

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DIVISION

PERMIT

Permit Number: 090029

This is to certify that BUCKSTAR LLChas permission to Luna Rosa Interior Alteration New Partitions, New Stairs and Egress EnclosuresAT 188 MIDDLE ST

CPD 032-1021001

provided that the person or persons, firm or corporation accounting for this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise covered-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Sauter

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Charles M.
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

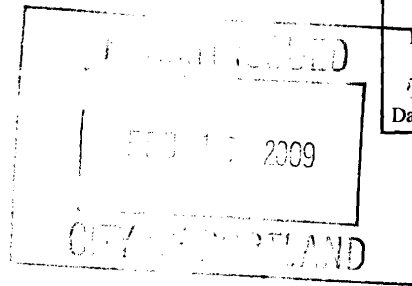
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0029	Issue Date: 2/12/09	CBL: 032 1021001
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Location of Construction: 188 MIDDLE ST	Owner Name: BUCKSTAR LLC	Owner Address: 100 SILVER ST	Phone: 207-329-0288
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Alterations - Commercial	Zone: B-3

Past Use: Commercial - Pavilion	Proposed Use: Commercial/ Restaurant - Luna Rosa Interior Alterations/New Partitions, New Stairs and Egress Enclosures - 1st floor 1st floor + 1 ground floor increase space	Permit Fee: \$270.00	Cost of Work: \$25,000.00	CEO District: 1
Proposed Project Description: Luna Rosa Interior Alterations/New Partitions, New Stairs and Egress Enclosures - Change of use to restaurant.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: A-2 Type: 3A IBC-2003	
		Signature: (KG)	Signature: C 2/12/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: lmd	Date Applied For: 01/09/2009	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation yes <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Any exterior work requires a separate review through Historic Preservation
		Date: 1/14/09 ABM		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
09-0029	01/09/2009	032 I021001

Location of Construction: 188 MIDDLE ST	Owner Name: BUCKSTAR LLC	Owner Address: 100 SILVER ST	Phone: 207-329-0288
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial/ Restaurant - Luna Rosa Interior Alterations/New Partitions, New Stairs and Egress Enclosures - occupying tenant space #1 (ground floor) & mezzanine	Proposed Project Description: Change of use to restaurant - Luna Rosa Interior Alterations/New Partitions, New Stairs and Egress Enclosures - occupying tenant space #1 (ground floor) & mezzanine
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/14/2009**Note:****Ok to Issue:** ☒

- 1) This property is located in a Pedestrian Activities District (PAD) which regulates first floor uses to retail -like and other uses as listed in the zoning ordinance. The front windows shall not be blocked or have curtains that block visibility from the sidewalk. Your use(s) shall not change without review and approval PRIOR to their implementation.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) Separate permits shall be required for any new signage. It is encouraged to have one common sign designed for all of the tenant users.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 01/05/2009**Note:** Requested new life safety plan and calculations for bathroom fixtures, new kitchen layout and hvac details. **Ok to Issue:** ☒

- 1) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Separate Permits shall be required for any new signage.
- 3) Approval of license is subject to health inspections per the Food Code.
- 4) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 5) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.
- 6) Equipment must be installed in compliance with the manufacturer's specifications
- 7) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 01/29/2009**Note:****Ok to Issue:** ☒

- 1) Emergency lights and exit signs are required
- 2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 3) A single source supplier should be used for all through penetrations.
- 4) All construction shall comply with NFPA 101

Location of Construction: 188 MIDDLE ST	Owner Name: BUCKSTAR LLC	Owner Address: 100 SILVER ST	Phone: 207-329-0288
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Comments:

1/12/2009-amachado: Tried to leave voicemail for Ryan Byther, but his mailbox was full. Need right, title & interest, needs to pay for change of use, where is Middle Street in relation to the plan, is he occupying the mezzanine space too, & is he located in the basement too?

1/14/2009-amachado: Spoke to Ryan Byther. He will get us a copy of the lease. He is occupying tenant space #1 (ground floor) & the mezzanine. The basement is not part of his space ; it is shown for egress purposes

1/14/2009-lmd: Please note that \$75.00 certificate of occupancy fee owed

2/11/2009-csh: Called Ryan twice to inform him that we need a copy of the lease agreement to show title and intrest, noanswer and no way to leave message. Chris ----Hold



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>188 MIDDLE ST</u>			
Total Square Footage of Proposed Structure/Area		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>032</u> <u>I</u> <u>021</u>		Applicant *must be owner, Lessee or Buyer* Name <u>Wm & Rosa</u> Address <u>188 MIDDLE ST</u> City, State & Zip <u>Portland ME</u>	Telephone: <u>Ryan Byhr</u> <u>Ryan Byhr</u> <u>(207) 329-0288</u>
Lessee/DBA (If Applicable) <u>Wm & Rosa</u> <u>188 MIDDLE ST</u> <u>Portland, ME 04101</u>		Owner (if different from Applicant) Name <u>Backstop LLC</u> Address <u>100 Silver St</u> City, State & Zip <u>Portland ME 04101</u>	Cost Of Work: \$ <u>25,000</u> C of O Fee: \$ <u>270</u> Total Fee: \$ <u>270</u>
Current legal use (i.e. single family) <u>1.5 story house</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Restroom</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>New Partitions, New Stairs, Egress Endo 04101</u>			
Contractor's name: <u>TBD</u> <u>JAN 9 2009</u>			
Address: _____			
City, State & Zip: _____		Telephone: _____	
Who should we contact when the permit is ready: <u>Ryan Byhr</u>		Telephone: <u>(207) 329-0288</u>	
Mailing address: <u>188 MIDDLE ST</u> <u>Portland, ME 04101</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 1/9/9

This is not a permit; you may not commence ANY work until the permit is issue

FAX COVER**PARAGON**
COMMERCIAL REAL ESTATE2 MARKET STREET, FLR 5
PORTLAND ME 04101DATE: February 12, 2009TO: ChrisFROM: Hilary Jessen sent on
behalf of Ryan BytherCOMPANY: Luna Rossa

PHONE: _____

PHONE: 7757300FAX: 874-8716FAX: 7754440

EMAIL: _____

EMAIL: hjessen@paragonre.comExecuted Lease for 188
RE: Middle Street, Portland, ME.PAGES: 7 (incl. cover)

FEB 12 2009

LEASE

1. PARTIES

BUCKSTAR LLC, a Maine limited liability company, with a mailing address of 100 Silver Street, Portland, Maine 04101 ("Landlord"), hereby leases to LUNA ROSA, LLC, a _____ limited liability company, with a mailing address of 188 Middle Street, Portland ("Tenant"), and the Tenant hereby leases from Landlord, the below-described property.

2. LEASED PREMISES

The Parties agree that the property leased hereunder ("Leased Premises") contains 1,927 square feet on the main level, and 3,357 square feet on the mezzanine, of the building (the "Building") located at 188 Middle Street/4 Canal Plaza, Portland, Maine, as generally depicted on Exhibit A attached hereto and made a part hereof. The total square footage of the Leased Premises is 5,284 square feet. There is no parking included under this Lease. Tenant's Leased Premises are part of the space referred to as "The Shops at 188 Middle", which consists of the entire ground level and mezzanine level of the Building.

3. USE

Tenant shall use the Leased Premises only as a sit-down restaurant with incidental bar. It is Tenant's sole responsibility to confirm that its intended use is permitted under applicable zoning ordinances and rules. Landlord makes no representations or warranties to Tenant as to the suitability of the Leased Premises for the intended use, or the ability of Tenant to obtain any necessary regulatory approvals or the intended use including liquor or other licenses. For so long as Tenant is operating a sit down restaurant in the Leased Premises, Landlord agrees that it will not enter into a lease with another sit down restaurant whose primary service is the sale of Italian-style food in the Shops at 188 Middle. Notwithstanding this restriction, Landlord shall have the right to permit other space in the Shops at 188 Middle to be used for the sale of incidental amounts of Italian style food.

4. USE RESTRICTIONS

Tenant acknowledges that the Building and other nearby buildings contain or will contain office, retail, restaurant and residential tenants. In addition to complying with all applicable governmental noise ordinances and regulations, Tenant shall not use the Leased Premises in any

GUARANTY OF LEASE

AGREEMENT made on July 10, 2009 by and among FORREST W. BRADBURY, JOAN M. BRADBURY and RYAN BYTHER (individually a "Guarantor" and collectively the "Guarantors") and BUCKSTAR LLC ("Landlord").

Recitals

LUNA ROSA, LLC ("Tenant") is desirous of entering into a Lease, as Tenant, with Landlord of a portion of property located at 188 Middle Street, Portland, Maine (the "Lease"). Guarantors have requested Landlord to enter into the Lease. As a condition therefore, Landlord has required that the Guarantors jointly and severally guaranty the Lease in the manner hereinafter set forth.

NOW, THEREFORE, as a necessary inducement to Landlord to enter into the Lease, Guarantors hereby agree:

1. Guaranty.

- a. Each Guarantor jointly and severally unconditionally guaranties to the Landlord and the successors and assigns of Landlord the full and punctual performance and observance, by Tenant, of all the terms, covenants and conditions in the Lease contained on Tenant's part to be kept, performed or observed. This Guaranty shall include any liability of Tenant which shall accrue under the Lease for any period following the term in the Lease specified. Each Guarantor waives notice of any breach or default by Tenant.
- b. If, at any time, default shall be made by Tenant in the performance or observance of any of the terms, covenants or conditions in the Lease contained on Tenant's part to be kept, performed or observed, each Guarantor agrees to keep, perform and observe the same, as the case may be, in place and stead of Tenant.

2. Waivers.

- a. Any act of Landlord, or the successors or assigns of Landlord, consisting of a waiver of any of the terms or conditions of the Lease, or the giving of any consent to any manner or thing relating to the Lease, or the granting of any indulgences or extensions of time to Tenant, may be done without notice to any Guarantor and without releasing the obligations of any Guarantor hereunder.
- b. The obligations of Guarantors hereunder shall not be released by Landlord's receipt, application or release of security given for the performance and observance of covenants and conditions in the Lease contained on Tenant's part to be performed or observed; nor by any modification of the Lease, but in case of any such modification the liability of Guarantor shall be deemed modified in accordance with the terms of any such modification of the Lease.
- c. The liability of Guarantors hereunder shall in no way be affected by: (a) the release or discharge of Tenant in any creditors', receivership, bankruptcy or other proceedings; (b) the impairment, limitation or modification of the liability of the Tenant or the estate of the Tenant in bankruptcy, or of any remedy for the enforcement of Tenant's

said liability under the Lease, resulting from the operation of any present or future provision of the any federal or state bankruptcy act or other statute or from the decision in any court; (c) the rejection or disaffirmance of the Lease in any such proceedings; (d) the assignment or transfer of the Lease by Tenant; (e) any disability or other defense of Tenant; or (f) the cessation from any cause whatsoever of the liability of Tenant.

- d. Until all the covenants and conditions in the Lease on Tenant's part to be performed and observed are fully performed and observed, Guarantors (a) shall have no right of subrogation against Tenant by reason of any payments or acts of performance by the Guarantor, in compliance with the obligations of the Guarantor hereunder; (b) waive any right to enforce any remedy which guarantor now or hereafter shall have against Tenant by reason of any one or more payments or acts of performance in compliance with the obligations of Guarantor hereunder; and (c) subordinate any liability or indebtedness of Tenant now or hereafter held by Guarantors to the obligations of Tenant to the Landlord under the Lease.

3. Duration. This Guaranty shall apply to initial three (3) year term of the Lease, including any holdover thereof, but not to any extension or renewal term of the Lease.

4. Amendment. This instrument may not be changed, modified, discharged or terminated orally or in any manner other than by an agreement in writing signed by Guarantors and the Landlord.

IN WITNESS WHEREOF, this instrument has been executed and delivered on the date first above written.

WITNESSES:

→

Forrest W. Bradbury

Forrest W. Bradbury

Forrest W. Bradbury
FORREST W. BRADBURY

Joan M. Bradbury
JOAN M. BRADBURY

Ryan Byther
RYAN BYTHER

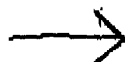
BUCKSTAR LLC

By: _____
Richard J. McGoldrick, Manager

STATE/Commonwealth of _____, 200
COUNTY OF _____, ss

Then personally appeared before me the above named Forrest W. Bradbury and acknowledged the foregoing to be his free act and deed.

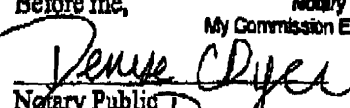
Before me,



Notary Public
Print Name: _____

STATE/Commonwealth of ME, Feb 10, 2009
COUNTY OF Cumberland

Then personally appeared before me the above named Joan M. Bradbury and acknowledged the foregoing to be her free act and deed.

Before me, **DENISE C. DYER**
Notary Public, Maine
My Commission Expires October 13, 2012

Notary Public
Print Name: Denise C Dyer

STATE/Commonwealth of _____, 200
COUNTY OF _____, ss

Then personally appeared before me the above named Ryan Byther and acknowledged the foregoing to be his free act and deed.

Before me,

Notary Public
Print Name: _____

Guaranty of Lease
2/2/2009 2:37:00 PM

said liability under the Lease, resulting from the operation of any present or future provision of the any federal or state bankruptcy act or other statute or from the decision in any court; (c) the rejection or disaffirmance of the Lease in any such proceedings; (d) the assignment or transfer of the Lease by Tenant; (e) any disability or other defense of Tenant; or (f) the cessation from any cause whatsoever of the liability of Tenant.

- d. Until all the covenants and conditions in the Lease on Tenant's part to be performed and observed are fully performed and observed, Guarantors (a) shall have no right of subrogation against Tenant by reason of any payments or acts of performance by the Guarantor, in compliance with the obligations of the Guarantor hereunder; (b) waive any right to enforce any remedy which guarantor now or hereafter shall have against Tenant by reason of any one or more payments or acts of performance in compliance with the obligations of Guarantor hereunder; and (c) subordinate any liability or indebtedness of Tenant now or hereafter held by Guarantors to the obligations of Tenant to the Landlord under the Lease.
3. Duration. This Guaranty shall apply to initial three (3) year term of the Lease, including any holdover thereof, but not to any extension or renewal term of the Lease.
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IN WITNESS WHEREOF, this instrument has been executed and delivered on the date first above written.

WITNESSES:

→

Forrest W. Bradbury

Forrest W. Bradbury

Forrest W. Bradbury

FORREST W. BRADBURY

JOAN M. BRADBURY

Ryan Byther

RYAN BYTHER

BUCKSTAR LLC

By: _____
Richard J. McGoldrick, Manager



Transmittal

To: City of Portland **Project name:** 188 Middle Street
GC#2007-018
Date: 02/05/09 **From:** Matthew Winch
Re: BP Submittal **cc:** Mike Brescia, file

Item:	Date	Quantity	Title
1	02/05/09	1 copy	Code Study 24x36
2	02/05/09	1 copy	Code Study 11x17 (via eMail)

Remarks:

Please find enclosed an updated code analysis for the renovations to the ground floor space at 188 Middle Street.

02/05/09



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- ☐ Cross sections w/framing details
- ☐ Detail of any new walls or permanent partitions
- ☒ Floor plans and elevations
- ☒ Window and door schedules
- ☐ Complete electrical and plumbing layout.
- ☐ Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- ☐ Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- ☐ Proof of ownership is required if it is inconsistent with the assessors records.
- ☐ Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- ☐ Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- ☐ The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- ☐ Location and dimensions of parking areas and driveways, street spaces and building frontage.
- ☐ Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- ☐ Name, address and phone number of applicant **and** the project architect.
- ☐ Proposed use of structure (NFPA and IBC classification)
- ☐ Square footage of proposed structure (total and per story)
- ☐ Existing and proposed fire protection of structure.
- ☐ Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- ☐ A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- ☐ Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

34x
Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

30x → \$370

This is not a Permit; you may not commence any work until the Permit is issued.



Certificate of Design Application

From Designer:

Matthew Wink, Architect

Date:

11/9/19

Job Name:

Wink's Pass

Address of Construction:

186 Middle St.

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Mixed (Assembly & Mercantile)

Type of Construction Type 3 Unprotected

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC

Is the Structure mixed use? If yes, separated or non separated or non separated (section 302.3)

Supervisory alarm System? Geotechnical/Soils report required? (See Section 1802.2)

Structural Design Calculations

Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)
Basic wind speed (1809.3)
Building category and wind importance Factor, I_w table 1604.5, 1609.5
Wind exposure category (1609.4)
Internal pressure coefficient (ASCE 7)
Component and cladding pressures (1609.1.1, 1609.6.2.2)
Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)
Seismic use group ("Category")
Spectral response coefficients, S_D & S_{D1} (1615.1)
Site class (1615.1.5)

Live load reduction
Roof live loads (1603.1.2, 1607.11)
Roof snow loads (1603.7.3, 1608)
Ground snow load, P_g (1608.2)
If $P_g > 10$ psf, flat-roof snow load P_f
If $P_g > 10$ psf, snow exposure factor, C_e
If $P_g > 10$ psf, snow load importance factor, I_s
Roof thermal factor, C_t (1608.4)
Sloped roof snowload, P_s (1608.4)
Seismic design category (1616.3)
Basic seismic force resisting system (1617.6.2)
Response modification coefficient, R , and
deflection amplification factor, C_d (1617.6.2)
Analysis procedure (1616.6, 1617.5)
Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)
Elevation of structure

Other loads

Concentrated loads (1607.4)
Partition loads (1607.5)
Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer:

Matthew Winch Architect

Address of Project:

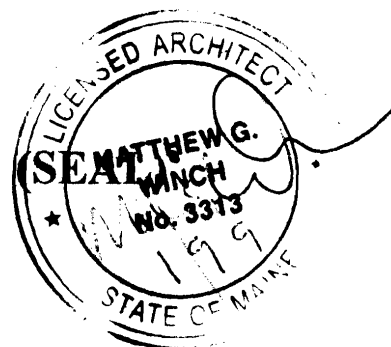
188 Middle St

Nature of Project:

Tenant Fit out

New Partitions, New Stair &
Egress Enclosure.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature:

Matthew Winch

Title:

Principal

Firm:

Garrison Consulting

Address:

41 Edgewood Ave

Portland, ME 04103

Phone:

(207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date:

11/9/19

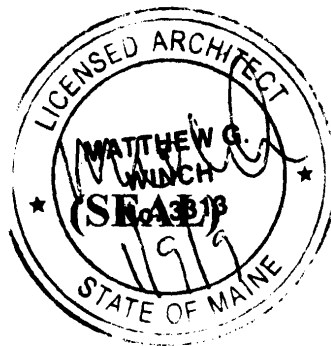
From:

Matthew Wink, Architect

These plans and / or specifications covering construction work on:

New Partitions, New Stair & Egress Enclosures

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature:

Matthew Wink

Title:

Principal

Firm:

Carroll Consulting

Address:

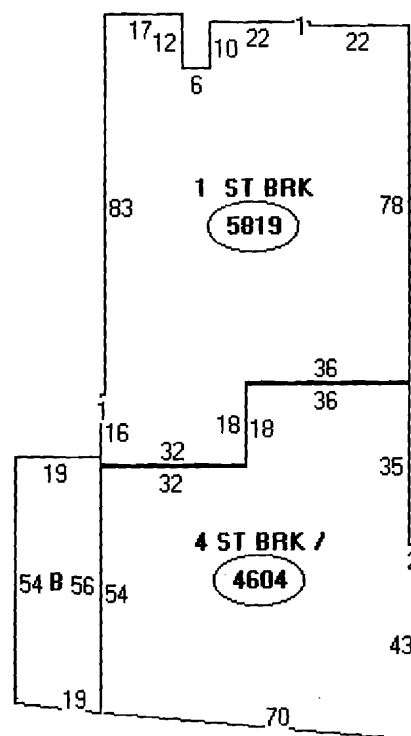
41 Bodowad Ave

Portland, ME 04103

Phone:

(207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

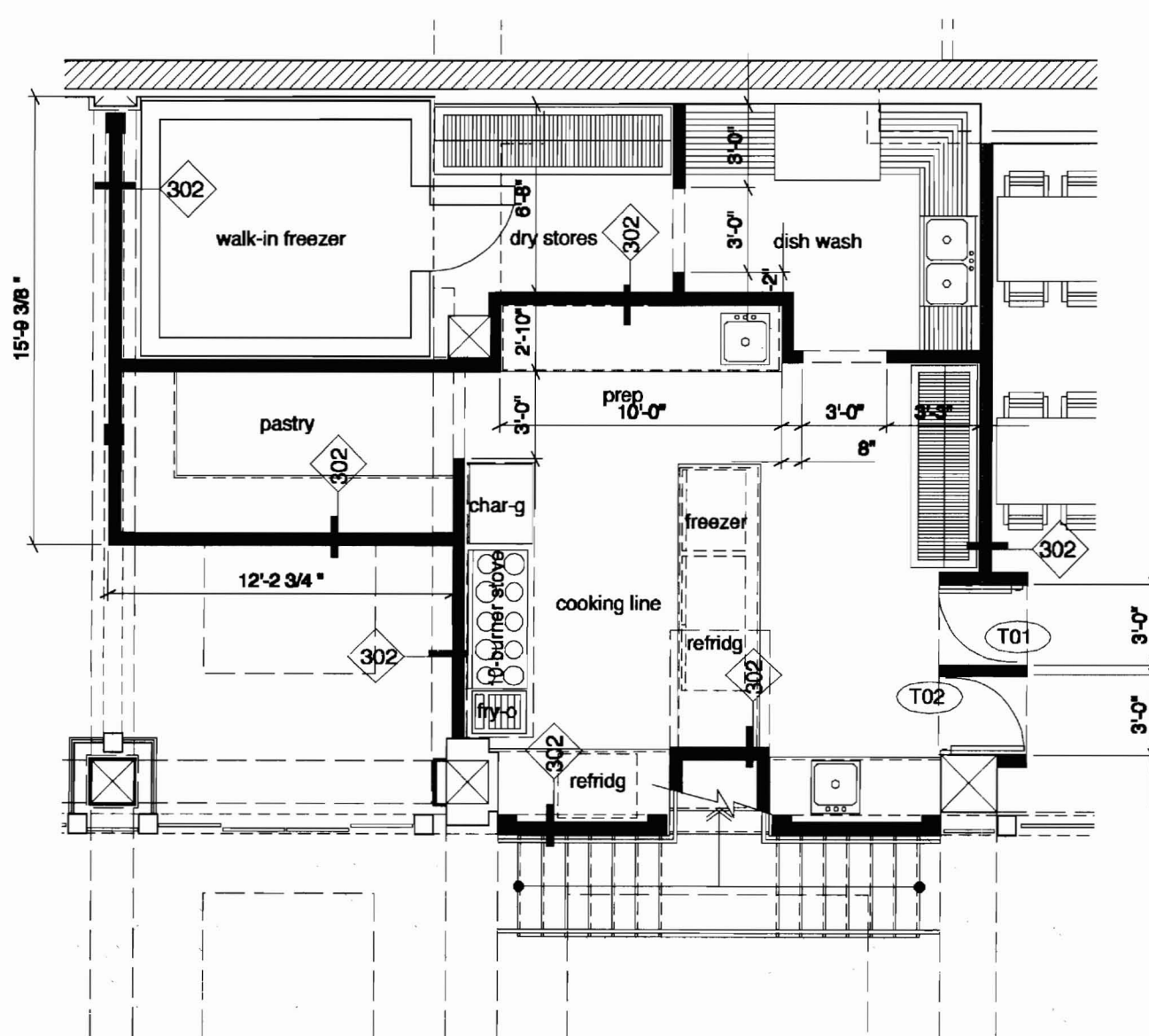


Descript

A: 4 ST BR
4604 sqf

B: 4 ST BR
1045 sqf

C: 1 ST BF
5819 sqf



GARRISON
CONSULTING

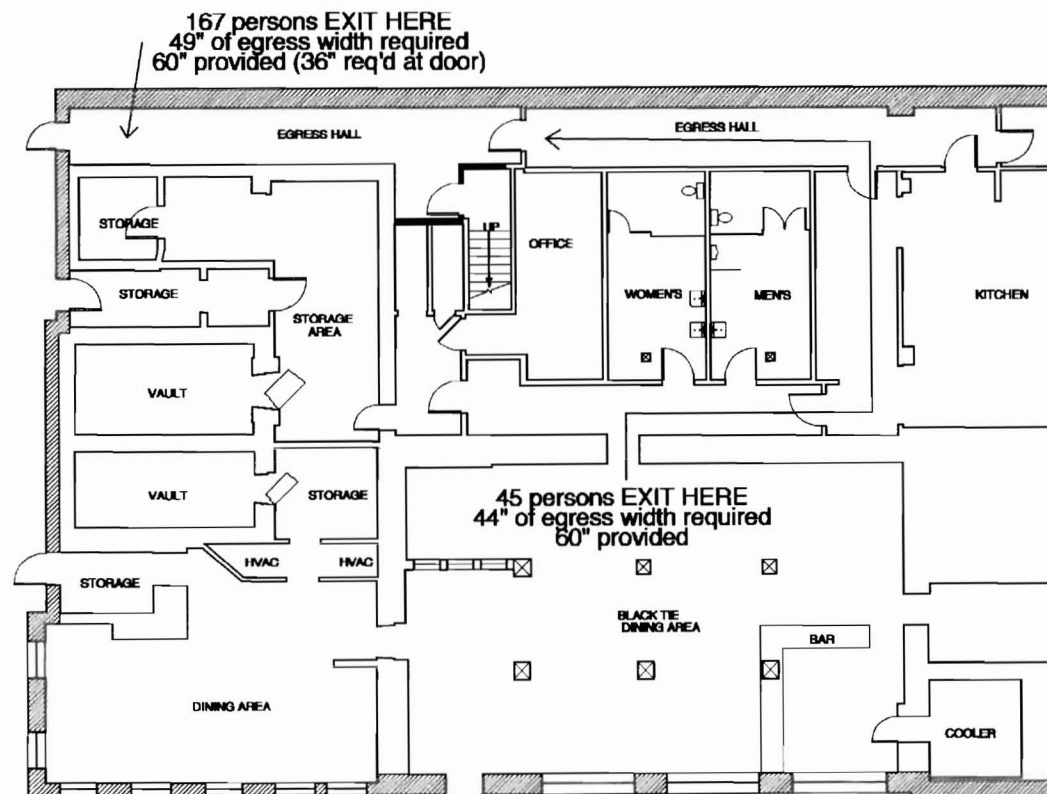
41 edgewood ave
portland, maine 04103
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

Luna Rosa
188 Middle St
Kitchen Alt #1

Scale: 3/8" = 1'-0" Date: 02/05/08
Drawn By: MGW
Project No: 2008-019
DWG NO:

SKA-01

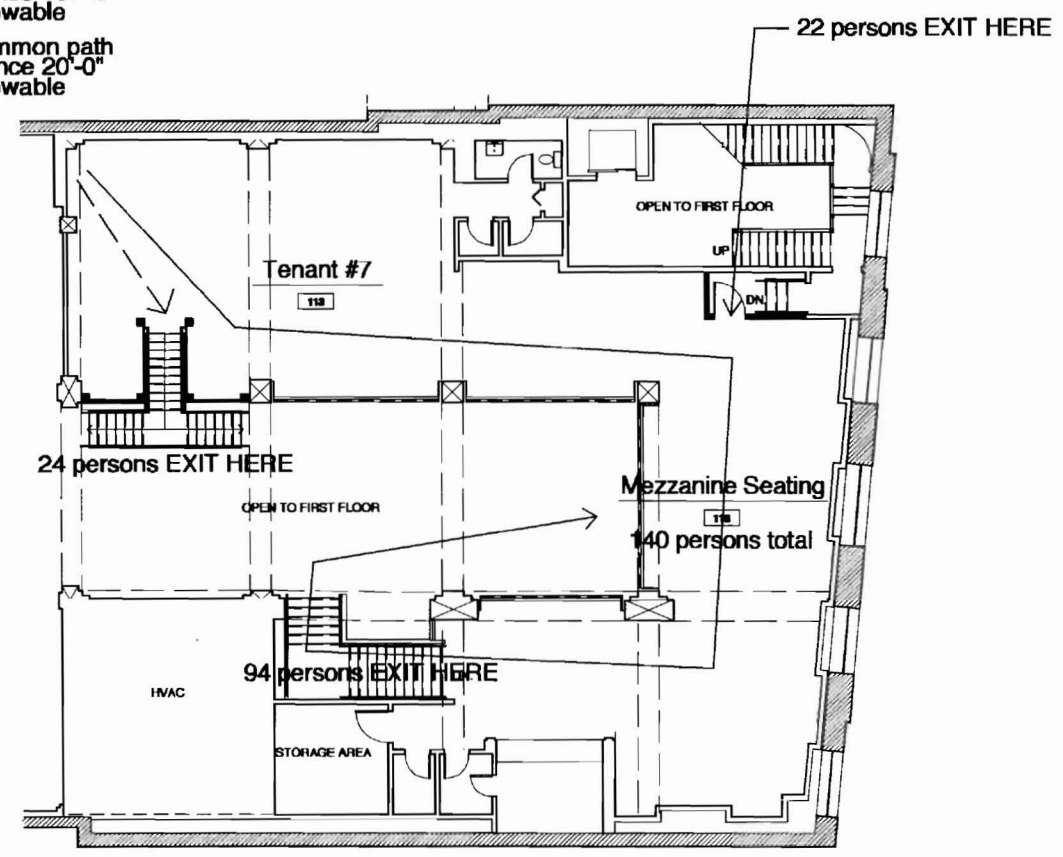


30 Proposed Basement Floor Plan

0 4 12 24

Max travel distance 197'-0"
250'-0" allowable

Max travel common path
of travel distance 20'-0"
20'-0" allowable



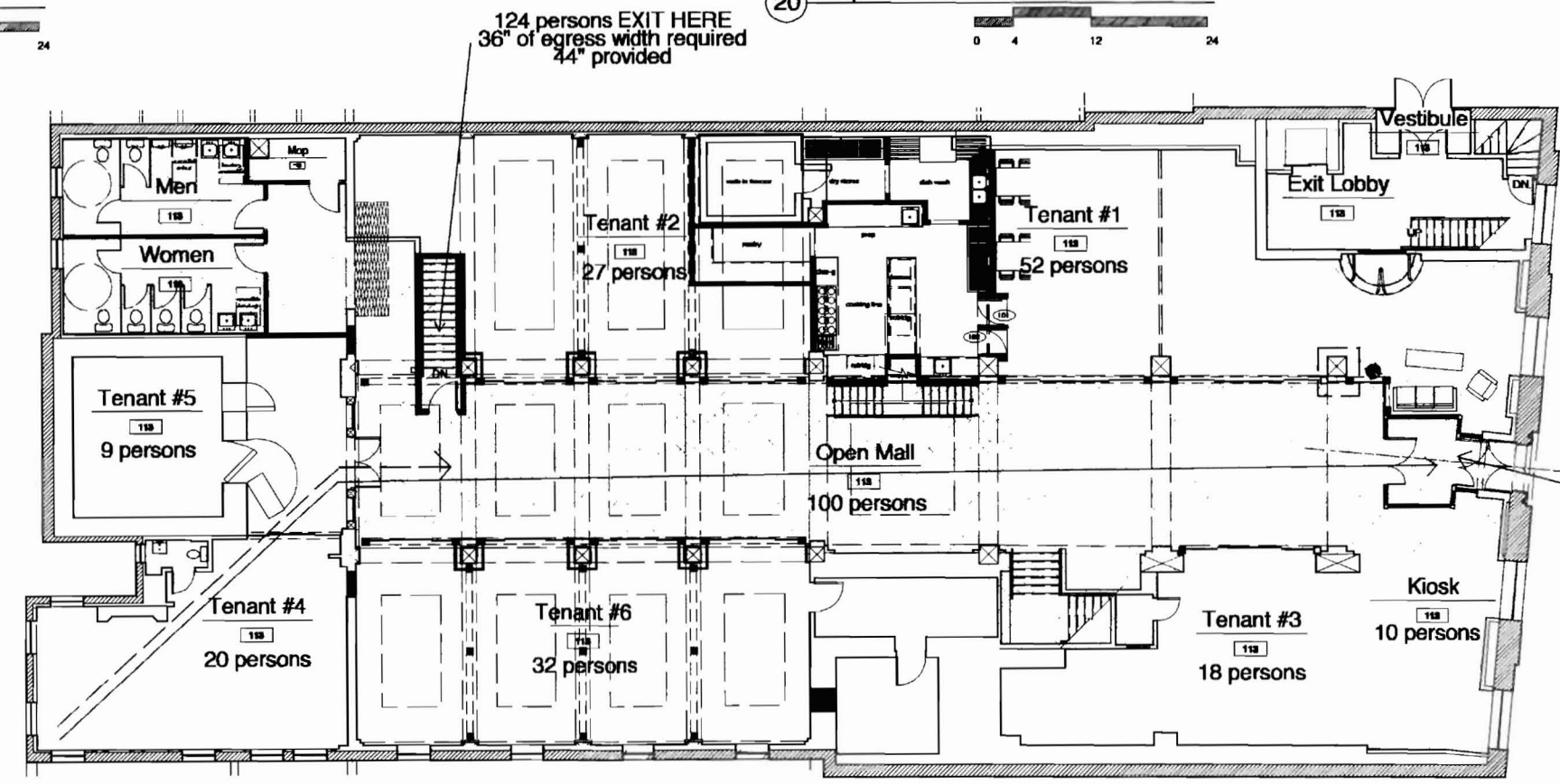
20 Proposed Mezzanine Plan

0 4 12 24

FEB - 5 2009

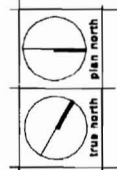
Max common path
of travel distance 60'-0"
75'-0" allowable

Max travel distance 179'-0"
400'-0" allowable



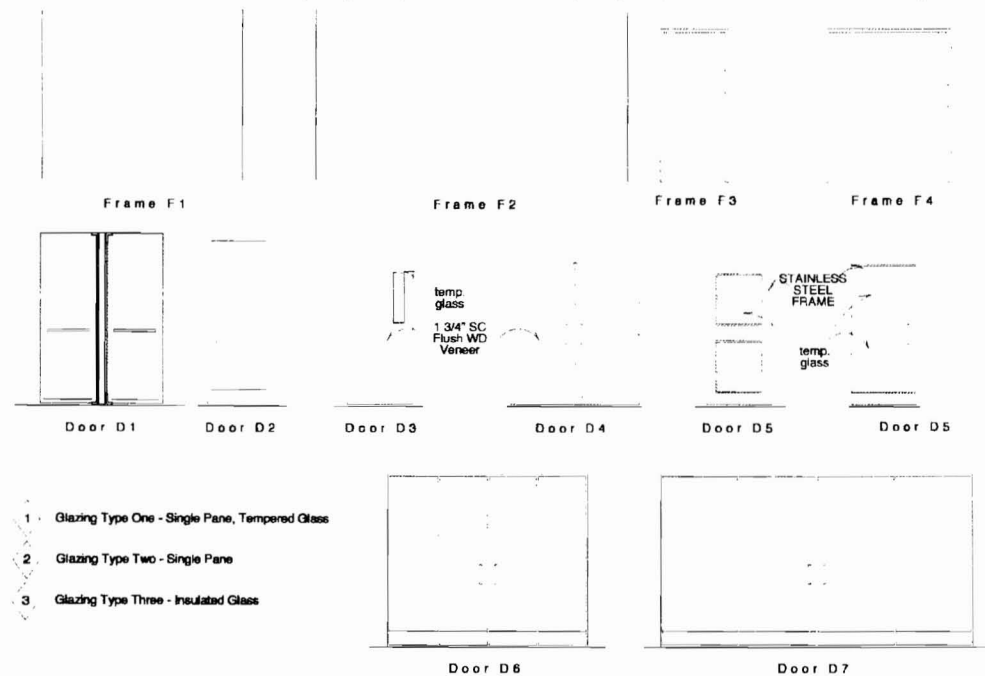
10 Proposed Ground Floor Plan

0 4 12 24

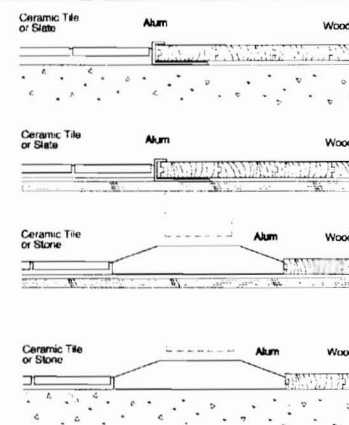


FRAME & DOOR SCHEDULE

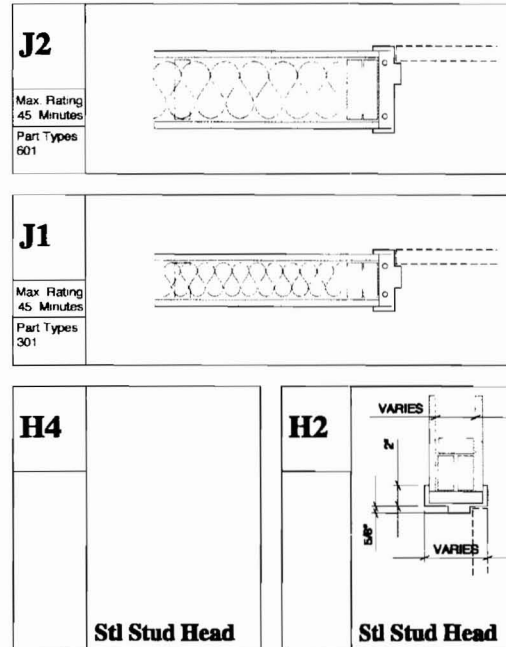
DOOR NO	LOCATION	LABEL	MATERIAL	TYPE	FRAME			DOOR			REMARKS
					JAMB	OPENING	DETAIL	JAMB	TYPE	MATERIAL	
T01	Kitchen		ST	F3	3'-0"	7'-0"	H2	J2	D2	WD	Double acting door hardware
T02	Kitchen		ST	F3	3'-0"	7'-0"	H2	J2	D2	WD	Double acting door hardware
M01	Bathroom Hall	1HR	HM	F3	3'-0"	6'-8"	V1F	H2	J2	D3	Exit hardware and glazing kit
M02	Exit Lobby	1HR	HM	F3	3'-0"	6'-8"	V1F	H2	J2	D3	Exit hardware and glazing kit



Transition Strips / Thresholds



50 Section Detail
NTS



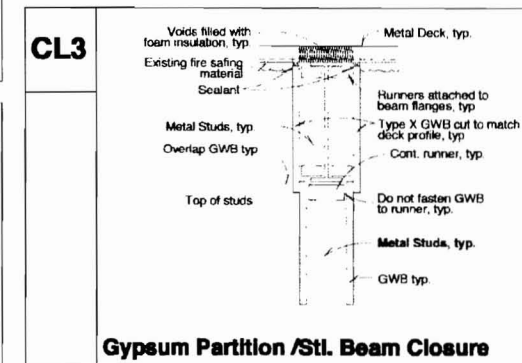
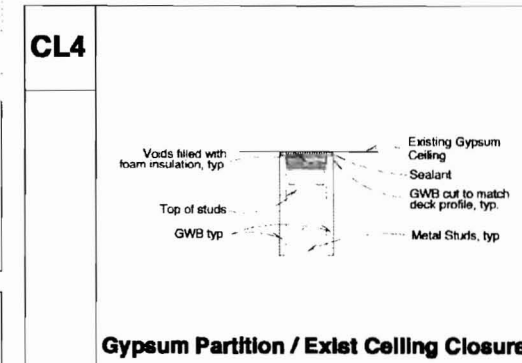
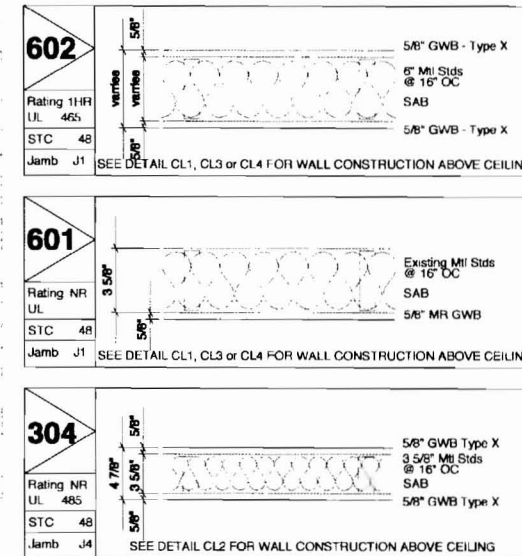
- All doors in sound insulated partitions shall be sound gasketed, unless noted otherwise.
- All frames in sound insulated partitions shall be sealed with acoustic sealant between the wall sheathing and the frame backend, unless noted otherwise.
- Refer to jamb designation on Door Schedule for details, materials, and dimensions, typ.
- Refer to Door Schedule for additional information.

J1	Jamb detail designation
Max Rating 45 Minutes	Maximum fire rating for opening
Head Detail D1.D3	Head type references for this detail
Part Types 306-309, 301-304	Partition type references for this detail

GLAZING LEGEND

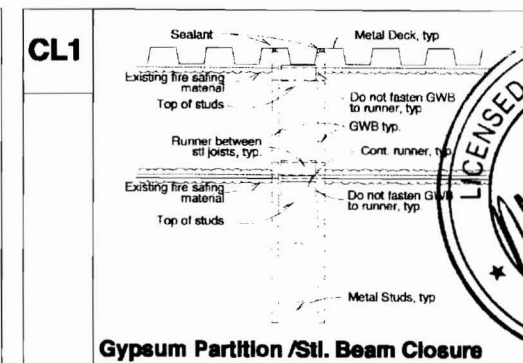
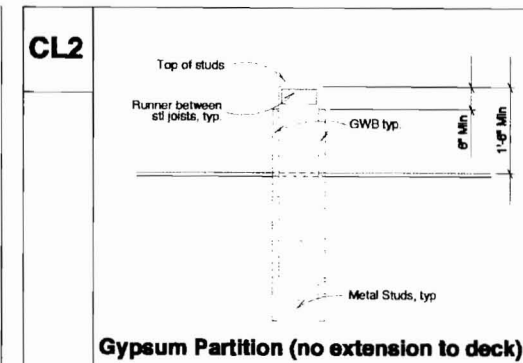
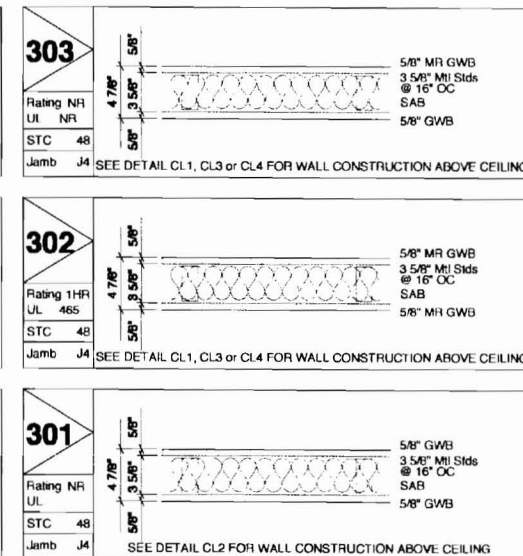
- Glazing Type One - Single Pane, Single Pane Storm Panel
- Glazing Type Two - Single Tempered Pane, Plexiglass Panel
- Glazing Type Three - Laminated Glass, Tempered Glass Storm Panel
- Glazing Type Four - Tempered Glass

Frame / Door Notes



- All Fire Rated assemblies to be constructed in accordance with the appropriate U.L. design number for the construction type. Fire Rated assemblies shall conform to the following U.L. design numbers for their construction type, unless noted otherwise:
 - 1 Hour Assemblies: GWB Partitions UL465, GWB / Cementitious Partitions UL404, U407
 - 2 Hour Assemblies: GWB Partitions UL411, GWB / Cementitious Partitions UL404.A, CMU Partitions UL905
 - 3 Hour Assemblies: CMU Partitions UL904
- Provide firestopping at all penetrations in fire rated assemblies, and where fire rated assemblies abut other construction.
- All partitions shall extend to the underside of structure above, unless noted otherwise.
- Columns and beams supporting fire rated partitions shall be 1 hour rated, unless noted otherwise.

Fire Rating Notes

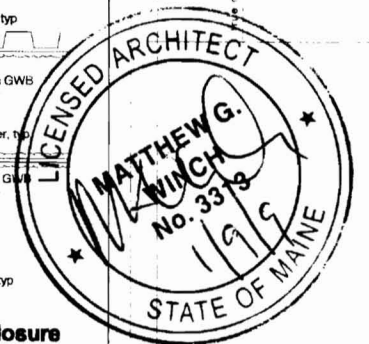


- Partition type designations refer to the following wall construction systems:
 - 200 Series - 2 1/2\"
 - 300 Series - 3 5/8\"
 - 600 Series - 6\"
 - 800 Series - 8\"
 - C Series - Chasewall construction
 - M Series - CMU construction
 - S Series - Shaftwall construction
- All GWB to be cut to fit around penetrations, pipes, ducts, conduit, cables, etc. All penetrations shall be sealed with acoustic sealant, unless noted otherwise.
- All partitions extending to underside of slab above shall fully follow the contour of structure.
- All sound insulated partitions shall extend to the underside of structure above, unless noted otherwise.
- All sound insulated partitions shall be sealed with acoustic sealant under the shoe, head, and jamb, and at all GWB joints.
- Refer to Room Finish Schedule for wall finish and base information.

623	Partition type designation
Rating NR	NR (not rated), 1HR, 2HR, 3HR as applicable
UL	UL design number. See Fire Rating notes this sheet
STC	STC design value for partition as applicable
Jamb J1	Jamb detail reference for this partition type

Partition Notes / Legend

project name
**Luna Rosa
The Boyd Block**
project location
188 Middle Street
Portland, Maine



date
January 8, 2009
scale
as noted
project #
2008-019
drawing title
**Schedules
& Partition Types**
drawing number
A601

Boyd Block - Luna Rosa

January 8, 2009

188 Middle Street - Portland, ME

Project Directory

List of Drawings

Site Location

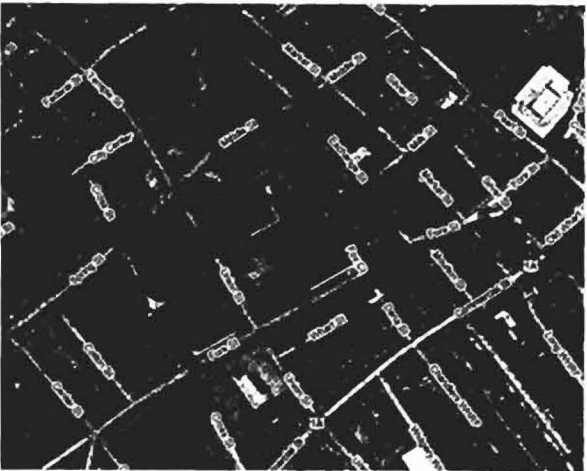
Tenant:
Luna Rosa
188 Middle street
Portland, ME 04101

Architect:
Garrison Consulting
41 Edgewood Avenue
Portland, Maine 04103
(207) 450-0750
matthewwinch@earthlink.net

A000 - Cover
A101 - Proposed Floor Plan
A301 - Interior Building Sections
A601 - Schedules



City of Portland, Maine



188 Middle Street

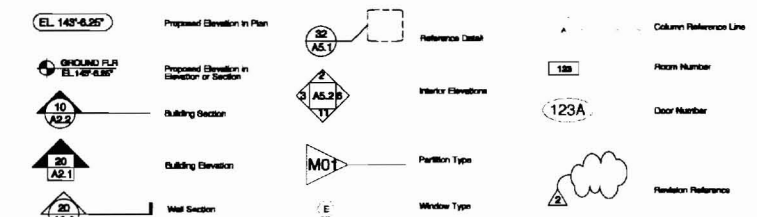
ARCHITECTURAL ABBREVIATIONS

A	ABV	Above	EA	Each	L	Laminated (d)	RD	Roof Drain
AFF	AF	Above Finished Floor	ELEC	East	LAM	Laminated	RM	Room
AP	AP	Access Panel	EWC	Electric (w)	LCC	Lead Coated Copper	RO	Room Opening
ACOUS	AC	Acoustical	EL	Electric Water Cooler	LH	Left Hand	S	Shower
ACT	ACT	Acoustical Tile	ELV	Elevator	LS	Light Switch	SAN	Sound Attenuation Blanket
ADD	ADD	Addendum	EMER	Emergency	LMT	Lightweight	SND	Sanitary Napkin Dispenser
ADH	ADH	Adhesive	ENC	Enclosure (ure)	LVR	Lower	SNR	Sanitary Napkin Receptor
ADJ	ADJ	Adjacent	EQ	Equipment	LFT	Low Point	SCH	Schedule
ADUT	ADUT	Adjustable	EXH	Exhaust	M	Machine	SMT	Sealant
AGO	AGO	Aggregate	EXP	Exposure, Exposed	MACH	Machine	SEC	Section
AIC	AIC	Air Conditioning	EXP	Expansion Joint	MH	Manhole	SHH	Shedding
ALT	ALT	Alternate	EJT	Expansion Joint	MFR	Manufacture (r)	SHR	Sheet Metal
AL	AL	Aluminum	EXT	Exterior	MAS	Memory	SH	Shelf, Shelving
ANG	ANG	Anchor, Anchorage	EXTD	Extruded	MO	Memory Opening	SHR	Shower
AS	AS	Anchor Bolt			MTL	Material (s)	SM	Smelter
ANOD	ANOD	Anodized			MAX	Maximum	SO	Shed On Grade
APPROX	APPROX	Approximate			MCH	Mechanical	SD	Shed Disperser
ARCH	ARCH	Architect (unl)			MC	Medicine Cabinet	STC	Sound Transmission Class
AD	AD	Area Drain			ME	Model	S	Sound
AUTO	AUTO	Automatic			MIN	Minimum	SPEC	Specification (s)
AVG	AVG	Average			MISC	Miscellaneous	SA	Spray Acoustic
					MOD	Modular	SS	Square
					MLDG	Molding, Moulding	SS1	Stainless Steel
					MTD	Mounted	ST	Star
B	BSMT	Basement			N	Nominal	STD	Standard
BM	BM	Bearing			NPS	Nominal Pipe Size	STN	Station
BGL	BGL	Below			NC	Noncombustible	STL	Steel
BET	BET	Between			N	North	STO	Storage
BT	BT	Between			NA	Not Applicable	STR	Structural
BLK	BLK	Block			NIC	Not in Contract	SBFL	Subfloor
BKG	BKG	Blocking			NIS	Not to Scale	SUSP	Suspended
BD	BD	Board			NTS	Not to Scale		
BOT	BOT	Bottom			NR	Not Rated		
BW	BW	Bottom of Wall			O	On Center (s)		
BKT	BKT	Bracket			OC	Opening		
BRC	BRC	Brick			OPNG	Opening		
BUDG	BUDG	Building			OPP	Opposite		
BUR	BUR	Built-Up Roofing			OPH	Opposite Hand		
					OZ	Once		
C	CAB	Cabinet			OD	Outside Diameter		
CLH	CLH	Cabinet Unit Heater			GA	Gauge		
CPT	CPT	Carpet (ed)			GLV	Galvanized		
CB	CB	Catch Basin			GL	Glass, Glazing		
CLG	CLG	Ceiling			GMU	Glass Masonry Unit		
CEM	CEM	Cement			GR	Grip Bar		
CTH	CTH	Center			GD	Grade, Grading		
CT	CT	Ceramic Grout			GT	Gypsum Wallboard		
CO	CO	Cover			GWB	Gypsum Wallboard		
CLR	CLR	Clear (ance)			H	Handicapped		
CLO	CLO	Closet			HCP	Handicapped		
COL	COL	Column			HED	Hardware		
COMP	COMP	Compressor (ed, ion, ble)			HEW	Heating/Ventilating/		
CONC	CONC	Concrete			HVAC	Air Conditioning		
CMU	CMU	Concrete Masonry Unit			HT	Height		
CONST	CONST	Construction			HPT	High Point		
CONT	CONT	Continuous, Continue			HC	Hollow Core		
CONTR	CONTR	Contract (or)			HM	Hollow Metal		
CUT	CUT	Control Joint			HR	Hour		
CG	CG	Corner Guard			PSF	Pounds per Square Foot		
COBH	COBH	Corner Beam			PSI	Pounds per Square Inch		
CTSK	CTSK	Countersink			PFD	Prefabricated (d)		
CSFH	CSFH	Countersunk Flat Head			PM	Pressed Metal		
CRS	CRS	Course			PROP	Proposed		
D	DEPT	Department			Q	Quantity		
DIL	DIL	Detail			QTY	Quantity		
DIM	DIM	Dimension			QT	Quantity		
DW	DW	Dishwasher			R	Radius		
DPI	DPI	Dispenser			RAD	Radius		
DISP	DISP	Disposal			RWL	Rainwater Leader		
DR	DR	Door			REF	Reference		
DO	DO	Door Opening			REF	Reflected (ed, ve, or)		
DBL	DBL	Double			REFR	Refrigerator		
DA	DA	Double Acting			RE	Reinforce (d, ing)		
DN	DN	Down			REM	Remove		
DWR	DWR	Drawer			REQD	Required		
DWG	DWG	Drawing			RES	Resistant		
DF	DF	Drinking Fountain			RS	Resilient Base		
					RT	Resilient Tile		
					RA	Return Air		
					REV	Reversion		
					R	Right Hand		
					R	Filter		

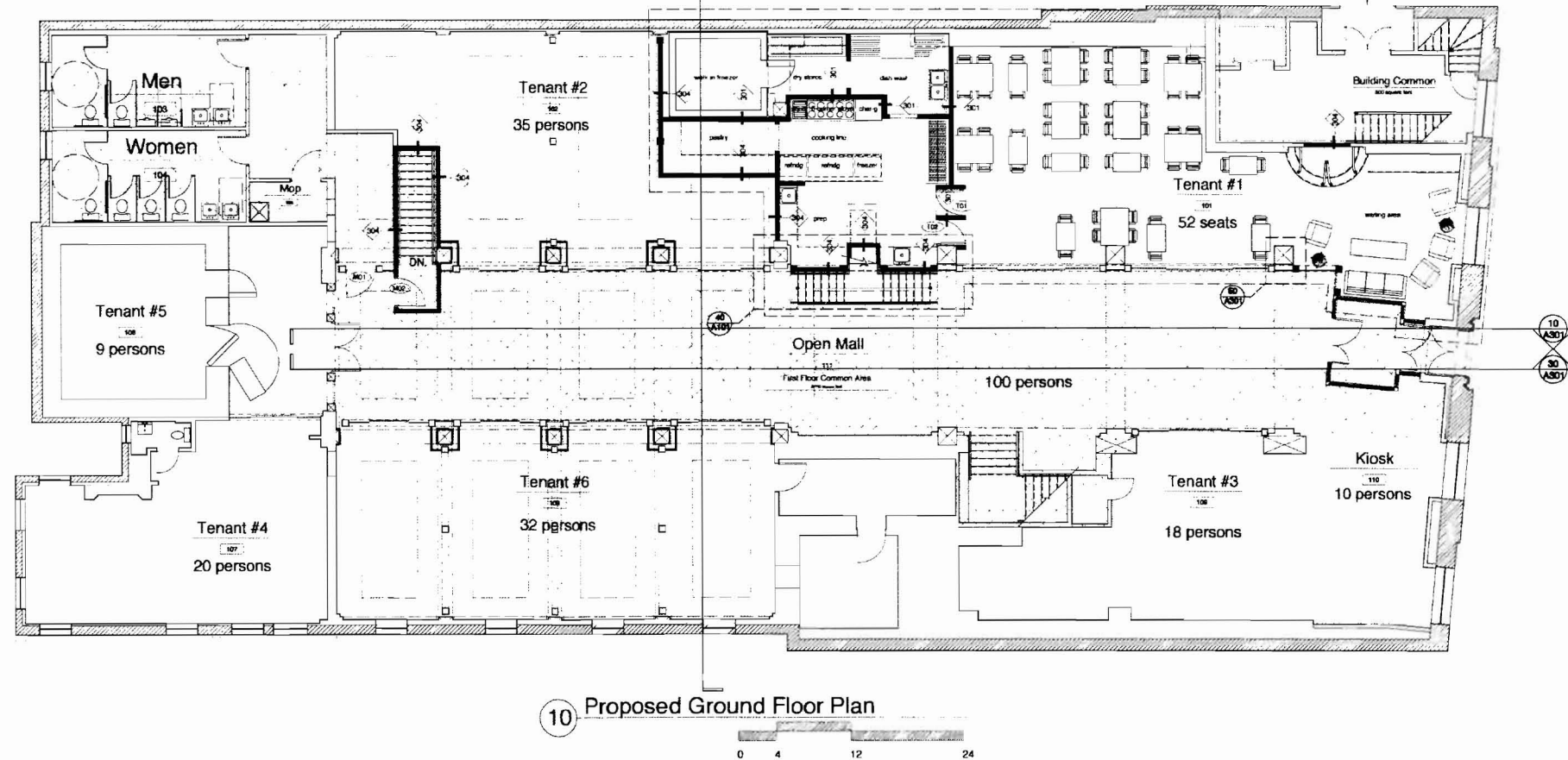
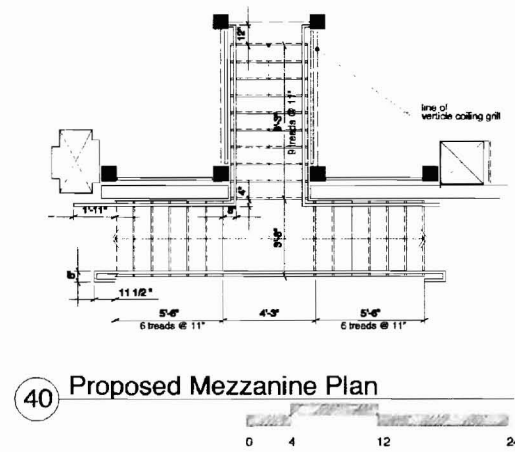
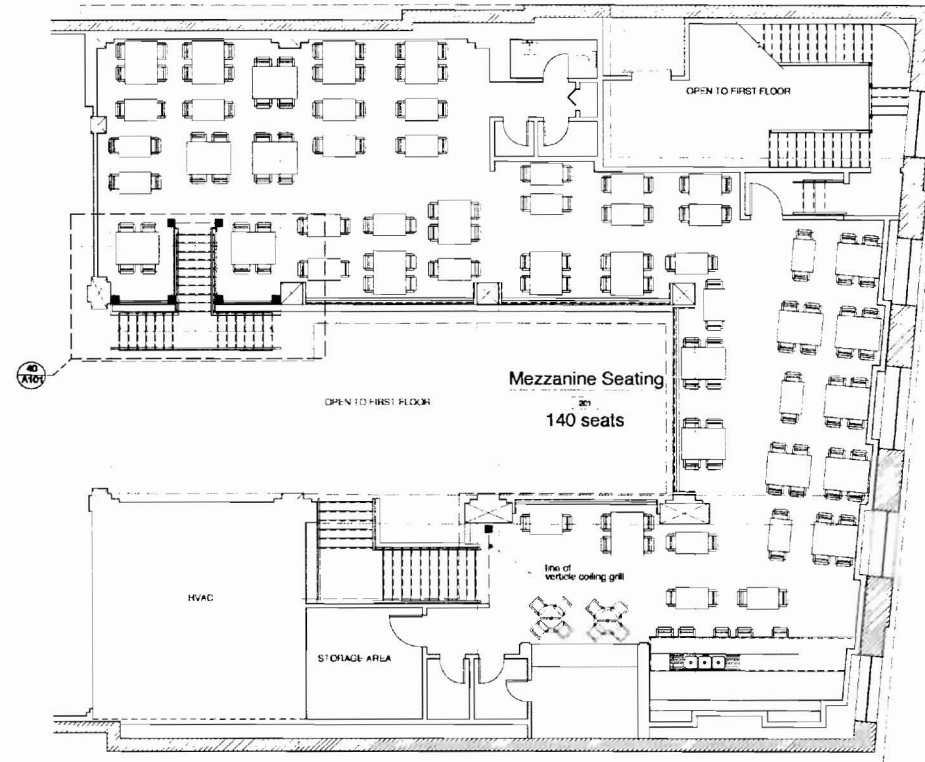
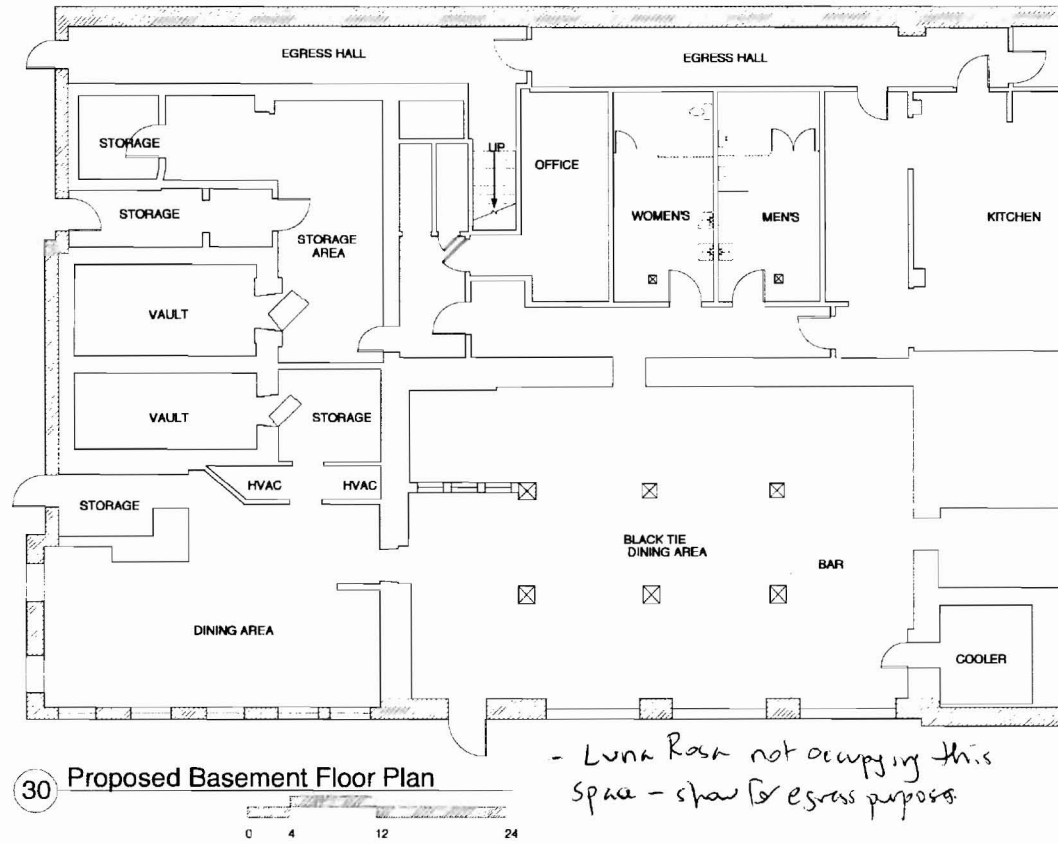
GENERAL NOTES

- General Contractor shall verify all dimensions and report any discrepancies to the Architect before proceeding with work.
- General Contractor shall maintain structural integrity and weather tightness during construction.
- General Contractor shall coordinate all trades, scheduling of work, and inspections.
- All masonry dimensions are nominal and are to face of masonry unless otherwise noted. All partition dimensions are to face of stud unless otherwise noted.
- All doors shall be located a minimum of 3" off wall except where noted or dimensioned otherwise.
- All door dimensions indicate leaf size.
- Before penetrating or otherwise modifying joists, beams, or other structural members, consult with Structural Engineer on maximum size and location.
- Verify size and location of all existing underground utilities and report all discrepancies to the Architect before proceeding with the work.
- General Contractor to provide, coordinate and install acid wash blocking in walls.
- All walls are to be constructed with 5/8" gypsum wallboard.
- General Contractor to use pressure-treated lumber at all locations or areas exposed to continuous moisture.
- General Contractor to form insulate all exterior doors, window frames and thresholds, add perimeter roof connections as noted on details.
-
-

ARCHITECTURAL SYMBOLS

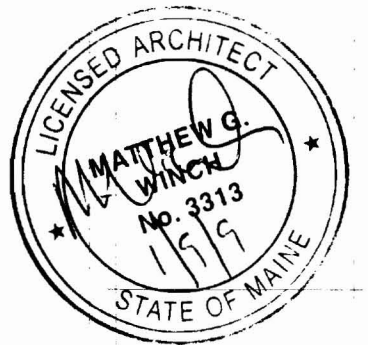
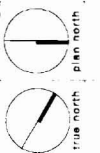


DRAWINGS ISSUED TENANT FIT-OUT PERMIT



PROJECT NAME
**Luna Rosa
The Boyd Block**

PROJECT LOCATION
188 Middle Street
Portland, Maine



date
January 8, 2009

scale
1/8" = 1'-0"

project #
2008-019

drawing title
**Proposed
Restaurant Plan
(Max Seating)**

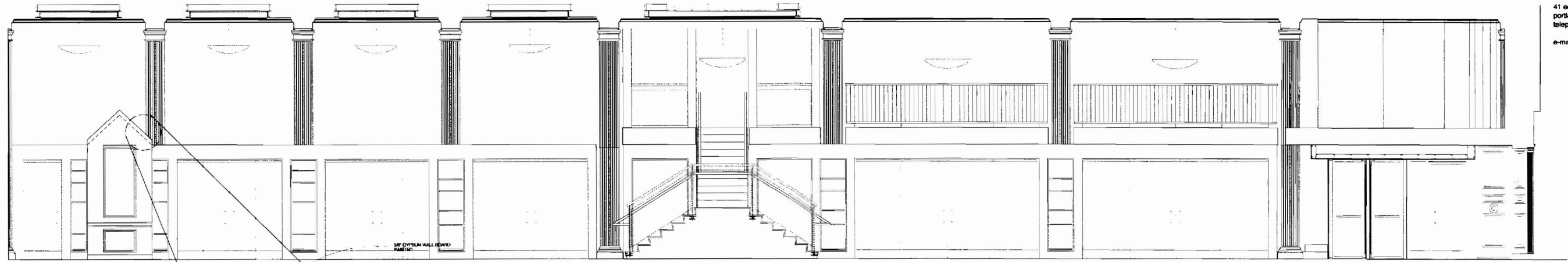
drawing number
A101

project name
**Luna Rosa
The Boyd Block**
project location
188 Middle Street
Portland, Maine

True north
plan north

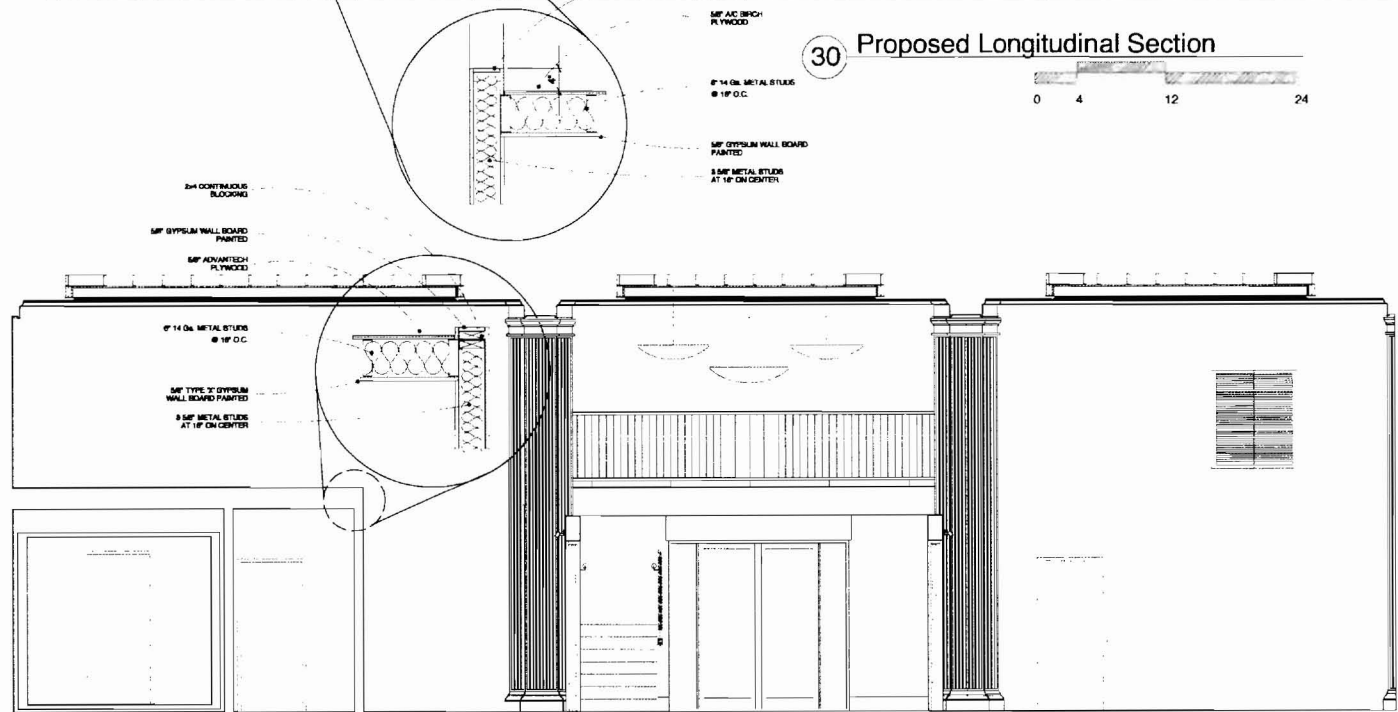


date
January 7, 2009
scale
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project #
2008-019
drawing title
Interior Sections
drawing number
A301



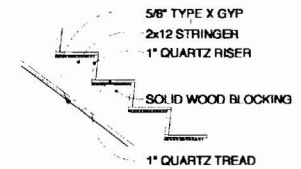
30 Proposed Longitudinal Section

0 4 12 24

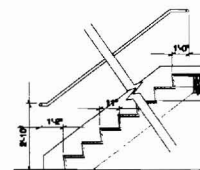


20 Proposed Cross Section

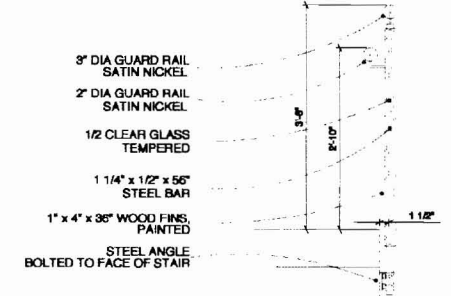
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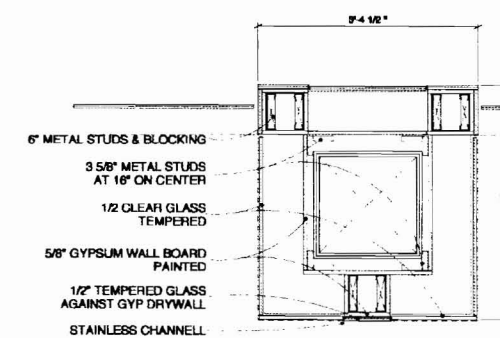
53 Section Detail at Stair



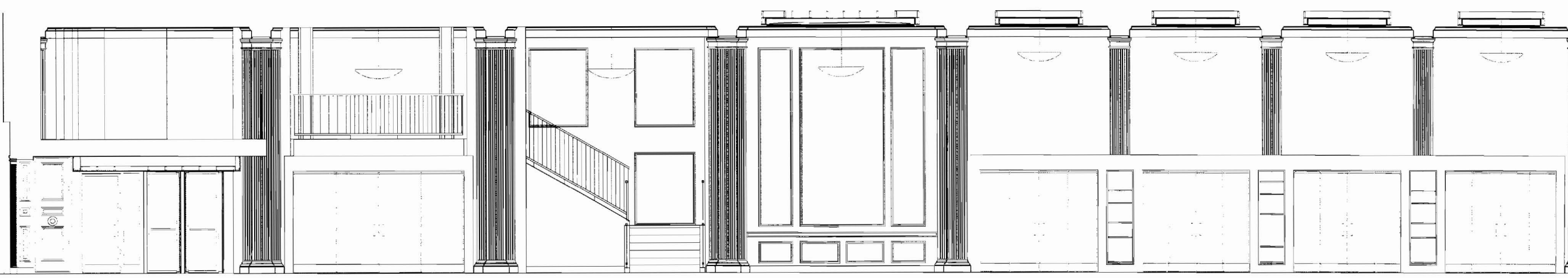
52 Dimensional Section @ Stair



51 Rail Detail at Stair



50 Plan Detail at Display



10 Proposed Longitudinal Section

0 4 12 24