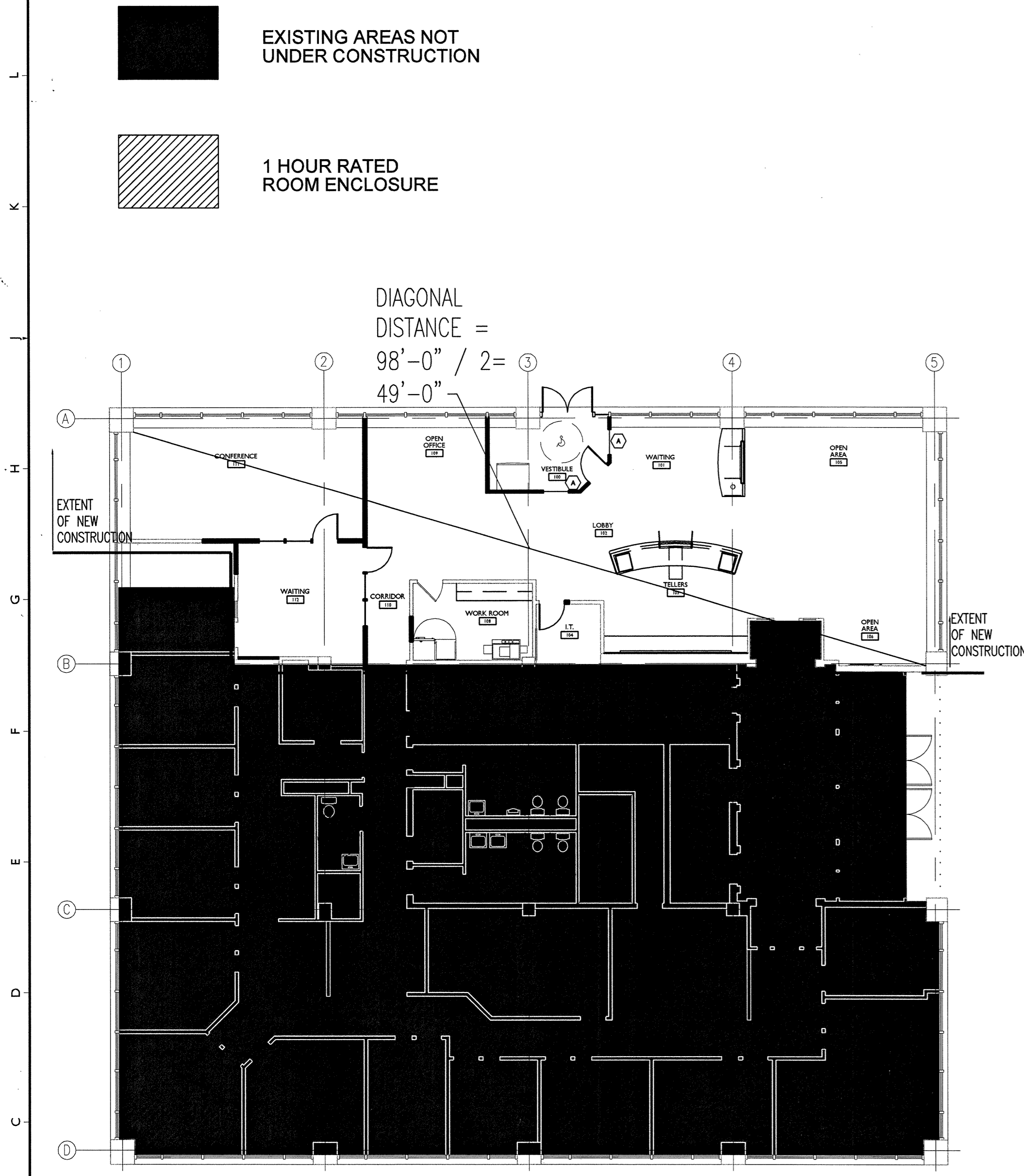
SHEET TITLE
CODE REVIEW

G101

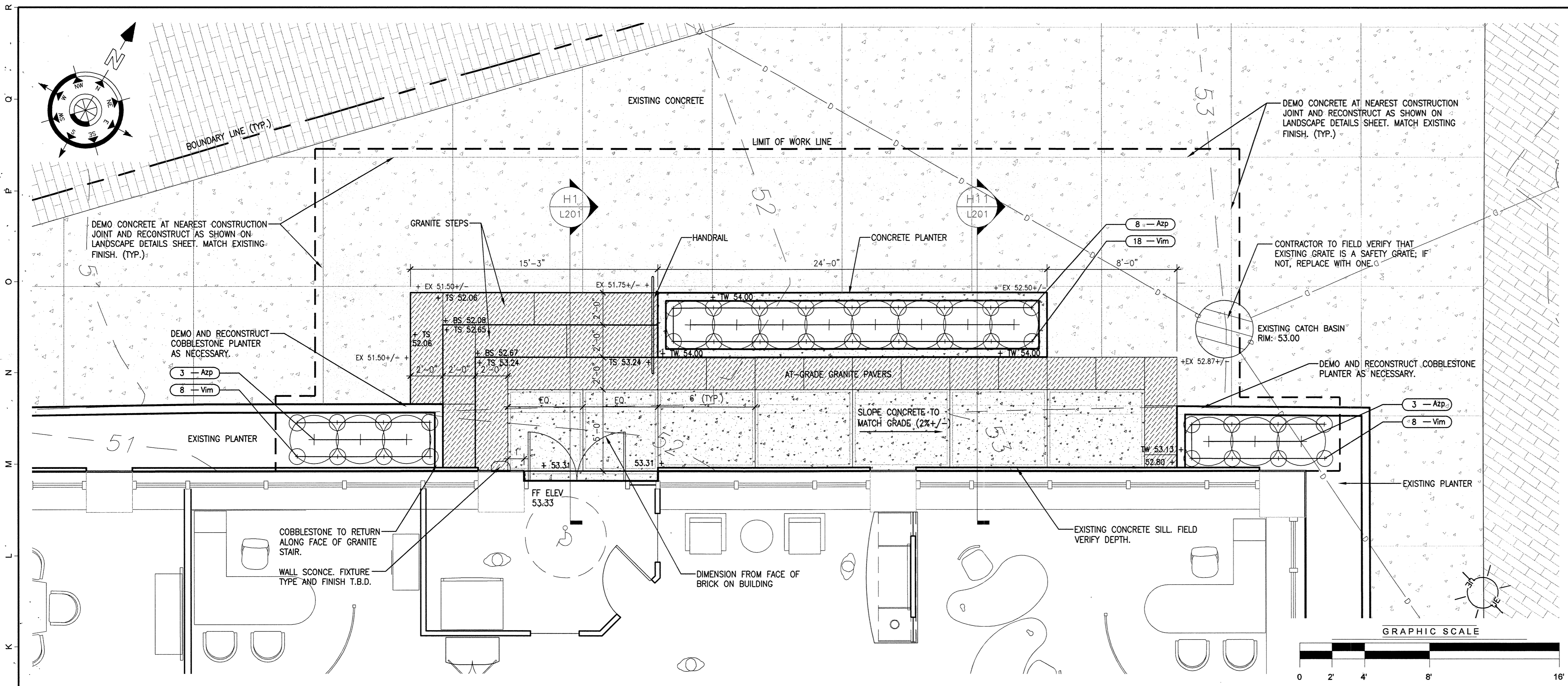
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2009 IBC: CODE DATA	
	Business Occupancy (EXISTING BLDG)
OCCUPANT LOAD	2,551/100 = 26
USE GROUP CLASSIFICATION	BUSINESS
TYPE OF CONSTRUCTION	TYPE II B
ACTUAL BUILDING AREA BY FLOOR	8,875 S.F. PER FLOOR - RENOVATED AREA IS 2,551 S.F.
TOTAL BUILDING AREA	44,375 SF
TABLE 503 BUILDING AREA LIMITATION - SQ. FT.	3 LEVELS @ 23,000 SF
504.2 ALLOWABLE BUILDING HEIGHT INCREASE DUE TO SPRINKLER	40' ALLOWED + 20' FOR SPRINKLER- TOTAL ALLOWED = 60'
ACTUAL BUILDING HEIGHT	59'-6"
EXIT ACCESS TRAVEL DISTANCE	200'-0"
DEAD END CORRIDORS	20'-0"
CORRIDOR WIDTH	44"
STAIRWAY WIDTH	44"
FIRE RATING:	
EXTERIOR BEARING WALLS	0 HOUR
INTERIOR BEARING WALLS	0 HOUR
NON-BEARING WALLS & PARTITIONS	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR
CORRIDORS	0 HOUR
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR FOR < 4 STORIES
UNIT SEPARATION	1 HOUR
MECHANICAL/ELECTRICAL ROOMS	1 HOUR
LAUNDRY/STORAGE >100 SF	1 HOUR
WASTE COLLECTION >100 SF	1 HOUR
FLAME SPREAD RATINGS:	
INTERIOR WALL & CEILING FINISH REQUIREMENTS	
EXIT ENCLOSURES & EXIT PASSAGEWAYS	A
CORRIDORS	B
ROOMS OR ENCLOSED SPACES	C
INTERIOR FLOOR FINISH REQUIREMENTS	
EXIT ENCLOSURES & EXIT PASSAGEWAYS	CLASS II
CORRIDORS	CLASS II
GENERAL NOTES	1. ALL PENETRATIONS OF SMOKE BARRIERS, PARTITIONS, FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS 2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES, AND REQUIREMENTS, ACCESSIBILITY PER A.D.A.A.G.

2009 NFPA: CODE DATA	
	CH. 38 BUSINESS (EXISTING BUILDING)
TYPE OF CONSTRUCTION	NO MIN. CONSTRUCTION REQMENTS
OCCUPANT LOAD	100 SF/PP
EXTERIOR BEARING WALLS	0 HOUR
EXTERIOR NONBEARING WALLS	0 HOUR
INTERIOR BEARING WALLS	0 HOUR
COLUMNS	0 HOUR
BEAMS, GIRDERS, TRUSSES	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
FLOOR SEPARATION AT ASSEMBLY USE GROUP	1 HOUR
ROOF CONSTRUCTION	0 HOUR
MECHANICAL / ELECTRICAL ROOMS	1 HOUR
TENANT SEPARATION	0 HOUR
The Bank of Maine - FIRST FLOOR	2,551 S.F.
TOTAL BUILDING AREA	8,875 S.F. PER FLOOR - 44,375 SF BUILDING TOTAL
BUILDING HEIGHT	59'-6" +/-
FIRE SUPPRESSION	NONE
HAZZARD	1 HOUR
FIRE EXTINGUISHERS	PER NFPA 2009
COMMON PATH OF TRAVEL LIMIT	75'
DEAD-END LIMIT	50'
TRAVEL DISTANCE LIMIT	200'
EXITS	
CORRIDOR WIDTH	44"
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR
EXIT ACCESS CORRIDORS	0 HOUR
FLAME SPREAD RATINGS:	
INTERIOR FINISH REQUIREMENTS (SPRINKLERED BLDG)	
WALLS AND CEILINGS	CLASS A, B OR C
EXIT ACCESS CORRIDORS	CLASS A OR CLASS B
INTERIOR FLOOR FINISH REQUIREMENTS	
EXITS	CLASS I OR CLASS II (REDUCTION PERMITTED OF ONE CLASS IN SPRINKLERED BUILDING)
CORRIDORS	
GENERAL NOTES	1. ALL PENETRATIONS OF SMOKE BARRIERS, PARTITIONS, FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS

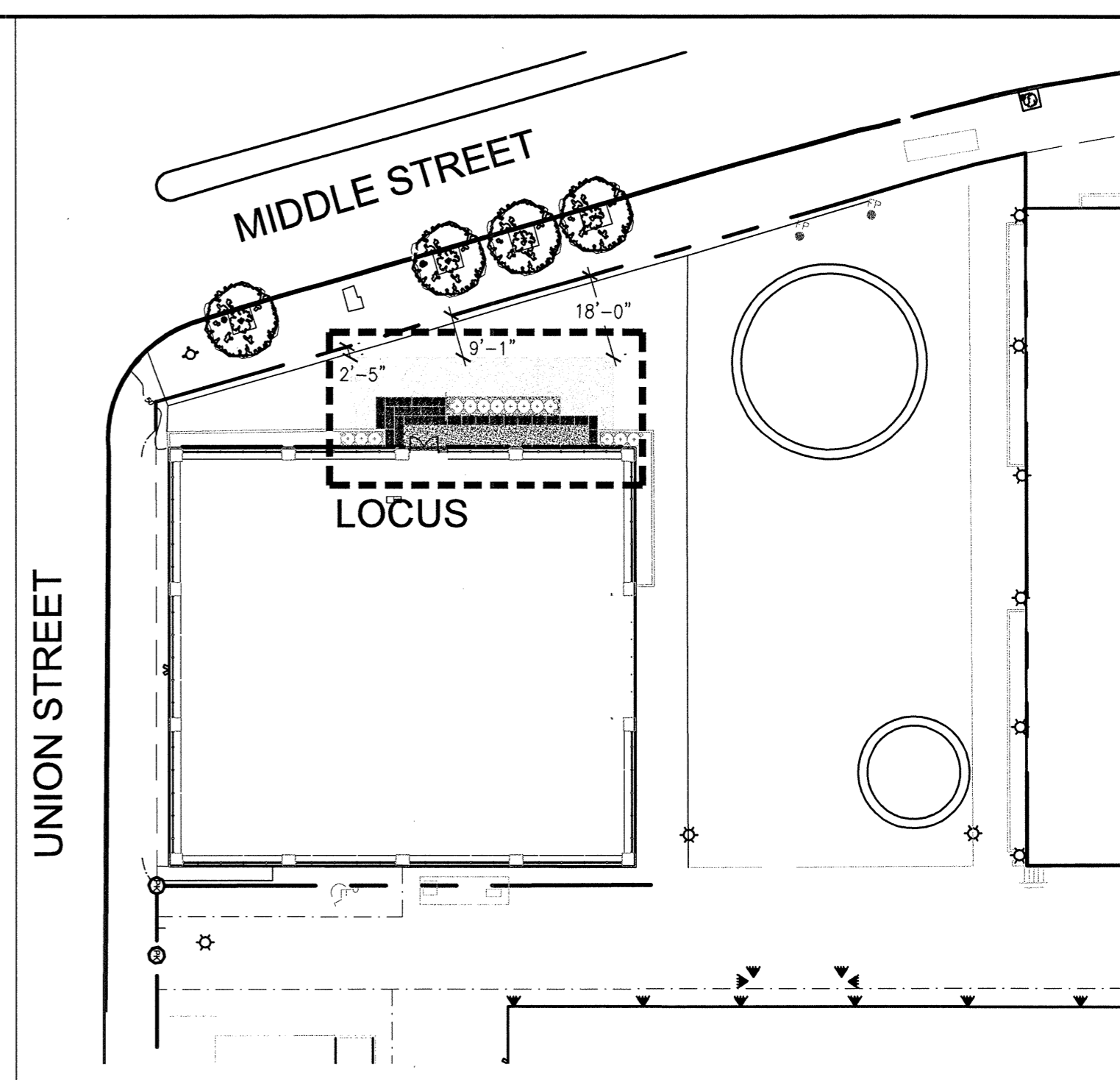


AI CODE REVIEW



J1 SITE PLAN

1/4" = 1'-0"



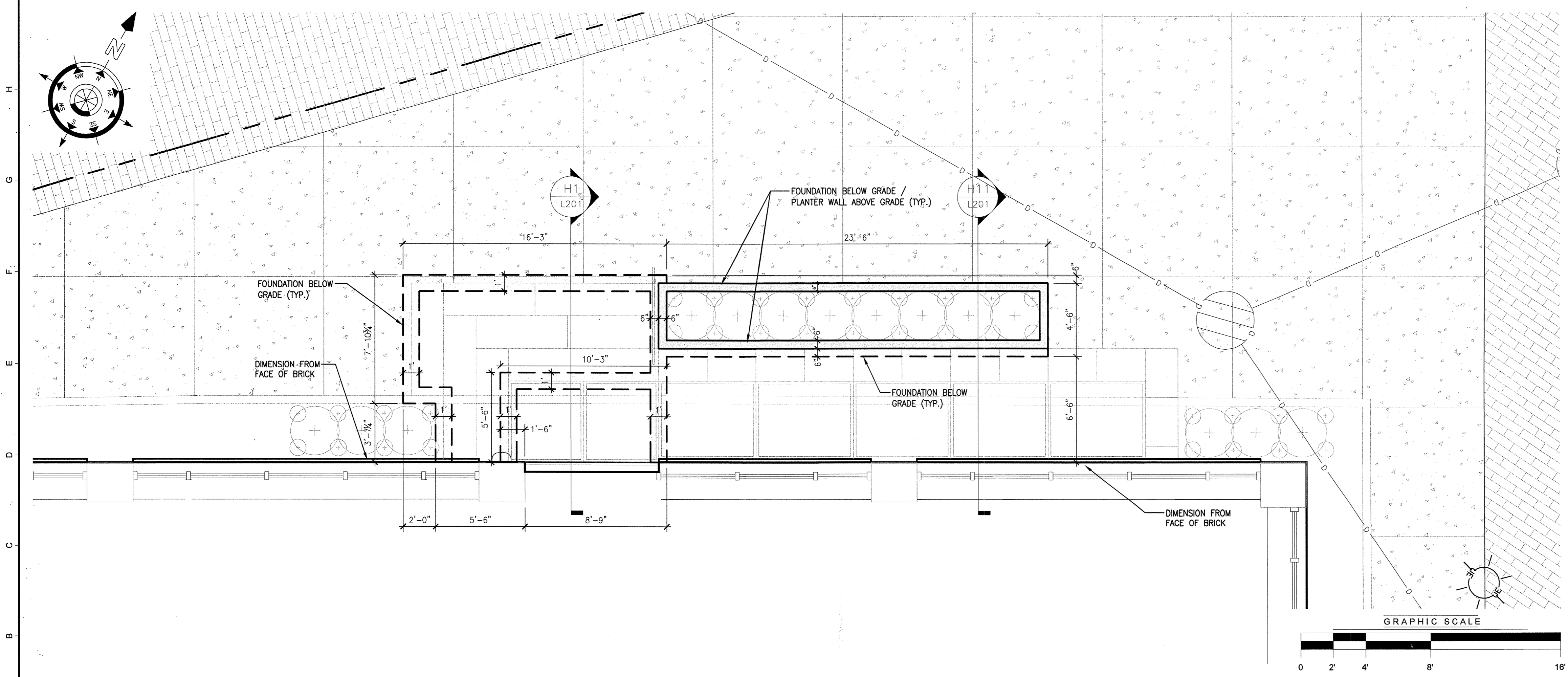
A1 CONTEXT PLAN

1" = 30'

PLANT SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	TYPE	NOTES
Azp	Azalea poukhanense 'White Form'	White Form Azalea	24-30"	14	Shrub	3x4', partial, white - May, hardiest of evergreen azaleas
Vim	Vinca minor	Periwinkle	clump	34	Perennial	6" tall, partial - full shade, purple, evergreen

J16 PLANT SCHEDULE

N/A

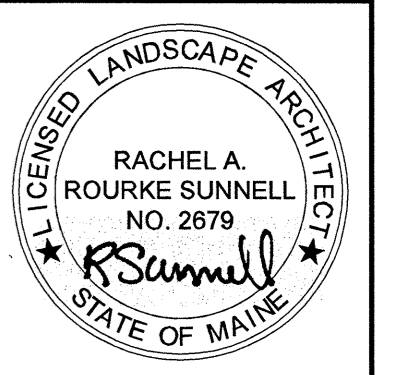


A1 FOUNDATION PLAN

1/4" = 1'-0"

A16 NOT USED

N/A



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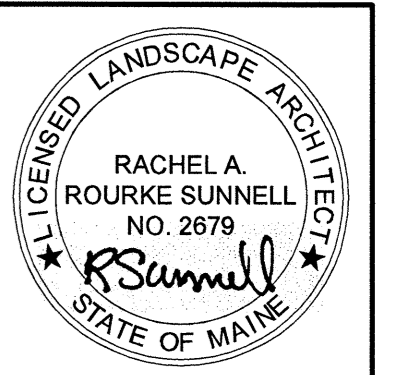
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CHECKED BY:	RS
DRAWING SCALE:	1/4" = 1'-0"

SHEET TITLE
 SITE & FOUNDATION PLAN

L101

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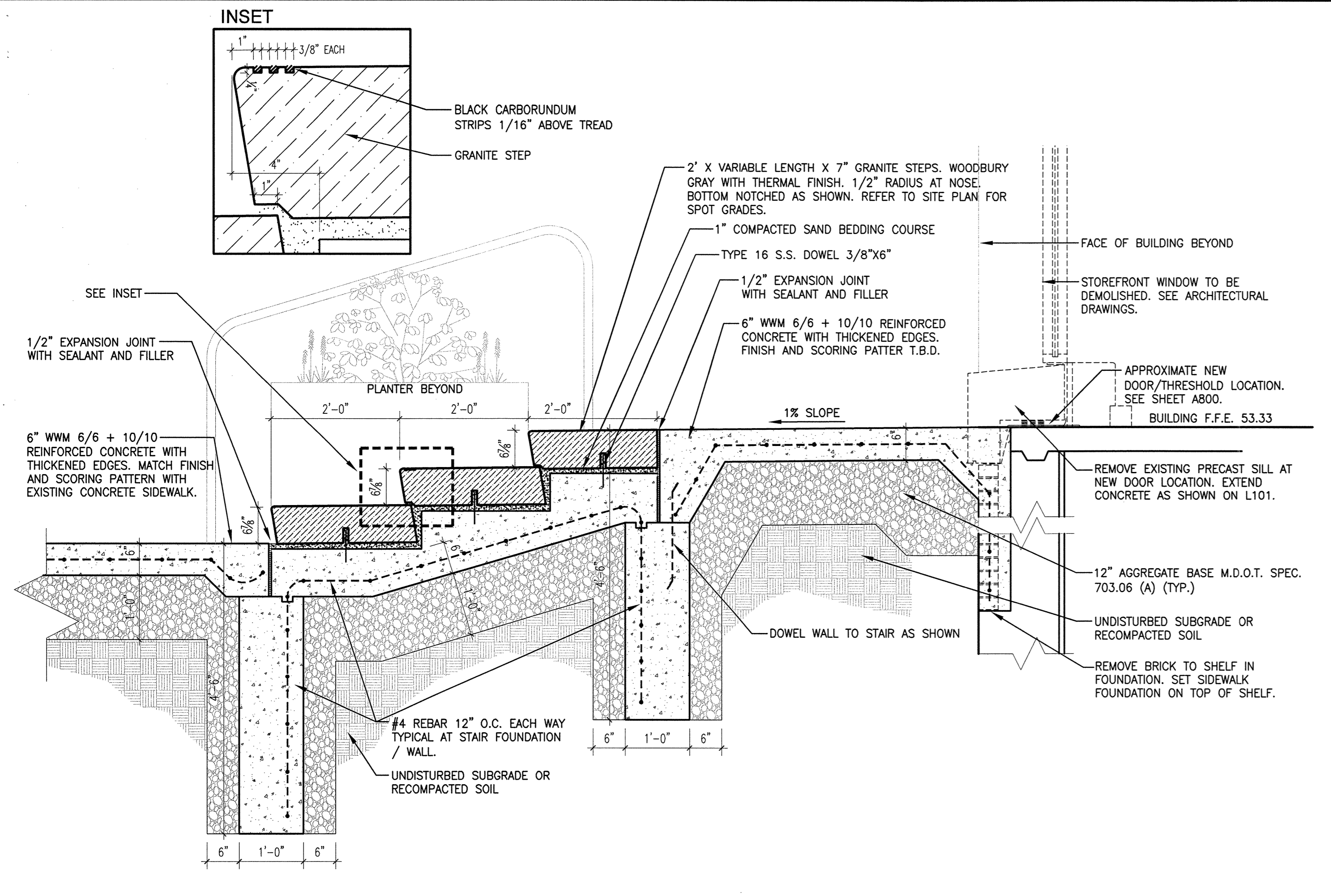
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DRAWING SCALE	VARIES

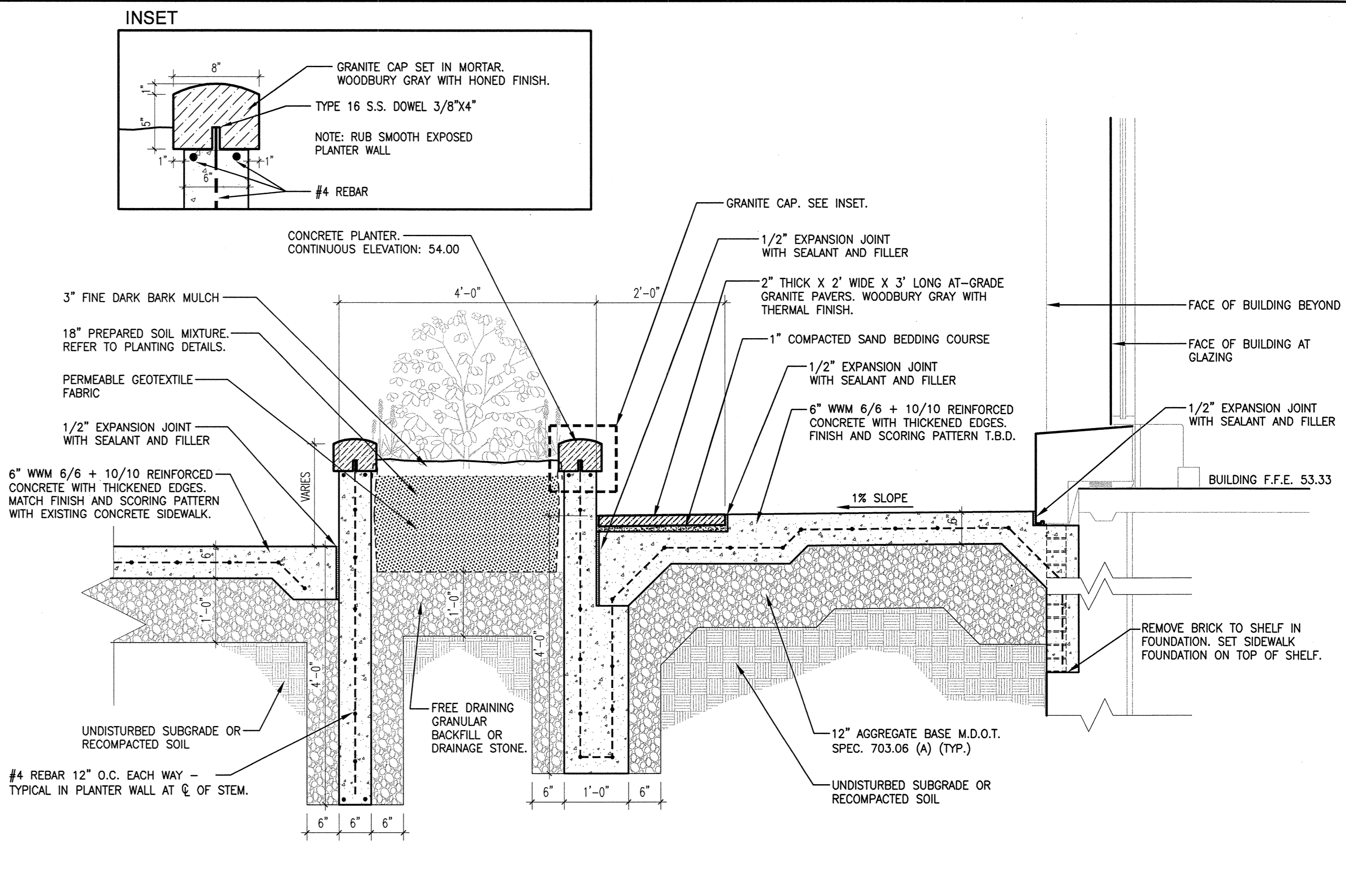
SHEET TITLE
 LANDSCAPE DETAILS

L201

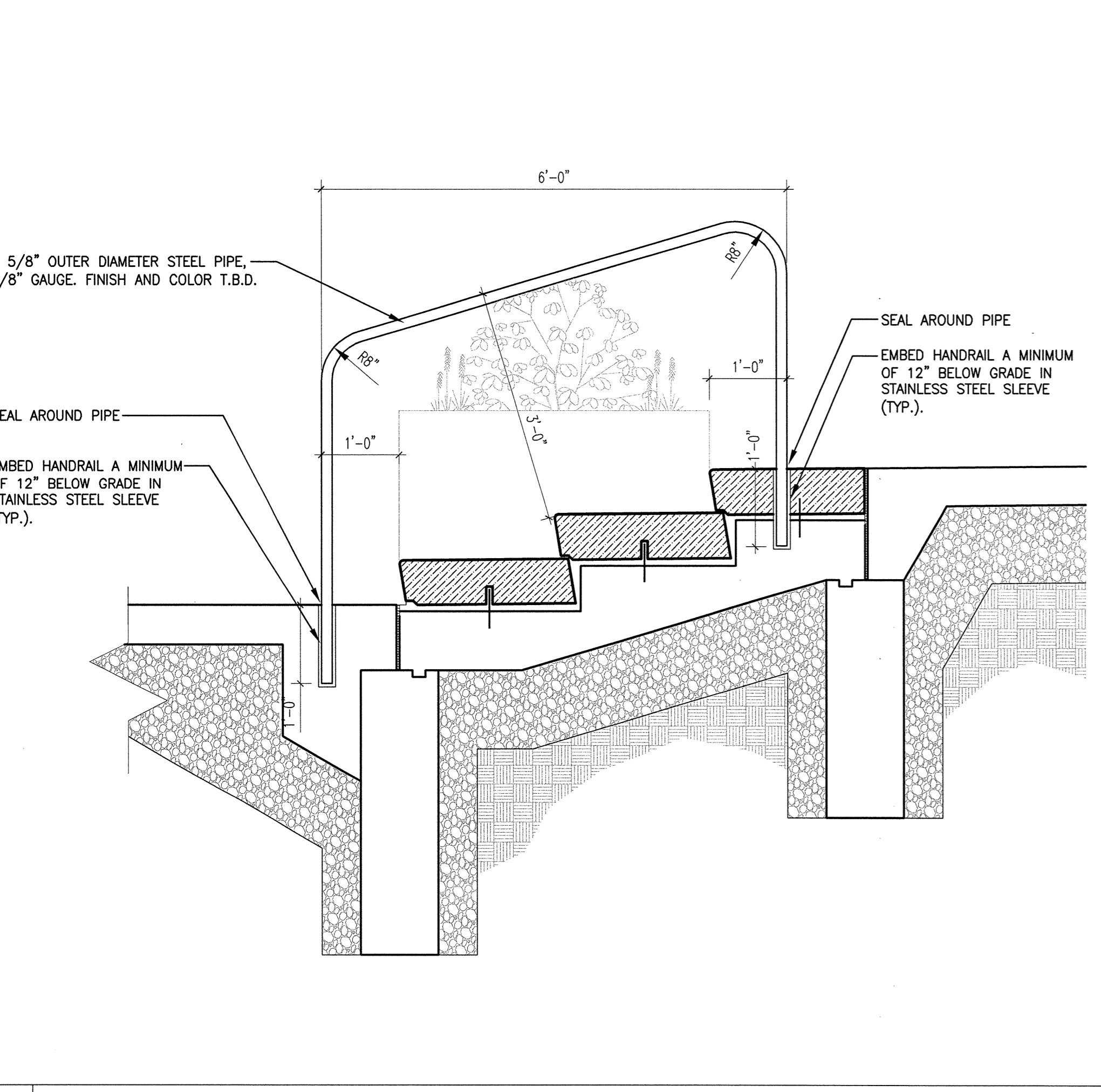
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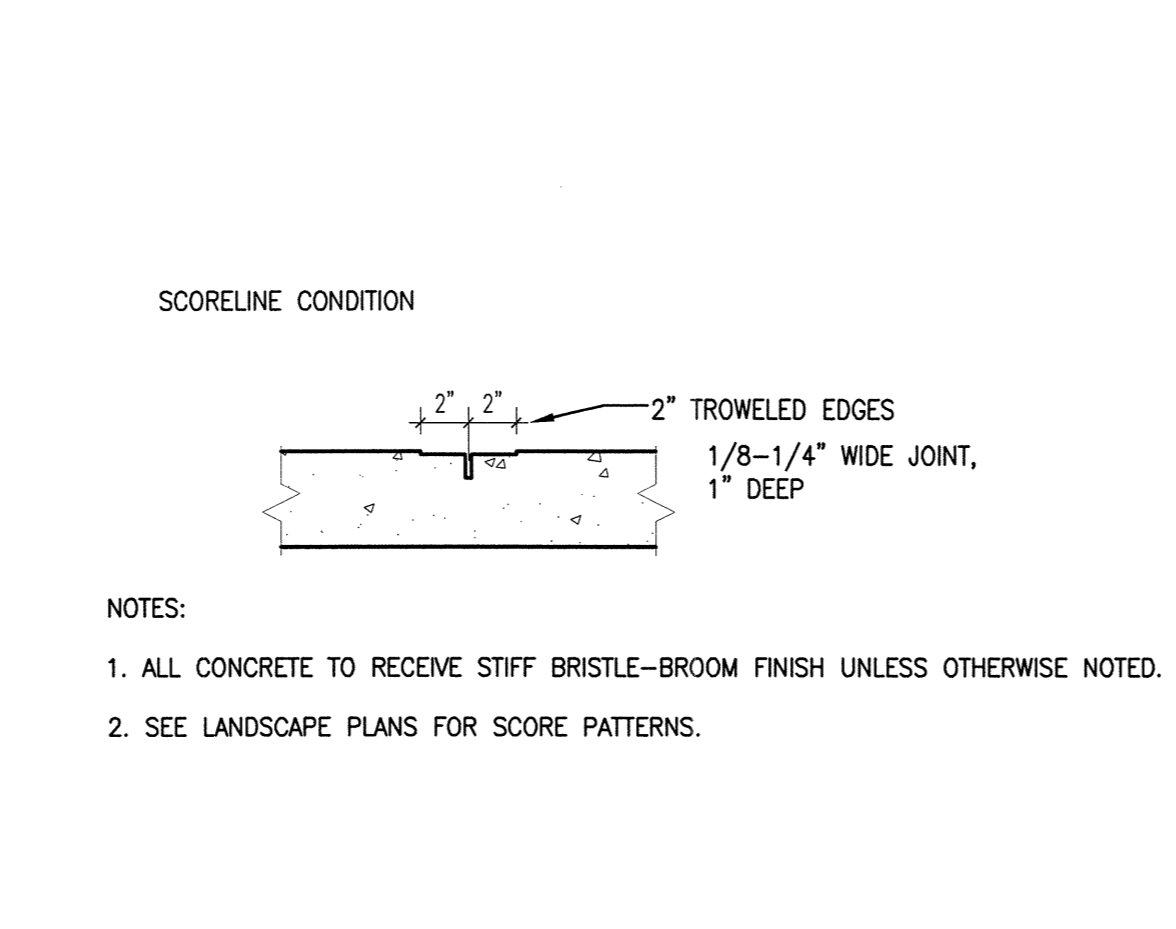
H1 STAIR SECTION
 3/4" = 1'-0"



H11 PLANTER / SIDEWALK SECTION
 3/4" = 1'-0"

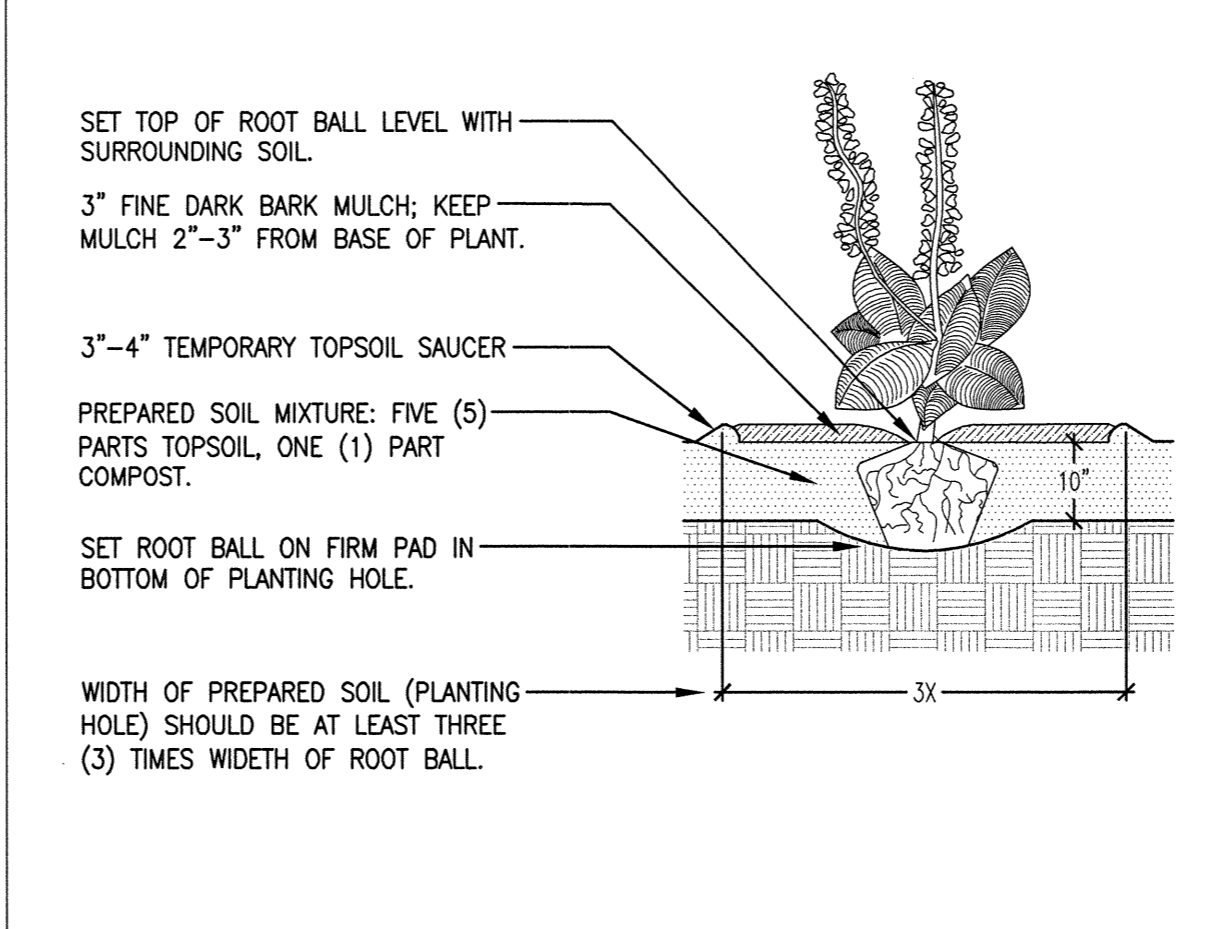


A1 HANDRAIL SECTION
 3/4" = 1'-0"



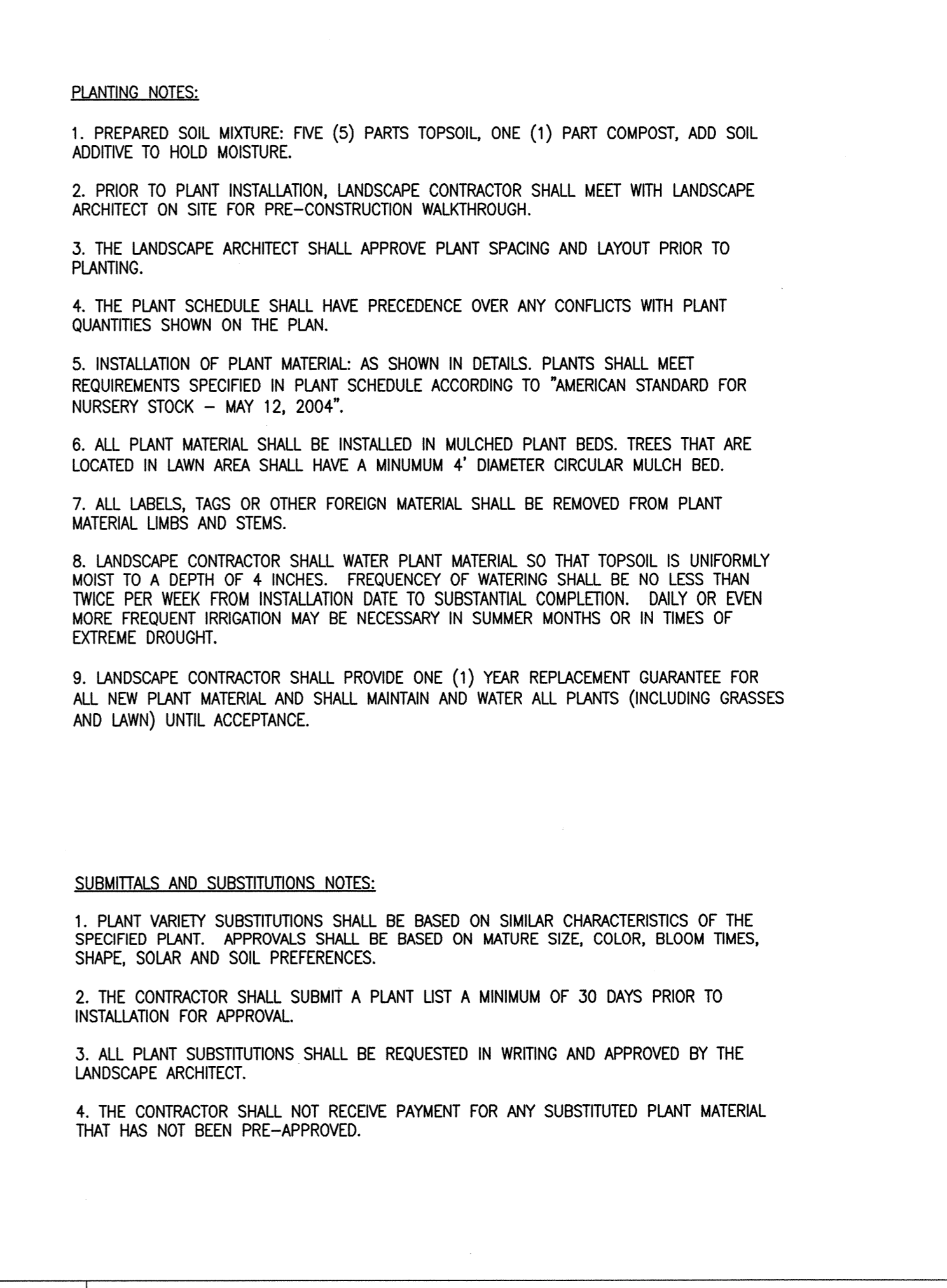
E8 TROWELED EDGE DETAIL
 1-1/2" = 1'-0"

A8 NOT USED
 N/A

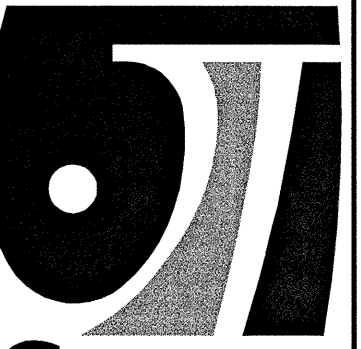
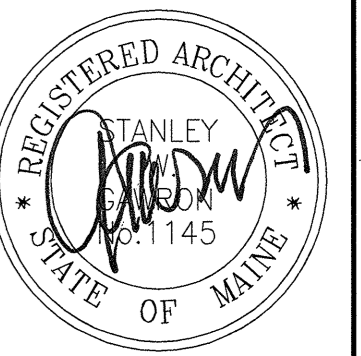


E12 PERENNIAL PLANTING SECTION
 N.T.S.

A12 SHRUB PLANTING SECTION
 N.T.S.



A16 PLANTING NOTES
 N/A



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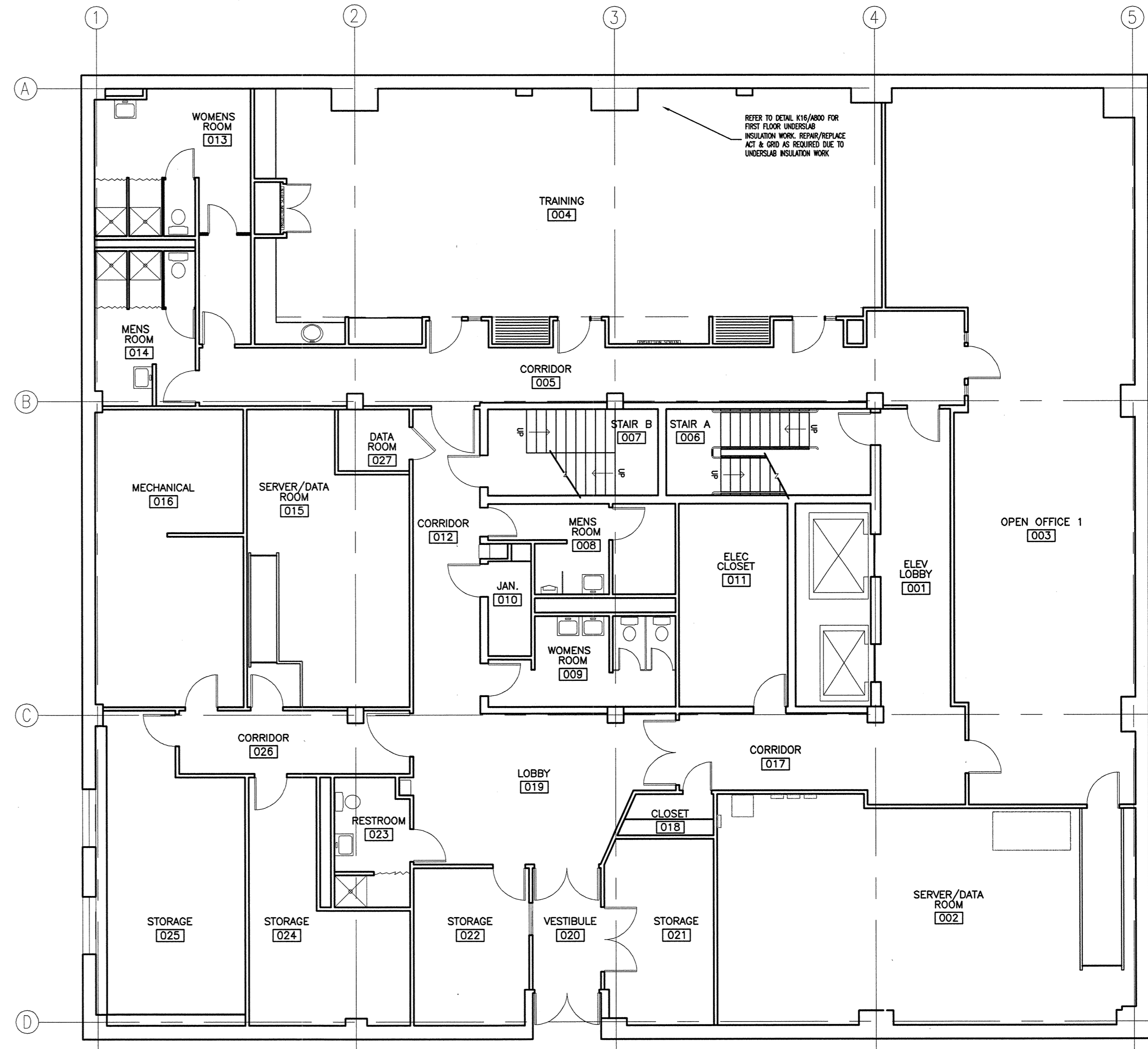
EXISTING CONDITION
FIRST FLOOR &
LOWER LEVEL PLAN

EX100

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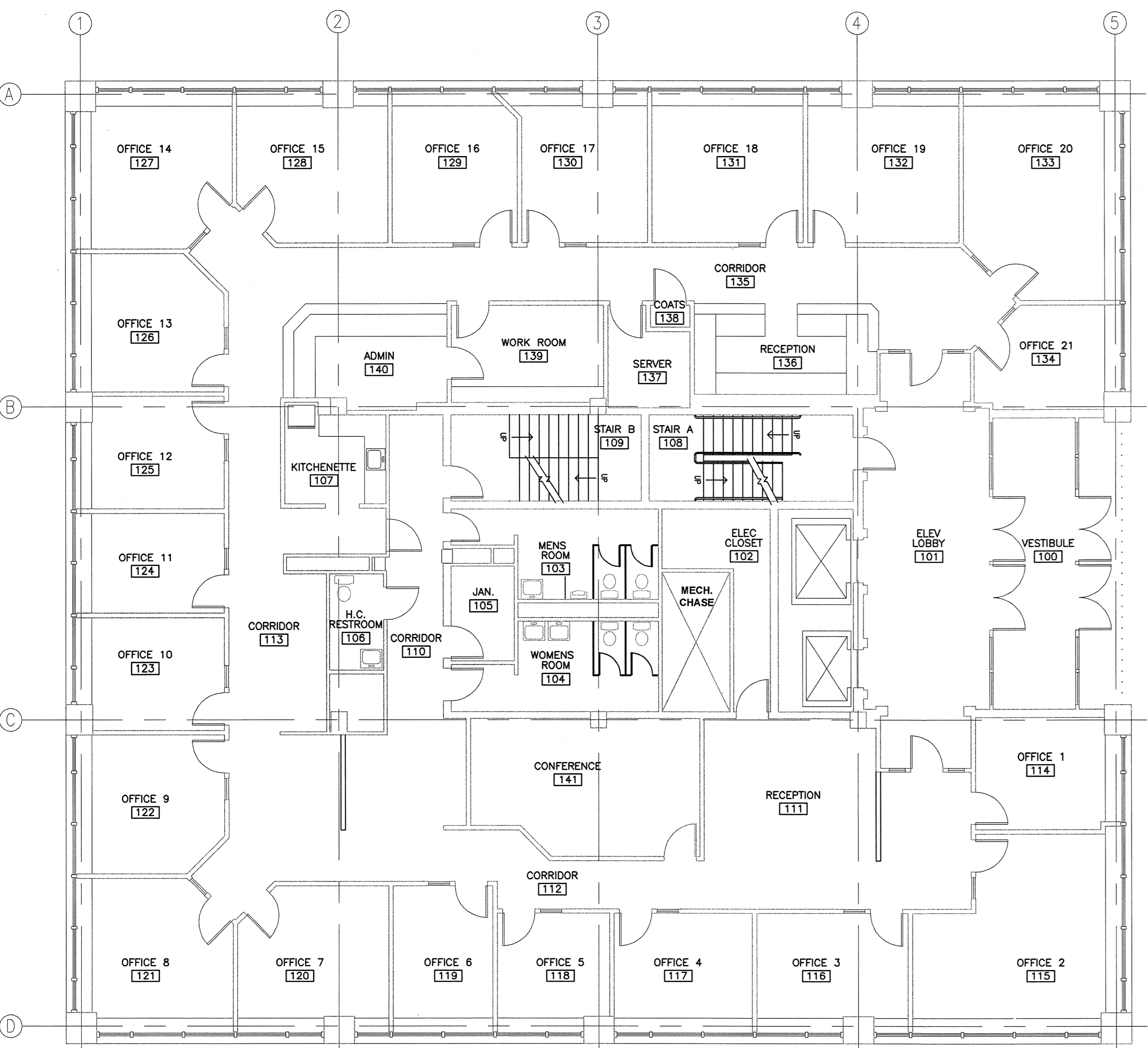


PLAN
NORTH



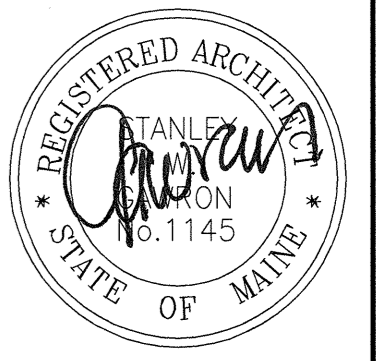
A11 EXISTING CONDITION LOWER LEVEL FLOOR PLAN - FOR REFERENCE ONLY

1/8"=1'-0"



A1 EXISTING CONDITION FIRST FLOOR PLAN - FOR REFERENCE ONLY

1/8"=1'-0"



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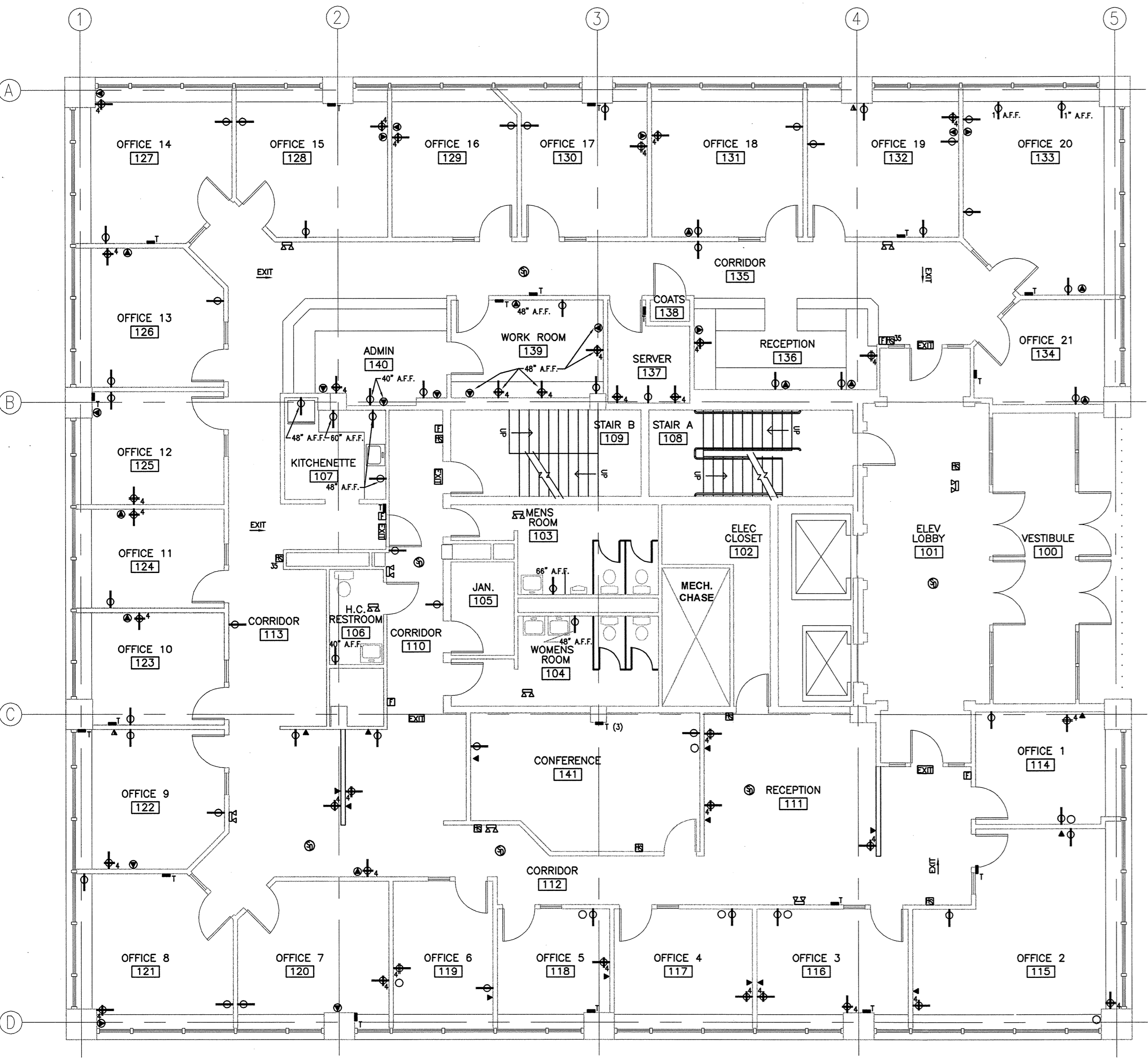
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 EXISTING CONDITION
 FIRST FLOOR &
 LOWER LEVEL POWER
 PLAN

EX200

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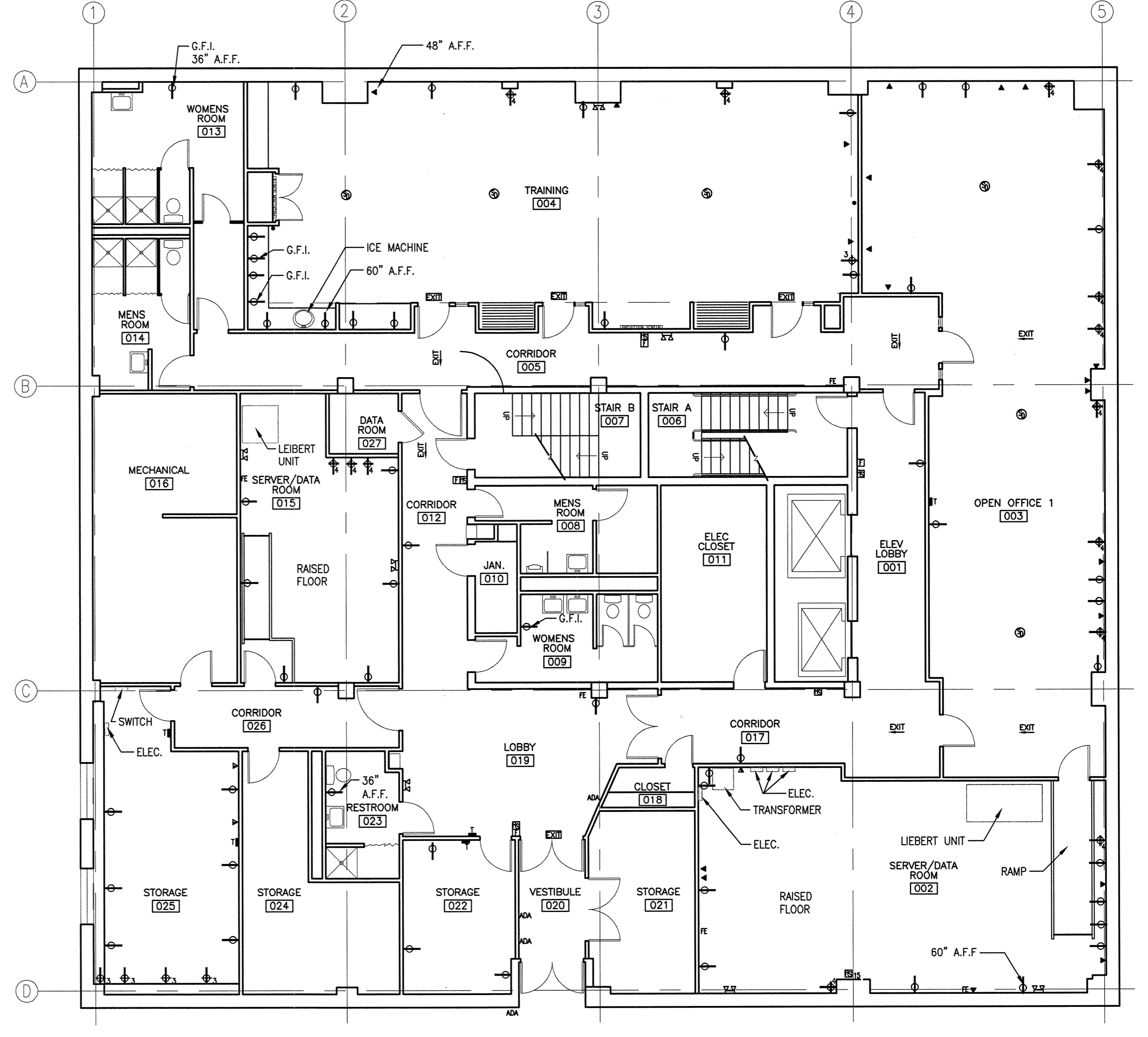
- | | |
|---|--|
| <p>LIFE SAFETY LEGEND</p> <ul style="list-style-type: none"> EXIT DIRECTIONAL EXIT SIGNAGE EXIT EXIT SIGNAGE FE FIRE EXTINGUISHER 75 FIRE ALARM VISUAL STROBE - NUMERICAL DENOTES CANDELA RATING 75 FIRE ALARM AUDIO/VISUAL STROBE - NUMERICAL DENOTES CANDELA RATING 8 EMERGENCY BATTERY UNIT - 2 HEADS 8 EMERGENCY BATTERY UNIT - 1 HEAD ☐ FIRE ALARM PULL STATION ☉ CEILING MOUNTED SMOKE DETECTOR | <p>POWER PLAN LEGEND</p> <ul style="list-style-type: none"> T THERMOSTAT ▽ TEL/DATA OUTLET - ONE PHONE/ONE DATA ▽ TEL/DATA OUTLET - 2 PHONE 2 DATA 5 DATA, 1 CABLE ⊕ EXISTING DUPLEX OUTLET ⊕ EXISTING QUAD OUTLET ⊕ EXISTING THREE PRONG OUTLET • EXISTING CABLE <p>CONFIRM THAT ALL EXISTING POWER AND DATA IS IN WORKING ORDER</p> |
|---|--|

M II LEGEND



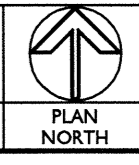
AI EXISTING CONDITION FIRST POWER PLAN

1/8"=1'-0"

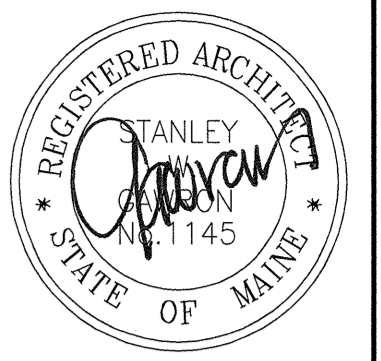


AI I EXISTING CONDITION LOWER LEVEL POWER PLAN

1/8"=1'-0"



PLAN NORTH



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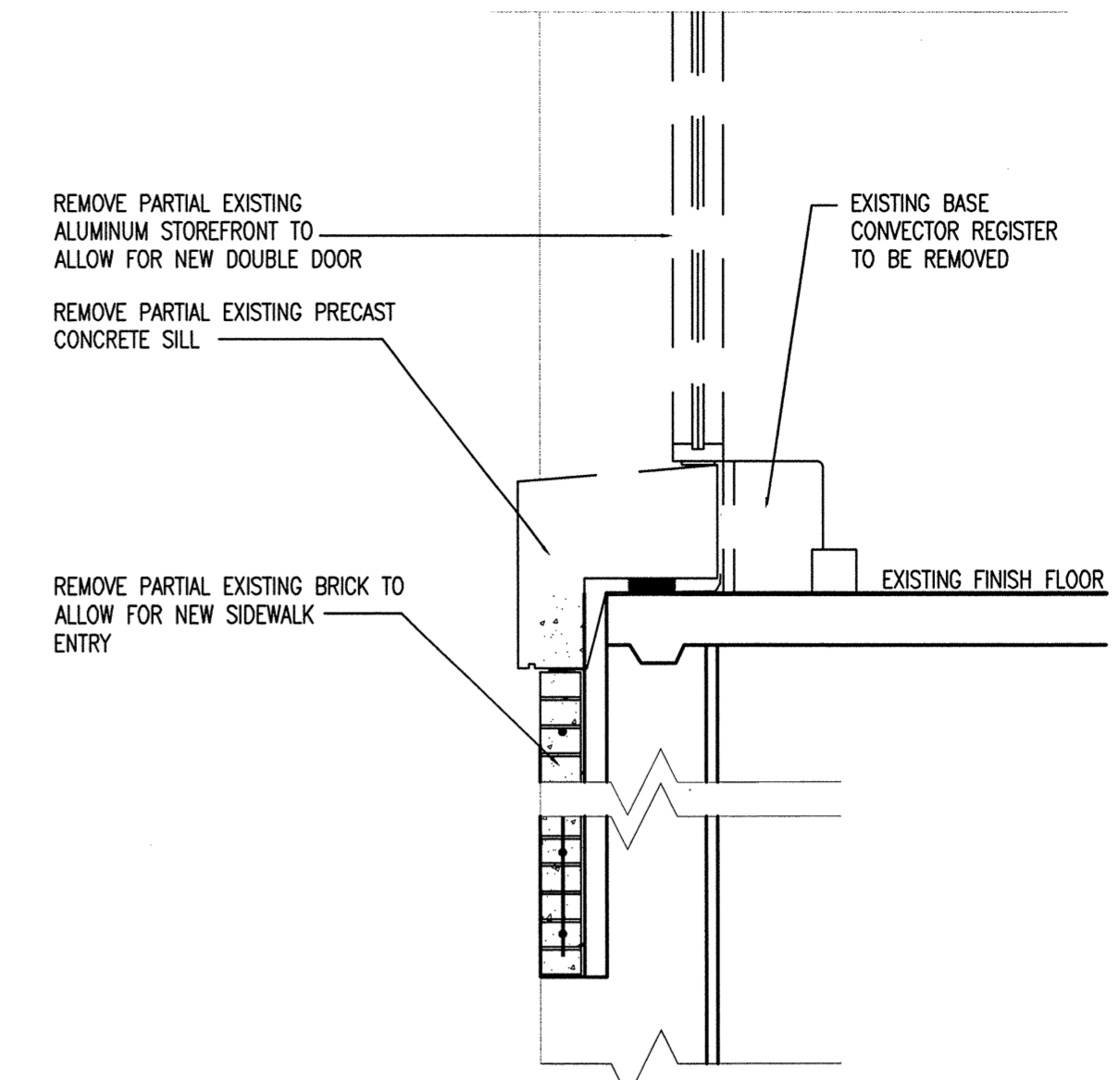
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CHECKED BY:	MET
DRAWING SCALE:	AS NOTED

SHEET TITLE
 DEMOLITION
 FIRST FLOOR
 PLAN
 DEMOLITION NOTES/
 LEGEND

D100

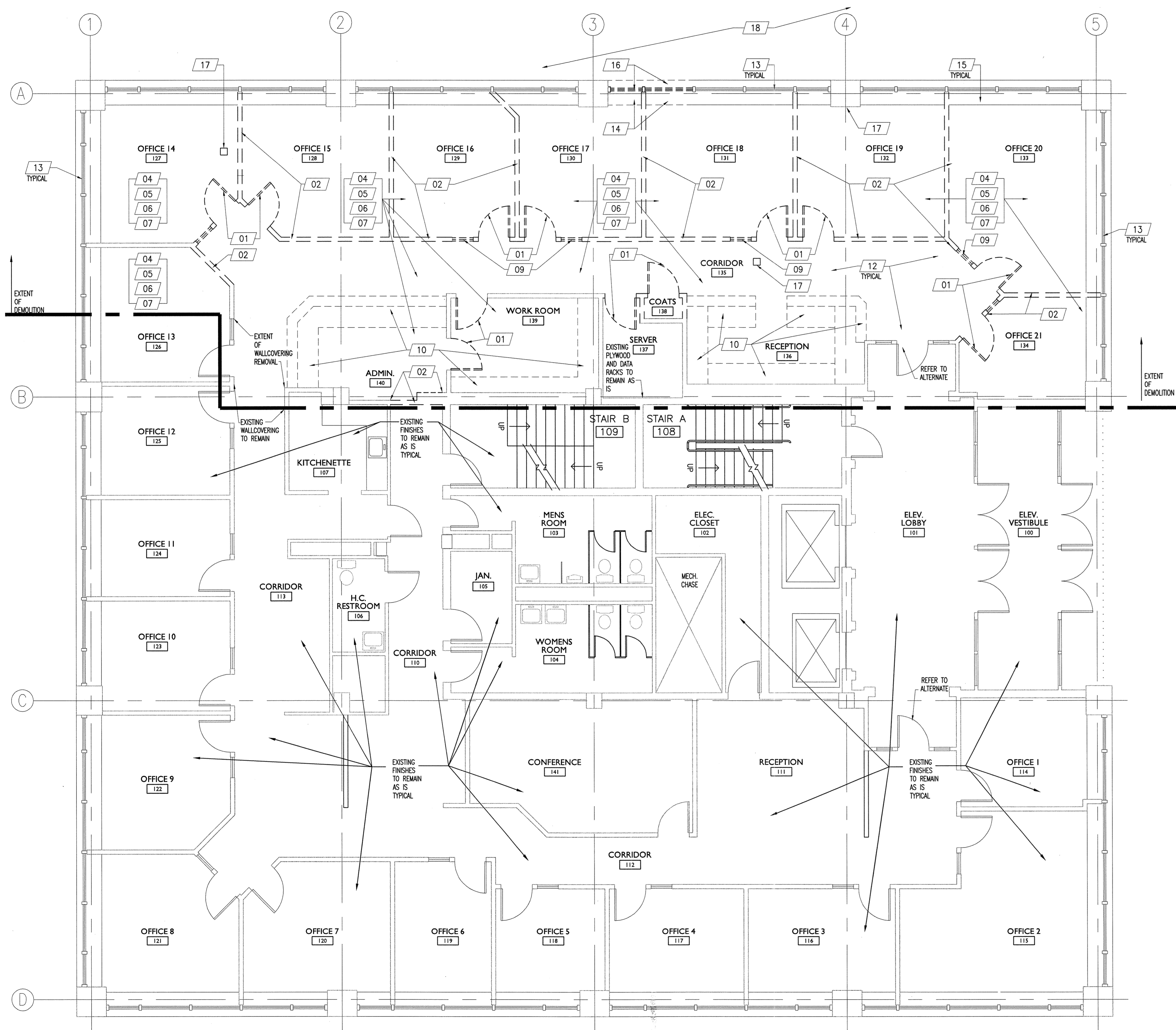
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M15 DEMOLITION SECTION

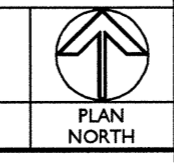
3/4"=1'-0"

- 01** REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION.
 - 02** REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION.
 - 03** REMOVE ALL GWB CEILINGS AS REQUIRED FOR NEW CONSTRUCTION - PATCH AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FINISHES.
 - 04** REMOVE ALL CEILING GRIDS, TILE AND ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION.
 - 05** REMOVE ALL WALL FINISHES AND ASSOCIATED ADHESIVES AS REQUIRED FOR A SMOOTH AND LEVEL APPLICATION OF NEW FINISHES.
 - 06** REMOVE ALL FLOOR COVERING AND ASSOCIATED ADHESIVES, SOIL AND DEBRIS AND PREPARE EXISTING SUBFLOOR AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FLOORING.
 - 07** REMOVE WALL BASE AND ASSOCIATED ADHESIVES. PREPARE EXISTING WALL AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW BASE - SALVAGE ALL EXISTING WOOD BASE FOR RE-USE.
 - 08** REMOVE CEILING GRILLES AND RETURNS - SALVAGE FOR RE-USE.
 - 09** REMOVE ALL INTERIOR WINDOW GLAZING, SIDELITES AND FRAMES, SALVAGE FOR OWNER.
 - 10** REMOVE ALL MILLWORK (INCLUDING WALL & BASE CABINETS) AND ALL ASSOCIATED COMPONENTS.
 - 11** REMOVE AND SALVAGE EXISTING LIGHT FIXTURES FOR BUILDING OWNER.
 - 12** REMOVE EXISTING LIFE SAFETY DEVICES - SALVAGE FOR RE-USE.
 - 13** ALL EXISTING WINDOW TREATMENTS TO REMAIN - PROTECT DURING CONSTRUCTION (REFER TO ALTERNATE).
 - 14** REMOVE EXISTING PERIMETER HEAT REGISTERS - REWORK PIPING AS NECESSARY FOR NEW DOOR OPENING. (REFER TO MECHANICAL DRAWINGS)
 - 15** REPAIR ANY DAMAGED SILLS IN THEIR ENTIRETY TO MATCH EXISTING.
 - 16** REMOVE EXISTING EXTERIOR GLAZING AND PORTION OF FRAME TO ALLOW FOR A NEW EXTERIOR DOOR SYSTEM. REMOVE PARTIAL EXISTING CONCRETE SILL AND BRICK AND REWORK SILL AND EXTERIOR WALL AS NECESSARY DUE TO NEW ENTRANCE.
 - 17** GENERAL CONTRACTOR TO COORDINATE CORE DRILL IN EXISTING FLOOR. CORE DRILL TO PROVIDE POWER AND DATA TO FURNITURE/BUILT-IN MILLWORK.
 - 18** REFER TO SITE DRAWINGS FOR EXTENT OF SITE DEMOLITION.
- 1. COORDINATION:** PRIOR TO ANY DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.
- 2. DAMAGE:** EXISTING BUILDING OR BUILDING SYSTEM AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.
- 3. EQUIPMENT AND FIXTURES -** NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.
- 4. PATCHING:** AFTER ALL REMOVALS OF WALLS, DOORS, WINDOWS, CEILINGS AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PIECED UNDERLAYMENT TO FLOORS AT WALL REMOVAL; INSTALL NEW WALLBOARD BY PIECING IN AND FINISHING FLUSH AND FRAMING OR FURRING AS NECESSARY; PIECE IN NEW CEILING SUSPENSION SYSTEM.
- 5. CONCEALED SPACES:** BUILDING DEFICIENCIES IN CONCEALED SPACES ARE NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND HEAT LOSS OR GAIN.
- 6. PIPE REMOVALS:** AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS; FILL MOUNTING HOLES AND REPAIR WALL SURFACES.
- INSTRUCTIONS FOR RENOVATIONS:**
- 1. LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE DRAWINGS - SEE INTERIOR FINISH SCHEDULE AND NOTES - AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.
 - 2. COVER PLATES: PROVIDE COVER PLATES OVER ABANDONED ELECTRICAL DEVICES.
 - 3. FIRE EXTINGUISHERS: CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND INSTALL THEM AFTER THEIR WORK. NEW EXTINGUISHERS AND CABINETS SHALL BE INSTALLED BY THE CONTRACTOR WHERE INDICATED.
 - 4. SIGNAGE: EXISTING PLAQUES AND OTHER INTERIOR SIGNS SHALL BE REMOVED.
- INSTRUCTIONS FOR REMOVALS:**
- 1. CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
 - 2. PLANS: SEE DEMOLITION PLANS FOR DEMOLITION WORK. SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR DEMOLITION WORK.
 - 3. VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.
 - 4. REUSE/SALVAGE: CONTRACTOR SHALL SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS TO PATCH AND REPAIR INCLUDING: CEILING TILES, WOOD DOORS, ALL LIFE SAFETY DEVICES, EXIT SIGNS AND ALL DOOR HARDWARE.
 - 5. SALVAGE FOR OWNER: PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.
 - 6. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION: REFER TO THOSE SPECIFIC DRAWINGS FOR INFORMATION.
 - 7. GENERAL CONTRACTOR TO PROVIDE A SECURE - DUST FREE ENVIRONMENT DURING CONSTRUCTION WHILE TENANT OCCUPIES BALANCE OF FIRST FLOOR SPACE.

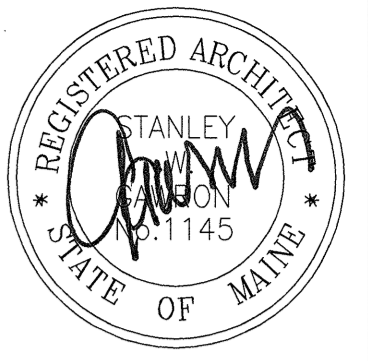


A1 DEMOLITION FIRST FLOOR PLAN

1/8"=1'-0"



A15 DEMOLITION LEGEND - NOTES



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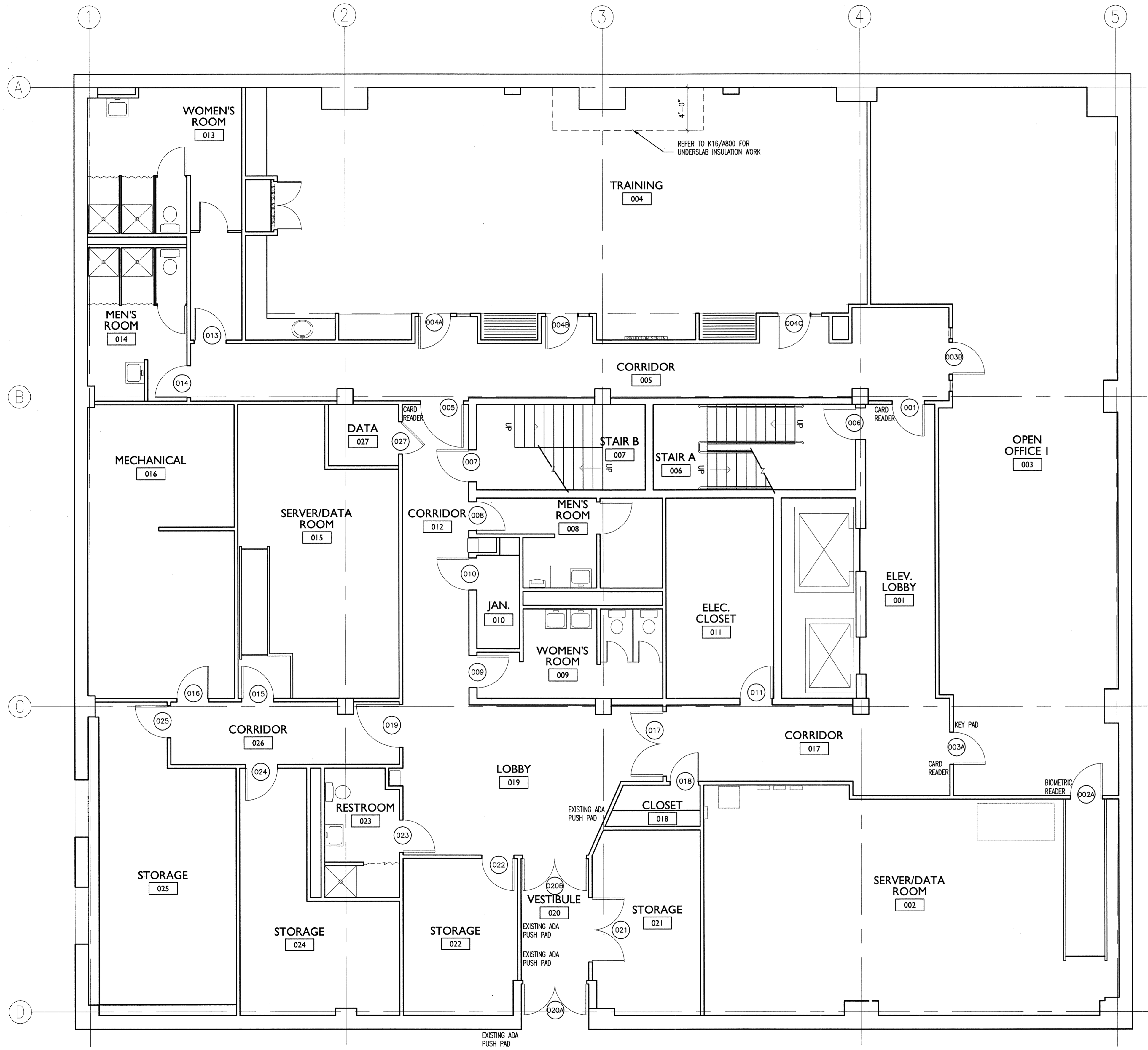
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SHEET TITLE
LOWER LEVEL PLAN

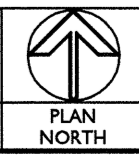
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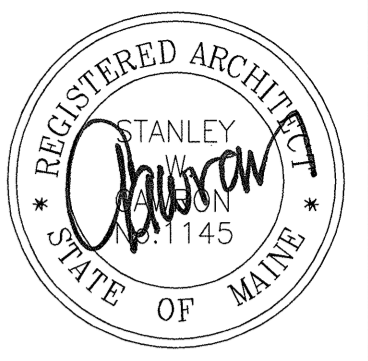
A1 LOWER LEVEL PLAN - FOR REFERENCE ONLY

3/16"=1'-0"



PLAN NORTH

2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



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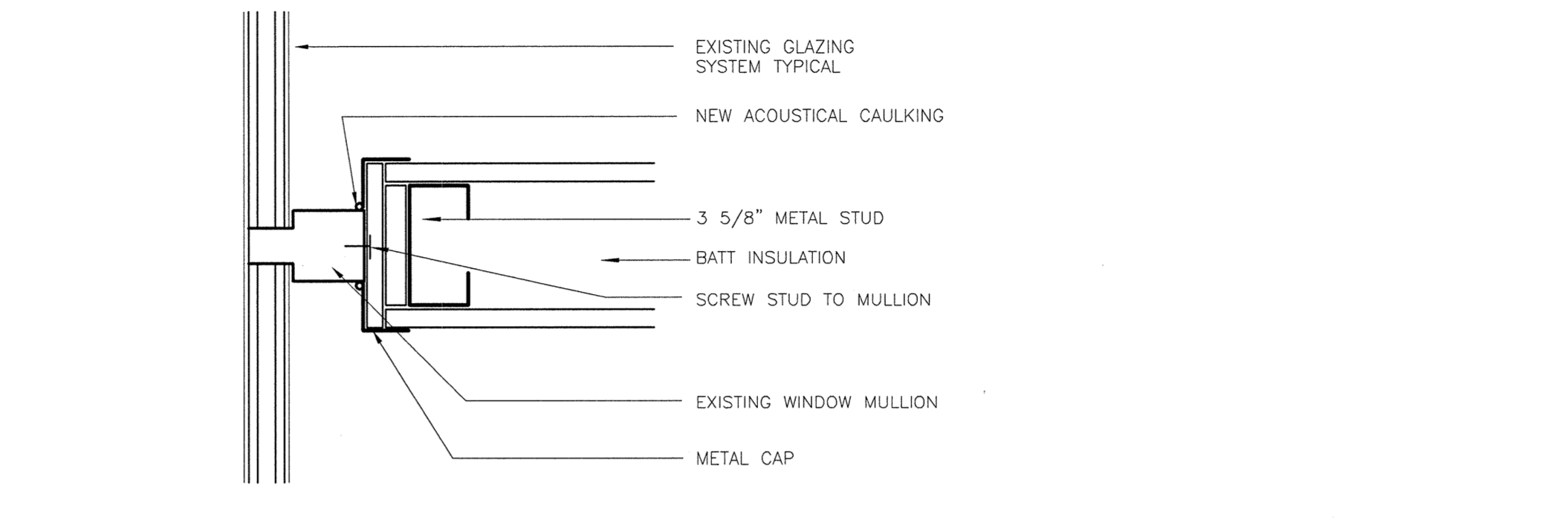
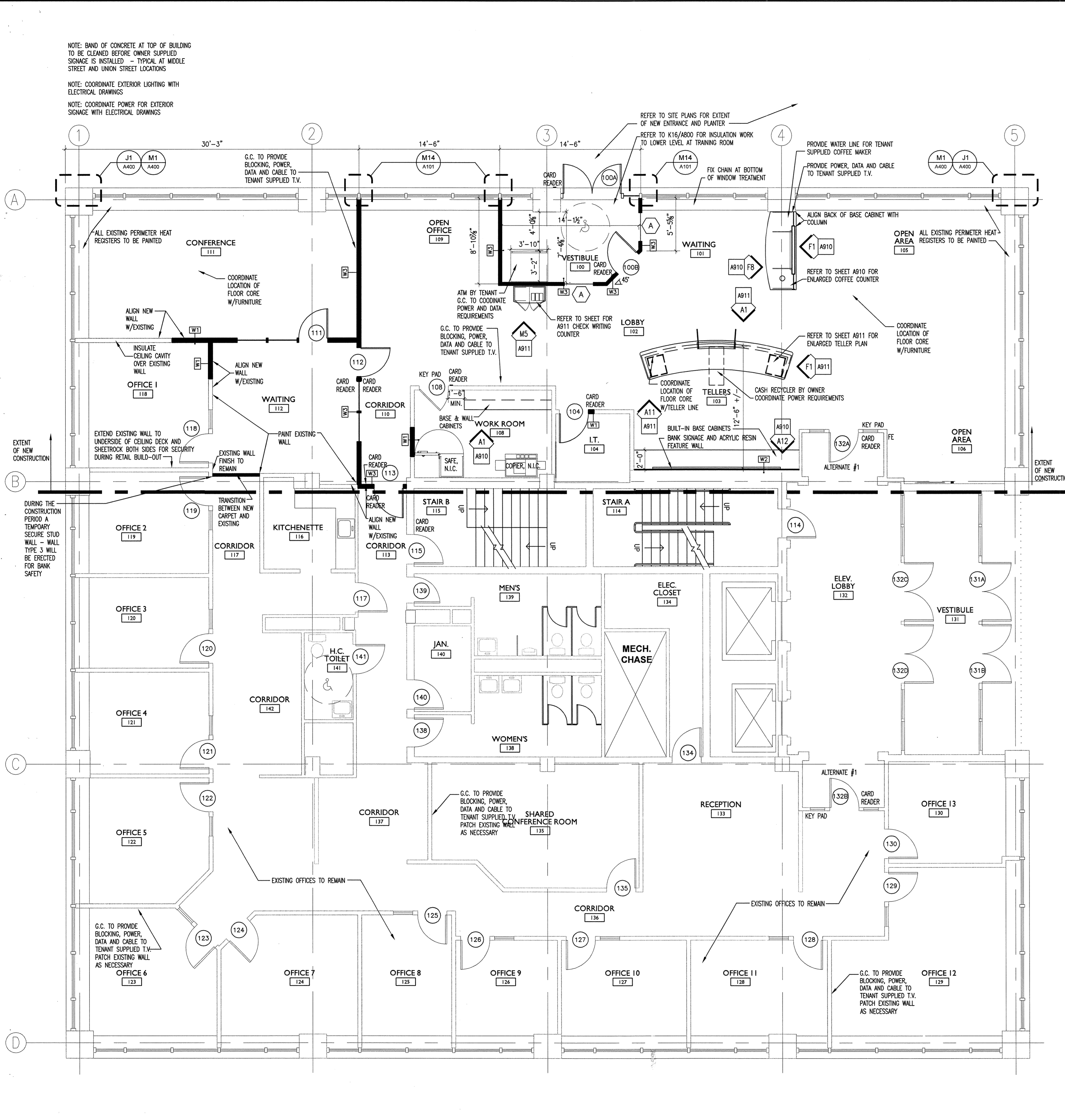
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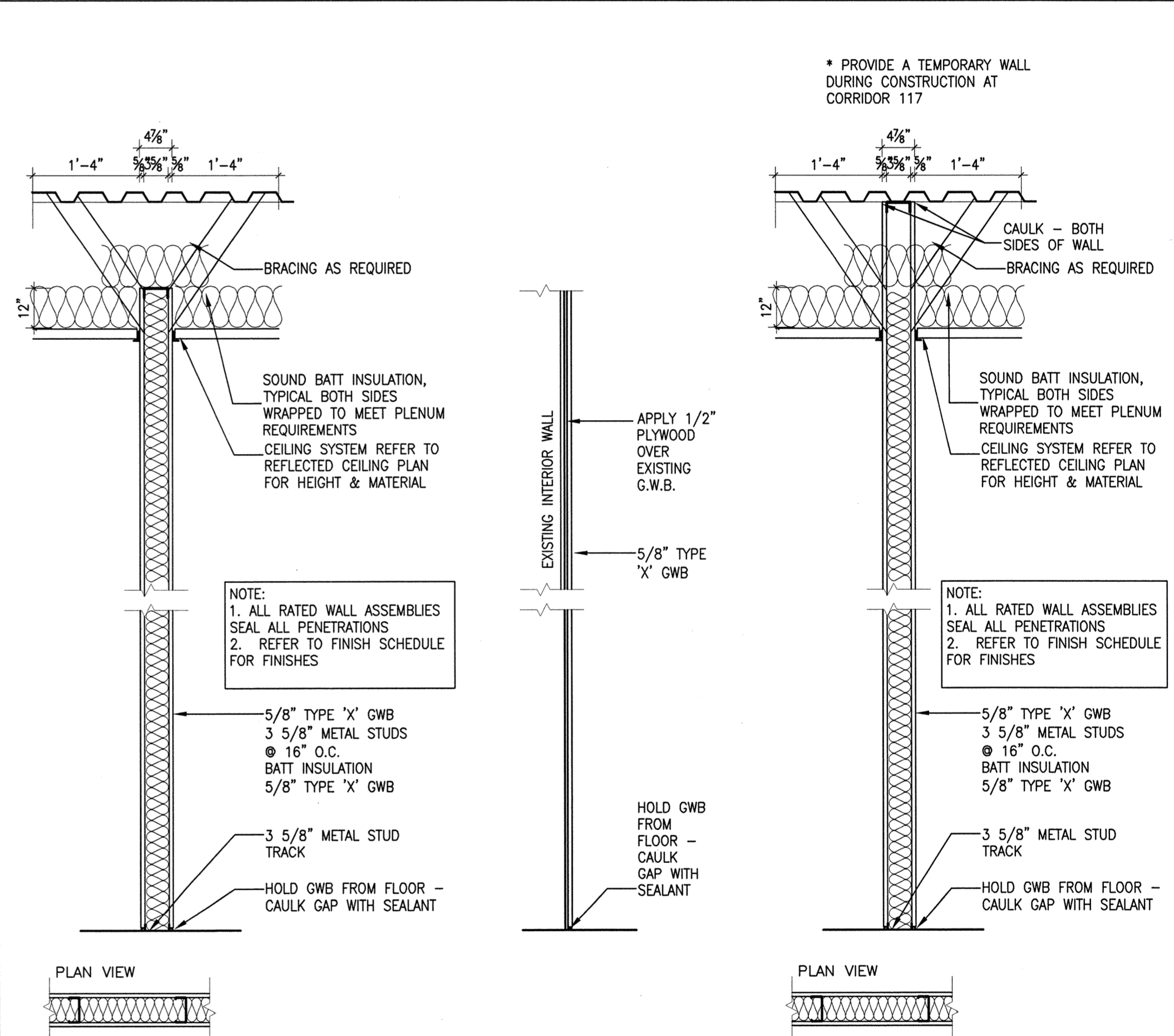
SHEET TITLE
 FIRST FLOOR PLAN
 WALL PARTITIONS
 NOTES

A101

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M14 WALL/MULLION DETAIL
 3/4"=1'-0"



W1 WALL DETAIL (NON RATED) SCALE 3/4"=1'-0"
W2 WALL DETAIL (NON RATED) SCALE 3/4"=1'-0"
W3 WALL DETAIL (NON RATED) SCALE 3/4"=1'-0"

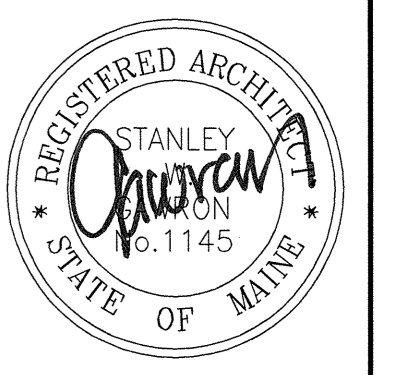
D14 PARTITION TYPES
 3/4"=1'-0"

- NOTES:**
- ALTERNATE #2 G.C. TO PROVIDE NEW WINDOW TREATMENTS AT PERIMETER WINDOWS OF RETAIL BRANCH AND CONFERENCE 111
 - G.C. TO COORDINATE CORE DRILLING WITH TENANT SPACE BELOW.
 - ALL EXTERIOR BLINDS ARE TO BE CLEANED

- LEGEND**
- SOLID WALLS REPRESENT NEW WALLS IN EXISTING FACILITY
 - EXISTING WALLS AND/OR AREAS TO REMAIN
 - FURNITURE - N.I.C.

A1 FIRST FLOOR PLAN
 3/16"=1'-0"

A14 NOTES



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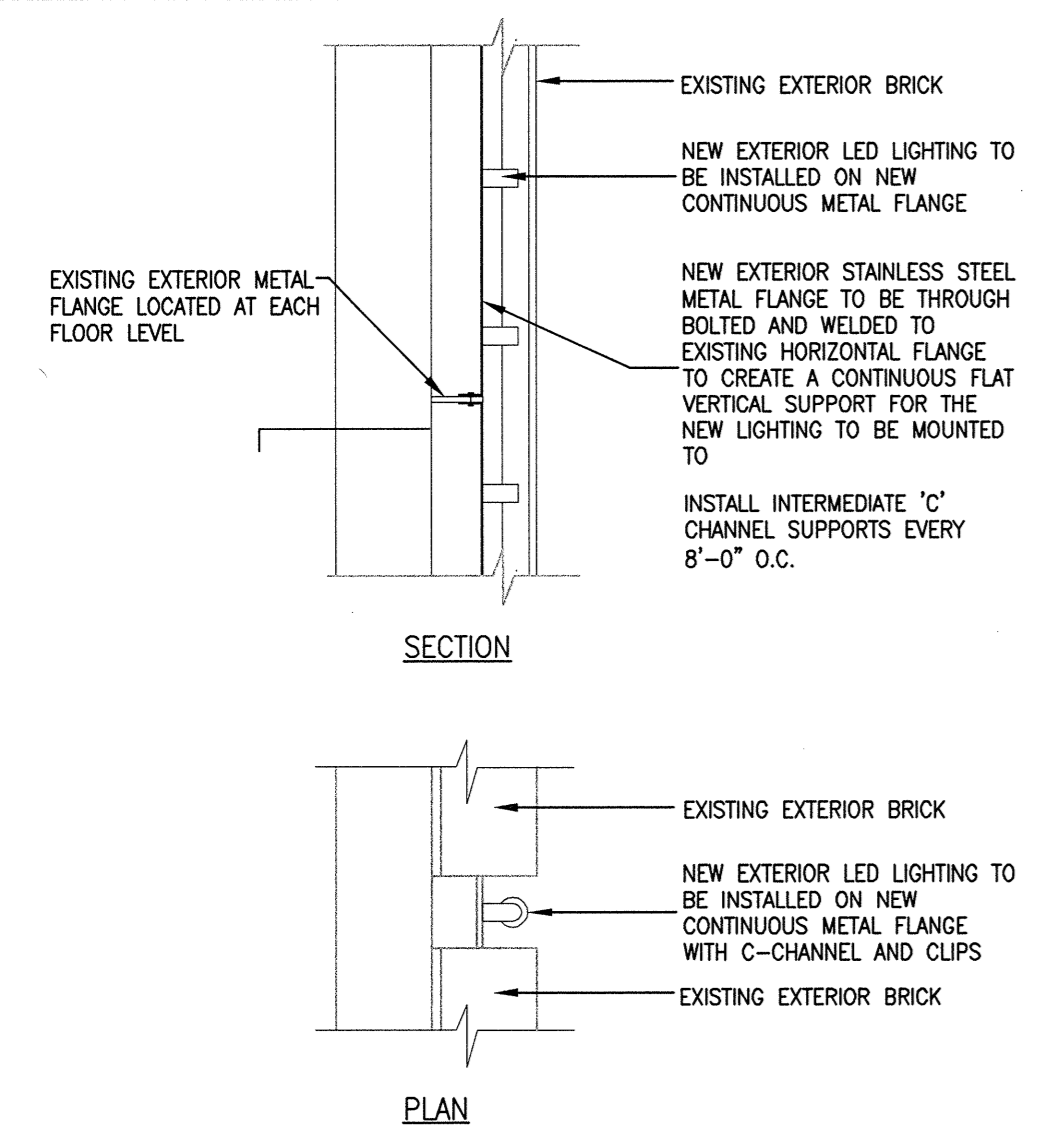
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SHEET TITLE
 EXTERIOR ELEVATIONS DETAILS

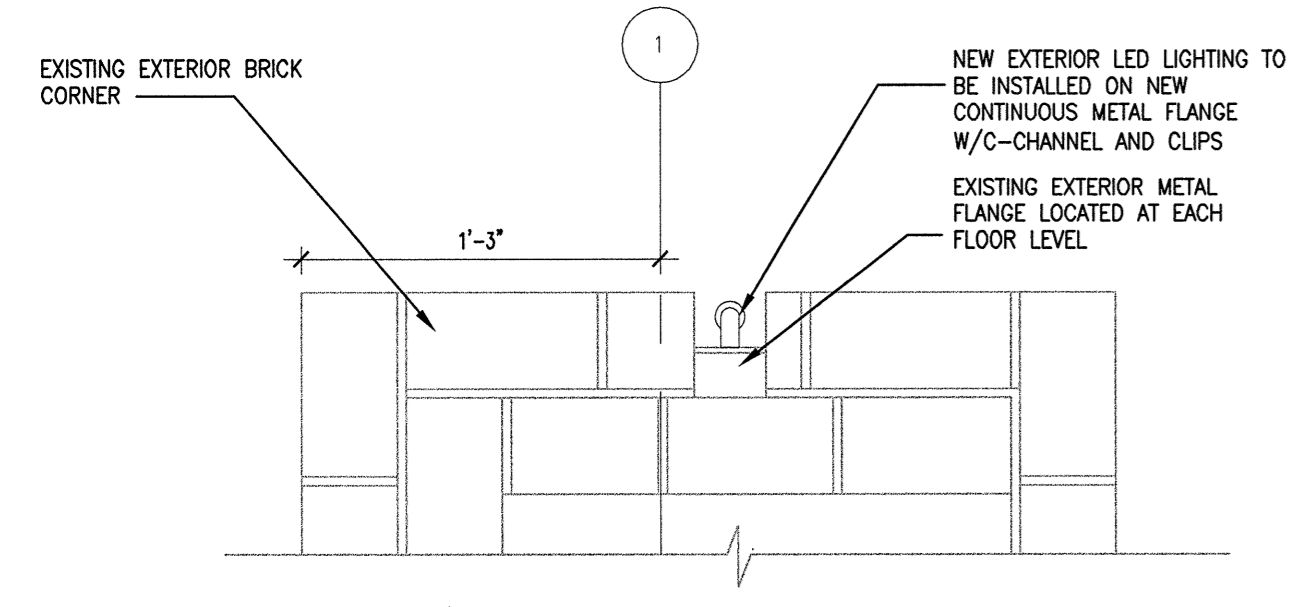
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M1 EXTERIOR LIGHTING DETAIL - SECTION DETAIL

1/12" = 1'-0"



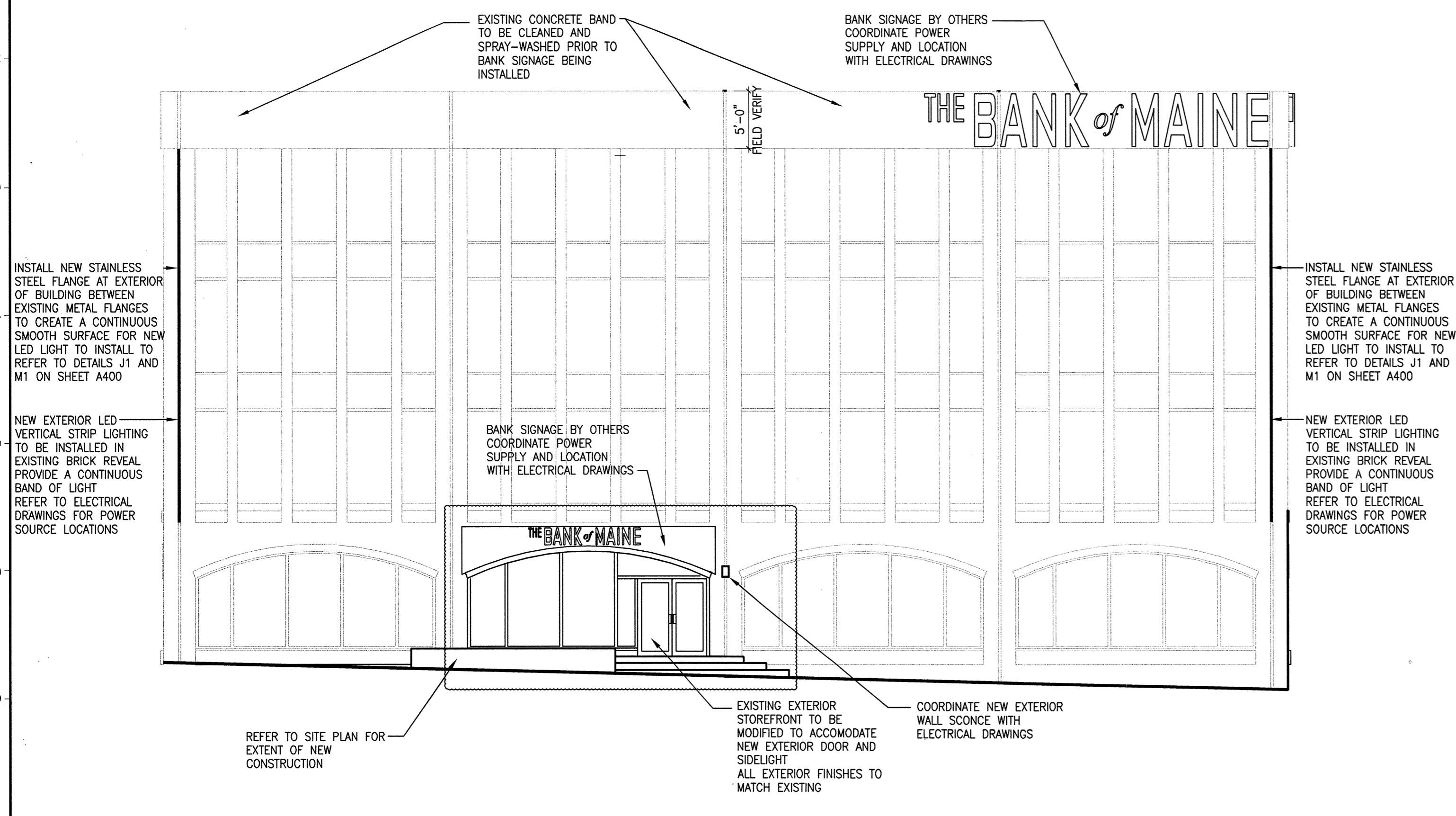
J1 EXTERIOR LIGHTING DETAIL - PLAN VIEW

1/12" = 1'-0"



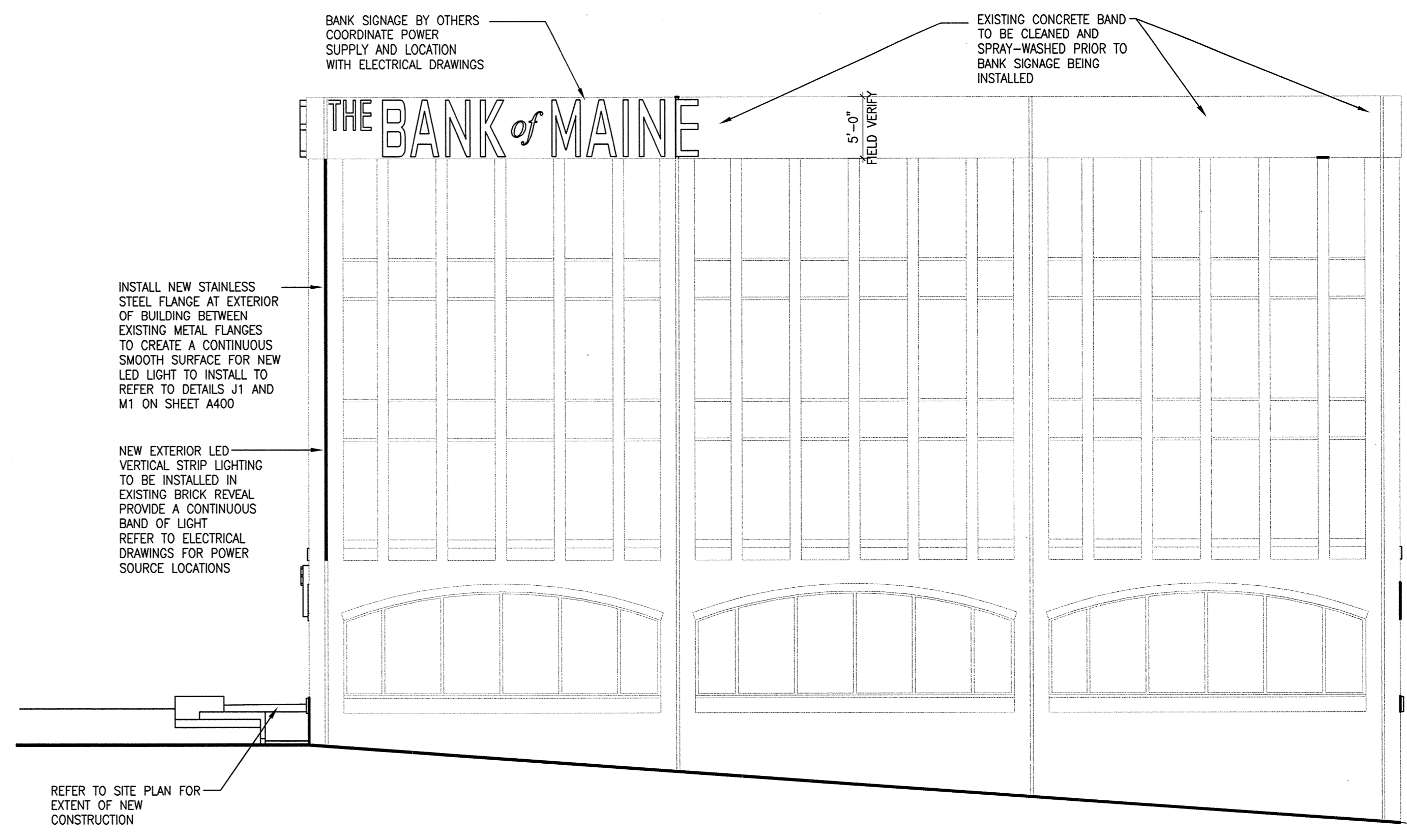
JII PLAZA ELEVATION -FOR REFERENCE ONLY

1/8" = 1'-0"



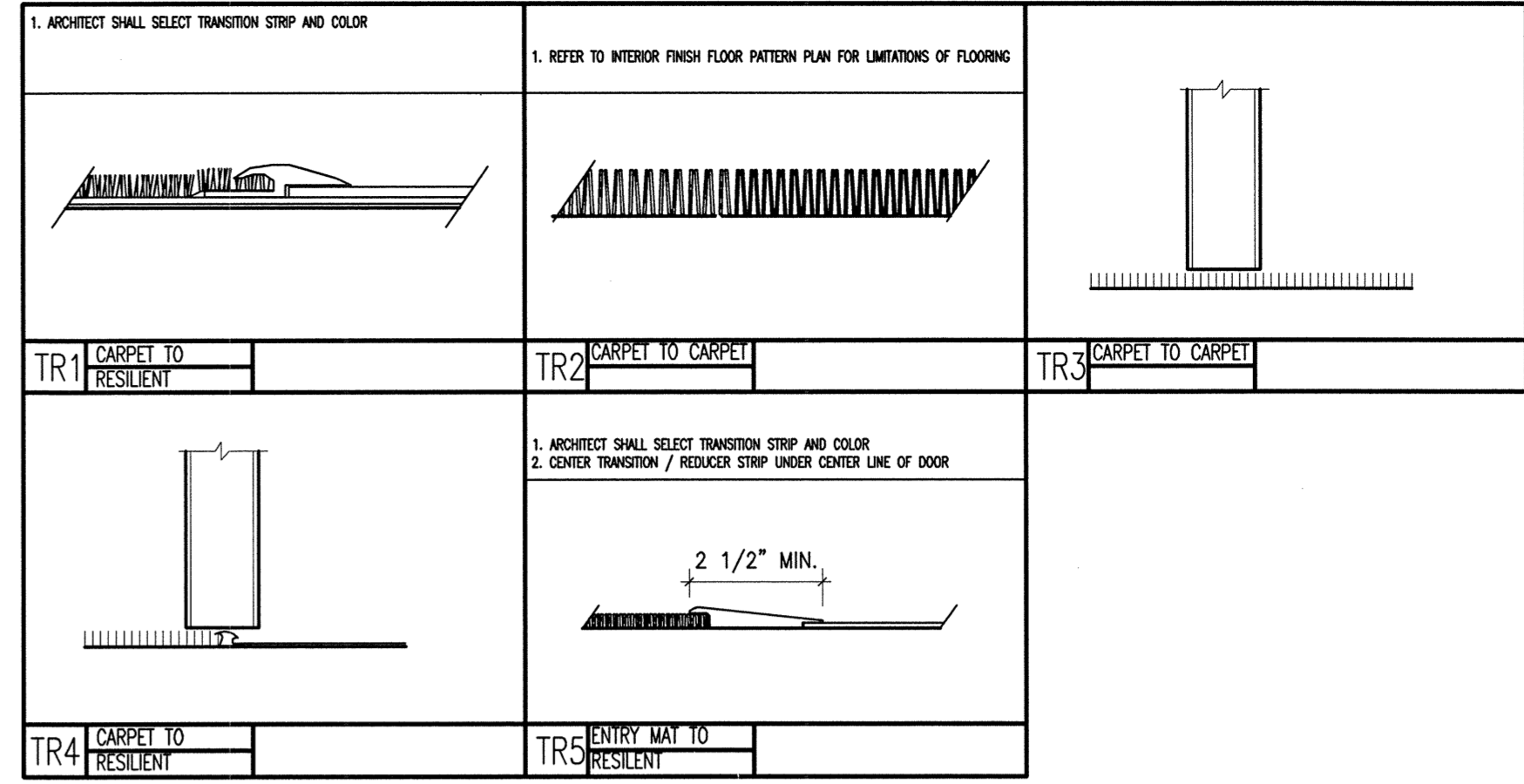
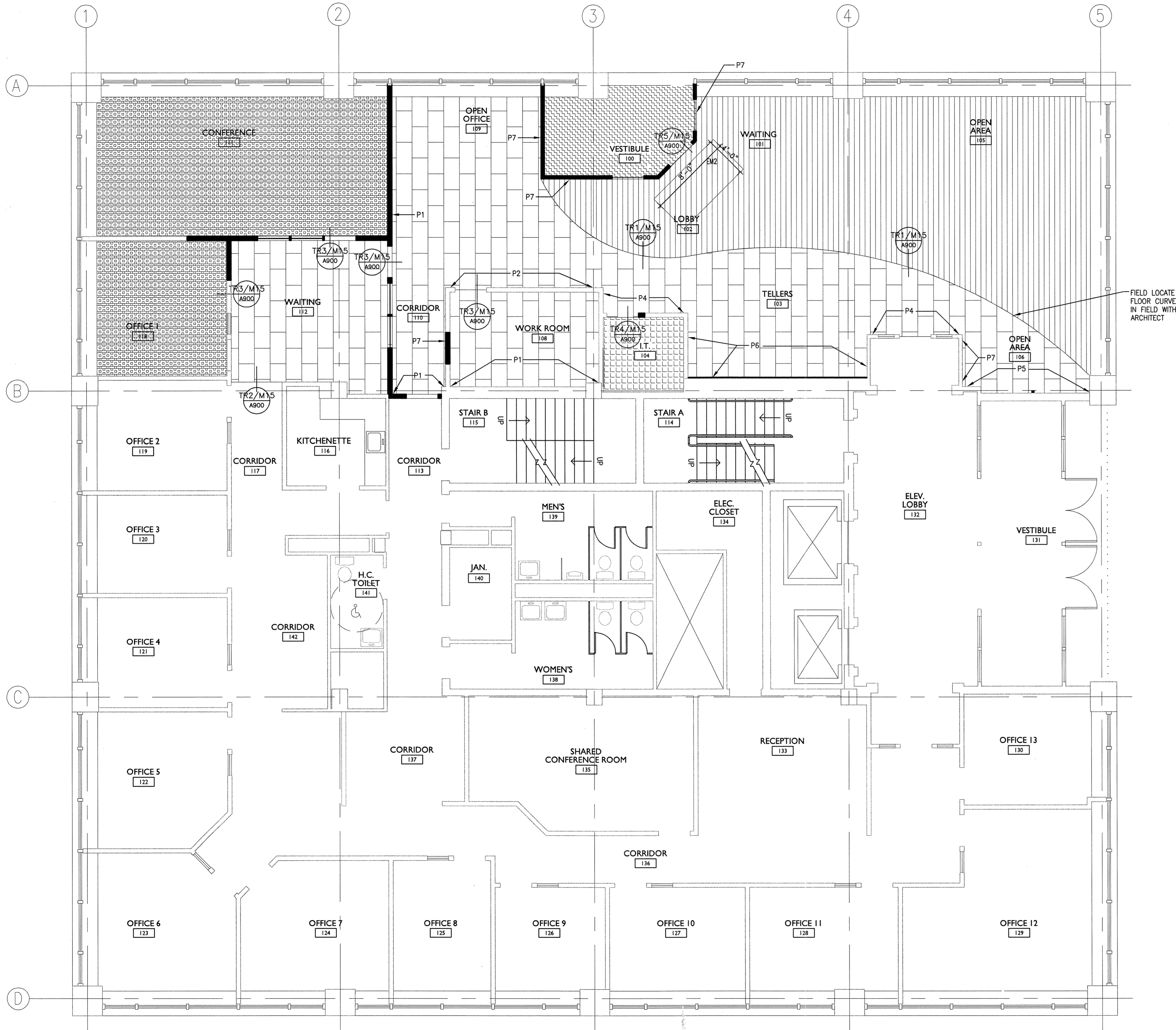
A1 MIDDLE STREET ELEVATION - FOR REFERENCE ONLY

1/8" = 1'-0"



AII UNION STREET ELEVATION - FOR REFERENCE ONLY

1/8" = 1'-0"



M15 TRANSITION DETAILS

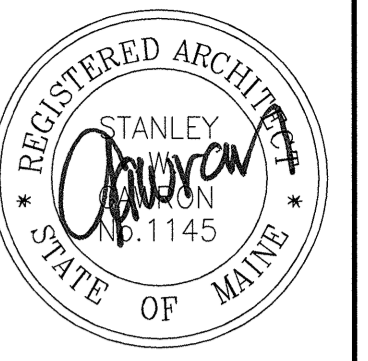
3/16"=1'-0"



AI FIRST FLOOR PLAN

3/16"=1'-0"

A15 LEGEND



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SHEET TITLE
 FIRST FLOOR PATTERN PLAN
 LEGEND
 TRANSITION DETAILS

A900

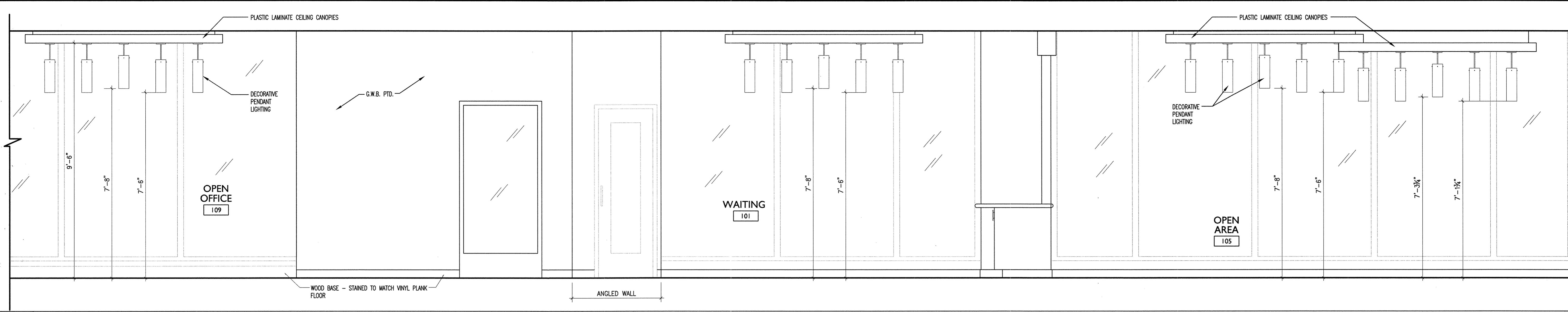
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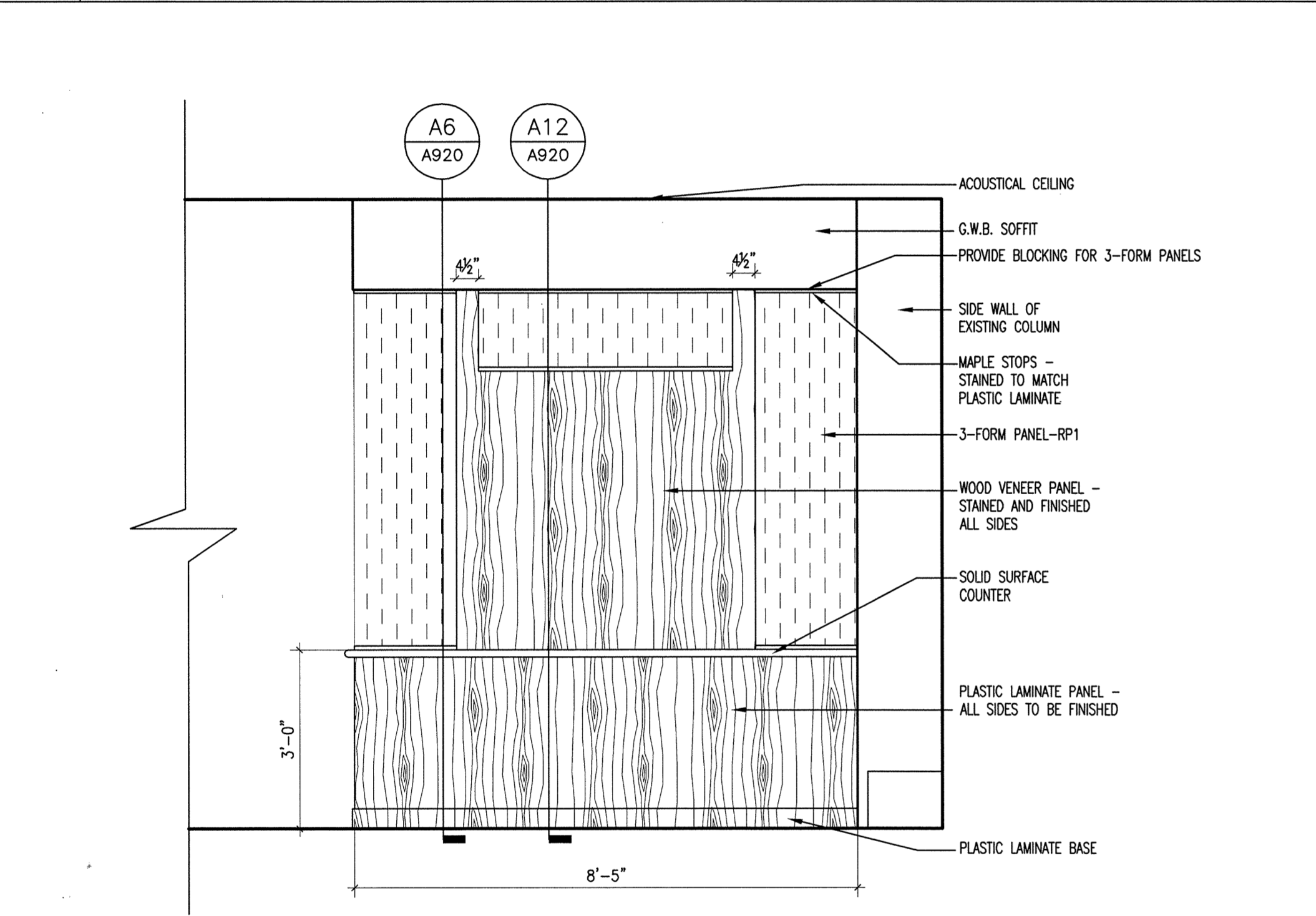
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SHEET TITLE
 INTERIOR ELEVATIONS

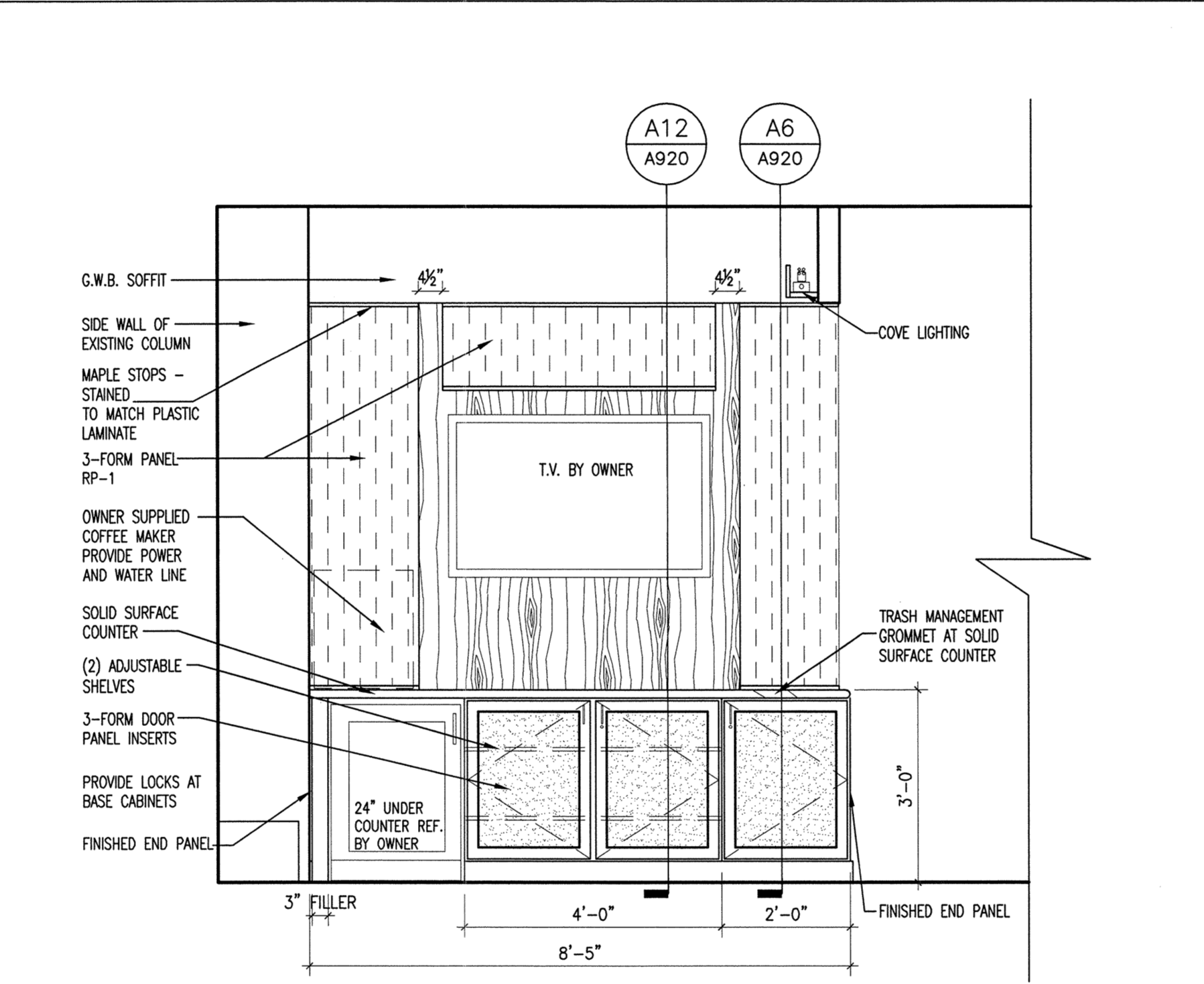
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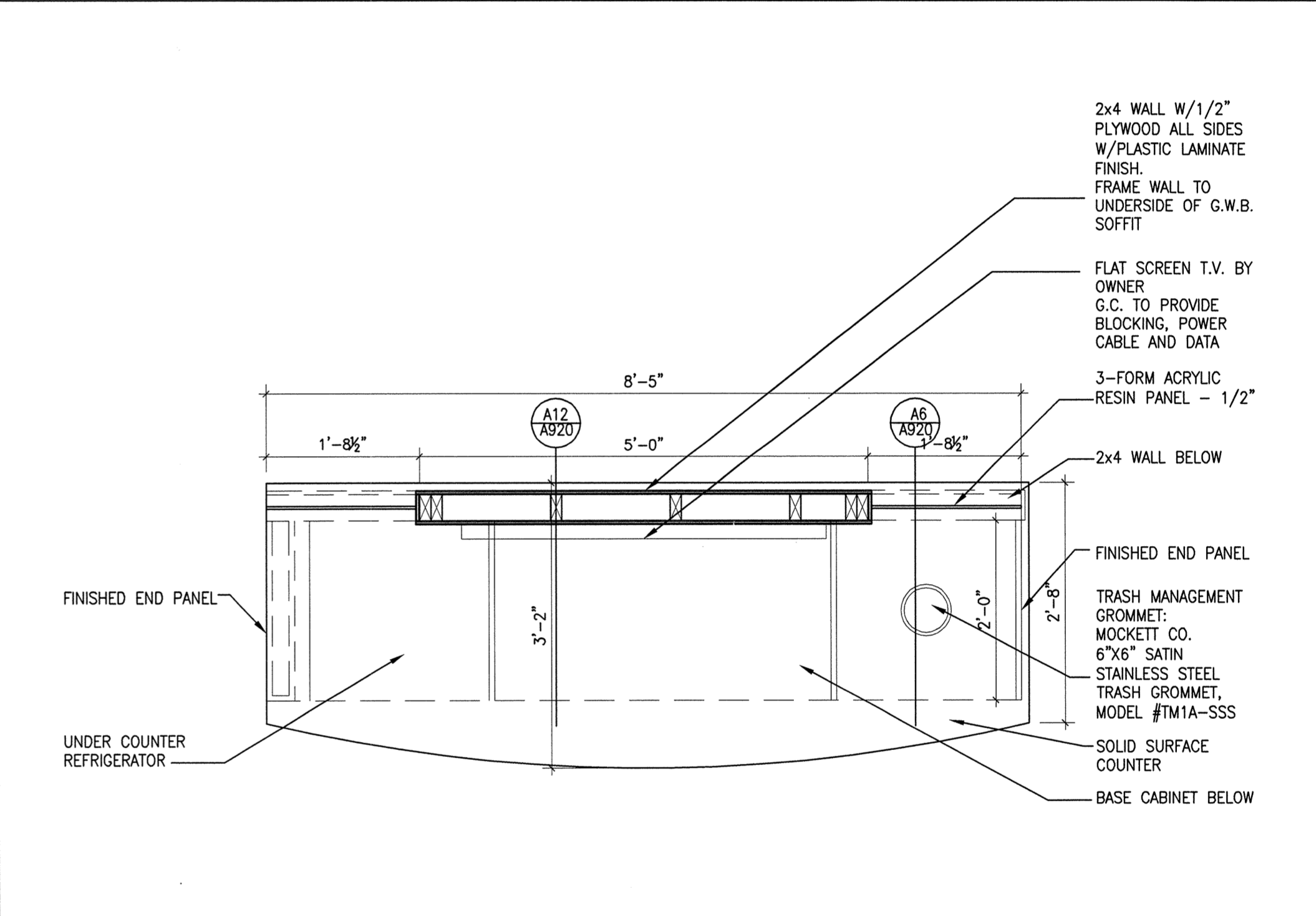
M1 LOBBY 102
 1/2" = 1'-0" LOBBY ELEVATION



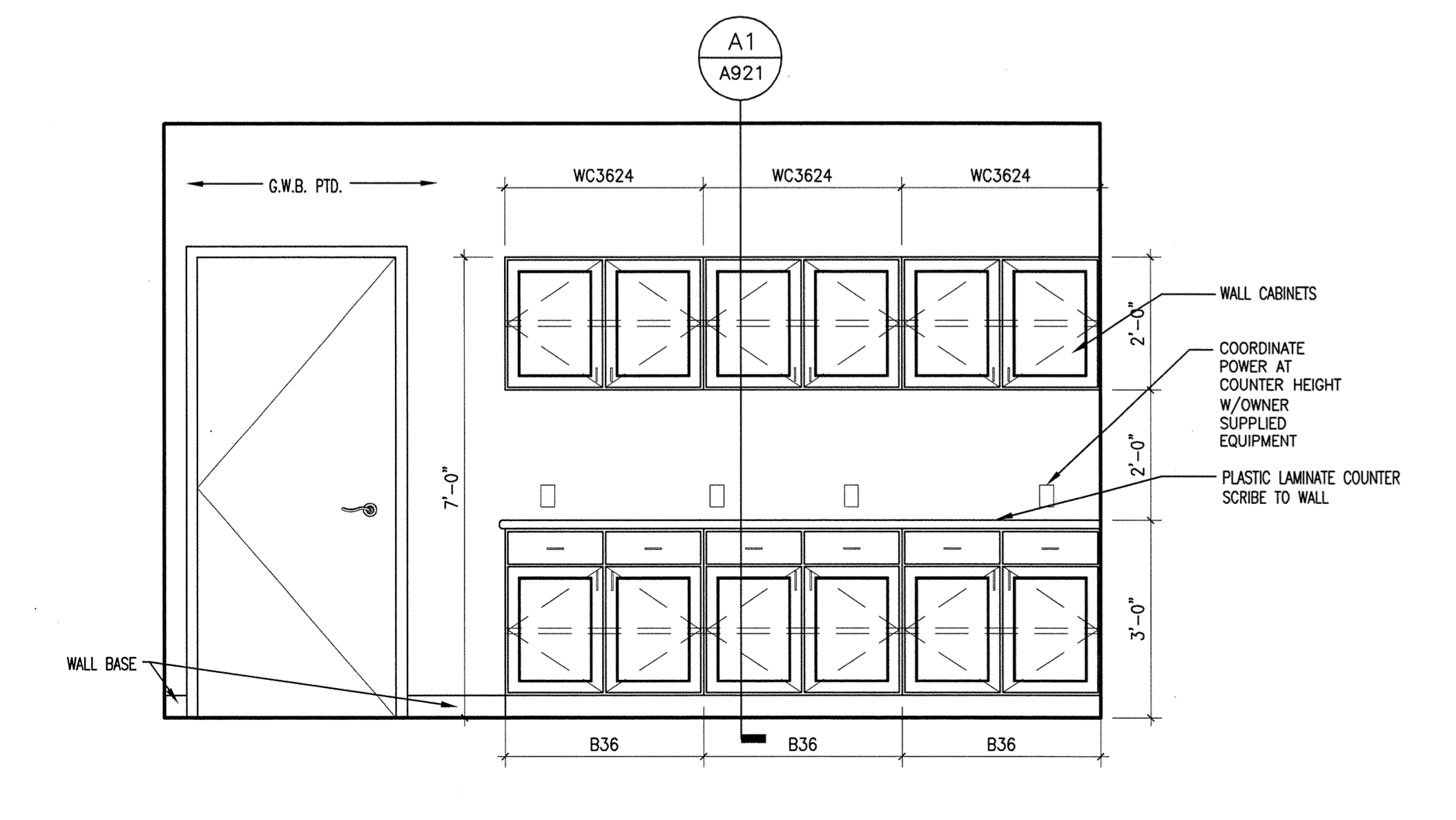
F1 OPEN AREA 105
 1/2" = 1'-0" COFFEE STATION



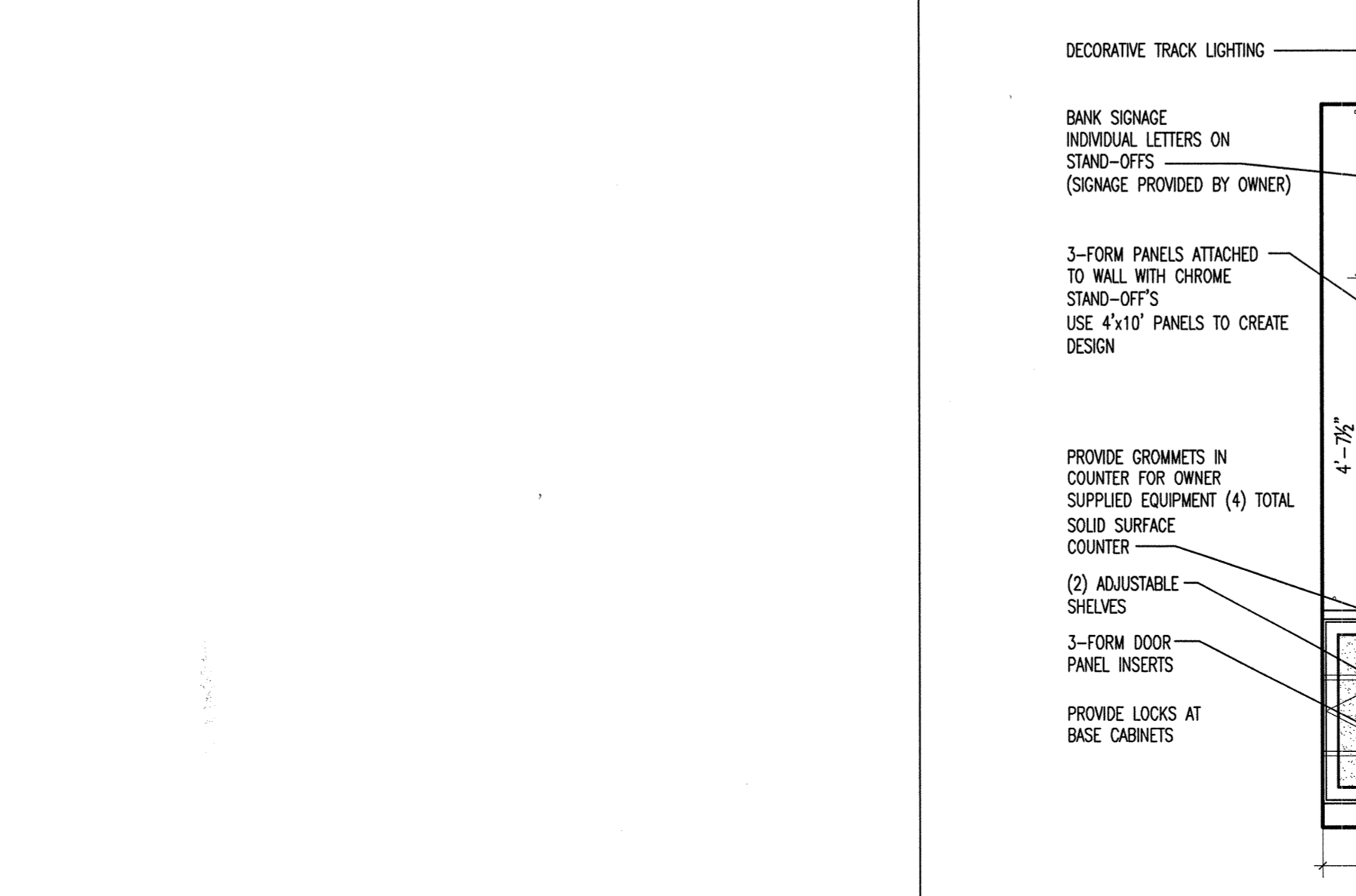
F8 WAITING 101
 1/2" = 1'-0" COFFEE STATION



F14 ENLARGED FLOOR PLAN
 3/4" = 1'-0" COFFEE COUNTER

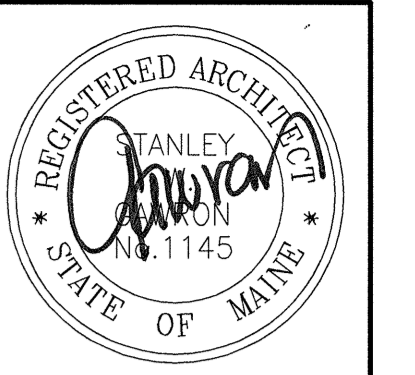


A1 WORK ROOM 108
 1/2" = 1'-0"



A12 TELLERS 103 - FEATURE WALL
 1/2" = 1'-0"

A8 NOT USED
 1/2" = 1'-0"



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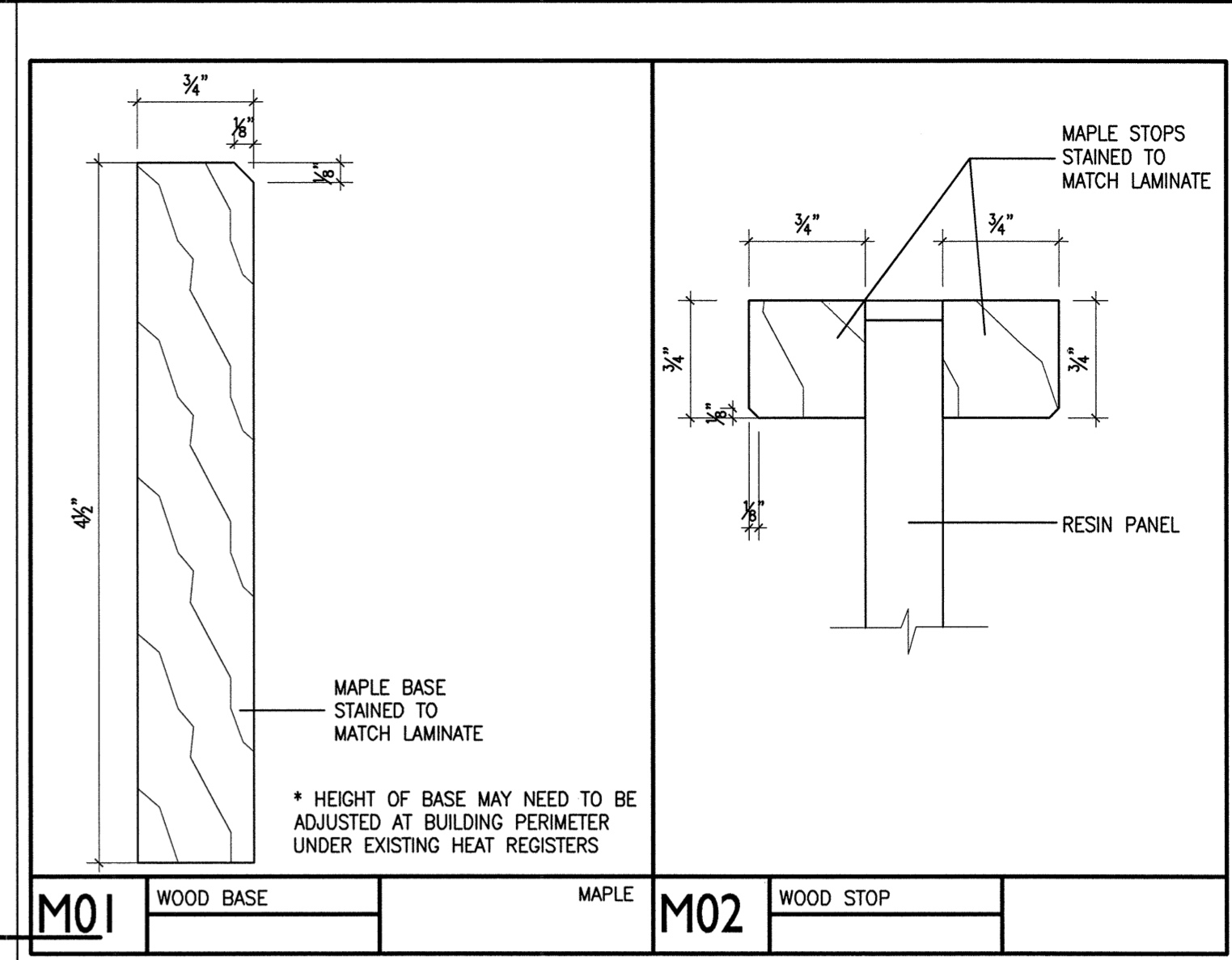
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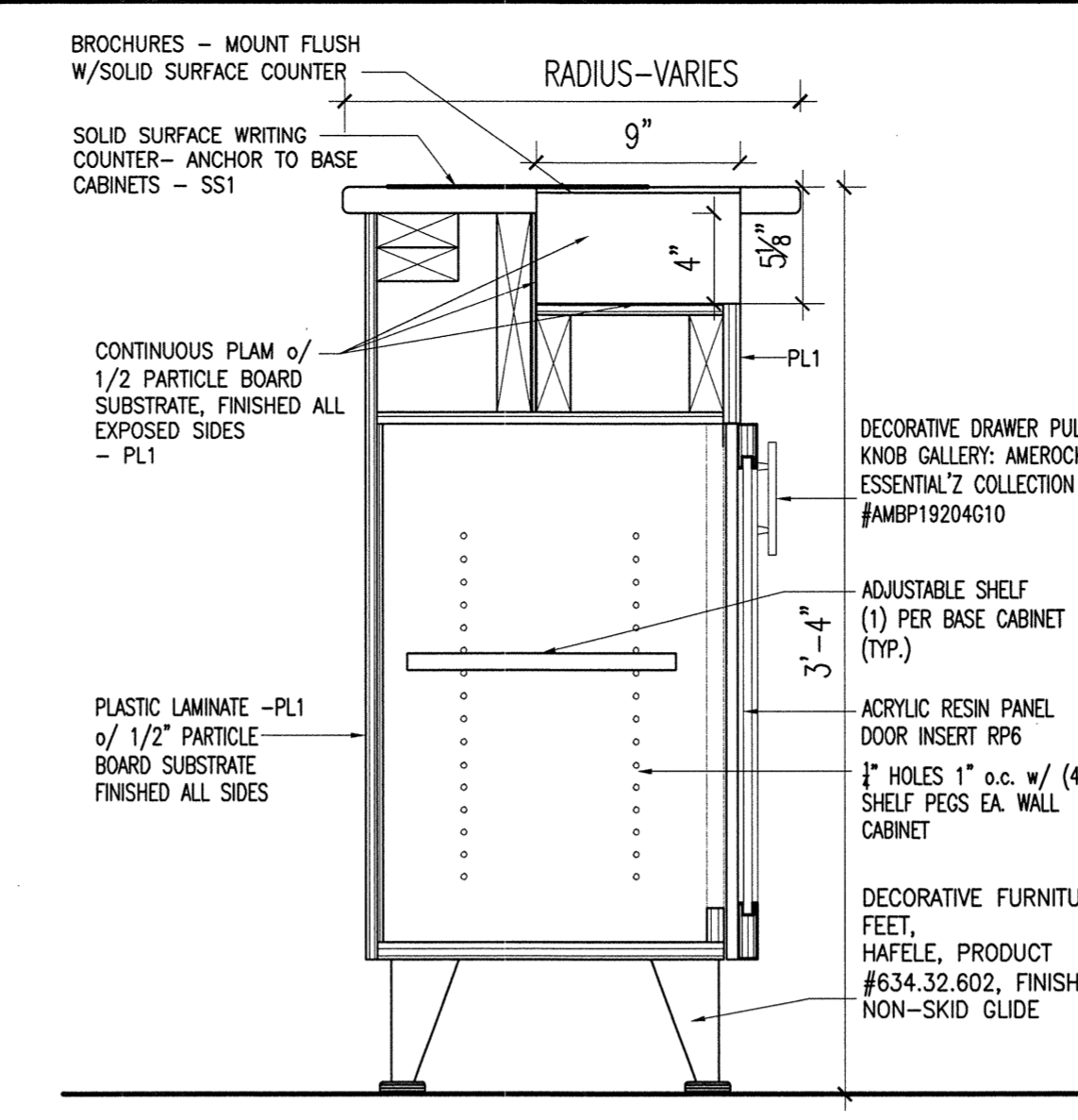
SHEET TITLE
 INTERIOR ELEVATIONS

A911

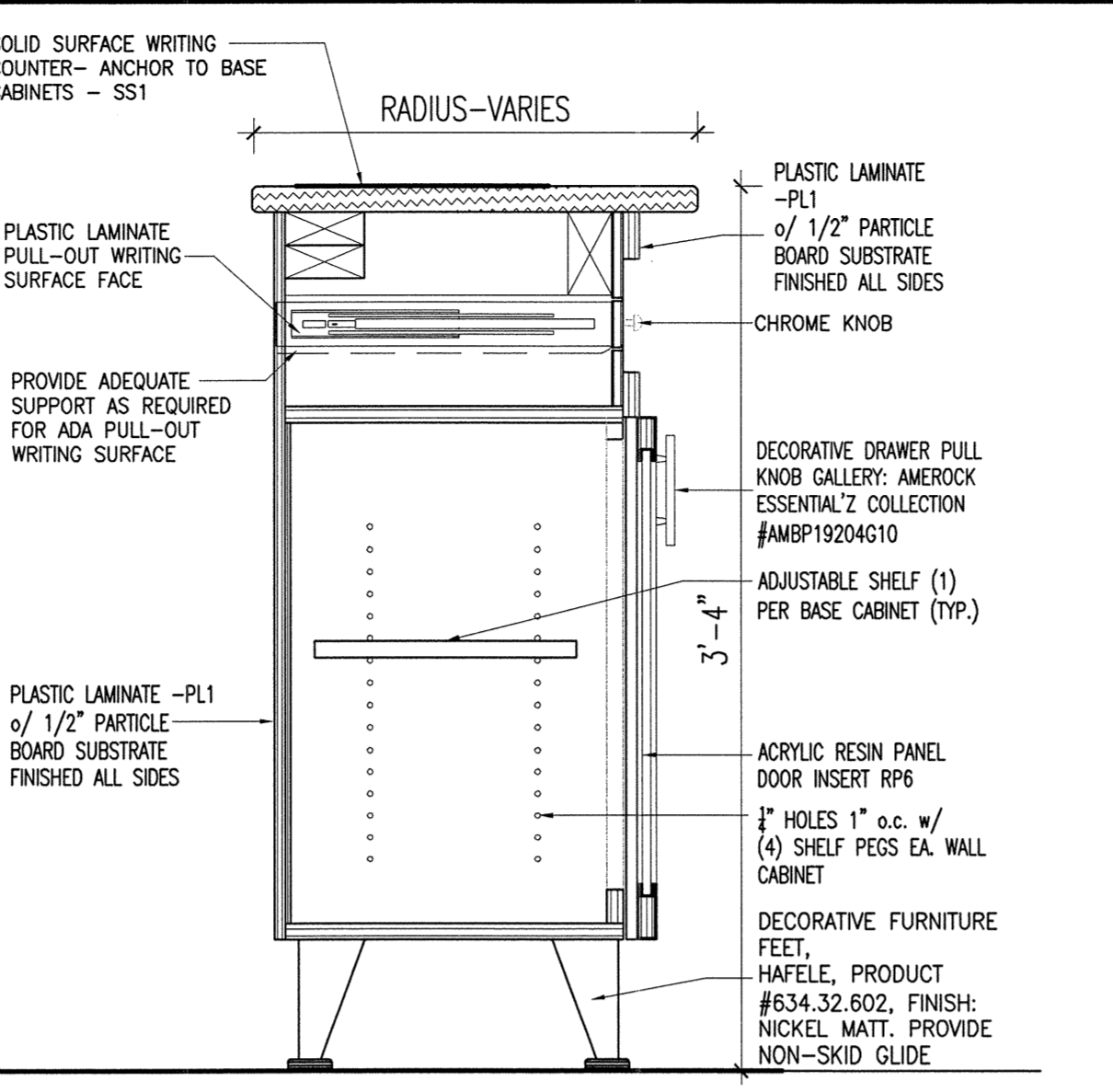
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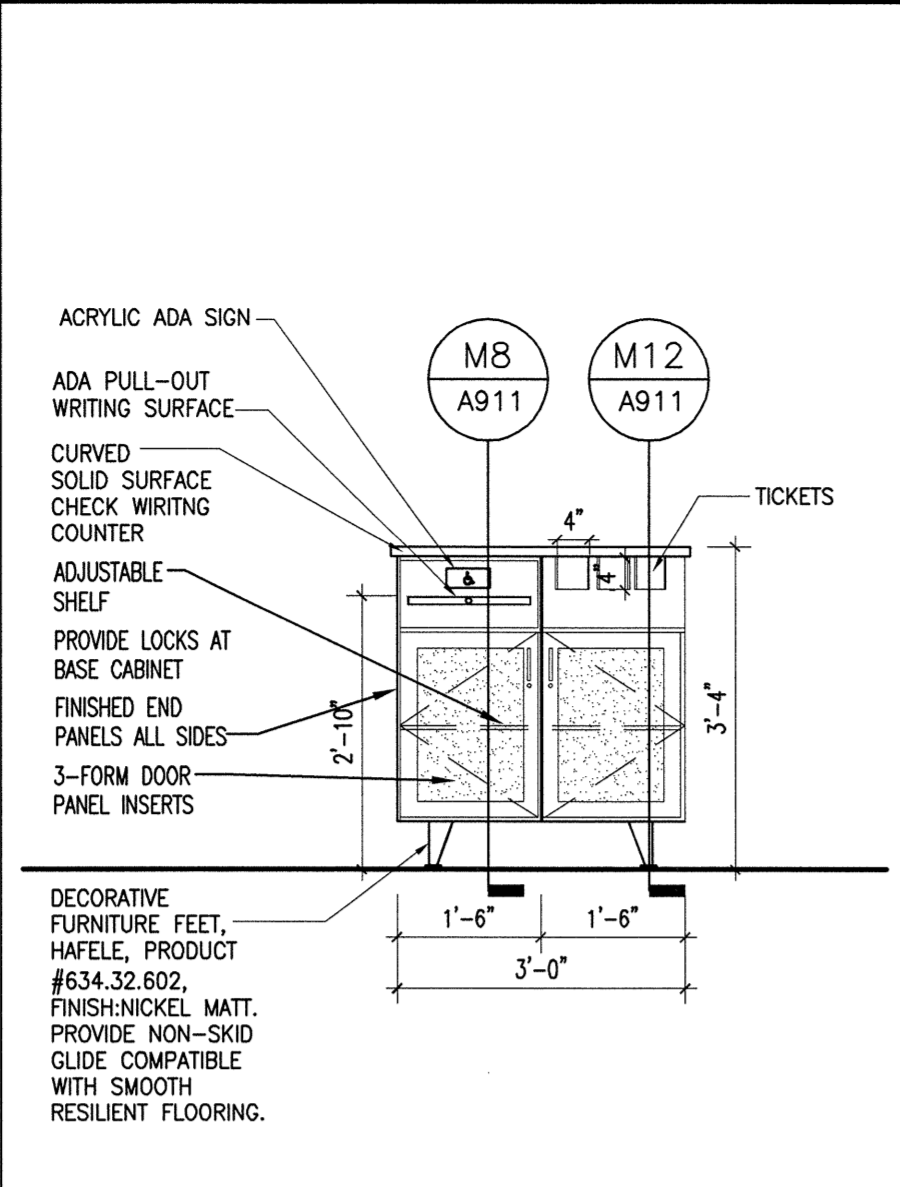
M16 MILLWORK PROFILE
 FULL SCALE



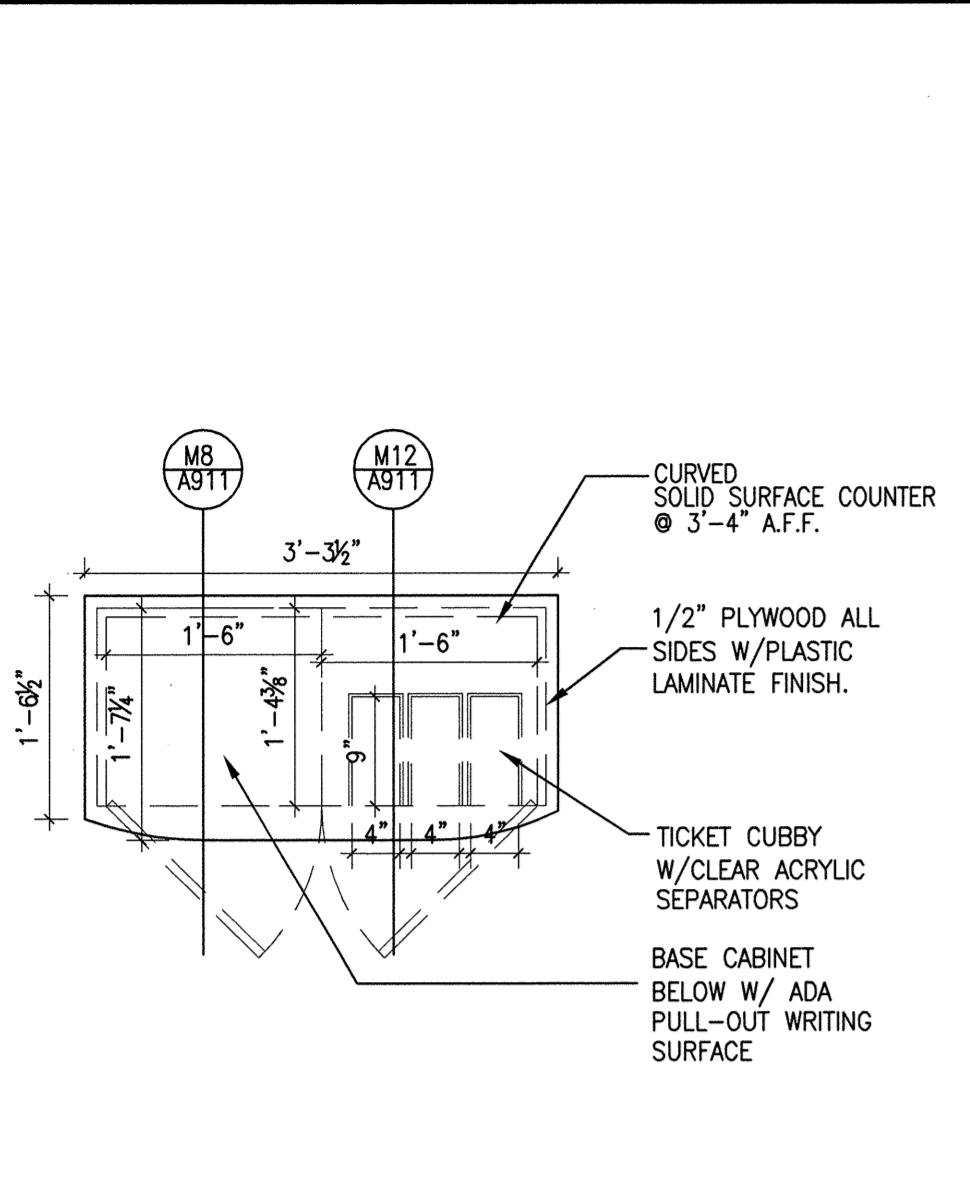
M12 SECTION - TICKETS
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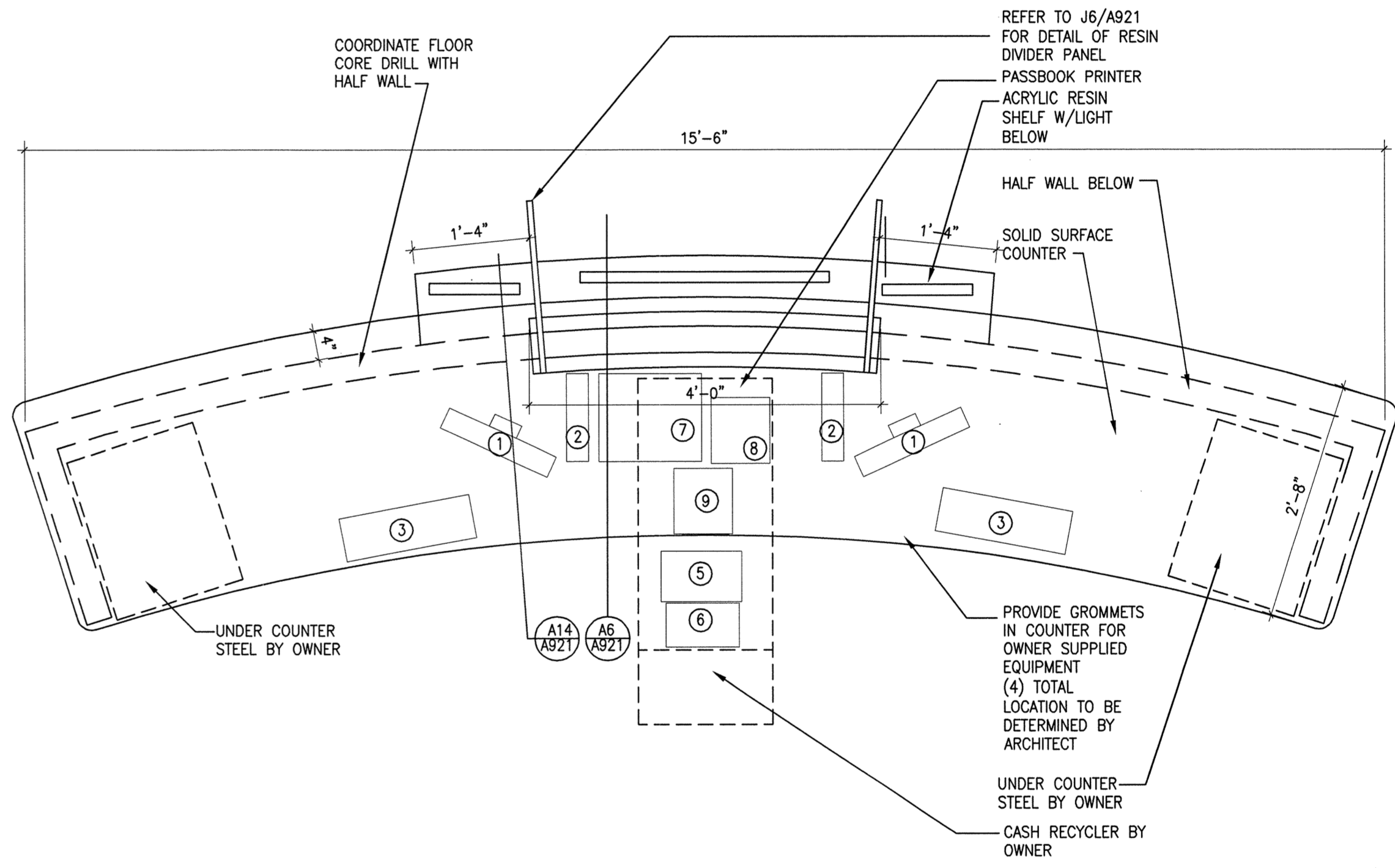
M8 SECTION - BASE CABINET
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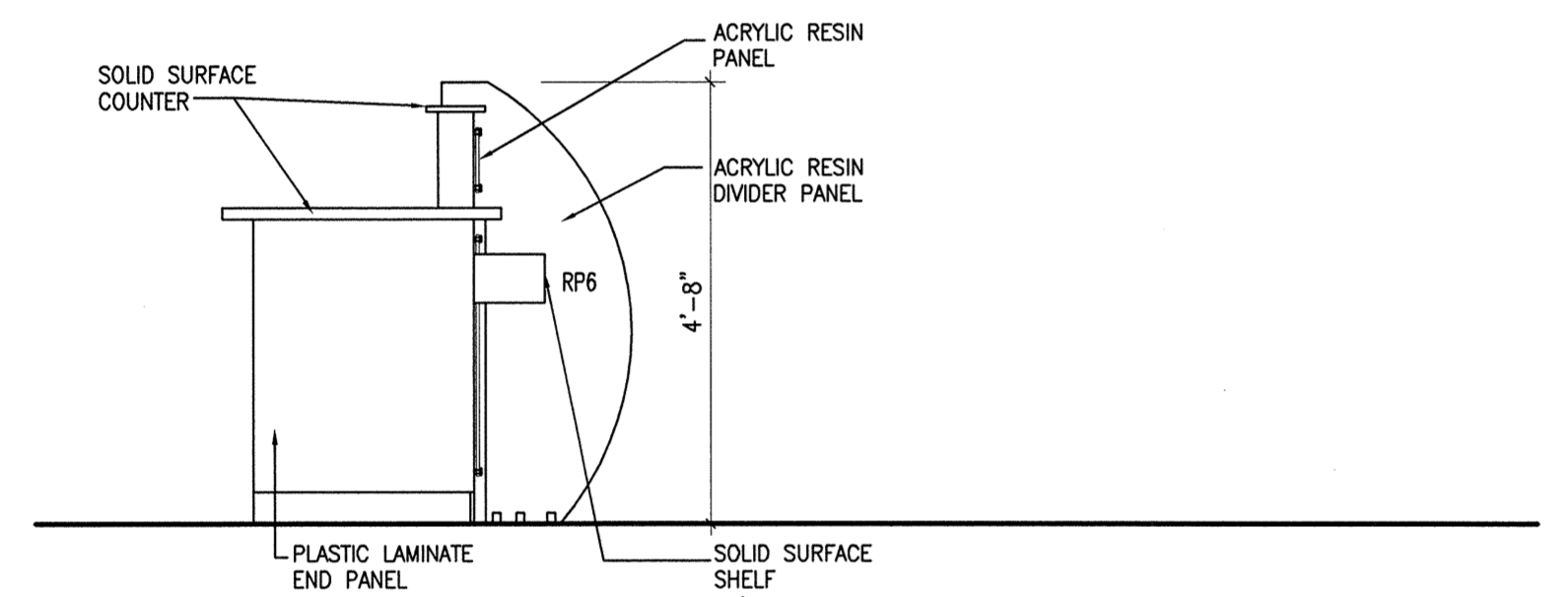
M5 ELEVATION
 1/2\"/>



M1 CHECK WRITING PLAN
 3/4\"/>

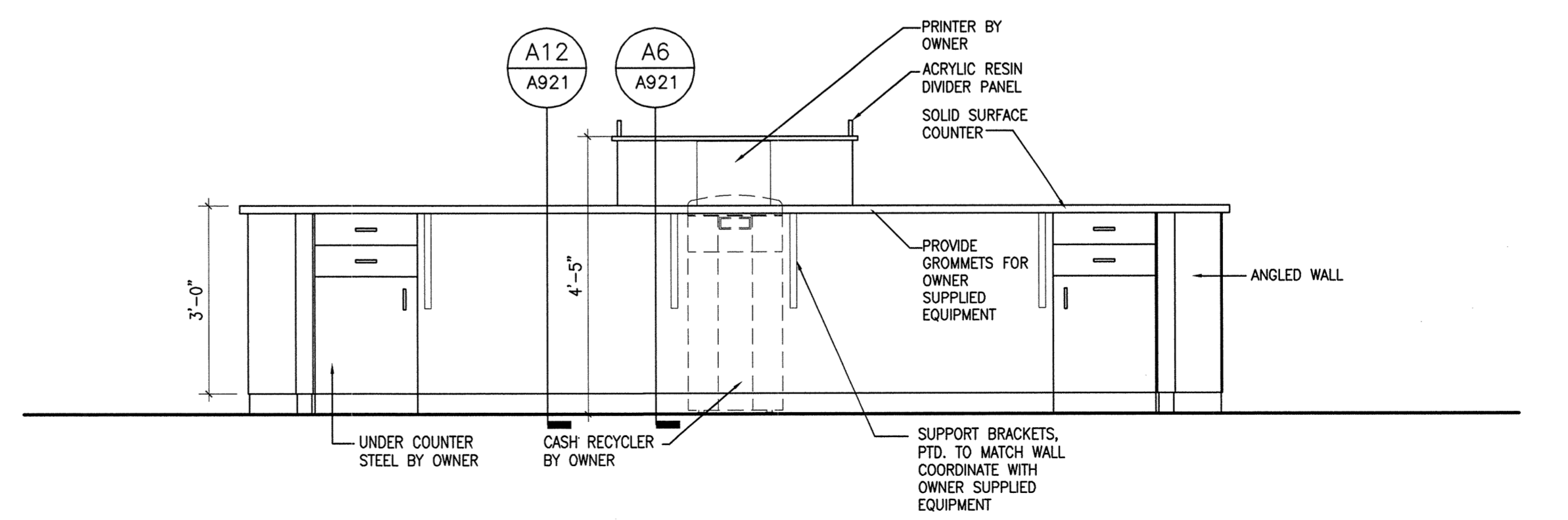


EQUIPMENT LEGEND	REQUIRES POWER
01 MONITOR	X
02 CPU	X
03 KEYBOARD	
04 CASH RECYCLER	X
05 RECYCLER PRINTER (RECEIPT)	X
06 RECYCLER COIN	X
07 PASSBOOK PRINTER	X
08 TELEPHONE	
09 SCANNER	X
10	
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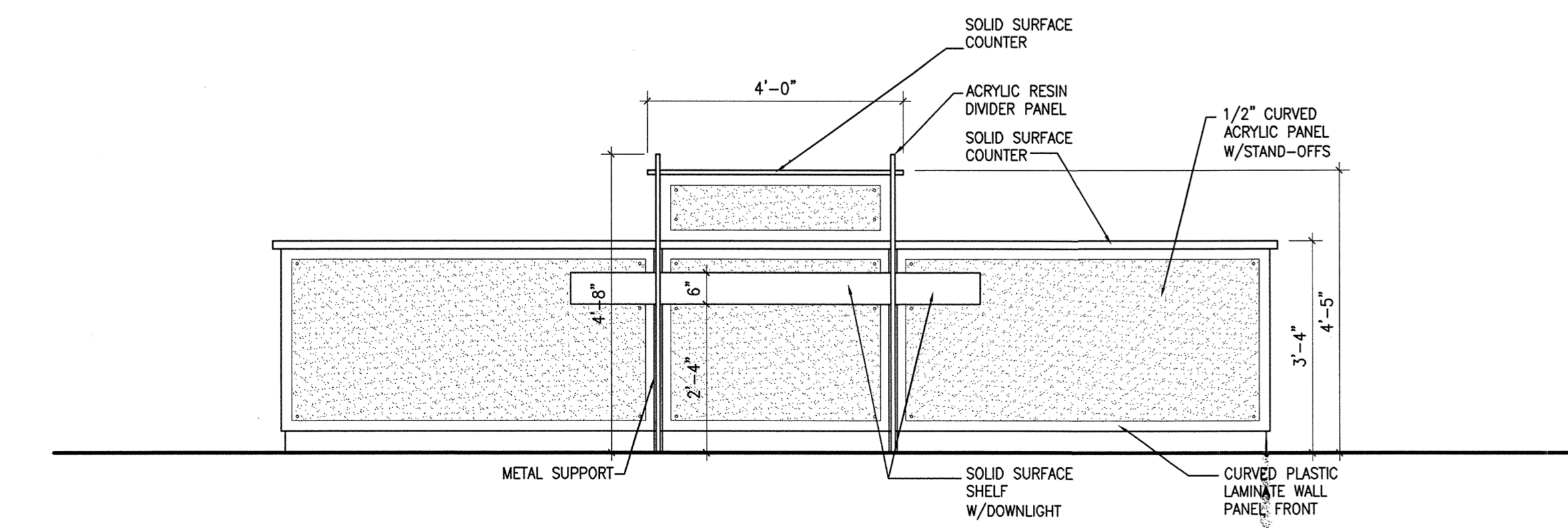


F1 TELLER 103 - TELLER POD
 1/2\"/>

F8 ENLARGED FLOOR PLAN TELLERS 103
 3/4\"/>

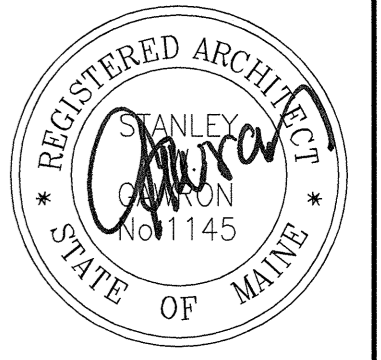


A11 TELLERS 103 - TELLER POD
 1/2\"/>



A1 TELLER 103 - TELLER POD
 1/2\"/>

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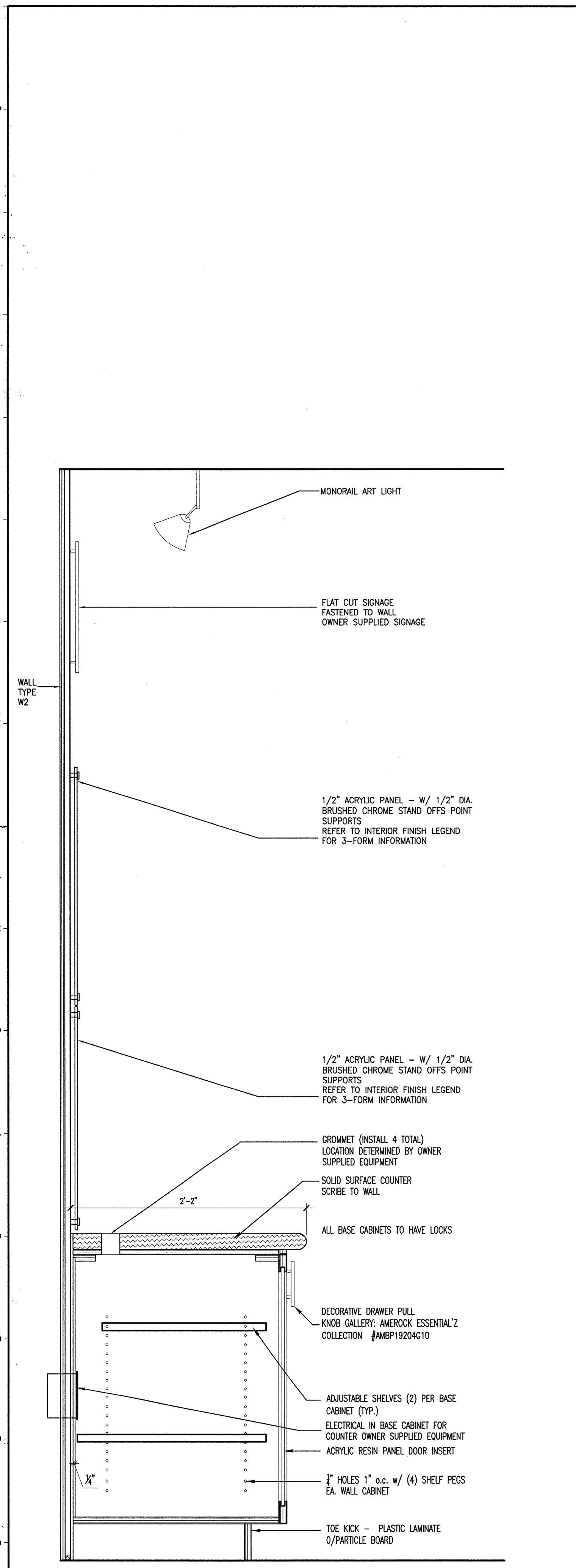
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DATE:	04.05.11
PROJECT #:	010111
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE:	AS NOTED

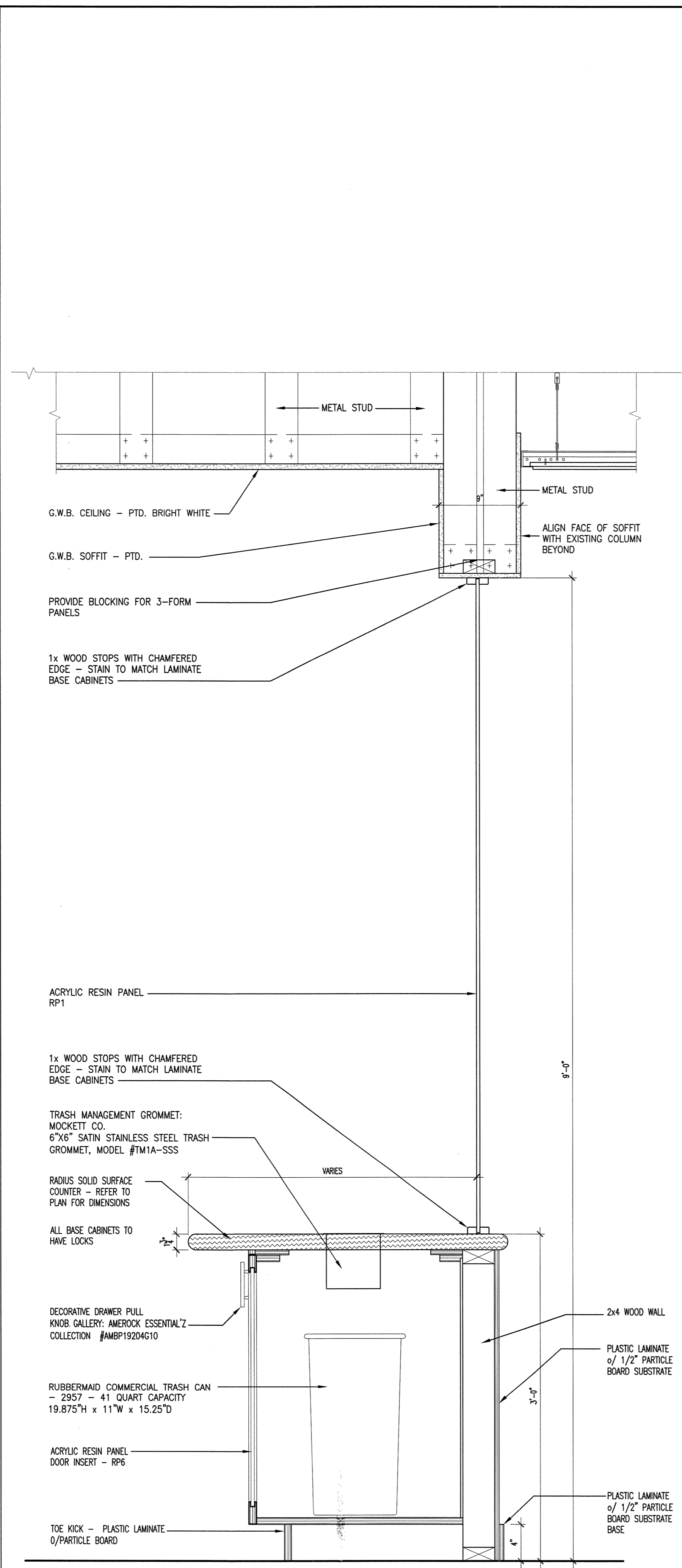
SHEET TITLE
INTERIOR DETAILS

A920

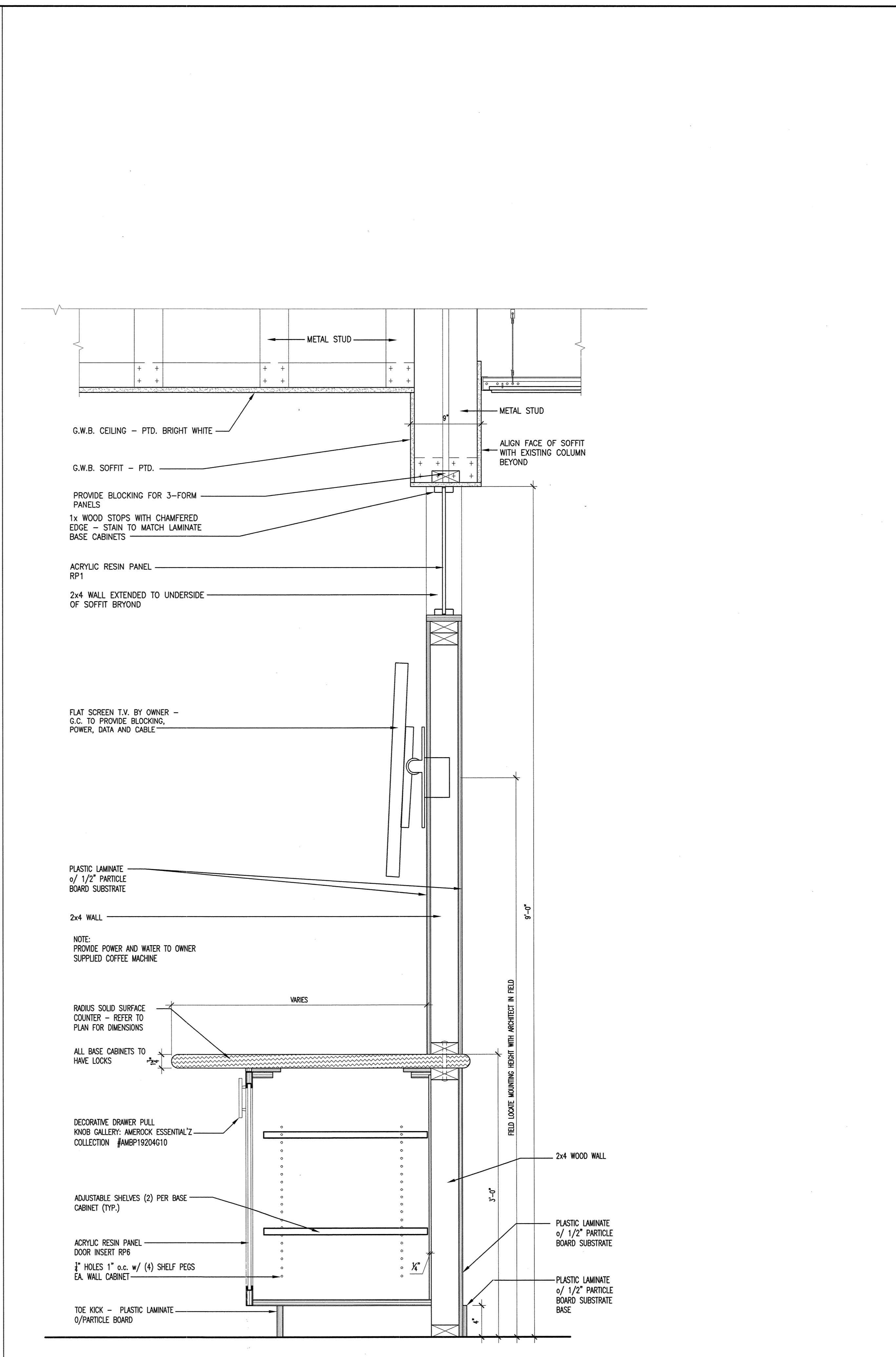
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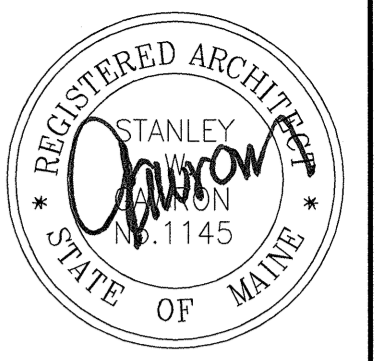
A1 SECTION THRU FEATURE WALL
1/12" = 1'-0"



A6 SECTION THRU COFFEE COUNTER
1/12" = 1'-0"
TRASH RECEPTACLE



A12 SECTION THRU COFFEE COUNTER
1/12" = 1'-0"



THE BANK of MAINE
TWO CANAL PLAZA
PORTLAND, MAINE

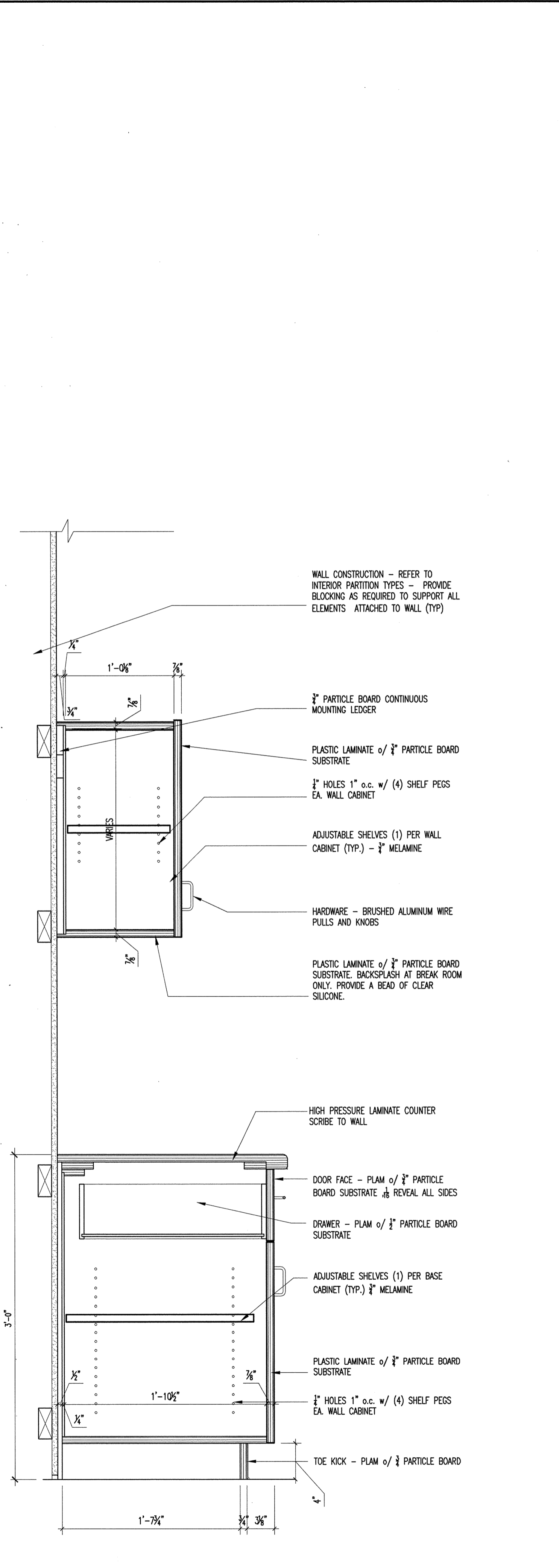
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#	DATE	DESCRIPTION
1	04.05.11	BID DOCUMENTS

DATE:	04.05.11
PROJECT #:	010111
DRAWN BY:	DLP
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DRAWING SCALE:	AS NOTED

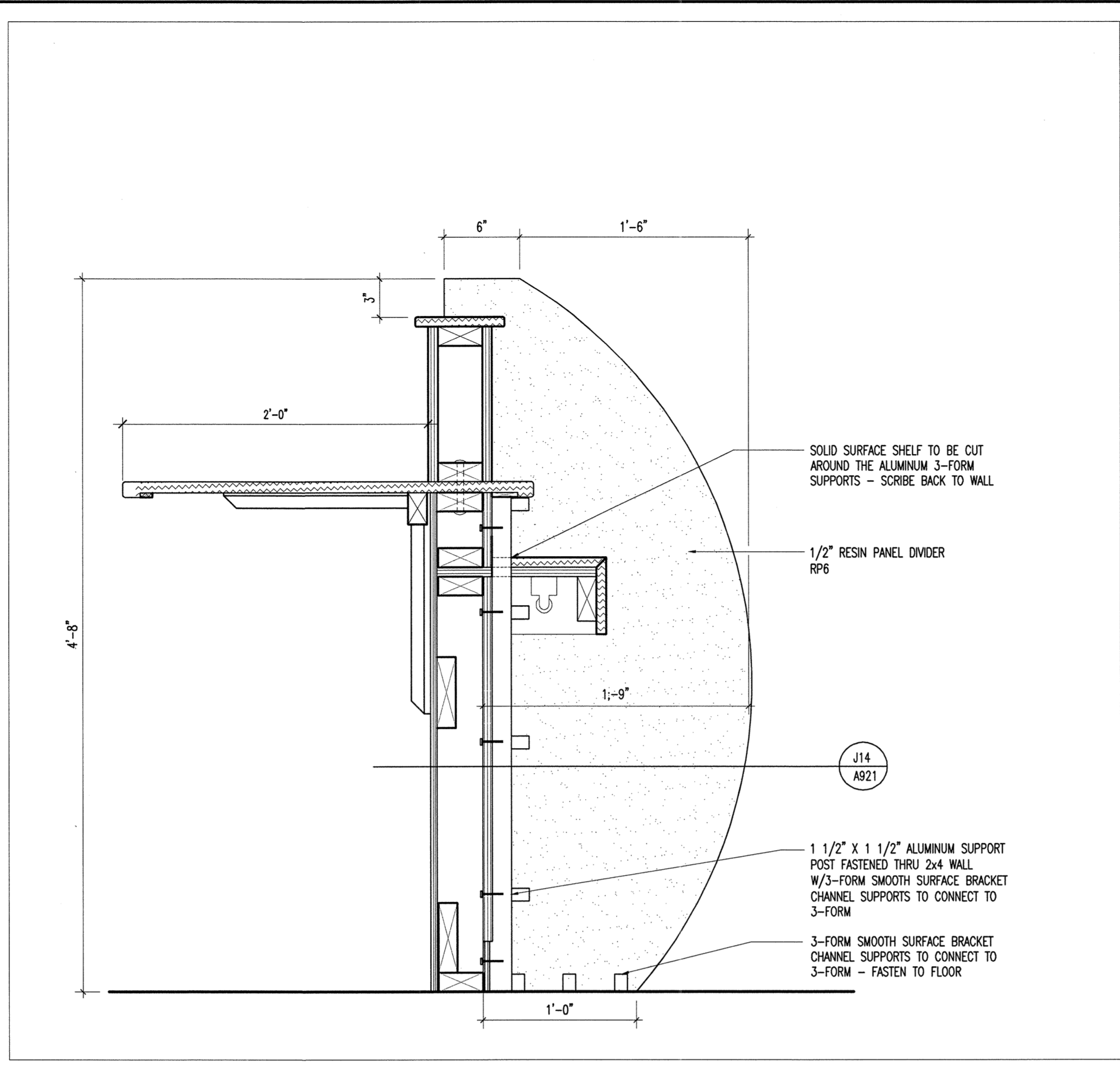
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INTERIOR DETAILS

A921

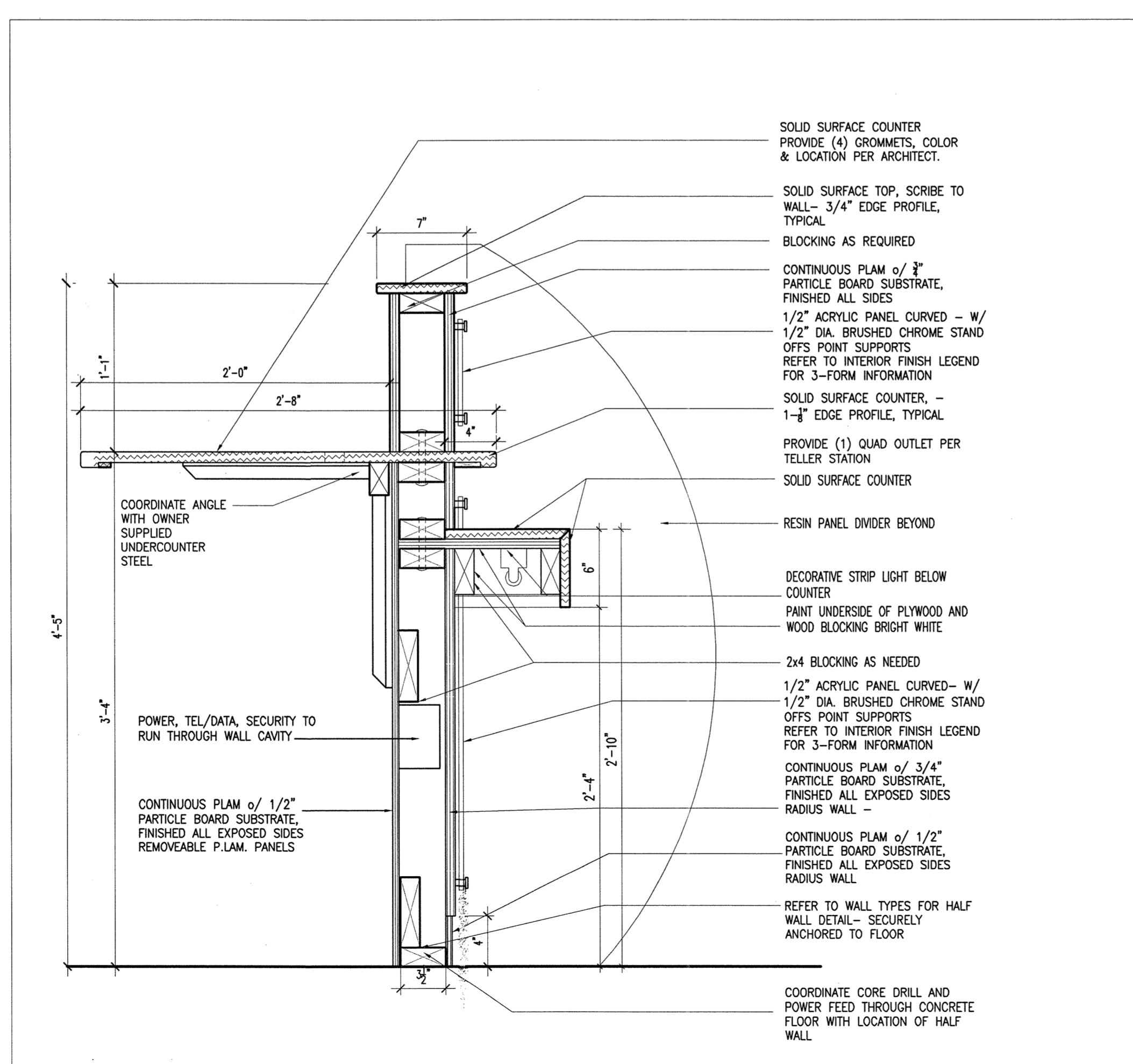
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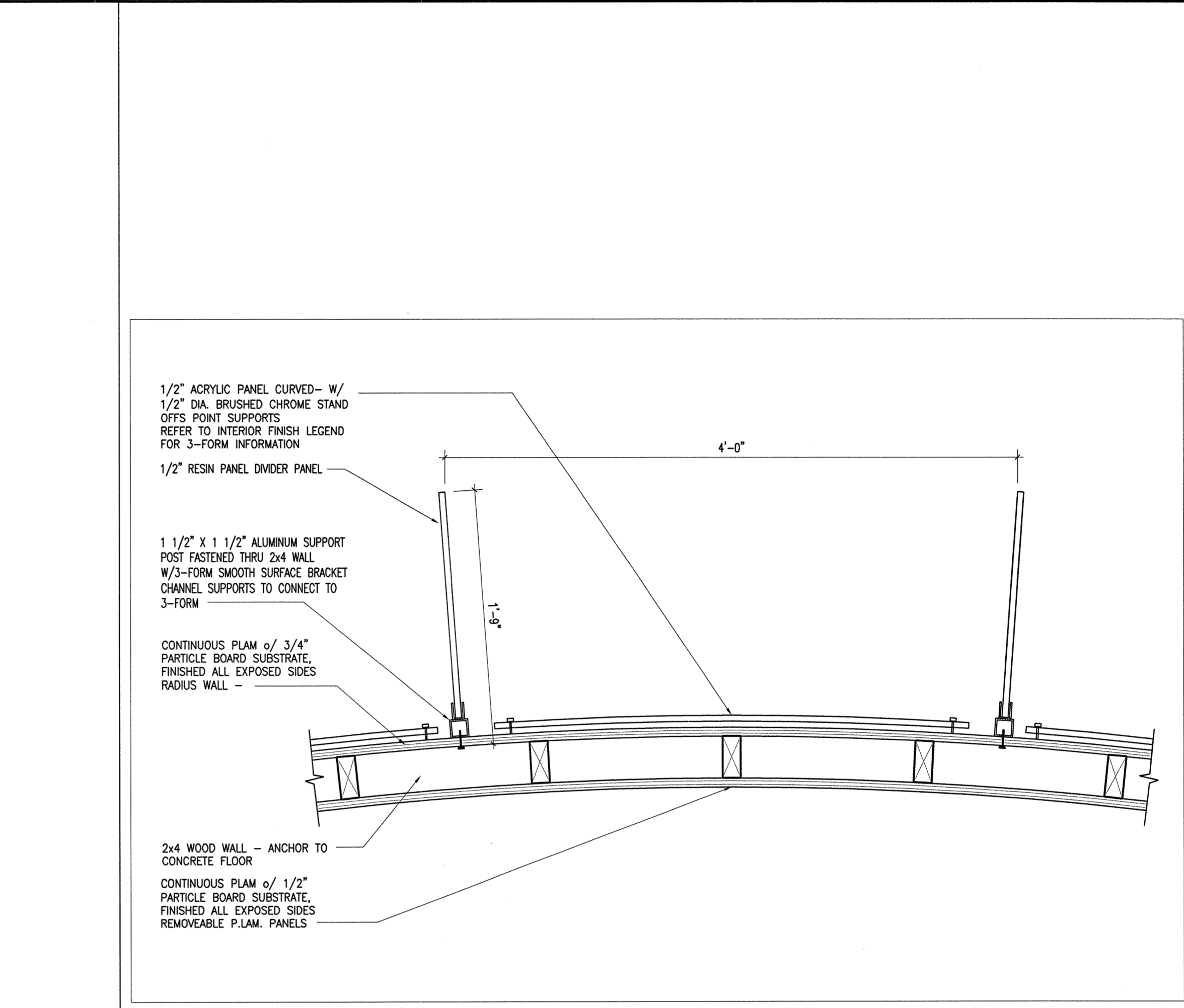
A1 SECTION THRU CABINETS
1/12" = 1'-0"



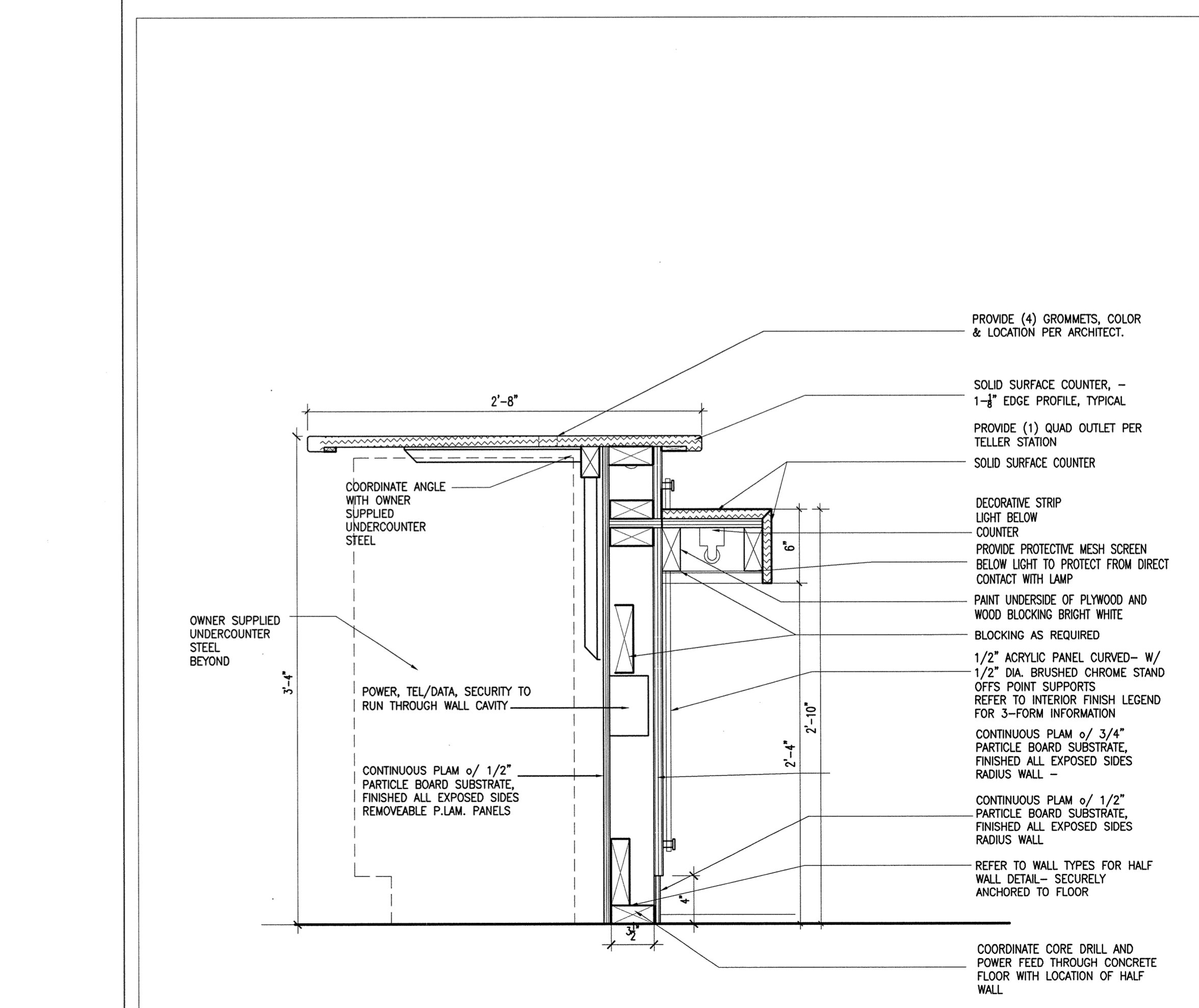
J6 SECTION THRU TELLER POD
DIVIDER PANEL
1/12" = 1'-0"



A6 SECTION THRU TELLER POD
1/12" = 1'-0"



J14 SECTION THRU TELLER POD
HALF WALL / DIVIDER PANEL
1/12" = 1'-0"



A14 SECTION THRU TELLER POD
1/12" = 1'-0"

INTERIOR FINISH LEGEND

010111

THE SAVINGS BANK OF MAINE

ABBREVIATIONS

C	CARPET	SYD	SQUARE YARD(S)
G	GROUT	T	TILE
N/A	NOT APPLICABLE	TBS	TO BE SELECTED
P	PAINT	VCB	VINYL COVE BASE
PL	PLASTIC LAMINATE	VCT	VINYL COMPOSITE TILE
R	RESILIENT/ RUBBER/ RUBBER TREAD	VSB	VINYL STRAIGHT BASE
SC	SEALED CONCRETE	WC	WALL COVERING (VINYL PAPER)
SF	SQUARE FEET	WCB	WALL COVERING BORDER (VINYL PAPER)
EM	ENTRY MAT	S	STAIN
SS	SOLID SURFACE/ NATURAL STONE	WD	WOOD
ETR	EXISTING TO REMAIN	RP	RESIN PANEL

CODE	MATERIAL	MANUFACTURER	PRODUCT, STYLE AND COLOR	FINISH	REMARKS/ NOTES
PL1	PLASTIC LAMINATE	ARBORITE	SPIGED WALNUT-W417-VL	FACTORY	VELVATEX FINISH
PL2	PLASTIC LAMINATE	NOT USED			
PL3	PLASTIC LAMINATE	ARBORITE	TATAMI WASABI- P-297-CA	FACTORY	
SS1	SOLID SURFACE	SILESTONE	STELLAR MARINE	POLISHED	BULLNOSE EDGES
RP1	RESIN PANEL	3FORM	VARIA ECORESIN, TRAFFIC-MOSS	PATENT	1/2" GAUGE, 4' X 10' TO CREATE DESIGN
RP2	RESIN PANEL	3FORM	CUSTOM COLOR MATCH: 534C- INDIGO + DEEP END + VIOLET	SANDSTONE	1/2" GAUGE, 4' X 10' TO CREATE DESIGN
RP3	RESIN PANEL	3FORM	CUSTOM COLOR MATCH: 290C- COLBALT + SURF	SANDSTONE	1/2" GAUGE, 4' X 10' TO CREATE DESIGN
RP4	RESIN PANEL	3FORM	CUSTOM COLOR MATCH: 564C- REEF + MARIPOSA	SANDSTONE	1/2" GAUGE, 4' X 10' TO CREATE DESIGN
RP5	RESIN PANEL	3FORM	CUSTOM COLOR MATCH: 290C- TIDE x 4	SANDSTONE	1/2" GAUGE, 4' X 10' TO CREATE DESIGN
RP6	RESIN PANEL	3FORM	VARIA ECORESIN, SHIBUYA WHITE	SANDSTONE	1/2" GAUGE
VCT1	VINYL COMPOSITION TILE	MANNINGTON COMMERCIAL	DESIGNER ESSENTIALS, LAPIS-280	SEALED	12" X 12" TILE
P1	PAINT	SHERWIN WILLIAMS	PROGREEN 200, MELANGE GREEN- SW9710	EGGSHELL	
P2	PAINT	SHERWIN WILLIAMS	PROGREEN 200, VAST SKY- SW9506	EGGSHELL	
P3	PAINT	NOT USED			
P4	PAINT	SHERWIN WILLIAMS	PROGREEN 200, LOYAL BLUE- SW6510	EGGSHELL	
P5	PAINT	SHERWIN WILLIAMS	PROGREEN 200, IMPROMPTU- SW6865	EGGSHELL	
P6	PAINT	SHERWIN WILLIAMS	PROGREEN 200, WHITE FLOUR- SW7102	EGGSHELL	
P7	PAINT	SHERWIN WILLIAMS	PROGREEN 200, CLASSICAL WHITE SW2829	EGGSHELL	
C1	CARPET	SHAW CONTRACT	OVERLAY TILE- 69598, REVEAL-95495	FACTORY	18" X 36" TILE
C2	CARPET	SHAW CONTRACT	BLUR TILE-69598, REVEAL-95485	FACTORY	18" X 36" TILE
C3	CARPET	SHAW CONTRACT	CHROMA-59583, INFINITE-83515	FACTORY	
EM1	ENTRY MAT	J&J INVISION	RUNWAY, TOP MODEL- 1423	FACTORY	
EM2	ENTRY MAT	MATS INC.	DESIGN PRINT LOGO MAT, CUSTOM COLORS AND LOGO TBS	FACTORY	4' X 8' PROVIDE (2) MATS
VP1	VINYL PLANK	ROPPE	WOOD NATURALS, COLOR: BURNT PECAN- 013	FACTORY	3" X 36"

- VINYL TRANSITION STRIP TO BE JOHNSONITE #18 NAVY BLUE
- ALL EXISTING PERIMETER HEAT REGISTERS TO BE PAINTED P7 ON THE VERTICAL FRONT AND HORIZONTAL SURFACE BACK TO EXTERIOR WINDOWS

INTERIOR FINISH SCHEDULE

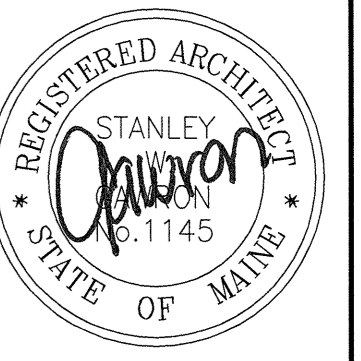
010111

The Savings Bank of Maine

ABBREVIATIONS

C	CARPET	SYD	SQUARE YARD(S)
G	GROUT	T	TILE
N/A	NOT APPLICABLE	TBS	TO BE SELECTED
P	PAINT	VCB	VINYL COVE BASE
PL	PLASTIC LAMINATE	VCT	VINYL COMPOSITE TILE
R	RESILIENT/ RUBBER/ RUBBER TREAD	VSB	VINYL STRAIGHT BASE
SC	SEALED CONCRETE	WC	WALL COVERING (VINYL PAPER)
SF	SQUARE FEET	WCB	WALL COVERING BORDER (VINYL PAPER)
EM	ENTRY MAT	S	STAIN
SS	SOLID SURFACE/ NATURAL STONE	WD	WOOD
ETR	EXISTING TO REMAIN	RP	RESIN PANEL

Room Information		Floor		Walls						Trim			Countertop/ Worksurface/ Cabinets		Cubical		Remarks
Room #	Room Name	Floor	Grout	North Wall	East Wall	South Wall	West Wall	Wainscoting	Base	Decorative Trim(s)	Door(s)	Door & Window Moulding	Horizontal Plane	Vertical Plane	If required		
FIRST LEVEL FLOOR PLAN																	
100	VESTIBULE	EM1	NA	P7	P4	P4	P4	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	WD BASE TO BE STAINED TO MATCH FLOOR
101	WAITING	VP1	NA	P7	N/A	N/A	P7	N/A	WD-S	N/A	N/A	N/A	SS1	PL1	N/A	N/A	RP1 AT COFFEE COUNTER. REFER TO SHEET A900 FOR COFFEE COUNTER
102	LOBBY	VP1	NA	P7	N/A	P1P2P4	N/A	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	REFER TO SHEET A900 FOR PAINT DESIGNATIONS
03	TELLERS	C1C2	NA	P6	P6	RP2,RP3,RP4,RP5,RP6	P6	N/A	WD-S	N/A	N/A	N/A	SS1	PL1	N/A	N/A	REFER TO INTERIOR ELEVATION FOR ACCENT WALL DETAIL
04	I.T.	VCT1	NA	P6	P6	P6	P6	N/A	WD-S	N/A	P	N/A	N/A	N/A	N/A	N/A	PAINT DOOR P4
105	OPEN AREA	VP1	NA	P7	P7	N/A	N/A	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	PL1 AT CEILING CLOUDS
106	OPEN AREA	C1C2	NA	N/A	P7	P5	P7	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
107	NOT USED																
108	WORK ROOM	C1C2	NA	P7	P7	P1	P7	N/A	WD-S	N/A	P	N/A	PL3	PL1	N/A	N/A	PAINT DOOR P4
109	OPEN OFFICE	C1C2	NA	P7	P7	N/A	P1	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	PL1 AT CEILING CLOUD
110	CORRIDOR	C1C2	NA	N/A	P7	P1	P1	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
111	CONFERENCE	C3	NA	P2	P2	P2	P2	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	PL1 AT CEILING CLOUD
112	WAITING	C1C2	NA	P7	P7	P7	P7	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
113	CORRIDOR	ETR															
114	STAIR A	ETR															
115	STAIR B	ETR															
116	KITCHENETTE	ETR															
117	CORRIDOR	ETR															
118	OFFICE 1	C3		P7	P7	P7	P7	N/A	WD-S	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
119	OFFICE 2	ETR															
120	OFFICE 3	ETR															
121	OFFICE 4	ETR															
122	OFFICE 5	ETR															
123	OFFICE 6	ETR															
124	OFFICE 7	ETR															
125	OFFICE 8	ETR															
126	OFFICE 9	ETR															
127	OFFICE 10	ETR															
128	OFFICE 11	ETR															
129	OFFICE 12	ETR															
130	OFFICE 13	ETR															
131	VESTIBULE	ETR															
132	ELEV LOBBY	ETR															
133	RECEPTION	ETR															
134	ELEC. CLOSET	ETR															
135	SHARED CONFERENCE	ETR															
136	CORRIDOR	ETR															
137	CORRIDOR	ETR															
138	WOMEN'S	ETR															
139	MEN'S	ETR															
140	JAN	ETR															
141	H.G. TOILET	ETR															
142	CORRIDOR	ETR															



THE BANK of MAINE
TWO CANAL PLAZA
PORTLAND, MAINE

#	DATE	DESCRIPTION
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DRAWING SCALE:	AS NOTED

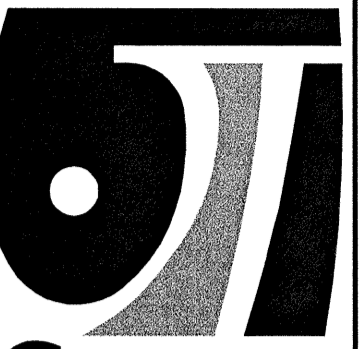
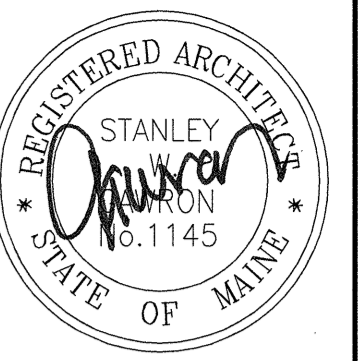
SHEET TITLE
INTERIOR FINISH SCHEDULE & LEGEND

A931

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AI FINISH LEGEND

AI I FINISH SCHEDULE



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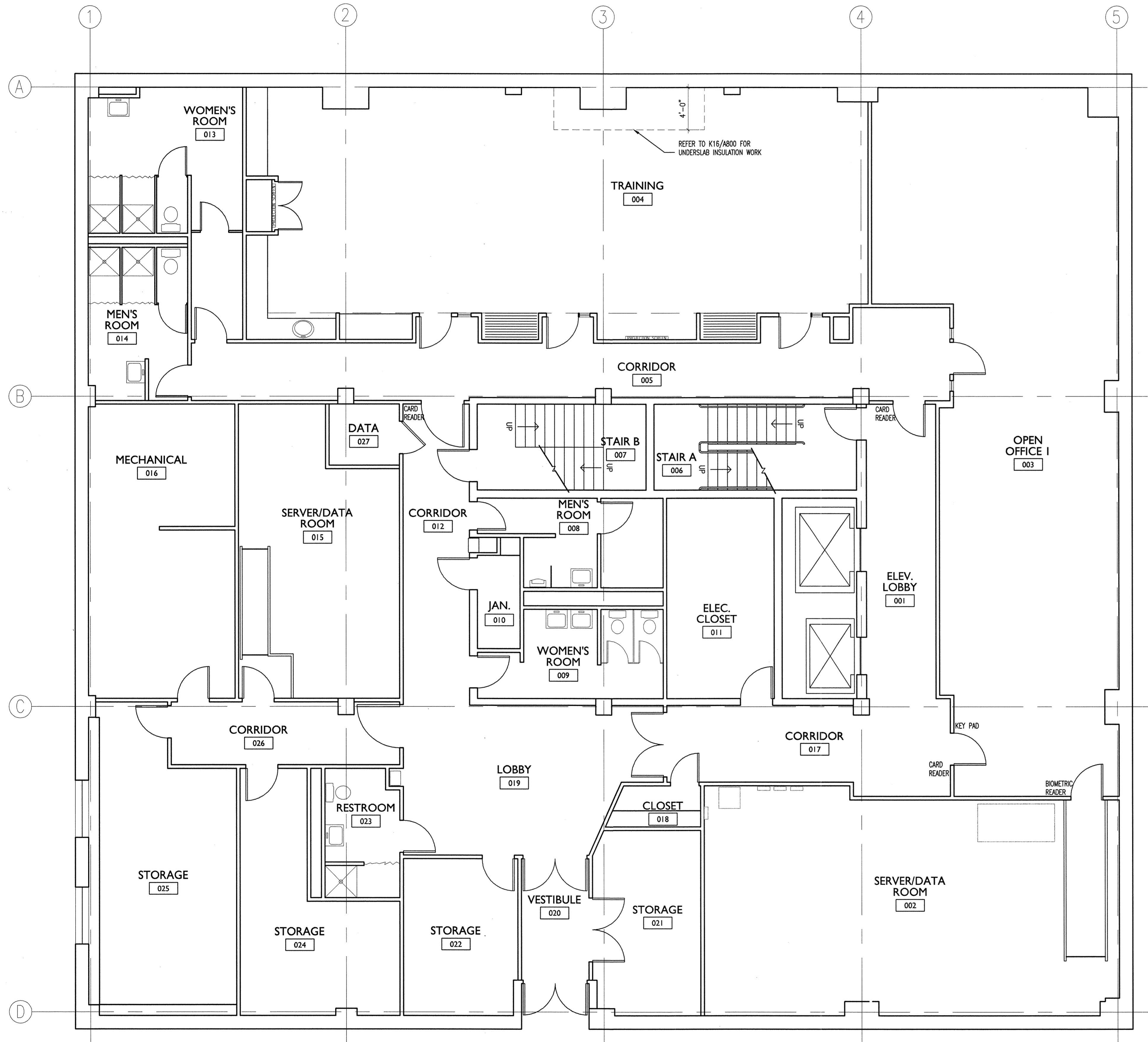
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PROJECT #:	010111
DRAWN BY:	DLP
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DRAWING SCALE:	AS NOTED

SHEET TITLE

LOWER LEVEL
FURNITURE PLAN

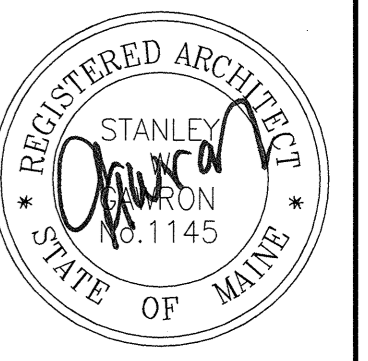
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A1 LOWER LEVEL FURNITURE PLAN

A15 NOTES



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TWO CANAL PLAZA
PORTLAND, MAINE

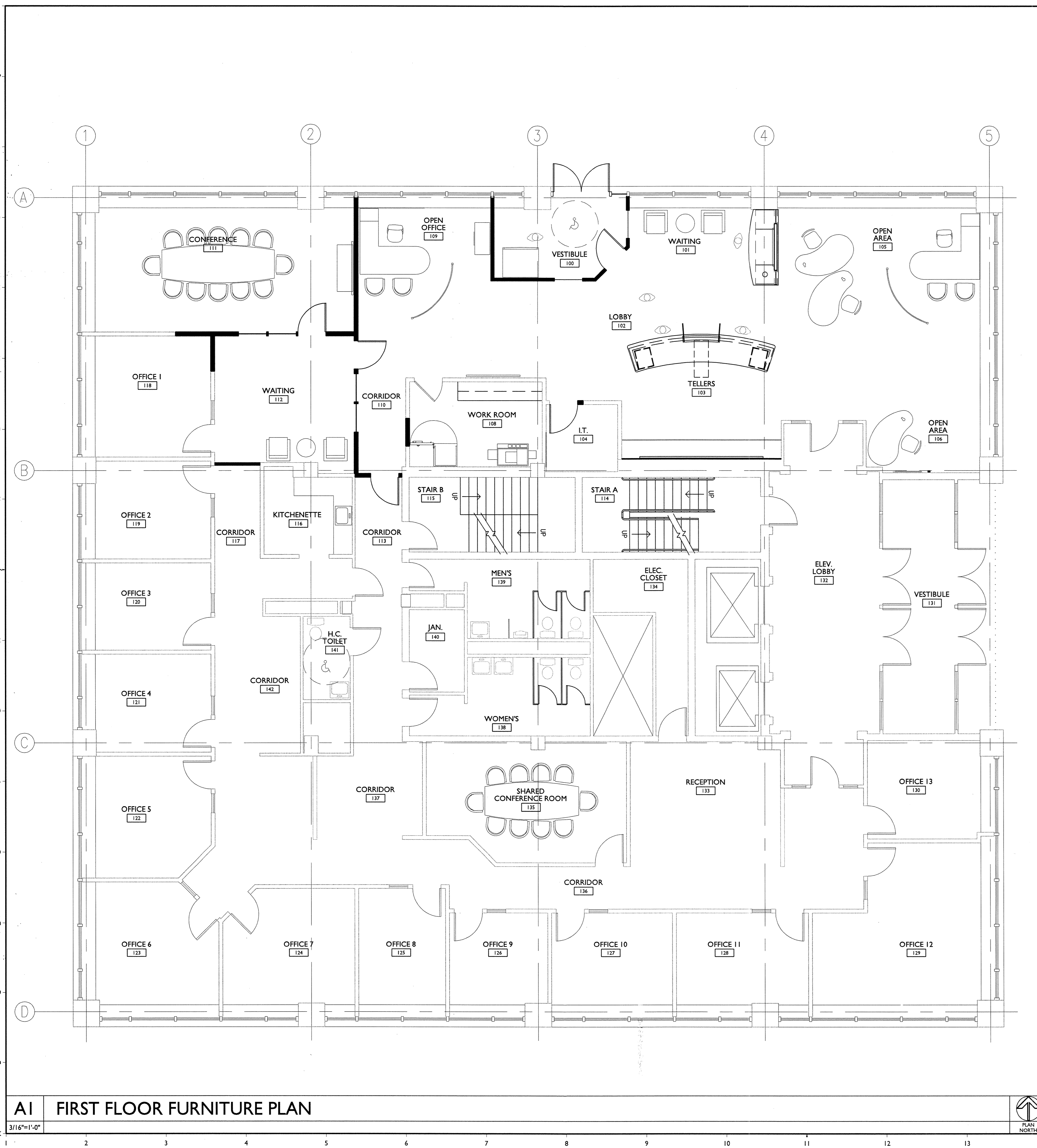
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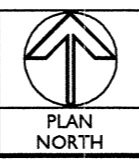
SHEET TITLE
FIRST FLOOR FURNITURE PLAN

A951

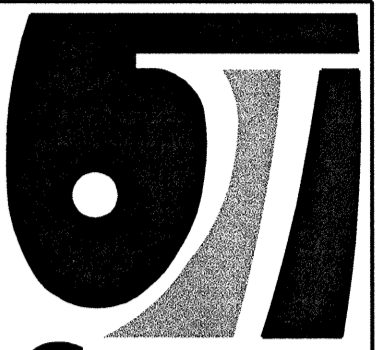
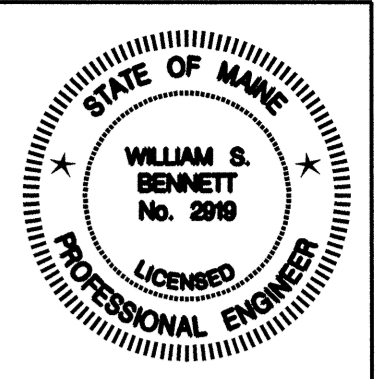
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A1 FIRST FLOOR FURNITURE PLAN



3/16"=1'-0" 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



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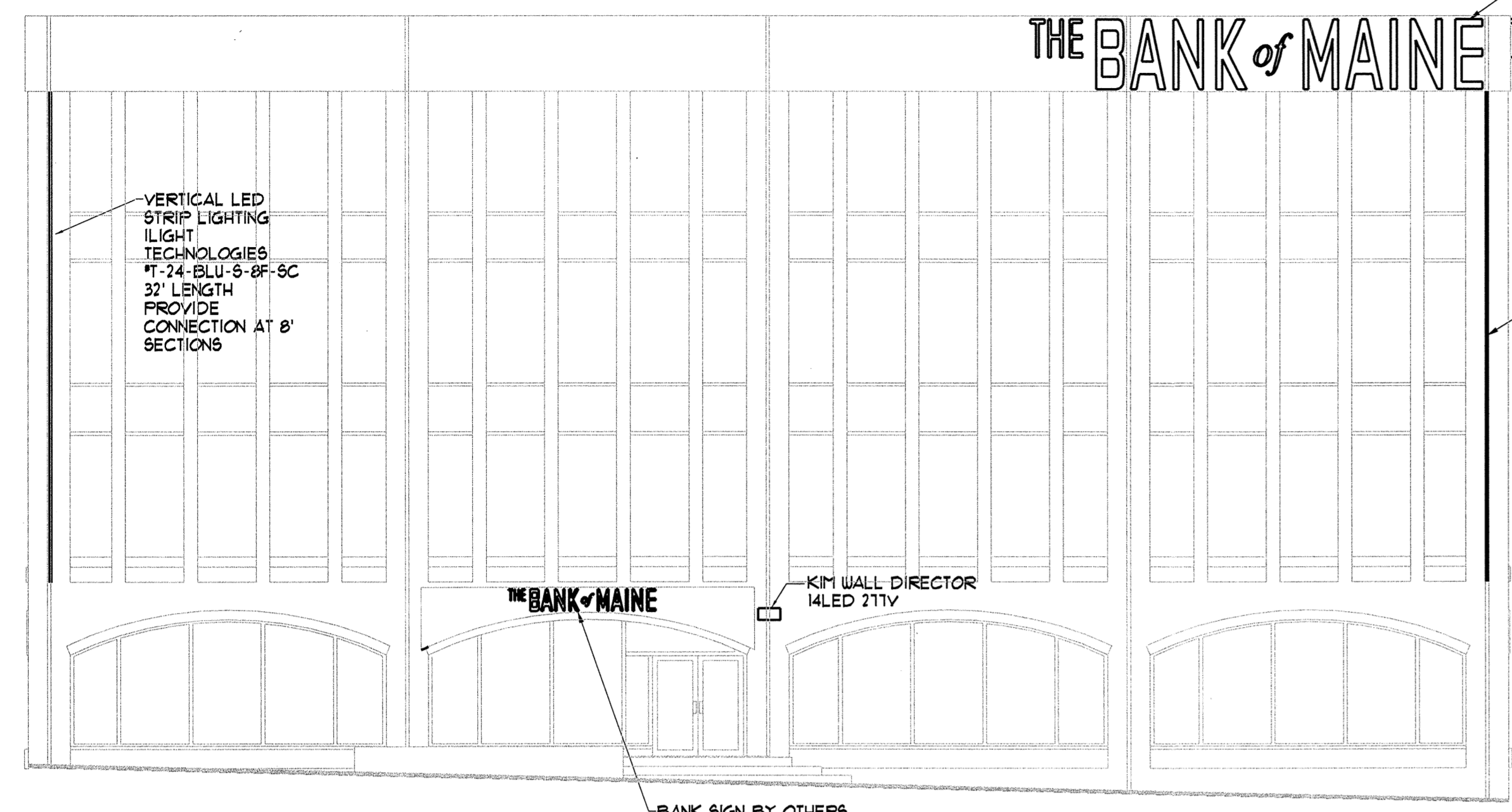
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DATE:	04.06.11
PROJECT #	010111
DRAWN BY:	TWG
CHECKED BY:	WSBJR
DRAWING SCALE	

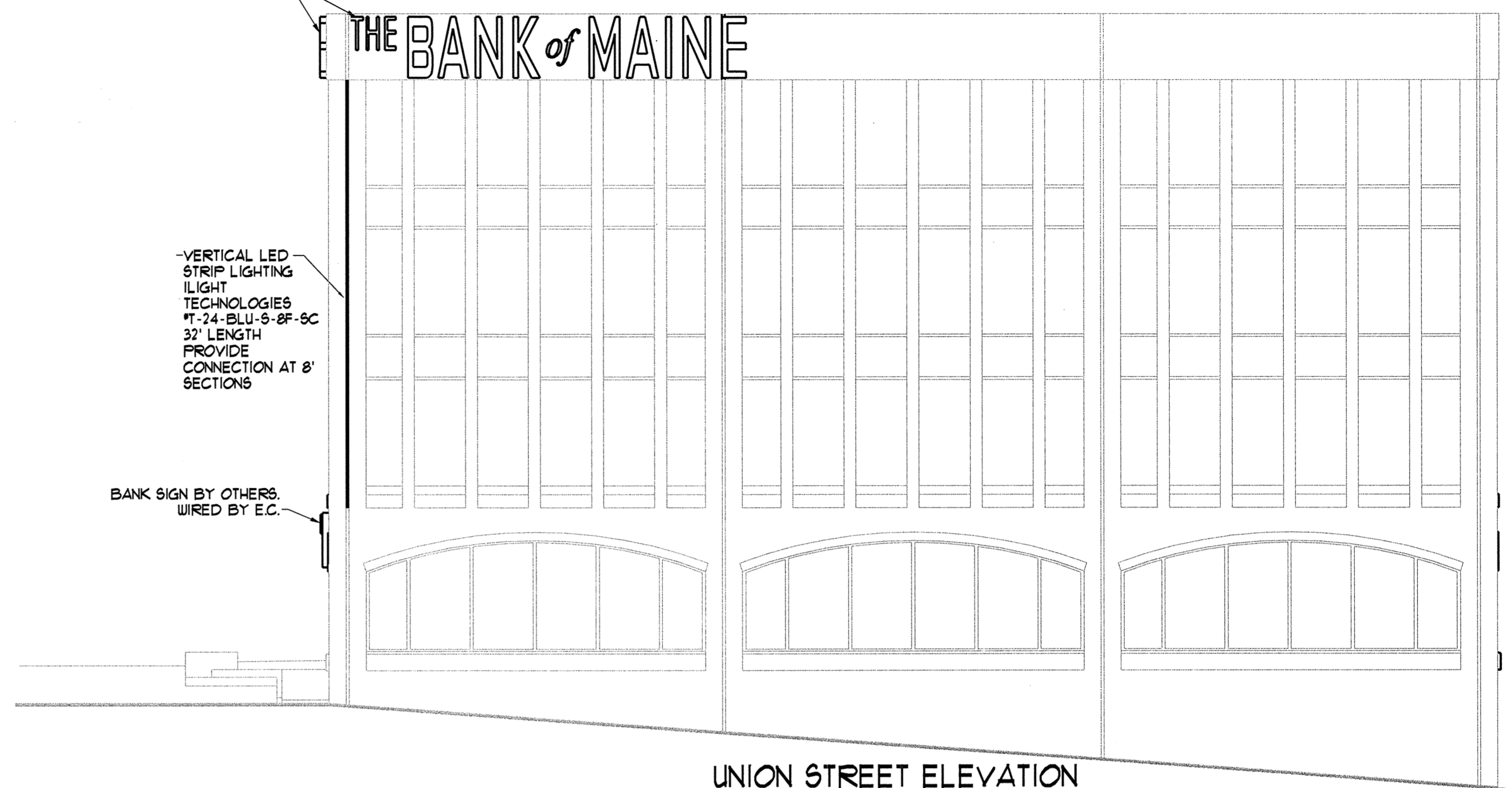
SHEET TITLE
EXTERIOR BUILDING LIGHTING

E101

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MIDDLE STREET ELEVATION

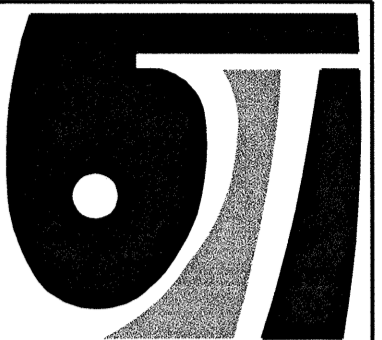
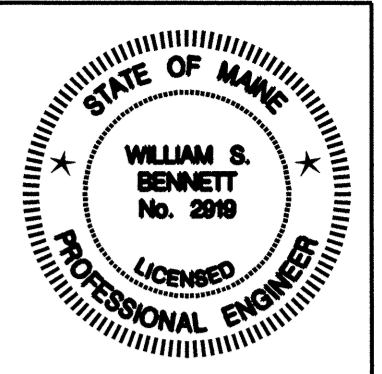


UNION STREET ELEVATION



PLAZA ELEVATION

E-101 EXTERIOR BUILDING LIGHTING



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PROJECT #: 010111

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CHECKED BY: WSBJR

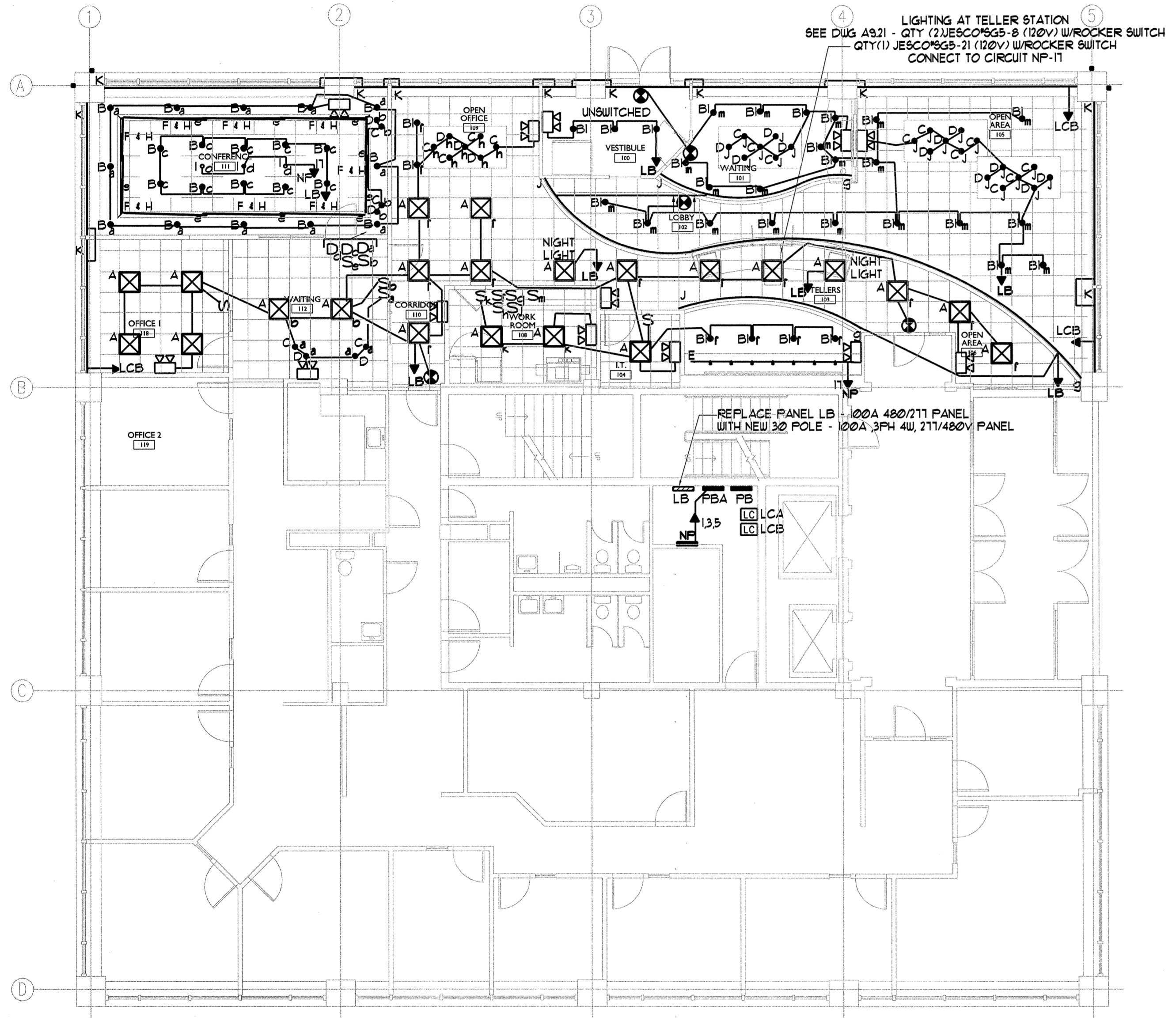
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SHEET TITLE

LOWER LEVEL
AND
FIRST FLOOR LIGHTING
PLAN

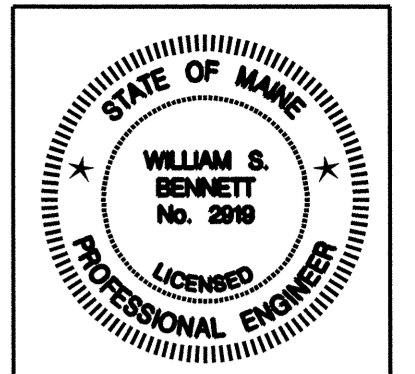
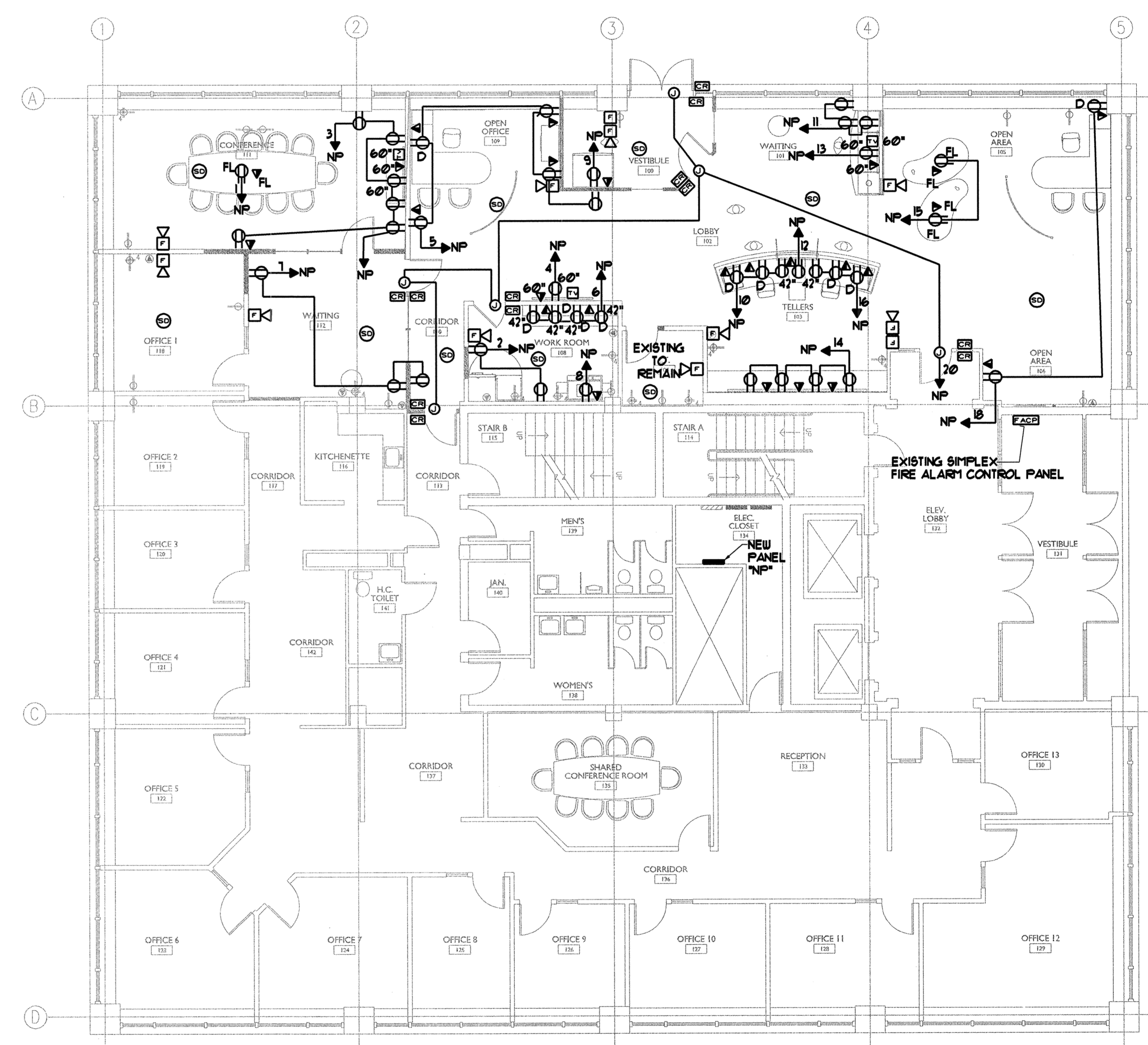
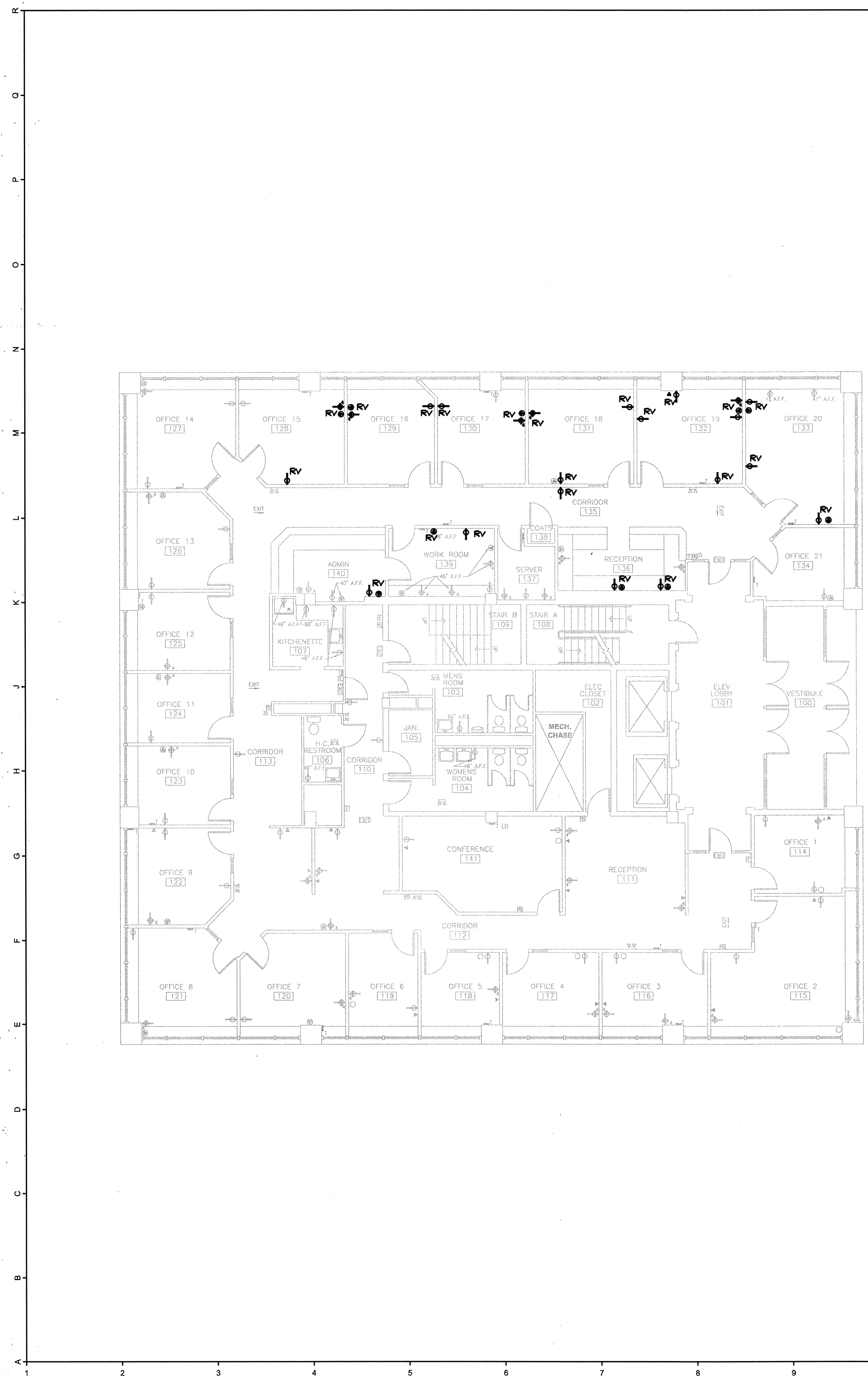
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- LEGEND**
- 1. 200 LUMENS 200-110-0003-00010
 - 2. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 3. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 4. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 5. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 6. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 7. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 8. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 9. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 10. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 11. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 12. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 13. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 14. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 15. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 16. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 17. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 18. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 19. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11
 - 20. 1" SQUARE RECESSED - PENDANT - 277V - CONNECT TO CIRCUIT NP-11

- NOTES**
1. VERIFY PANEL LOCATION FOR NEW WIRE ONLY. REFER TO ELECTRICAL SYMBOLS FOR LIGHT FIXTURE TYPE AND DIMENSIONS.
 2. RECOMMEND SUBCONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EXISTING RECESSED WIRE RECESSED PRIOR TO CONSTRUCTION.
 3. SUBCONTRACTOR TO VERIFY ALL WIRE LOCATIONS IN LOW/VOLTAJ AREA.
 4. GENERAL CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING RECESSED WIRE RECESSED PRIOR TO CONSTRUCTION.
 5. PROVIDE POWER & LIGHTING TO DATE.
 6. PROVIDE (1) DIM ONLY FOR RECESSED LIGHTING.
 7. GENERAL CONTRACTOR SHALL VERIFY ALL WIRE RECESSED PRIOR TO CONSTRUCTION & SHALL VERIFY WITH LOCATION OF SYMBOLS.



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THE BANK OF MAINE
TWO CANAL PLAZA
PORTLAND, MAINE

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1	04.06.11 BID DOCUMENTS

DATE:	04.06.11
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CHECKED BY:	WSBJR
DRAWING SCALE	

SHEET TITLE
FIRST FLOOR POWER PLAN

E300

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PROJECT:		THREE PHASE	PANEL DESIGNATION:
THE BANK OF MAINE			NP
PORTLAND, MAINE			
MAN LUGS:		SURFACE MOUNT	PANELBOARD SCHEDULE
MAN. BREAK: 100A		VOLTS: 120/208	PHASE: 3
		WIRE: 4	
KVA LOAD	10,000KVA	KVA LOAD	
FLOOR OUTLET - CONFERENCE RM	20	OUTLETS - WORK RM	
OUTLETS - CONFERENCE RM	20	OUTLETS - WORK RM	
OUTLETS - OPEN OFFICE	20	OUTLETS - WORK RM	
OUTLETS - WAITING AREA 112	20	COPIER - WORK RM	
VENDING MACHINE - VESTIBULE	20	OUTLETS - TELLERS	
OUTLETS - WAITING AREA 101	20	OUTLETS - TELLERS	
OUTLETS - WAITING AREA 101	20	OUTLETS - TELLERS	
FLOOR OUTLETS - OPEN AREA 105	20	OUTLETS - TELLERS	
INTERIOR LIGHTS	20	OUTLETS - OPEN AREA 105/106	
SPARE	20	CARD READER + BOXES	
BUILDING SIGN	20	BUILDING SIGN	
BUILDING SIGN	20	BUILDING SIGN	
BUILDING SIGN	20	VERTICAL LEDS	
BUILDING SIGN	20	VERTICAL LEDS	
BUILDING SIGN	20	VERTICAL LEDS	
BUILDING SIGN	20	VERTICAL LEDS	
SPARE	20	SPARE	
TOTAL CONN. LOAD		FEED TRNG LUGS	
		TOTAL DEM. LOAD	

NEW PANEL FEED FROM PANEL "PBA" SLOTS L3 AND 5 100A BREAKER

PROJECT:		THREE PHASE	PANEL DESIGNATION:
THE BANK OF MAINE			LP
PORTLAND, MAINE			
MAN LUGS:		SURFACE MOUNT	PANELBOARD SCHEDULE
MAN. BREAK: 100A		VOLTS: 277/480	PHASE: 3
		WIRE: 4	
KVA LOAD	10,000KVA	KVA LOAD	
EXISTING LOAD	1	MAN	
EXISTING LOAD	3	2	
EXISTING LOAD	5	6	
EXISTING LOAD	7	8	EXISTING LOAD
EXISTING LOAD	9	10	
EXISTING LOAD	11	12	
EXISTING LOAD	13	14	K LIGHTS
EXISTING LOAD	15	15	K LIGHTS
EXISTING LOAD	17	18	K LIGHTS
EXISTING LOAD	19	20	LIGHTS
SPACE	21	22	LIGHTS
	23	24	LIGHTS
	25	26	SPACE
	27	28	
	29	30	
	31	32	
	33	34	
	35	36	
	37	38	
	39	40	
	41	42	

PROVIDE NEW 277/480V PANEL REMOVE AND REPLACE IN KIND ALL BREAKERS

SYMBOL LEGEND

- POWER PANEL 120/208V, 3 PHS, 4 WIRE
- POWER PANEL 277/480V, 3 PHS, 4 WIRE

- JUNCTION BOX
- DISCONNECT SWITCH - 250 VOLT SIZE & NO. POLES AS NOTED. PROVIDED AND INSTALLED BY E.C. UNLESS OTHERWISE NOTED

- LIGHTING FIXTURES- CAPITAL LETTERS DENOTE TYPE AS PER LIGHTING FIXTURE SCHEDULE. LOWER CASE LETTERS INDICATE SWITCH CONTROL- "ob" INDICATES INBOARD LAMPS CONTROLLED BY SWITCH "b"-OUTBOARD LAMPS CONTROLLED BY SWITCH "o". DIAGONAL LINE INDICATES NIGHT LIGHT (UNSWITCHED)

- EXIT LIGHT FIXTURE-UNSWITCHED- LED WHITE THERMOPLASTIC W/RED LETTERING

- EMERGENCY BATTERY UNIT - SURFACE MOUNT - 6'-8" AFF 12V. DC - 90 MIN - WITH TWO HEADS

- RACEWAY & WIRING OR MC CABLE RUN CONCEALED IN WALLS/CEILINGS.

- RACEWAY & WIRING RUN EXPOSED

- RACEWAY & WIRING RUN CONCEALED UNDER GROUND/FLOOR

- HOME RUN TO PANEL - ARROWS INDICATE QUANTITY OF CIRCUITS- NUMERALS DENOTE CIRCUIT NUMBERS

- FLEXIBLE STEEL CONDUIT AND WIRE WHIP TO RECESSED FLUORESCENT FIXTURES

- SINGLE POLE SWITCH, 120 VOLT, 15 AMP, SPEC. GRADE, GROUNDING TYPE, MOUNT 48" AFF, 3-3-WAY, 4-4-WAY, K-WHITE LIGHT KEY SLOT, P-PILOT, WP-WEATHERPROOF, LOWER CASE LETTER INDICATES FIXTURE OR CONTROLLED LOAD, COLOR - IVORY W/ MATCHING PLATE PILOT LIGHT SWITCHES SHALL BE PROVIDED W/ ENGRAVED NAMEPLATE IDENTIFYING USE.

- DUPLEX RECEPTACLE- 15A, 125V SPEC. GRADE GROUNDING TYPE, COLOR - IVORY W/ MATCHING PLATE - FLUSH MOUNT 18" AFF. - "D" DENOTES DOUBLE DUPLEX "DW" DENOTES DISHWASHER, "MW" DENOTES MICROWAVE, "R" DENOTES REFRIGERATOR

- SAME AS ABOVE EXCEPT ISOLATED GROUND

- DUPLEX - GROUND FAULT RECEPTACLE 15A, 125V- TERMINAL TYPE - WITH MATCHING PLATE FURNISHED W/ RECEPTACLE, FLUSH MOUNTED 45" AFF EXCEPT AS NOTED. COLOR- IVORY WITH MATCHING PLATE

- TELEPHONE/DATA OUTLET - MOUNT 18" AFF - EMPTY BOX W/ 3/4" C TO ABOVE CEILING

- SMOKE DETECTOR, PHOTOELECTRIC TYPE.

- FIRE ALARM HEAT DETECTOR, FIXED TEMPERATURE 200°F

- FIRE ALARM CONTROL PANEL - EXISTING SIMPLEX 4002

- FIRE ALARM PULL STATION MOUNT 48" AFF

- FIRE ALARM AUDIO/VISUAL, FLUSH MOUNT 6'-8" AFF NUMERALS DENOTE CANDELA RATING

- FIRE ALARM VISUAL STROBE ONLY - FLUSH MOUNT 6'-8" AFF NUMERALS DENOTE CANDELA RATING

- PHOTOCELL - EXTERIOR MOUNTED

- LIGHTING CONTACTOR

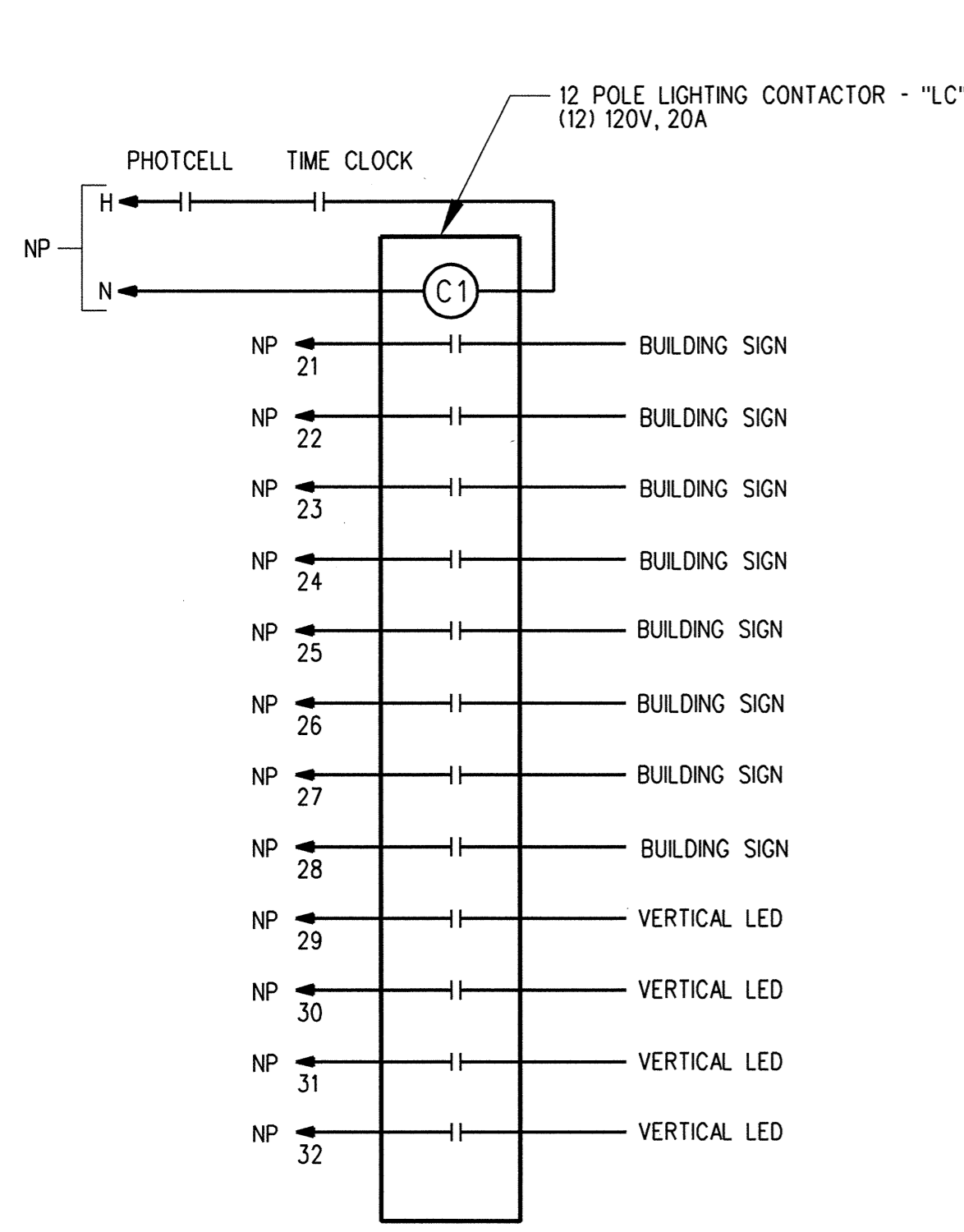
- TIME CLOCK - ELECTRONIC/PROGRAMMABLE

- WP DENOTES WEATHERPROOF CONSTRUCTION

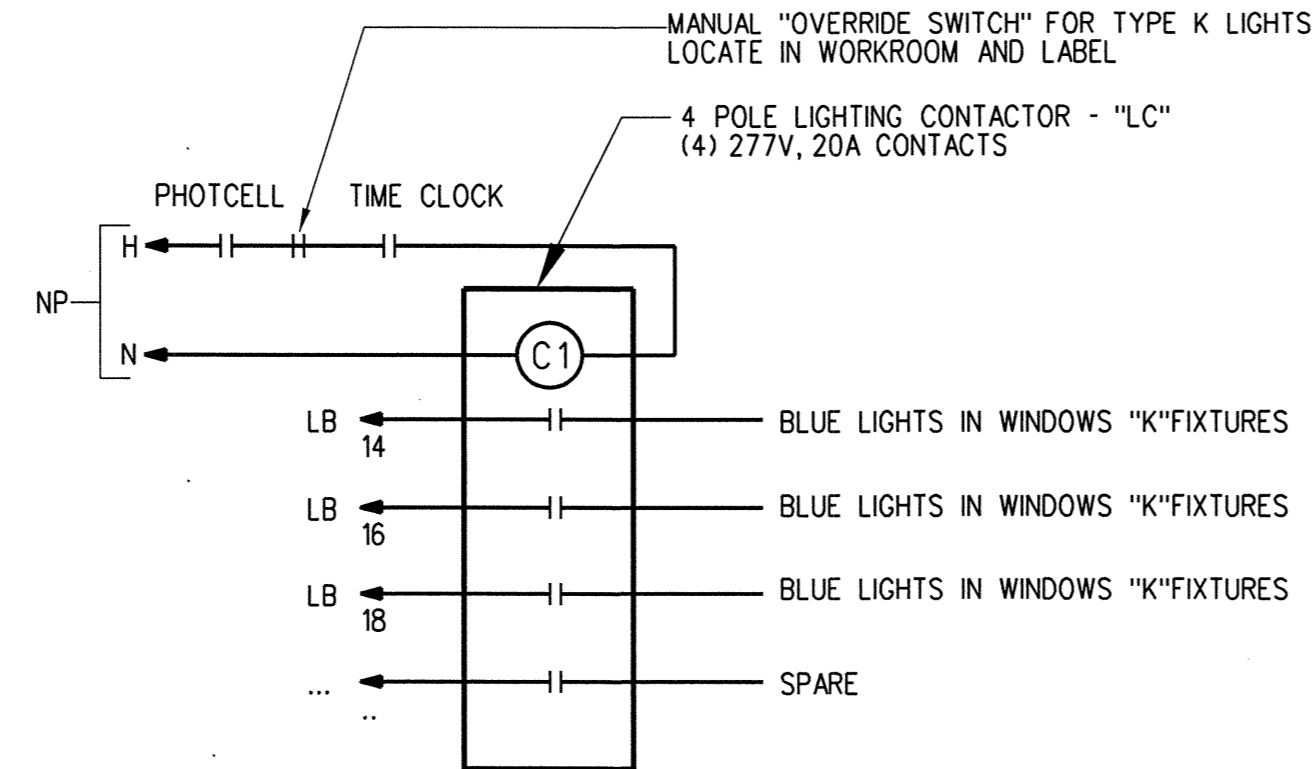
- FL DENOTES FLOOR MOUNTED

- EXISTING OUTLET TO BE REMOVED. REMOVE OUTLET AND ALL ASSOCIATED WIRING BACK TO PANEL

- EXISTING WALL DEVICE TO BE REMOVED. REMOVE DEVICE AND ALL ASSOCIATED WIRING

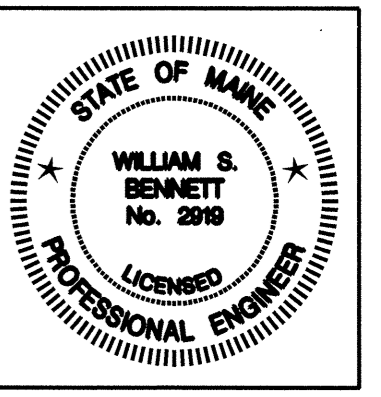


LIGHTING CONTACTOR "LCA" DETAIL
SCALE: NONE



LIGHTING CONTACTOR "LCB" DETAIL
SCALE: NONE

BRANCH CIRCUIT WIRING SHALL CONSIST OF 2*12, 1*12G, 2"C UNLESS OTHERWISE NOTED. ASTERISK INDICATES #10 AWG FOR ALL CIRCUITS CONTAINED IN HOMERUN. DOUBLE ASTERISK INDICATES 2*8, 1*8, 3/4"C AWG FOR ALL CIRCUITS CONTAINED IN HOMERUN.



THE BANK OF MAINE
TWO CANAL PLAZA
PORTLAND, MAINE

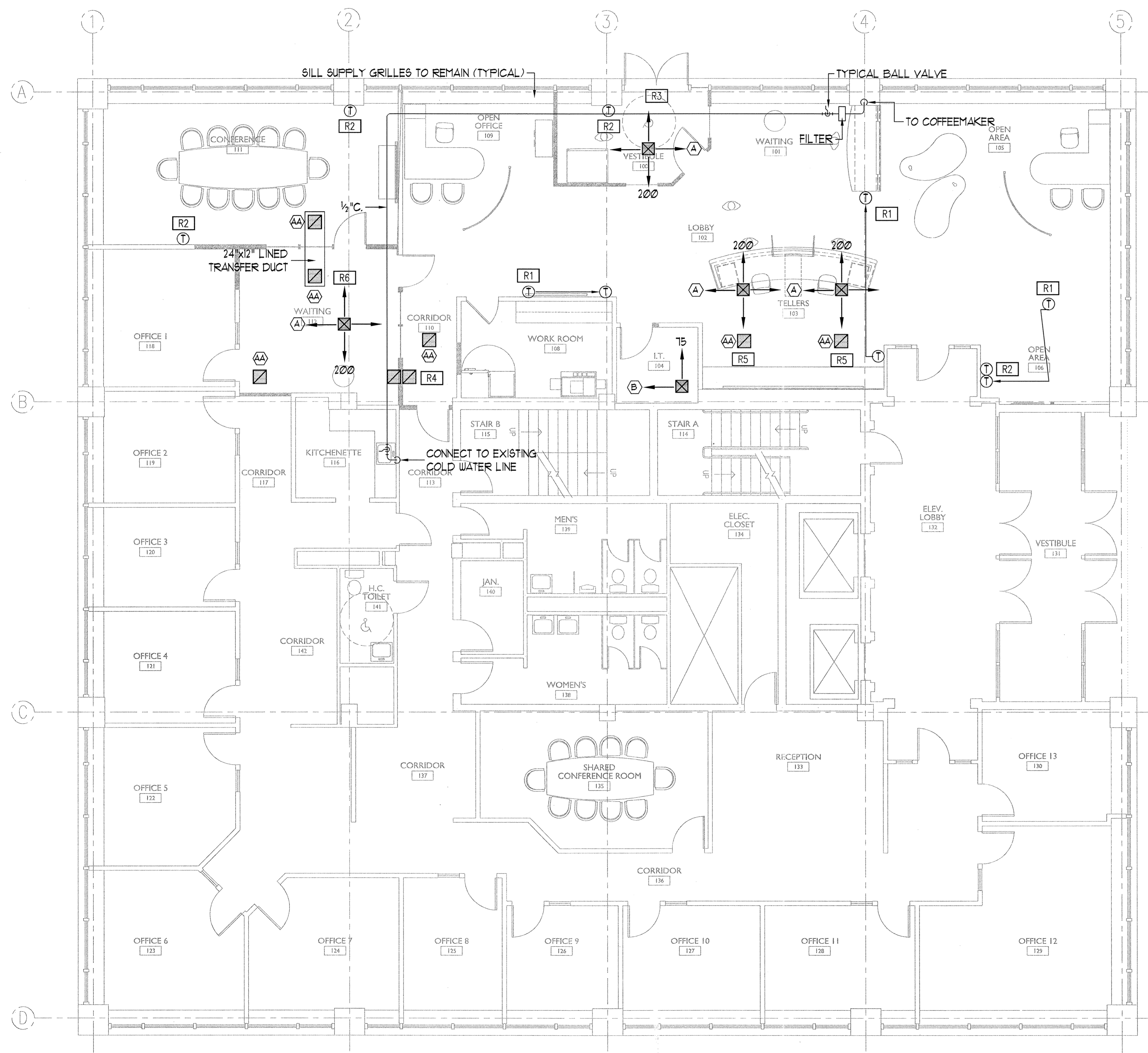
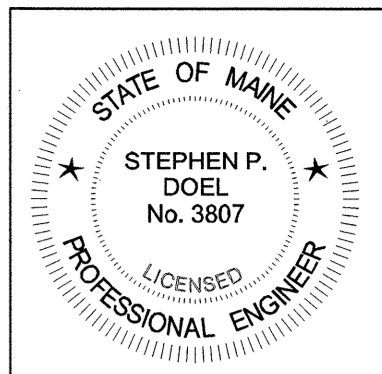
REVISIONS		
#	DATE	DESCRIPTION
1	04.06.11	BID DOCUMENTS

DATE:	04.06.11
PROJECT #	010111
DRAWN BY:	TWG
CHECKED BY:	WSBJR
DRAWING SCALE	

SHEET TITLE
POWER PANELS, ONE LINE DIAGRAM, LIGHTING FIXTURE SCHEDULE AND SYMBOLS

E400

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Mechanical General Notes

- R1 - Relocate existing pneumatic thermostat.
- R2 - Existing pneumatic thermostat to remain.
- R3 - Cap existing sill grille supply ducts at new door.
- R4 - Remove existing return grilles.
- R5 - Replace existing return grilles with new grilles as indicated.
- R6 - Replace the existing diffuser with a new diffuser, as indicated.

1. Cold water piping shall be Schedule 80 CPVC (FlowGuard "Gold", or equal) with 1" thick fiberglass pipe insulation with ASK. Ball valves shall be Apollo, Watts, or equal.
2. Ceiling diffusers "A" & "B" shall be Price Model "AMX", or equal, lay-in type, with volume damper. "A" shall have a 9"x9" neck and "B" shall have a 6"x6" neck. Connect to existing dual duct box ductwork with flexible duct.
3. Ceiling return grilles "AA" shall be Price 630 series, 22"x22", white finish, lay-in.
4. The coffeemaker water filter shall be an Aquasana Model AQ-1000, or equal, to remove chlorine, lead, VOC's, THM's, cysts and turbidity, using activated carbon, ion exchange and sub micron filtration.
5. Control system work shall be by Basix (only).

THE BANK OF MAINE
 TWO CANAL PLAZA
 PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION
1	04.05.11	BID DOCUMENTS

DATE:	04.06.11
PROJECT #	010111
DRAWN BY:	SP Doel
CHECKED BY:	SP Doel
DRAWING SCALE	3/16" = 1'-0"

SHEET TITLE
Mechanical Plan

M.1

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