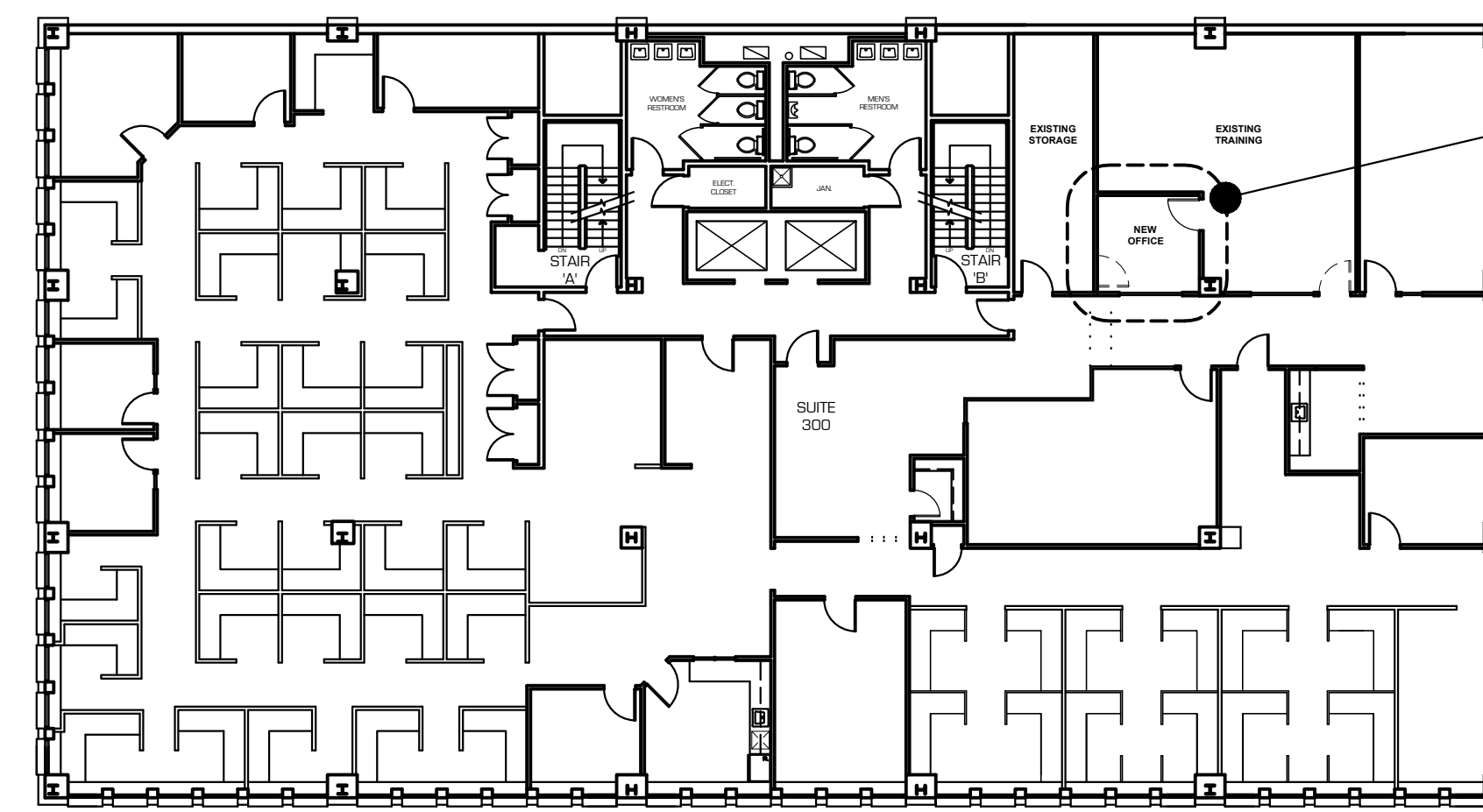


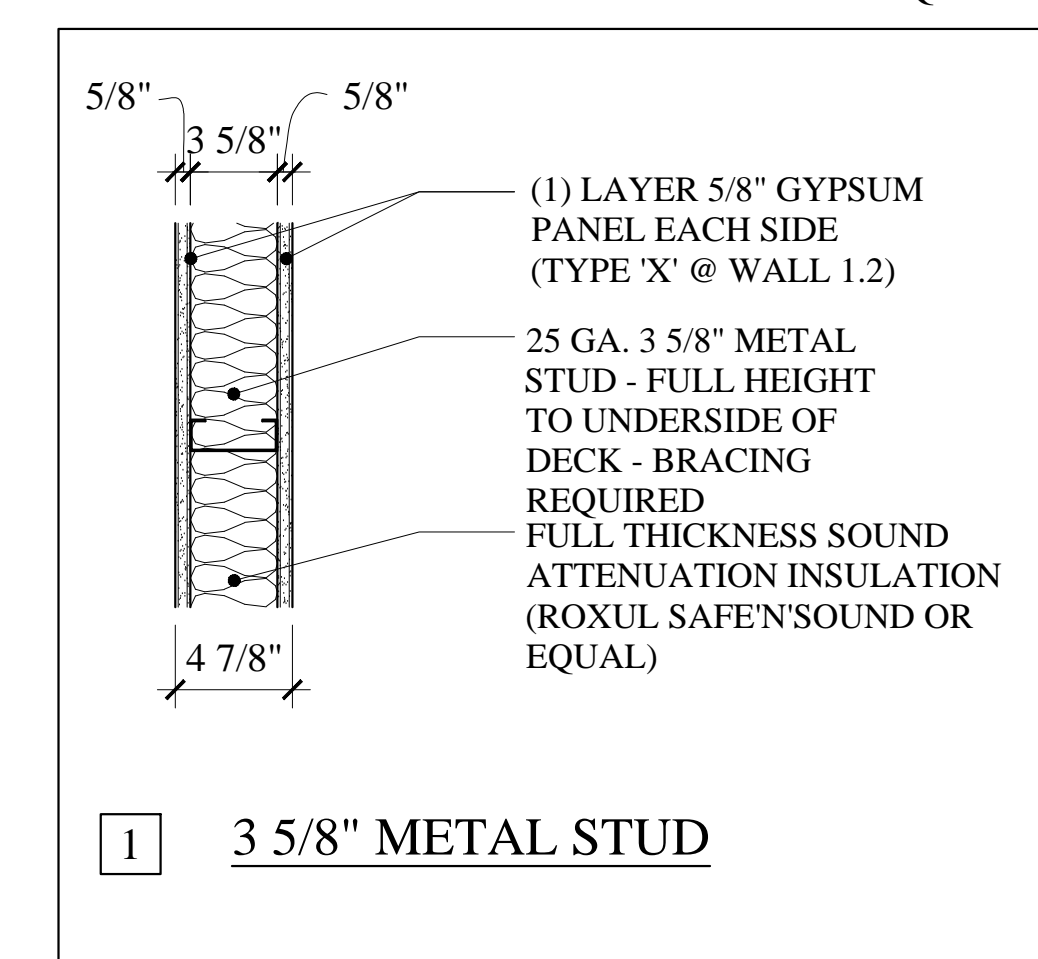
| IBC 2009: CODE DATA   |                                  |
|---|----------------------------------|
| USE GROUP CLASSIFICATION                                      | BUSINESS                         |
| TYPE OF CONSTRUCTION  | EXISTING TO REMAIN               |
| EXISTING BUILDING AREA  | EXISTING TO REMAIN               |
| PROPOSED BUILDING AREA  | EXISTING TO REMAIN               |
| TOTAL AREA OF WORK  | 90 SF                            |
| BUILDING HEIGHT (STORIES/ FEET)                               | 7 STORIES (1 STORY TENANT SPACE) |
| BUILDING AREA LIMITATION - SQ FT (TABLE 503)                  | EXISTING TO REMAIN               |
| BUILDING HEIGHT LIMITATION - STORIES (TABLE 503)              | EXISTING TO REMAIN               |
| INCREASE: STREET FRONTAGE (50% AREA) - SQ FT                  | -                                |
| INCREASE: AUTOMATIC SPRINKLER SYSTEM AREA (200% AREA) - SQ FT | -                                |
| INCREASE: AUTOMATIC SPRINKLER SYSTEM HEIGHT (1 STORY)         | YES                              |
| TRAVEL: COMMON PATH LIMIT (ALLOWABLE/ ACTUAL)                 | 100/ N/A                         |
| TRAVEL: DEAD-END LIMIT (ALLOWABLE/ ACTUAL)                    | 50/ N/A                          |
| TRAVEL: EXIT ACCESS TRAVEL DISTANCE LIMIT (ALLOWABLE/ ACTUAL) | 300/ N/A                         |
| FIRE SUPPRESSION SYSTEM                                       | YES, STAIRS ONLY                 |
| NUMBER OF REQUIRED EXITS                                      | TWO                              |
| EXIT ACCESS FIRE RATINGS                                      |                                  |
| FIRE WALLS/ BARRIERS  |                                  |
| OCCUPANCY SEPARATION  | ETR                              |
| PARTY WALLS   | ETR                              |
| STAIR ENCLOSURES  | ETR                              |
| SHAFTS  | ETR                              |
| EXIT ACCESS CORRIDORS   | ETR                              |
| FIRE PROTECTION OF STRUCTURE                                  |                                  |
| PRIMARY STRUCTURAL FRAME                                      | ETR                              |
| SECONDARY STRUCTURAL FRAME                                    | ETR                              |
| LOAD BEARING WALLS - EXTERIOR                                 | ETR                              |
| LOAD BEARING WALLS - INTERIOR                                 | ETR                              |
| NON-LOAD BEARING WALLS - EXTERIOR                             | ETR                              |
| NON-LOAD BEARING WALLS - INTERIOR                             | ETR                              |
| FLOOR CONSTRUCTION  | ETR                              |
| ROOF CONSTRUCTION   | ETR                              |
| OCCUPANT LOAD   | 0 People                         |
| BUSINESS  | 0 SF 100 SF/ PERSON = 0          |
| GENERAL NOTES:  |                                  |

| NFPA 101 2009 & 220 2006: CODE DATA                           |                                  |
|---|----------------------------------|
| USE GROUP CLASSIFICATION                                      | BUSINESS                         |
| TYPE OF CONSTRUCTION  | EXISTING TO REMAIN               |
| EXISTING BUILDING AREA  | EXISTING TO REMAIN               |
| PROPOSED BUILDING AREA  | EXISTING TO REMAIN               |
| TOTAL AREA OF WORK  | 90 SF                            |
| BUILDING HEIGHT (STORIES/ FEET)                               | 7 STORIES (1 STORY TENANT SPACE) |
| BUILDING AREA LIMITATION - SQ FT                              | EXISTING TO REMAIN               |
| BUILDING HEIGHT LIMITATION - STORIES                          | EXISTING TO REMAIN               |
| TRAVEL: COMMON PATH LIMIT (ALLOWABLE/ ACTUAL)                 | 100/ N/A                         |
| TRAVEL: DEAD-END LIMIT (ALLOWABLE/ ACTUAL)                    | 50/ N/A                          |
| TRAVEL: EXIT ACCESS TRAVEL DISTANCE LIMIT (ALLOWABLE/ ACTUAL) | 300/ N/A                         |
| FIRE SUPPRESSION SYSTEM                                       | YES, STAIRS ONLY                 |
| NUMBER OF REQUIRED EXITS                                      | TWO                              |
| EXIT ACCESS FIRE RATINGS                                      |                                  |
| FIRE WALLS/ BARRIERS  |                                  |
| OCCUPANCY SEPARATION  | ETR                              |
| PARTY WALLS   | ETR                              |
| STAIR ENCLOSURES  | ETR                              |
| SHAFTS  | ETR                              |
| EXIT ACCESS CORRIDORS   | ETR                              |
| FIRE PROTECTION OF STRUCTURE                                  |                                  |
| COLUMNS   | ETR                              |
| BEAMS, GIRDERS, TRUSSES & ARCHES                              | ETR                              |
| LOAD BEARING WALLS - EXTERIOR                                 | ETR                              |
| LOAD BEARING WALLS - INTERIOR                                 | ETR                              |
| NON-LOAD BEARING WALLS - EXTERIOR                             | ETR                              |
| NON-LOAD BEARING WALLS - INTERIOR                             | ETR                              |
| FLOOR CONSTRUCTION  | ETR                              |
| ROOF CONSTRUCTION   | ETR                              |
| OCCUPANT LOAD   | 0 People                         |
| BUSINESS  | 0 SF 100 SF/ PERSON = 0          |
| GENERAL NOTES:  |                                  |



KEY PLAN  
3/16" = 1'-0"  
(SINGLE TENANT OCCUPIES FLOOR IN ITS ENTIRETY)

AREA OF NEW WORK



WALL LEGEND

STUD WALL

EXISTING WALL

DEMOLITION NOTES:

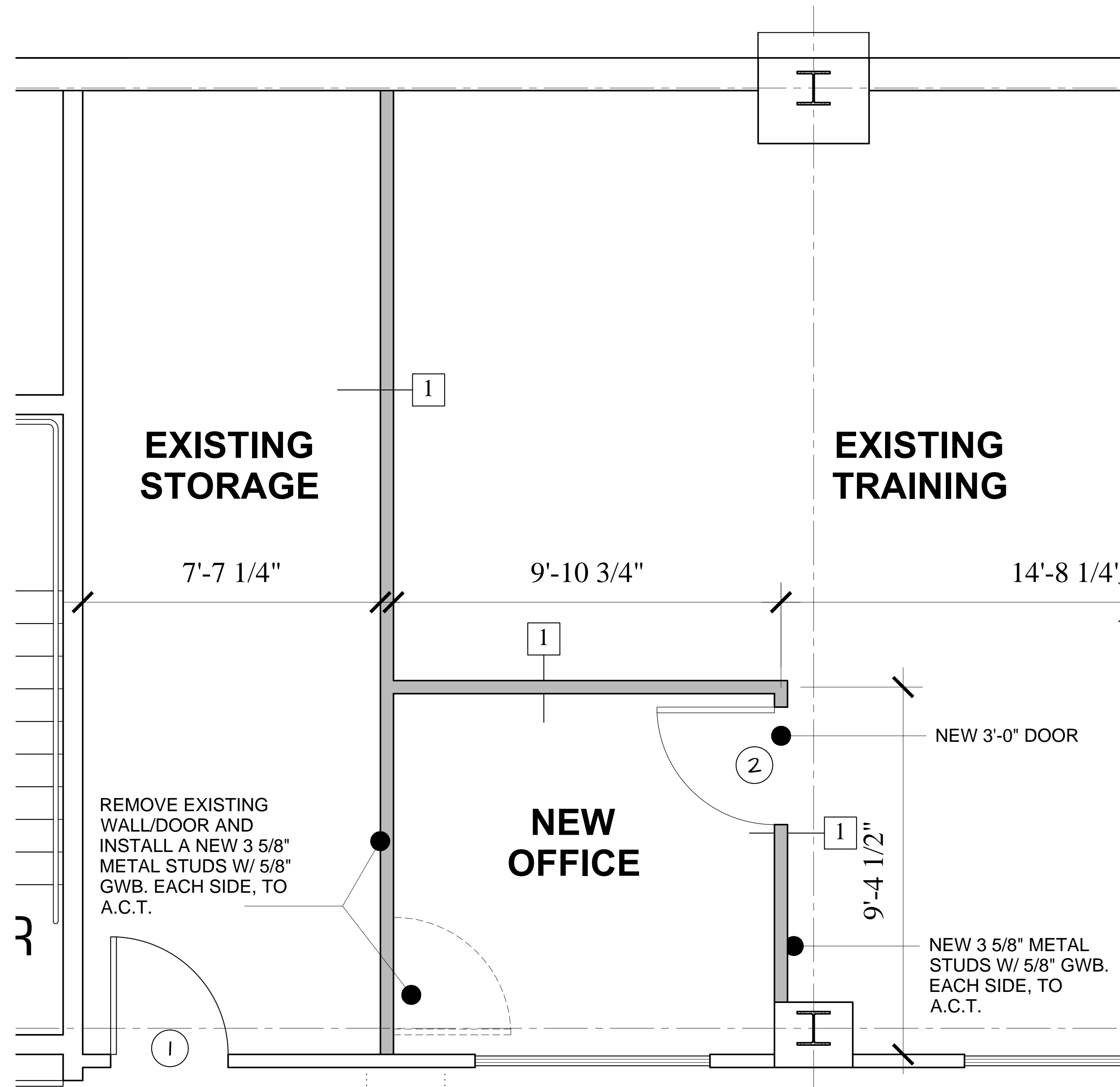
- ALL DASHED WALLS AS SHOWN TO BE REMOVED. G.C. TO FIELD VERIFY & REPORT ANY DISCREPANCIES OR LOAD BEARING WALLS TO THE ARCHITECT.
- ELECTRIC POWER TO THE TENANT SPACE ONLY SHALL BE DISCONNECTED PRIOR TO DEMOLITION. VERIFY WATER SHUT-OFF W/ BUILDING OWNER. EXISTING DUCT WORK TO REMAIN SHALL BE SEALED. SPRINKLER SYSTEMS, WHERE APPLICABLE, SHALL REMAIN OPERATIONAL UNLESS PERMITTED BY THE CITY BUILDING INSPECTOR. FIRE ALARM SYSTEMS TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.
- DUST BARRIER PARTITIONING SHALL BE INSTALLED @ TENANT SEPARATIONS AS REQUIRED.
- ALL DEMOLITION SHALL BE REMOVED FROM THE REAR OF THE BUILDING ONLY.
- REMOVE EXISTING CEILINGS IN THEIR ENTIRETY AS REQUIRED PER PLAN.
- ALL FIRE PROTECTION, GYPSUM DRYWALL & OR FIRESPRAY ON STRUCTURAL MEMBERS; INCLUDING BEARING WALLS, FIRE SEPARATION WALLS, BEAMS, COLUMNS & FIRE RATED FLOOR/ CEILING ASSEMBLIES SHALL NOT BE REMOVED.
- PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN.
- DIMENSIONS INDICATED +/- ARE EXISTING CONDITION DIMENSIONS TO BE VERIFIED IN FIELD.
- REMOVE EXISTING PLUMBING FIXTURES IF ANY, VENTING AND ASSOCIATED EXHAUST FANS. CAP PLUMBING FLUSH WITH FLOOR.
- FIELD VERIFY ALL STRUCTURAL COMPONENTS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.

PROJECT NOTES

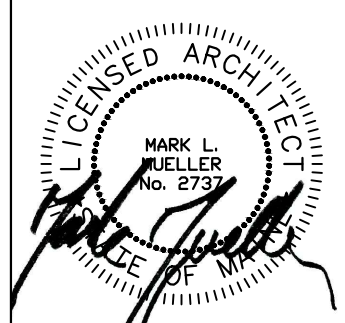
- SCOPE OF WORK: THE PROJECT INCLUDES THE TENANT FIT-UP OF INTERIOR WALLS FOR "FORESIDE" (NO CHANGE OF USE).
- ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70. ALL LIFE SAFETY INTEGRATION W/ THE EXISTING SHALL MEET NFPA 72 & CITY OF PORTLAND FIRE DEPARTMENT.
- ALL NEW INTERIOR FINISHES SHALL MEET: WALLS & CEILINGS: CLASS A OR B - FLOOR FINISHES: NOT LESS THAN CLASS II.
- FURNITURE, FIXTURES AND EQUIPMENT: SHALL BE FLAME RESISTANT & MEET NFPA 701, STANDARD METHODS OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES & FILMS.
- SPRINKLER SYSTEM - NEW HEADS PER PLAN.
- ALL EXISTING EGRESS COMPONENTS SHALL REMAIN AS SHOWN ON DRAWINGS
- HVAC - VERIFY EXISTING HVAC SYSTEM & DUCT WORK WITH PROPOSED PLAN.

DOOR NOTES:

- EXISTING DOOR TO REMAIN
- NEW DOOR, 3'-0" x 7'-0" TO MATCH EXISTING STYLE, TYPE AND FINISH, ADA LEVER HARDWARE TO MATCH EXISTING (HALF LITE GLAZING).



FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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MARK MUELLER ARCHITECTS

INTERIOR TENANT FIT-UP FOR:  
**FORESIDE**  
3RD FLOOR, 3 CANAL PLAZA  
PORTLAND, MAINE

PROPOSED PLAN

DATE: APRIL 17, 2015

PROJECT: FORESIDE

DRAWN BY: TOM

CHECK BY: MAM

A-1.1

PERMIT SET: APRIL 20, 2015