

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 040703

This is to certify that October Corporation/Reagan Company
has permission to rehab 4 offices & reception area
AT 2 Canal Plaza 032 I033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. OK

Health Dept.

Appeal Board

Other _____

Department Name

[Signature] 6/2/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0703	Issue Date:	CBL: 032 I033001
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Location of Construction: 2 Canal Plaza	Owner Name: October Corporation	Owner Address: One Canal Plaza 5th Floor	Phone:
Business Name:	Contractor Name: Reagan & Company	Contractor Address: 106 Merrill Rd. Gray	Phone: 12076576353
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Past Use: 2nd floor office space	Proposed Use: 2nd floor office space	Permit Fee: \$1,491.00	Cost of Work: \$155,000.00	CEO District: 1
Proposed Project Description: rehab 4 offices & reception area		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2c 6/2/04 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: jodinea	Date Applied For: 06/02/2004	Zoning Approval
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Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: <i>ok 6/9/04</i>	Date: _____	Date: <i>Any official work requires separate review? Approval</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/25/04 OK for framing closure and Electric

by McCollier. A. Rowe

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0703	Date Applied For: 06/02/2004	CBL: 032 I033001
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Location of Construction: 2 Canal Plaza	Owner Name: October Corporation	Owner Address: One Canal Plaza 5th Floor	Phone:
Business Name:	Contractor Name: Reagan & Company	Contractor Address: 106 Merrill Rd. Gray	Phone: (207) 657-6353
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: 2nd floor office space	Proposed Project Description: rehab 4 offices & reception area
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 06/09/2004	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Mike Nugent	Approval Date: 06/21/2004	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 06/10/2004	Note: 1) the fire alarm system shall be maintained to NFPA 72 standards	Ok to Issue: <input checked="" type="checkbox"/>

04-0703

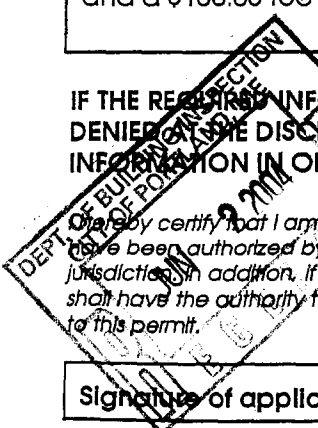
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Two Canal Plaza</u> <u>Arthur D. Morse</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>10254 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>32</u> Block# <u>I</u> Lot# <u>33</u>	Owner: <u>October Corp</u> <u>1 Canal Plaza SW</u> <u>Portland, ME 04101</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>Inovant.</u>	Applicant name, address & telephone: <u>Reagan & Company</u> <u>106 Merrill Rd Gray Me.</u> <u>657-6353 04039</u>	Cost Of Work: \$ <u>150,000</u> Fee: \$ <u>1916⁰⁰ /⁰⁰</u>
Current use: <u>Inovant. Office</u> <u>2nd Flr.</u>		<u>75⁰⁰ /⁰⁰</u>
If the location is currently vacant, what was prior use: _____		<u>1491⁰⁰ /⁰⁰</u>
Approximately how long has it been vacant: _____		
Proposed use: <u>Remodel add 4 offices & reception area</u>		
Project description: <u>add walls, paints, floors, etc.</u>		
Contractor's name, address & telephone: <u>Reagan & Company 106 Merrill Rd</u> <u>657-6353</u> <u>Gray ME 04039</u>		
Who should we contact when the permit is ready: <u>Reagan & Company</u> <u>106 Merrill Rd Gray ME. 04039</u>		
We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>329-3441</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: <u>Carole Reagan</u>	Date: <u>6/1/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

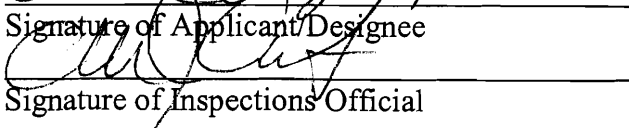
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of Applicant/Designee

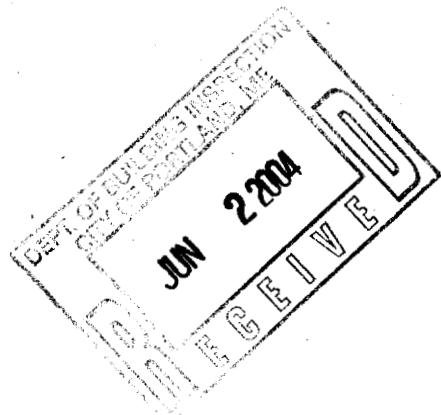
Date


Signature of Inspections Official

Date

CBL: 032 I 33

Building Permit #: 040703



CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Room 315
 Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: GREGORY NINOW / CUBELLIS ASSOC
 Address of Project: 2 CANAL PLACE
 Nature of Project: INTERIOR RENOVATION /
TENANT FIT-UP

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: [Signature]
 Title: PRINCIPAL
 Firm: CUBELLIS ASSOCIATES
 Address: 420 FORE ST
PORTLAND ME
 Phone: 207-874-2777

(SEAL)



JUN 2 2004
RECEIVED



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: GREGORY D NINOW - CUBRELLIS ASSOC

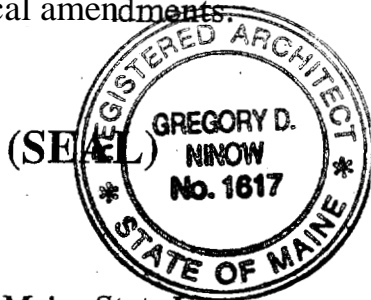
RE: Certificate of Design

DATE: June 1 '04

These plans and / or specifications covering construction work on:

2ND FLOOR - 2 CANAL PLAZA

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **BOCA National Building Code / 1999 (Fourteenth Edition)** and local amendments.



Signature: [Handwritten Signature]

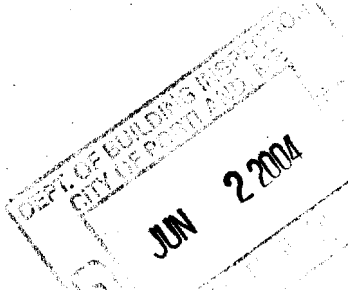
Title: PRINCIPAL

Firm: CUBRELLIS ASSOCIATES

Address: 428 FORT ST
PORTLAND ME

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Room 315
 Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
 Department of Planning & Urban Development
 Division of Housing & Community Service

FROM DESIGNER: GREGORY NINOW - CIBKELLIS ASSOC

DATE: JUNE 1 '04

Job Name: NOVANT

Address of Construction: 2 - 2 CANAL PLAZA

THE BOCA NATIONAL BUILDING CODE 1999 (FOURTEENTH EDITION)

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA '99 Use Group Classification(s) B

Type of Construction TYPE IIC Structural Systems N/A NO STRUCT. MODIFICATIONS MADE.

Roof Snow Load
 _____ Ground Snow Load (Pg)
 _____ If Pg > 10 psf, Flat Roof snow load, Pf
 _____ If Pg > 10 psf, snow exposure factor, Ce
 _____ If Pg > 10 psf, roof thermal factor
 _____ If Pg > 10 psf, snow load importance factor, I
 _____ Sloped Roof Snowload Ps

Earthquake Loads
 _____ Peak velocity-related acceleration, Av
 _____ Peak acceleration, Aa
 _____ Seismic hazard exposure group
 _____ Seismic performance category
 _____ Soil profile type
 _____ Basic structural system/seismic-resisting system
 _____ Response modification factor, R, and deflection amplification factor, Cd,

_____ The documents must account for Drift snow load, unbalanced snow load and Sliding snow loads as required.

Wind Loads
 _____ Basic Wind Speed
 _____ Internal Pressure Coefficient
 _____ Wind Exposure Category _____ Wind Design Pressure _____ Wind Importance Factor

ISSUE/REVISION DATE

1 2/16/04
 1 2/16/04
 1 2/16/04
 1 2/16/04
 1 2/16/04
 1 2/16/04
 1 2/16/04

LIST OF DRAWINGS

T001 TITLE SHEET
 A002 2NDFLOOR DEMOLITION PLAN
 A102 2ND FLOOR CONSTRUCTION PLAN
 A402 2ND FLOOR REFLECTED CEILING PLAN
 A801 DOOR SCHEDULE, ELEVATIONS & DETAILS
 A902 2ND FLOOR FINISH PLAN
 A922 2ND FLOOR FURNITURE & OUTLET LOCATION PLAN

PROJECT DATA

1. ISSUED FOR: DESIGN OR PERMITS - _____ OF (DATE)
 1. ISSUED FOR: BID FOR - _____ OF (DATE)
 2. SEE SPEC: REFERRED SEE SPEC

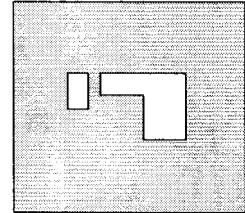
RIS F HISTORY

1 2/16/04 - ISSUED FOR PRICING
 2 5/24/04 - ISSUED FOR CONSTRUCTION

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL PROVIDE ANY MECHANICAL WORK REQUIRED ON A DESIGN BUILD BASIS. REBALANCE SYSTEM WHEN COMPLETE.
1. GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WORK ON A DESIGN BUILD BASIS.
1. GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE PROTECTION WORK ON A DESIGN BUILD BASIS.
1. MEP DESIGN BUILD SCOPE OF WORK SHALL MEET ALL APPLICABLE STATE AND CITY CODE REQUIREMENTS.
1. ALL WORK SHALL conform to FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES INVOLVED IN ALL PHASES OF THE PROJECT. GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS FOR COMPLETION AND AS REQUIRED.
1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS, PERMITS AND ORDINANCES FROM THE ARCHITECT AND ALL APPLICABLE AGENCIES PRIOR TO AND ALL PLAN CHANGES BEING AFTER SIGNATURE OF THE ARCHITECT.
1. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (NAC) OR EXEMPTED, ALL PERMITS, FEES AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT FORMED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.
1. CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING, METHODS AND TECHNIQUES.
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND OBTAINING ALL FEDERAL, STATE, LOCAL, TRIBAL, INDIAN, HISTORICAL, ETC.
1. CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PUBLIC AND MEDIA RELATIONS AS NECESSARY AND AS DIRECTED BY OWNER, CONTRACTOR AND REGULATIONS OF GOVERNMENTAL AGENCIES INVOLVED IN ALL PHASES OF THE PROJECT.
1. CONTRACTOR TO NOTIFY THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE AGENCY OF ANY CHANGES IN THE WORK. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.
2. PRIOR TO CLEARING ANY WALLS OR CEILING, ALL SYSTEMS (ELECTRICAL, PLUMBING, MECHANICAL) SHALL BE IDENTIFIED AND MARKED. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.
2. THE ARCHITECT RESERVES THE RIGHT TO HAVE ANY FINISHED RECEPTION OR BUILT-IN OBJECT OF WORK. THE ARCHITECT SHALL APPROVE THE WALLS OR CEILING TO BE CLEARED. THE ARCHITECT SHALL HAVE THE RIGHT TO INSPECT AND APPROVE THE WORK. THE ARCHITECT SHALL HAVE THE RIGHT TO INSPECT AND APPROVE THE WORK. THE ARCHITECT SHALL HAVE THE RIGHT TO INSPECT AND APPROVE THE WORK.
14. AT MEA CONSTRUCTION PROVIDE ONE PRIMER COAT AND TWO TOP COATS OF PAINT WITH COLOR AND FINISH TO MATCH ADJACENT SURFACES. PROVIDE VENTILATION TO MATCH BELONG SPECIFICATION.
15. MEET CHAPTER 507 SUBCHAPTER 4 SCHEDULES FOR ARCHITECT REVIEW & APPROVAL FOR THE FOLLOWING:
 - a. PART 5 WORK, BARE SHAPED
 - b. DOORS, PARTIAL, UNFINISHED SCHEDULES & PRODUCT DATA SHEETS
 - c. FLOORING, SHEET DRAPINGS & SHAPED
 - d. CEILING FINISH
 - e. LIGHT FIXTURES
16. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS ABOVE SPECIFICATIONS, THE CONTRACTOR SHALL INSTRUCTIVE CONTRACTOR SHALL BE DESIGN THE CONTRACTOR RESPONSIBLE, UNLESS OTHERWISE SPECIFIED IN NOTES, FROM THE OWNER.
17. GENERAL CONTRACTOR SHALL MAINTAIN WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP THE PROJECT CLEAR OF TRUCKS, TRAILERS, STORAGE MATERIALS, ETC.
19. CHANGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE PAID UNLESS THE WORK AND THE AGREEMENT ARE AGREED TO BY THE OWNER IN WRITING BEFORE THE WORK IS DONE BY THE CONTRACTOR.
20. AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSURANCE FOR THE PORTION OF WORK.
21. ALL DRAWINGS ARE TO THE PAGE OF ORIGINAL OR PREVIOUS EDITION.
22. QUALITY CONTROL:
 - A. THE CONTRACTOR SHALL CONDUCT THE TESTING AND HAVE THE RESULTS REPORTED TO THE ARCHITECT BY OWNER, CONTRACTOR AND REGULATIONS OF GOVERNMENTAL AGENCIES INVOLVED IN ALL PHASES OF THE PROJECT.
 - B. INSTALLATION SUBJECT AS HOW BE PROVIDED, UNLESS INDICATED OTHERWISE IN THESE NOTES. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.
 - C. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.
 - D. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.
 - E. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND ASSEMBLED REQUIRED FOR THE WORK, PERMITS.

RECEIVED
 JUN 2 2004
 32 I 33



LOCUS PLAN

NOVANT
 TWO CANAL PLAZA
 PORTLAND, ME

TITLE SHEET

Cubellis Associates Inc.
 Architects
 1000 Exchange Street
 Portland, ME 04101
 Tel: 603.761.1111
 Fax: 603.761.1112
 www.cubellis.com

T001

03373





**INTERIOR RENOVATIONS TO:
 NOVANT
 TWO CANAL PLAZA - PORTLAND, ME
 2ND FLOOR RENOVATION**

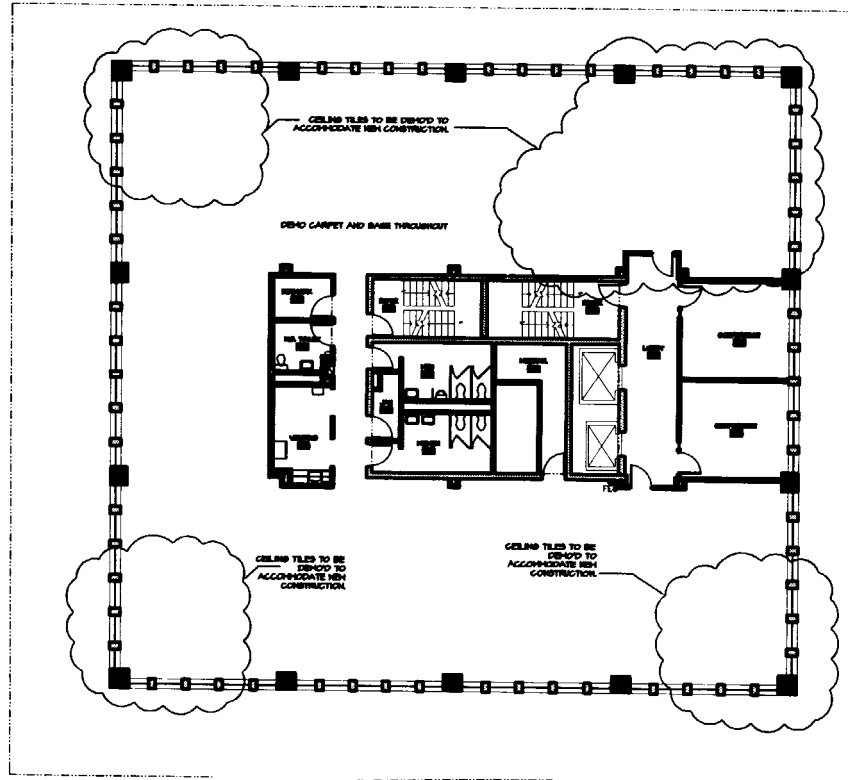
COPYRIGHT © BY CUBELLIS ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF CUBELLIS ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CUBELLIS ASSOCIATES, INC.

DEMOLITION NOTES

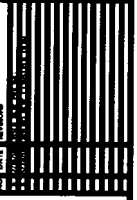
1. THE CONTRACTOR SHALL FURNISH A SITE WALK-DOWN WITH SUB-CONTRACTORS PRIOR TO STARTING WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OPERATIONS, PERMITS AND INSURANCE.
3. SALVAGE ITEMS THAT HAVE CURRENT CODES SUCH AS FIVE ALARM CALL BELL, FILL SYSTEMS, SCRAMBLERS, SIGNALS, LIGHTS, ETC. SHALL BE REMOVED.
4. ANY DAMAGE TO EXISTING MECH. ROOMS IS NOT COVERED FOR REPAIRS OR REPLACEMENT SHALL BE REMOVED AND RE-PLACED BY THE CONTRACTOR. DAMAGE TO EXISTING MECH. ROOMS SHALL BE REPAIRS TO BE COVERED BY THE CONTRACTOR. OPERATIONS SHALL BE COMPLETED AS TO INSURE AS PER IS REPAIRS OR REPLACED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION DEBRIS FROM THE SITE, LEAVING A CLEAN WORK OFFICE. THE CONTRACTOR SHALL REMOVE ALL FLOORING AND COVERED CEILING AND INSULATION FROM MECH. ROOMS, SCRAMBLER ROOMS AND MECH. ROOMS.
6. ANY MECH. EQUIPMENT REMOVED TO EXISTING BUILDING SHALL BE MAINTAINED IN FULLY OPERABLE CONDITION AND SHALL REMAIN A MINIMUM OF FIVE (5) DAYS AFTER DEMOLITION IS COMPLETED.
7. CONTRACTOR SHALL PROVIDE AND MAINTAIN PROTECTION AS REQUIRED BY THE PROJECT OWNER & LOCAL REGULATORY AGENCIES.
8. REMOVE EXISTING CONSTRUCTION AS SHOWN ON EXISTING MECH. ROOMS. THIS SHALL NOT BE LIMITED TO PARTITIONS, CEILING, FLOORING AND MECH. ROOMS. APPLIED SURFACE FINISHES, CEILING ASSEMBLY, FLOOR COVERING, ELECTRICAL PARTITION, LIGHTING FIXTURES AND EXISTING ELECTRICAL, GAS, TEL, DATA CABLES AND ELECTRICAL PARTITION DISTRIBUTION SYSTEMS SHALL BE REMOVED.
9. REMOVE AND DISPOSE OF CEILING TILE AND GRID & ANCHORS TO REMOVE NEW CEILING TILE AND GRID OR AS NOTED IN DRAWINGS.
10. CUT AND CAP EXISTING UNDESIRABLE CONCRETE AND OTHER WALLS. REMOVE AND REPAIR THE SLAB, FILL VOUCHERED BY SLAB OF CONCRETE. PARTITION NUMBER & FLOOR SLAB.
11. FURNITURE REMOVAL TO BE PROVIDED BY OWNER. CONTRACTOR TO COORDINATE FURNITURE REMOVAL WITH OWNER.
12. REMOVE ALL CARPETING AND WALL BASE INCLUDING ALL BASE MOULDING.

DEMOLITION LEGEND

-  EXISTING PARTITIONS TO REMAIN
-  EXISTING PARTITIONS TO BE DEMOLISHED
-  EXISTING ROOMS & PARTS TO BE REMOVED AND REPLACED
-  EXISTING STRUCTURE TO BE REMOVED



D DEMOLITION PLAN
WF - 100



NOVANT
TWO CHINA PLAZA
PORTLAND, ME

THE
DEMOLITION PLAN
2ND FLOOR

Cubellis
Associates Inc.



A002

00073

CONSTRUCTION NOTES

1. REFERENCED TO VERIFY THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK. THE ARCHITECT CONSIDERS THIS NOT A GUARANTEE OF ACCURACY.
2. PRIOR TO GLAZING ANY WALLS OR WINDOWS, ALL SURFACES (WALLS, FLOORS, CEILING) SHALL BE PROTECTED AND COVERED AGAINST DAMAGE BY CONSTRUCTION MATERIALS AND BY PROTECTIVE MEASURES. PROVIDE PROTECTION TO EXISTING WORK THROUGHOUT CONSTRUCTION AND FINISHING.
3. PROVIDE FIRE RATED GLAZING AT ALL LOCATIONS OF SEPARATING WALLS OR OTHER PARTS INTENDING TO BE GLAZED TO WALLS.
4. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE CODES.
5. WALLS TO BE CONFORM TO APPLICABLE STANDARDS INCLUDING SILENT CLOSURE SYSTEMS - PROVIDE SILENT.
6. NEW FINISHES SHALL BE PLAIN, BEIGE, SEMI-GLOSS AND PARALLEL OR PERPENDICULAR TO THE CODE.
7. NEW DOORS AND SLEETS FINISH TO MATCH EXISTING IN HOUSE/TYPE. COORDINATE WITH OWNER.
8. DOORS TO FINISH 1" FROM ADJACENT WALL ON INSIDE SIDE OF DOOR SLAB.
9. WINDOW BASES CONSTRUCTION AT ALL FINISHINGS IN BASE WALLS.
10. THE ARCHITECT RESERVES THE RIGHT TO MAKE ANY FINISHES, RECEPTACLE OR SWITCHES CHANGE UP UNTIL THE FINAL WORK SHALL BE COMPLETED. THIS SHALL BE SUBJECT TO THE ARCHITECT'S APPROVAL. THE OWNER SHALL BE RESPONSIBLE TO THE ARCHITECT'S APPROVAL. SO AS NOT TO COMPLY WITH ANY APPLICABLE STANDARDS.
11. ALL FINISHING ARE TO FACE OF WALL SLAB.
12. ANY PROVISIONS OR FINISHES REQUIRED BY THIS CONSTRUCTION SHALL BE REPLACES/REVISED.
13. REFER BACK TO EXISTING WALLS & AREA OF OVERLAP, AND ADJUSTMENT TO NEW CONSTRUCTION AND AS NOTED ON PLAN.
14. PROVIDE FINISH AT LOCATIONS OF EXISTING WALLS SHALL BE MATCHED EXISTING FINISHES.
15. GENERAL CONTRACTOR TO COORDINATE AND VERIFY BY OWNER INVESTMENT'S SECURITY VOUCHER.

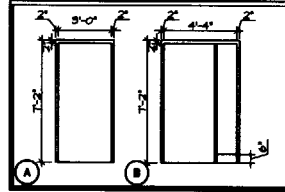
DOOR AND FRAME SCHEDULE									
NUM	DOOR SIZE			FRAME		FIRE RATING	HARDWARE SET NO	NOTES	
	HD	HGT	THK	MATL TYPE	MATL TYPE				
205	3'-0"	7'-0"	1/2"	MD	A	NHL	A	WHITE BIRCH TO MATCH HORIZONTALS	
206	3'-0"	7'-0"	1/2"	MD	A	NHL	B	WHITE BIRCH TO MATCH HORIZONTALS	
207	3'-0"	7'-0"	1/2"	MD	A	NHL	B	WHITE BIRCH TO MATCH HORIZONTALS	
208	3'-0"	7'-0"	1/2"	MD	A	NHL	B	WHITE BIRCH TO MATCH HORIZONTALS	
209	3'-0"	7'-0"	1/2"	MD	A	NHL	B	WHITE BIRCH TO MATCH HORIZONTALS	

HARDWARE SCHEDULE

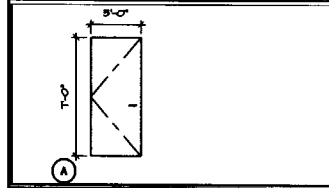
A - SARGENT & Lundy MORTISE LOCKS WITH LEVER TYPE HANDLE AND HIDEWAY HINGES (MATCH EXISTING)

NOTE: GC TO COORDINATE ALL KEYING AND KEY QUANTITIES WITH TENANT.

FRAME TYPES

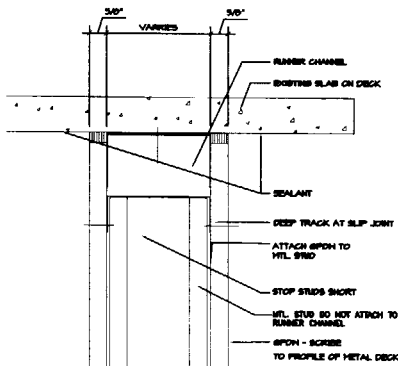


DOOR TYPES

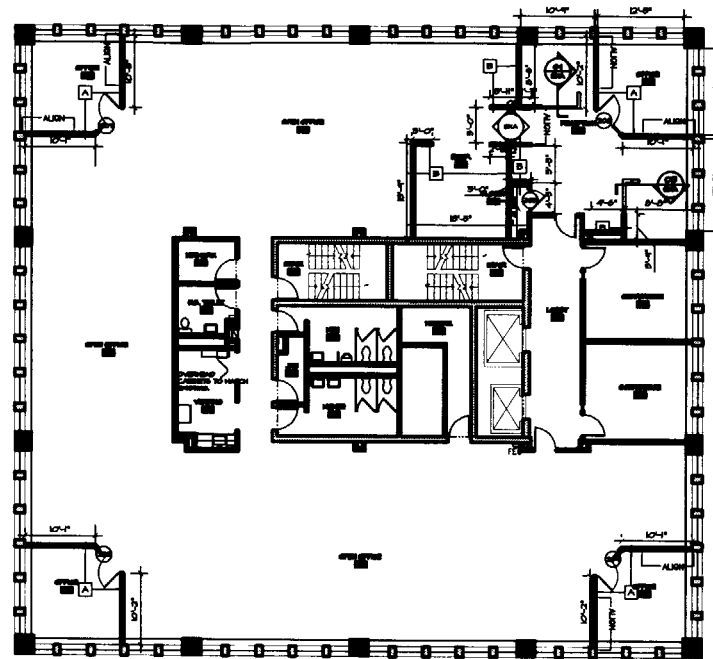


CONSTRUCTION LEGEND

- ===== EXISTING PARTITIONS TO REMAIN
- NEW GLASS PARTITIONS - GENERAL DRINK 1/2" GLAZING OVER EXISTING WALLS
- [Symbol] GLAZING PARTITION (1) LAMINATED GLAZING WITH ONE OF 3/4" OF 3/4" OF METAL STUB. ONLY AND FROM FLOOR TO TOP OF PARTITION. PROVIDE SILENT BEARING IN ALL PARTITIONS WALLS. THE METAL STUBS FOR GLAZING & METAL STUBS.
- [Symbol] GLAZING PARTITION (2) LAMINATED GLAZING WITH ONE OF 3/4" OF METAL STUB. ONLY AND FROM FLOOR TO TOP OF PARTITION. PROVIDE SILENT BEARING IN ALL PARTITIONS WALLS.
- [Symbol] ROOM MAKE & REPAIR
- [Symbol] NEW DOOR



NOTE: PROVIDE IN ALL LOCATIONS WHERE PARTITIONS ARE SPECIFIED TO EXTEND TO STRUCTURE ABOVE. REFER TO FLOOR PLANS FOR PARTITION LOCATIONS AND SPECIFIC PARTITION TYPES.



20 PARTITION DETAIL AT DECK CLOSURE
1/2" x 1/2"

10 CONSTRUCTION PLAN
1/2" x 1/2"

NOVANT
TWO CANAL PLACE
FREDERICK, MD

CONSTRUCTION
PLAN - 2ND FLOOR

Cubellis Associates Inc.
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10000 Old Branch Road, Suite 200
Frederick, MD 21731
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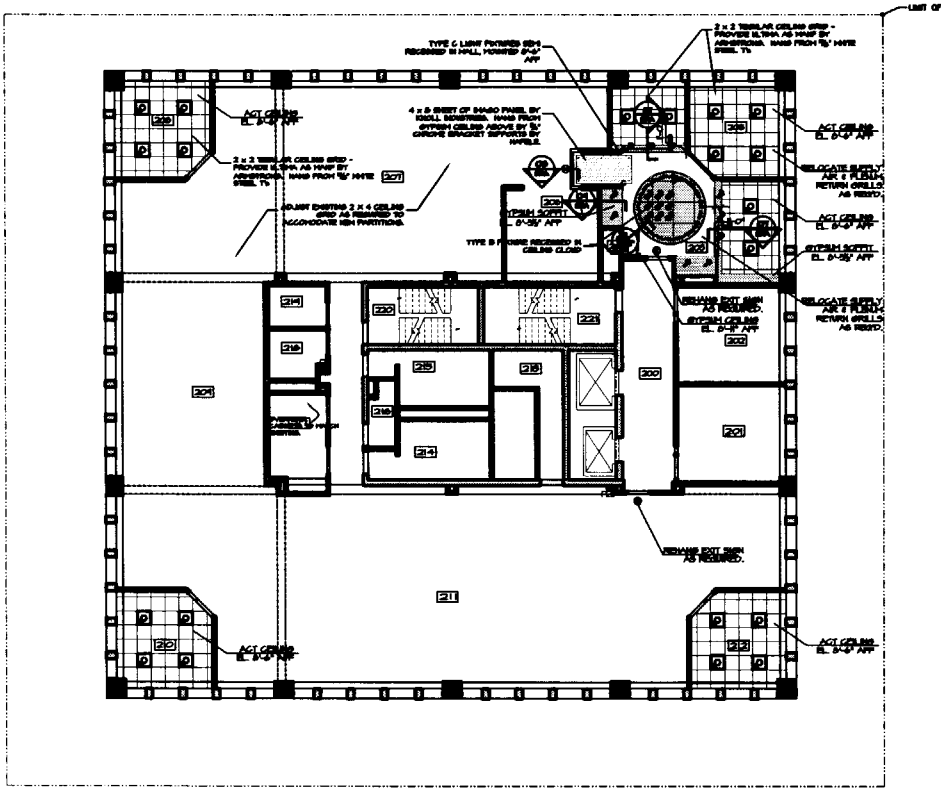
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REFLECTED CEILING NOTES

1. THIS PLAN IS FOR CEILING FIXTURES, LIGHT LAYOUT ONLY. REFER TO MEP DRAWINGS PROVIDED FOR AIRFLOW, EQUIPMENT.
2. NEW EXISTING LIGHT FIXTURES, EQUIPMENT AND ANY CEILING DEPENDENT ITEMS SHALL BE SHOWN IN CEILING SYMBOLS AND WILL BE SHOWN ON MEP DRAWINGS SEPARATE.
3. CEILING HEIGHT TO BE AS SHOWN ON GENERAL NOTES.

REFLECTED CEILING LEGEND

- NEW LED RECESSED LIGHT FIXTURE
- NEW FLUSH MOUNT LIGHT FIXTURE
- EXISTING FLUSH MOUNT LIGHT FIXTURE
- ▣ NEW 2x4 ACROBATIC CEILING PANEL, 8'x8'
- ▨ NEW 2x2 GRID
- ⊙ CEILING REMOVED EXPOSED



LIGHT FIXTURE SCHEDULE

NO.	DESCRIPTION	QTY	REMARKS
1	TYPE C LIGHT FIXTURE 2x4 RECESSED IN WALL, POWERED 0-10V APT		
2	2 x 4 2' SQUARE CEILING GRID - PROVIDE ALTHOUGH AS SHOWN BY ARCHITECTURAL, MARK FROM 10' HANGERS FROM 10'		
3	4 x 8 GRID OF BOARD PANEL, 10'x10' FROM EXISTING CEILING ABOVE BY CEILING BRACKET SUPPORTED BY WALLS		
4	TYPE B FAN RECESSED IN CEILING CLOUD		
5	RELOCATE SUPPLY AIR & RETURN GRILLS AS NOTED		

10 REFLECTED CEILING PLAN
2F - 10'

CUBELLIS ASSOCIATES, INC. 1000 BROADWAY, SUITE 1000, PORTLAND, ME 04101
 TEL: 603.733.1100 FAX: 603.733.1101
 WWW.CUBELLIS.COM
 PROJECT NO. 2024-001
 SHEET NO. 10 OF 10
 DATE: 10/20/24

NOVANT
TWO CROW PLAZA
PORTLAND, ME

REFLECTED CEILING PLAN - 2ND FLOOR

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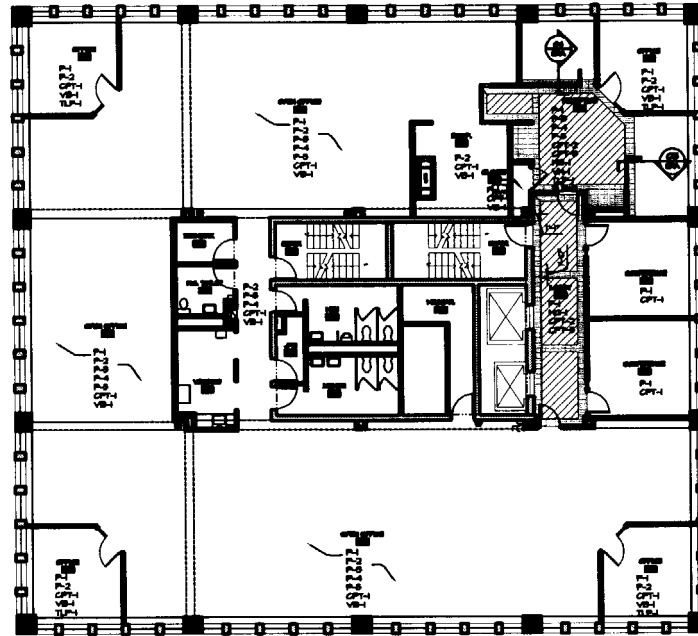
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FINISHES NOTES

1. CONTRACTOR SHALL PROVIDE DESIGN AND FINAL FINISH FINISH OF THE FLOOR SLAB FOR AN EASE CRUISE BY VEHICULAR.
2. SHALL TO RECEIVE ONE FINISH COAT AND TWO TOP COATS, LATE ONE MINIMUM FINISH.
3. FINISH TO BE DONE AT CONCRETE OF WALLS AND AT CORNER OF CORNER AND VEE.
4. WALLS FINISHING LATE FINISH COAT JAMES BEHIND THE WALL.
5. ALL WORK & BEING FINISH WITHIN SCOPE OF WORK TO BE CLEAR ASIDE FINISH TO BEING FINISH.
6. CONTRACTOR PROVIDE AND LATE FINISHING WITH OWNER.

FINISHES LEGEND

-  FLOOR FINISH (SPT & SPT)
-  AREA CRUISE (SPT)
-  AREA CRUISE (SPT)



FINISH SCHEDULE

NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	AMOUNT	REMARKS
1	FLOOR FINISH	SQ. FT.	1000	1.00	1000.00	CONCRETE LINE OF WORK SLAB
2	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
3	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
4	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
5	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
6	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
7	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
8	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
9	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
10	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
11	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
12	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
13	AREA CRUISE	SQ. FT.	500	1.00	500.00	CONCRETE LINE OF WORK SLAB
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1 FINISH PLAN 2ND FLOOR

NOVANT
TWO CANAL PLACE
PORTLAND, ME

FINISH PLAN
2ND FLOOR

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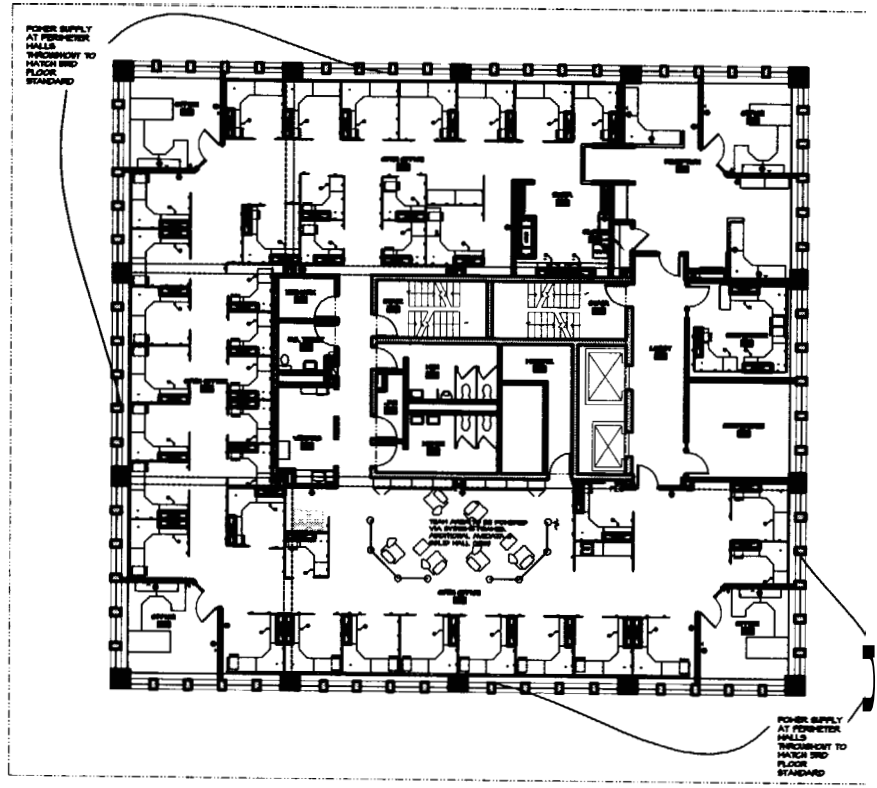
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OUTLET AND FURNITURE NOTES

1. THE PLAN SHOWS APPROXIMATE DESK LOCATIONS. CONTRACTOR TO VERIFY DESKING QUANTITIES LOCATIONS IN THE FIELD TO DETERMINE WHERE THE OUTLETS WILL BE INSTALLED.
2. FURNITURE, PARTIALS AND EQUIPMENT SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL MAKE SURE OFFICE TO CORRESPOND TO THE REQUIREMENTS OF THE CONTRACTOR TO THE CURRENT CODES AND STANDARDS.
3. FURNITURE LOCATED TO VERIFY AND DETERMINE THE EXISTING FURNITURE LOCATIONS IN THE FIELD FROM DESKING ONLY.
4. ALL CHANGES TO BE COORDINATED AND RELEASED BY ARCHITECT.
5. GENERAL CONTRACTOR TO OBSERVE THE EXISTING LOCATION OF OUTLETS AND VERIFY WITH FURNITURE VENDOR.
6. REFER TO S.E.P. DRAWINGS FOR MORE INFORMATION FOR FURNITURE VENDOR.
7. CONTRACTOR TO INSTALL ANY NECESSARY OR OTHER ROOM PROTECTION SCREENS PROVIDED BY VENDOR.

OUTLET LEGEND

- TRIPLE STANDARD DUPLEX OUTLET @ 1'-0" AFF. (SEE ELECTRICAL NOTES)
- TRIPLE STANDARD GROUND DUPLEX OUTLET @ 1'-0" AFF. (SEE ELECTRICAL NOTES)
- ▲ TELEPHONE/DATA OUTLET @ 1'-0" AFF.
- OVER HOOKUP TO NEW AS IS MAIN
- ⊕ EXISTING FURNITURE POWER ENTRY STOP
- ⊖ SINGLE POLE SWITCH



10 FURNITURE & OUTLET PLAN
2ND FLOOR

 PROJECT NO: 08-001	<h1 style="margin: 0;">NOVANT</h1> <p style="margin: 0;">TWO CHINA PLAZA PORTLAND, ME</p>	2ND FLOOR FURNITURE PLAN OUTLET PLAN
CUBELLIS ASSOCIATES, INC. ARCHITECTS 1000 BOSTON STREET, SUITE 200 PORTLAND, ME 04101 TEL: 603-761-1111 FAX: 603-761-1112 WWW.CUBELLIS.COM		
<h2 style="margin: 0;">A922</h2>		

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