

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 030868

This is to certify that October Corporation/Payton Inc Corp
has permission to Tenant Fit - Up/ Alteration to existing office Space for a Computer Room
AT 2 Canal Plaza City of Portland 032 1033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 8/10/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0868	Issue Date:	CBL: 032 I033001
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Location of Construction: 2 Canal Plaza	Owner Name: October Corporation	Owner Address: One Canal Plaza 5th Floor	Phone: 871-1290
Business Name:	Contractor Name: Payton Maine Corp.	Contractor Address: 75 Market Street Portland	Phone: 2077727222
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Office Space/Commercial	Proposed Use: Office Space/Commercial	Permit Fee: \$471.00	Cost of Work: \$49,612.00	CEO District: 1
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Proposed Project Description: Tenant Fit - Up/ Alteration to existing office Space for a Computer Room <i>basement</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2B 8/18/03 <i>[Signature]</i>
	Signature: <i>[Signature]</i>	

Permit Taken By: gad	Date Applied For: 07/21/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>7/29/03</i>	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0868	Date Applied For: 07/21/2003	CBL: 032 I033001
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Location of Construction: 2 Canal Plaza	Owner Name: October Corporation	Owner Address: One Canal Plaza 5th Floor	Phone: () 871-1290
Business Name:	Contractor Name: Payton Maine Corp.	Contractor Address: 75 Market Street Portland	Phone: (207) 772-7222
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Office Space/Commercial w/alterations to basement	Proposed Project Description: Tenant Fit - Up/ Alteration to existing office Space for a Computer Room
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 07/23/2003
Note: **Ok to Issue:**

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 07/24/2003
Note: **Ok to Issue:**

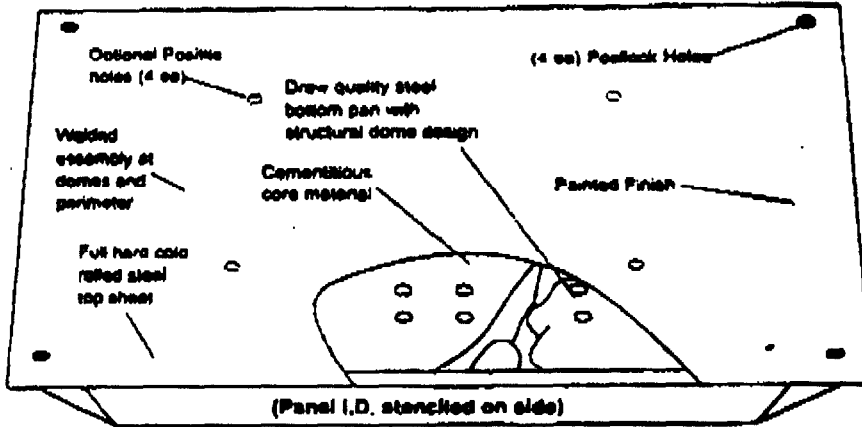
1) the fire alarm system shall be maintained to NFPA 72 standards

Comments:

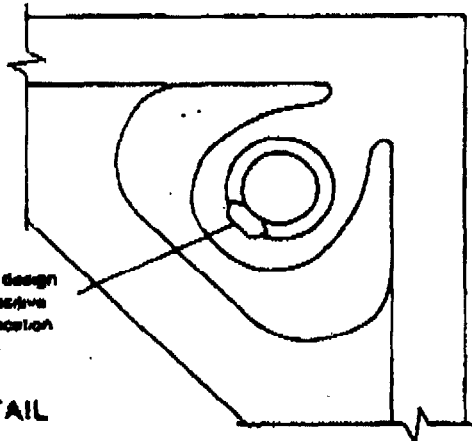
07/24/2003-mjn: Need info regarding "new raised floor system" ramp etc.....



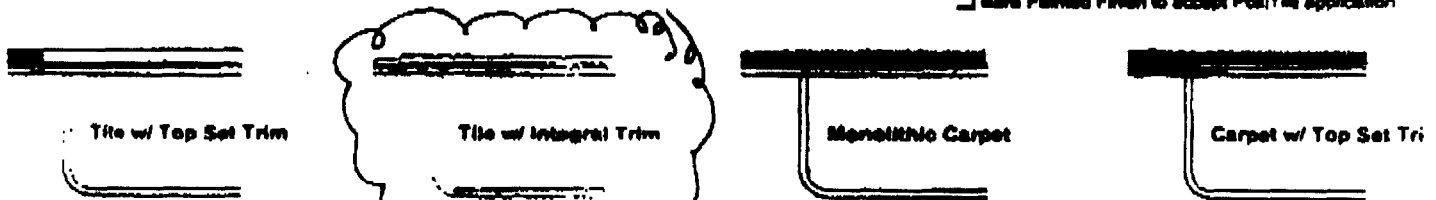
ConCore®: CC1250 Panel-24"



TOP VIEW



CORNER DETAIL



Performance Selection Chart

System Type	Understructure	SYSTEM WEIGHT	STATIC LOADS				ROLLING LOADS		IMPACT LOADS
			Concentrated Loads (see note 1)	Top Surface Deflection	Uniform Loads	Ultimate Loads (see note 2)	10 Passes	10,000 Passes (See Note 3)	
ConCore CC1250-24"	Positive	80 lbs / ft ²	1250 lbs	0.100"	300 lbs	MIN 2.5	1000 lbs	500 lbs	100 lbs
		44 kg / m ²	567 kg	2.54 mm	136 kg		454 kg	227 kg	45 kg
→ Bolted stringer	Positive	105 lbs / ft ²	1250 lbs	0.100"	300 lbs	MIN 2.5	1000 lbs	500 lbs	100 lbs
		51 kg / m ²	567 kg	2.54 mm	136 kg		454 kg	227 kg	45 kg

1 Loads to be applied anywhere on panel, permanent set after application of concentrated load shall be <0.010"
 2 Loads applied on a one square inch area. Results above indicate weakest point of panel. Panel shall be capable of withstanding without failure a minimum safety factor of 2.5 applied to the panel's concentrated load rating
 3 Local and overall top surface deformation shall not exceed 0.040"

SPECIFICATIONS

General Information

- 24 inch module, Panel Weight: 8.0 lbs./ft² bare
- All steel welded construction fitted internally with a cementitious core material.
- Protected from corrosion by a painted finish.
- Class A flame spread rating
- Non-combustible material.

UNDERSTRUCTURE OPTIONS

- Free-standing
- Snap-On Stringer
- Postlock
- Z Bolted Stringer
- Bolted Stringer

COVERING OPTIONS

- The factory laminated with top set trim edge
- 1/16" HPL _____ (color) _____
 - 1/16" Conductive HPL _____ (color) _____
 - 1/8" HPL _____ (color) _____
 - 1/8" Conductive HPL _____ (color) _____
 - 1/8" VCT _____ (color) _____
 - 1/8" Conductive Vinyl _____ (color) _____
 - 1/8" Static Dissipative Vinyl _____ (color) _____
- The factory laminated with integral trim
- 1/16" HPL STG-1 (color) GRAY STG
 - 1/16" Conductive HPL _____ (color) _____
- Carpet factory laminated with:
- Monolithic _____ (style, color) _____
 - Trim Edge _____ (style, color) _____
- Bare Painted Panel Options:
- Bare Painted Finish to accept carpet tile application
 - Bare Painted Finish to accept PostTile application

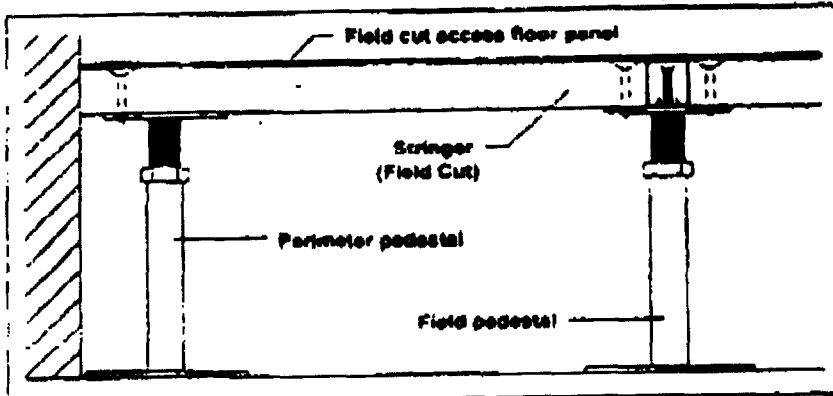
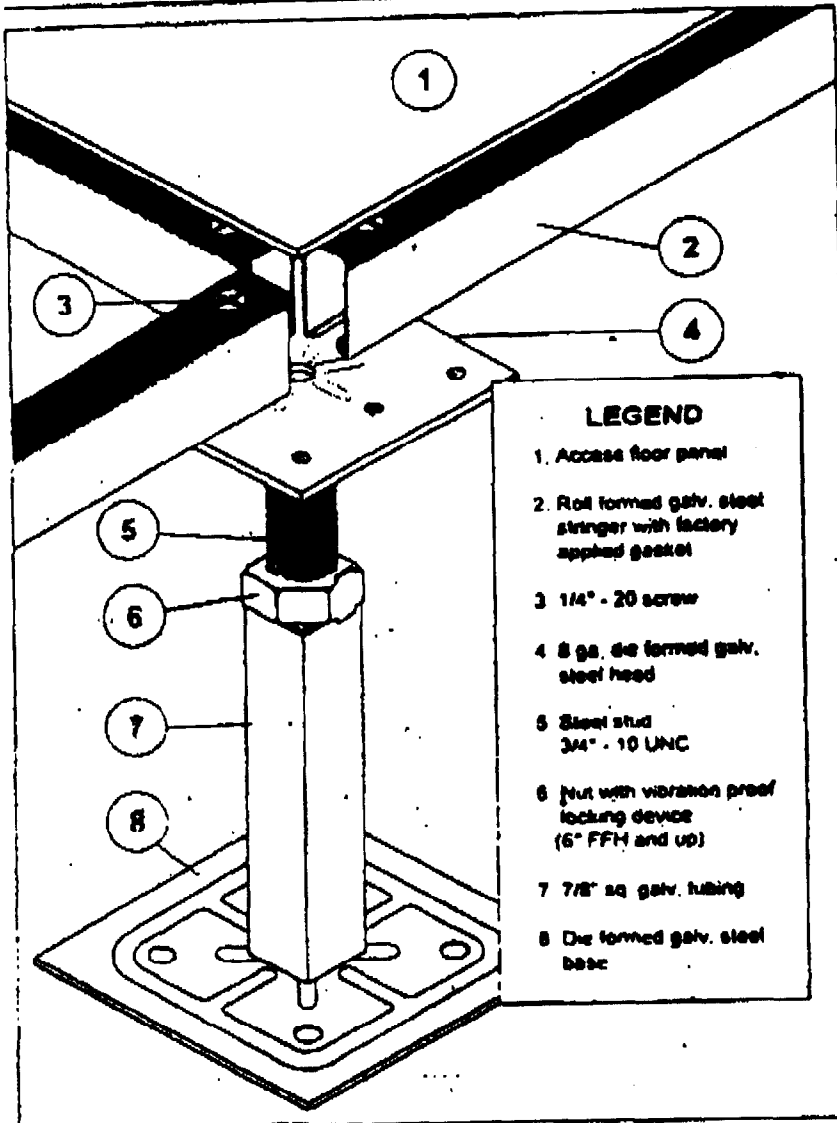
Tate Access Floors, Inc
 7510 Montevideo Road
 Jessup, MD 20784
 Tel (410)799-4200 Fax (410)799-4207

SPACE DESIGN SYSTEMS, INC.
 ENGINEERED CONSTRUCTION PRODUCTS
 P.O. BOX 126, KENNEBUNK, ME 04043
 (207) 985-3308 • (800) 244-3309

©1998 Tate Access Floors, Inc
 3/9



Bolted Stringer Understructure for ConCore[®] and All Steel Access Floor Panels-24"



PEDESTAL SPECIFICATIONS

Pedestal Assembly

- Assembly up to 36" FFH shall provide an 8,000 lb. axial load without permanent deformation.
- Assembly shall provide 2" total adjustment with a floor height of 7" or greater.
- Standard finished floor heights from 8" to 38". For other finished floor heights please contact the Tate Technical Hotline @ 800-231-7788. For seismic conditions, refer to seismic submittal details.
- Overturning moment of 1,000 in./lbs when Tate recommended pedestal adhesive is utilized.

Pedestal Head

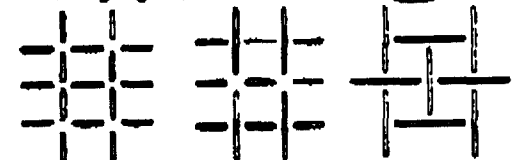
- 8 ga. die formed galvanized steel pedestal head and projection welded stud with adjustment nut. Head and installed stringers shall provide full perimeter edge support for panel.
- Stringers to be attached with 1/4" - 20 flat head screws.
- Pedestal head shall be tapped for engagement of stringer screws.
- Steel stud shall be 3/4" - 10 UNC roll formed.
- Nut shall be 3/4" - 10 UNC and galvanized.
- Stud shall provide an anti-rotation feature when engaged with the pedestal base assembly.

Pedestal Base

- Base to be at least 16" square and galvanized steel.
- Pedestal tube shall be 7/8" square galvanized tubing.

Stringers

- Heavy duty roll formed steel stringer will withstand 400 lb. mid-span load.
- Standard duty roll formed steel stringer will withstand 200 lb. mid-span load.
- Galvanized stringer construction to prevent corrosion.
- Stringer shall be 1-1/4" deep x 3/4" wide and have a factory applied conductive gasket.
- Stringer grid pattern shall be 2' x 2', 2' x 4', or 4' x 4'



Edgecast

- Perimeter pedestal shall provide support for panels around columns and at walls. See separate detail sheet for complete information.

Tate Access Floors, Inc
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fax

Date: 8/12/03

To: MIKE NUGENT

From: Bill Carpenter

Company: CITY OF PORTLAND

Re: TWO CANAL PLAZA

Fax: 874-8316

Job number: BASEMENT RENOV.

Cc: FILE

Pages: 3

Comments:

MIKE,

INFO ON RAISED FLOOR FOR THE
 BEGINT CAMP. ROOM @ TWO CANAL
 PLAZA.

RAMP WILL HAVE A 1 IN 12 SLOPE.

Payton Maine Corp
56 Industrial Park Road Seco Maine 04072
Tel 207-772-7222 Fax 207-772-0975

Boston Massachusetts Seco Maine

03-0868

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>TWO CANAL PLAZA</u>		
Total Square Footage of Proposed Structure <u>21 FT RENOVATION BSMT.</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>032</u> Block# <u>I</u> Lot# <u>033</u>	Owner: <u>BOULOS</u>	Telephone: <u>[REDACTED]</u>
Lessee/Buyer's Name (If Applicable) <u>INVAUNT</u> <u>TWO CANAL PLAZA</u> <u>PORTLAND, ME 04101</u>	Applicant name, address & telephone <u>BILL CARPENTER</u> <u>56 INDUSTRIAL PARK ROAD</u> <u>SACO, ME 04072</u>	Cost Of Work: <u>49,612.00</u> Fee: \$ <u>471.00</u>
Current use: <u>OFFICE SPACE</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>COMPUTER ROOM</u>		
Project description: <u>RENOVATION/FIT-UP OF EXISTING COMPUTER ROOM.</u>		
Contractor's name, address & telephone: <u>PAYTON MAINE CORP</u> <u>SACO, ME 04072</u>		
Who should we contact when the permit is ready: <u>BILL CARPENTER</u>		
Mailing address: <u>56 INDUSTRIAL PARK ROAD.</u> <u>SACO, ME 04072</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>[REDACTED]</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized me to do the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer or authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the applicable code to this permit.

Signature of applicant: <u>Bill Carpenter</u>	Date: <u>7/2/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Thursday, July 17, 2003

City of Portland Code Enforcement Office
389 Congress Street
Portland, Maine 04101

Re: Inovant New Computer Room Renovation

Scope of Work Outline:

The work for this project will be in the basement level of Canal Plaza, Portland, Maine. Currently the space identified as "New Computer Room" room #007 is open space, which is currently used as overflow space for the existing open office space identified as "Existing Offices" room #006. Our scope of work will include the construction of a new metal stud partition to separate the Existing Office space from the New Computer Room. The wall will be full height to the under side of the metal deck and will be constructed of 25ga. 3 5/8" metal studs with 1/2" GWB each side full height. The intent of the separation is to limit access of the computer room to authorized Inovant employees.

Additionally, as part of the contract, we will be in-filling two existing door openings that are currently not utilized as access into and out of the existing space. The door in-fills will be consistent with existing building materials and finishes in place.

We will also be removing the existing carpet tile flooring in the New Computer Room area and having a new raised floor system installed that would include a ramp and railing.

Our Electrician will be adding a new dedicated panel for the computer room as well as several new outlets for this room. The electrical portion will be design build.

There eventually will be a mechanical (cooling) component for this room. Currently, the sizing of the unit, the final location of the unit, and the type of unit are being reviewed by our mechanical contractor and subject to approval by Boulos Property Management. This work will be done either another contract or possibly as a change order to our existing contract. The mechanical system will be design build. Currently, we are working with the tenant, Boulos Property Management, Price Structural Engineers and our mechanical subcontractor to iron out the details of what system to install. The tenant has given us notice to proceed with the work outlined above for the construction of the room with the mechanical component to be addressed when a final design is reached.

Please call me should you have any questions.

Sincerely
Payton Maine Corp.

A handwritten signature in black ink, appearing to read "Bill Carpenter".

Bill Carpenter
Project Manager / Estimator

Phone: 207-286-8500, Fax: 207-286-3750