

## PROJECT DESCRIPTION

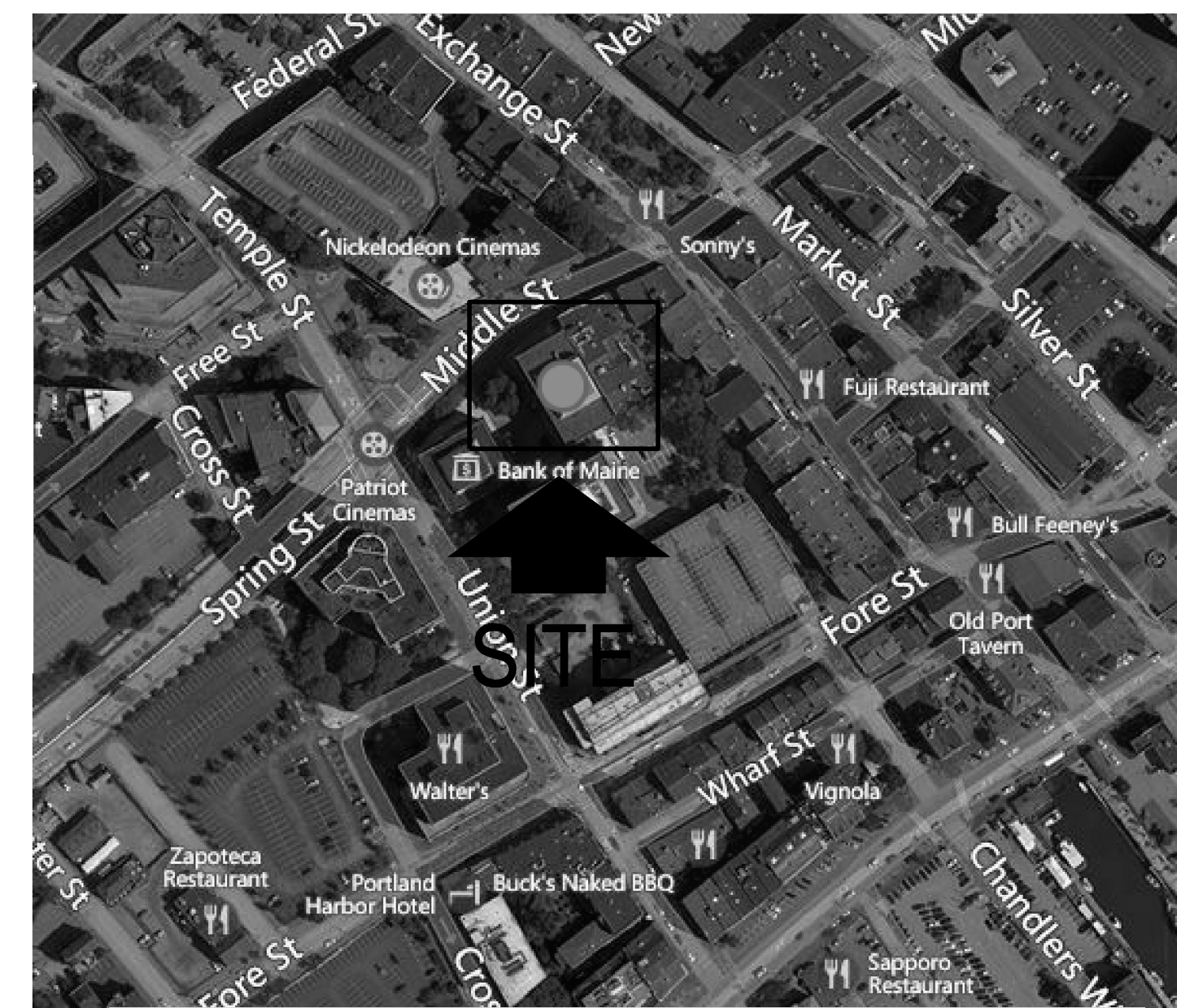
PROJECT SCOPE IS AN ALTERATION OF AN EXISTING BANKING INVESTMENT CENTER WITHIN AN EXISTING BUILDING. TO INCLUDE A NEW PRIVATE OFFICE AND TRADING KIOSKS.

CURRENT TENANT SPACE IS OCCUPIED.

## CODE SUMMARY

BUILDING CODE	2009 INTERNATIONAL BUILDING CODE
EXISTING BUILDING CODE	2009 INTERNATIONAL EXISTING BUILDING CODE
ENERGY CONSERVATION CODE	2009 INTERNATIONAL ENERGY CONSERVATION CODE
PLUMBING CODE	2012 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE	BOCA NATIONAL MECHANICAL CODE / ASHREA
ELECTRICAL CODE	NATIONAL ELECTRICAL CODE
PREVAILING LOCAL CODES	-

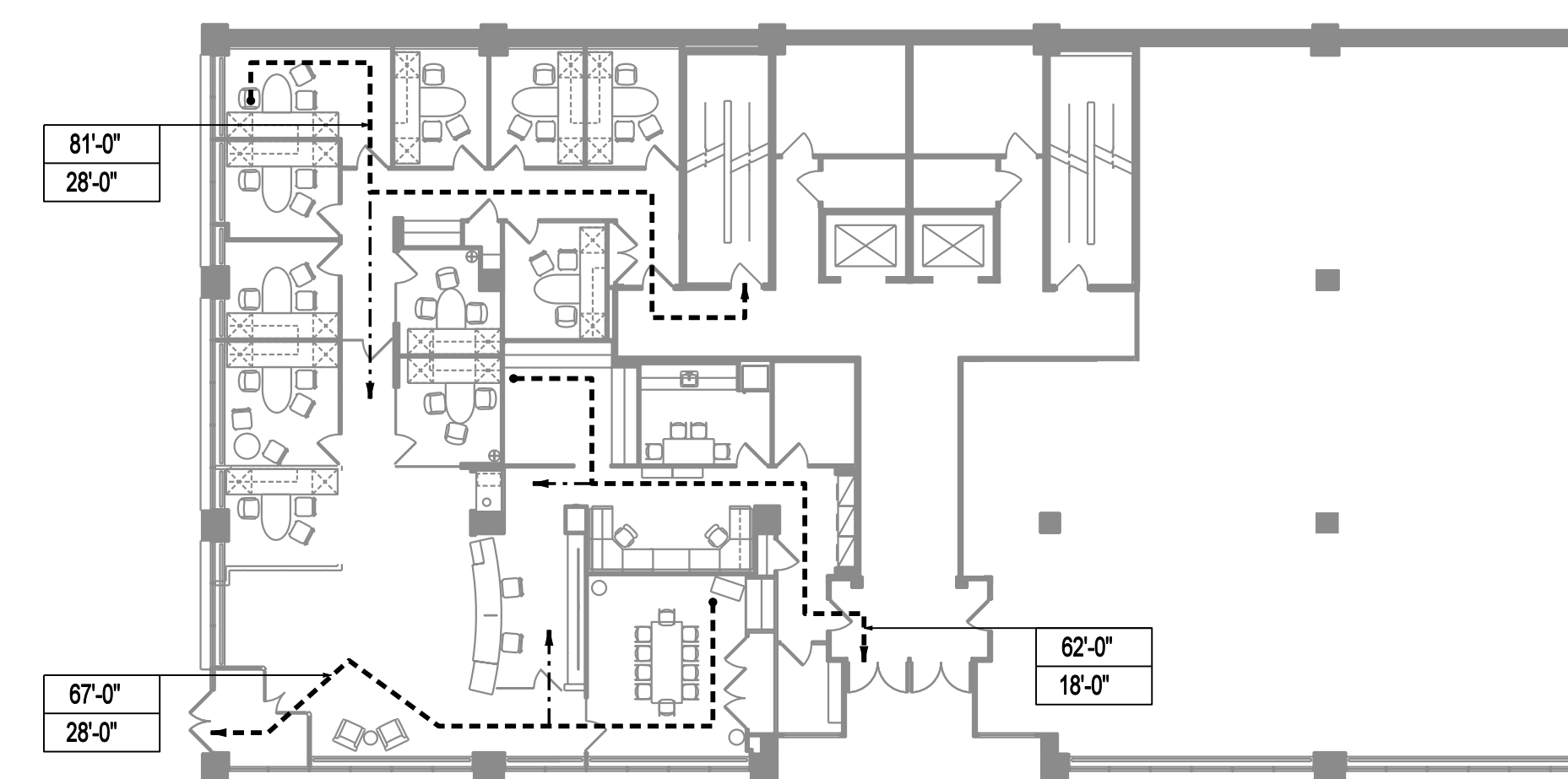
## LOCATION MAP



## EGRESS NOTES

EGRESS ANALYSIS:	EXISTING TENANT SPACE
NUMBER OF STORIES:	5
CONSTRUCTION TYPE:	2B (existing assumed)
OCCUPANCY USE GROUP:	B
TENANT AREA:	3,867 GSF
OCCUPANCY LOAD:	3,867 @ 100 SF / PERSON = 38 OCCUPANTS
EXITS REQUIRED:	2 (travel distance)
EXITS PROVIDED:	3
EGRESS WIDTH PROVIDED:	FRONT ENTRY: 68 INCHES REAR EXIT: 34 INCHES REAR EXIT: 34 INCHES TOTAL: 136 INCHES
EGRESS WIDTH REQUIRED:	38 OCCUPANTS x 0.2 INCHES = 7.6 INCHES
FULLY SPRINKLED:	NO
MAXIMUM TRAVEL DISTANCE:	81'-0"

## EGRESS PLAN



- EGRESS PATH PRIMARY
- ..... EGRESS PATH SECONDARY
- X'X" TOTAL TRAVEL DISTANCE
- X'X" COMMON PATH OF TRAVEL

## DRAWING INDEX

### INTERIOR IMPROVEMENTS

#### INTERIOR DESIGN

ID-000	DRAWING INDEX, LOCATION MAP AND PROJECT INFORMATION	●
ID-001	GRAPHIC SYMBOLS, TYPICAL ACCESSIBILITY INFORMATION & DEVICE MOUNTING DETAILS	●
ID-002	GENERAL NOTES & ABBREVIATIONS	●
ID-010	DOOR, FRAME, HARDWARE & FINISH SCHEDULES AND DETAILS	●
ID-201	DEMOLITION PLAN AND PARTITION PLAN	●
ID-301	POWER & COMMUNICATION LOCATION PLAN AND REFLECTED CEILING PLAN	●
ID-401	FINISH PLAN AND FURNITURE PLAN	●
ID-800	PARTITION, FLOOR, BASE, TRANSITION AND CEILING DETAILS	●
ID-840	TRADING KIOSK PLAN, ELEVATIONS AND DETAILS	●

#### HVAC

H-000	HVAC LEGEND, NOTES AND ABBREVIATIONS	●
HD-201	HVAC DEMOLITION PLAN	●
H-201	HVAC PLAN	●
H-700	HVAC DETAILS & SCHEDULES	●
H-900	HVAC SPECIFICATIONS	●

#### ELECTRICAL

E-000	ELECTRICAL LEGEND, NOTES & ABBREVIATIONS	●
E-201	ELECTRICAL LIGHTING PLAN	●
E-301	ELECTRICAL POWER PLAN	●
E-401	ELECTRICAL FIRE ALARM PLAN	●
E-800	ELECTRICAL DETAILS	●
E-900	ELECTRICAL SCHEDULES	●
E-1000	ELECTRICAL SPECIFICATIONS AND DEMOLITION NOTES	●

#### TELECOMMUNICATIONS

T-000	TELECOMMUNICATIONS LEGEND, NOTES & ABBREVIATIONS	●
T-201	TELECOMMUNICATIONS PLAN	●
T-600	TELECOMMUNICATIONS DETAILS	●

#### SECURITY

ES-000	ELECTRONIC SECURITY LEGEND, NOTES & ABBREVIATIONS	●
ES-201	ELECTRONIC SECURITY PLAN	●
ES-600	ELECTRONIC SECURITY DETAILS	●
ES-700	ELECTRONIC SECURITY SPECIFICATIONS	●

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W www.rdkengineers.com

Seals:

Joseph A. Castner, Maine License No. 3583

General Notes:

Project Title:

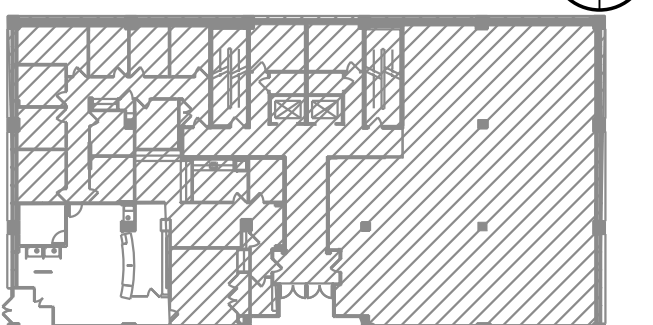
**Fidelity**  
INVESTMENTS

Fidelity Real Estate Company  
245 Summer Street  
Boston, MA 02110

Fidelity Investor Center  
3 Canal Plaza  
Portland, ME 04112  
Branch ID No. 120

Number	Description	Date
	ISSUED FOR PERMIT & CONST	03 OCT 14

Key Plan:



CAD File: PDR\_ID-000.dgn  
Project No.: K2812515 R24  
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Drawing Sheet Title:

DRAWING INDEX  
LOCATION MAP AND  
PROJECT INFORMATION

Drawing Sheet Number:

**ID-000**

Owner's Drawing Sheet No.: