

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DIVISION

PERMIT

Permit Number: 081442

This is to certify that BUCKSTAR LLC/TBD

has permission to renovation, new bathrooms & showers & floors

AT 188 MIDDLE ST

032 1021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is done-in. 2. HOW NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. See 1438

Health Dept.

Appeal Board

Other

DEC 4 2008

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

12/04/08 Chp 1 M  
Director - Building & Inspection Services

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1442	Issue Date: 12/4/08	CBL: 032 I021001
-----------------------	------------------------	---------------------

Location of Construction: 188 MIDDLE ST	Owner Name: BUCKSTAR LLC	Owner Address: 100 SILVER ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3
Past Use: Commercial	Proposed Use: Commercial - renovation, new bathrooms & finishes & Doors	Permit Fee: \$1,320.00	Cost of Work: \$130,000.00
Proposed Project Description: renovation, new bathrooms & finishes & Doors		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>M</i> Type: <i>3B</i> <i>IBC-2003</i>
		Signature: <i>Greg Cass</i>	
		Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) <i>within</i>	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: ldobson	Date Applied For: 11/10/2008	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Special Zone or Reviews**

- ☐ Shoreland  
☐ Wetland  
☐ Flood Zone  
☐ Subdivision  
☐ Site Plan

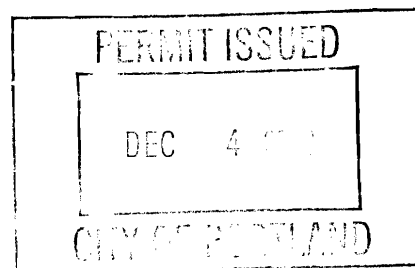
Major ☐ Minor ☐ MM ☐Date: *11/14/08***Zoning Appeal**

- ☐ Variance  
☐ Miscellaneous  
☐ Conditional Use  
☐ Interpretation  
☐ Approved  
☐ Denied

Date: \_\_\_\_\_

**Historic Preservation**

- ☐ Not in District or Landmark  
☐ Does Not Require Review  
☐ Requires Review  
☐ Approved  
☐ Approved w/Conditions  
☐ Denied

Date: *shall be reviewed for separate review & approval***CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>130 Middle St</u>		
Total Square Footage of Proposed Structure/Area <u>10,000 SF (RENOVATION)</u>		Square Footage of Lot <u>+1-13,116</u>
Tax Assessor's Chart, Block & Lot Chart# <u>032</u>	Block# <u>1</u>	Lot# <u>21</u>
Applicant *must be owner, Lessee or Buyer* Name <u>Buckstop, LLC</u> Address <u>100 SILVER ST</u> City, State & Zip <u>Portland, ME 04101</u>		Telephone: <u>(207) 774-1885</u>
Lessee/DBA (If Applicable) <u>Not Applicable</u>		Owner (if different from Applicant) Name <u>Mike Brescia</u> Address <u>100 Silver St</u> City, State & Zip <u>Portland, ME 04101</u> <u>10/13/08</u>
Cost Of Work: \$ <u>130,000</u>		C of O Fee: \$ <u>1,320</u>
Total Fee: \$ <u>1,320</u>		
Current legal use (i.e. single family) <u>Office &amp; Business Service</u> If vacant, what was the previous use? <u>BAR</u> Proposed Specific use: <u>Black Tie was the previous legal use</u> Is property part of a subdivision? <u>It</u> If yes, please name <u>—</u> Project description: <u>RENOVATION, New Bathrooms, Finishes &amp; Doors</u>		
Contractor's name: <u>None Selected</u>		
Address: _____		
City, State & Zip: _____		Telephone: _____
Who should we contact when the permit is ready: <u>Mike Brescia</u>		Telephone: <u>(207) 774-1885</u>
Mailing address: <u>100 SILVER ST Portland, ME 04101</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/29/08

**This is not a permit; you may not commence ANY work until the permit is issue**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
08-1442	11/10/2008	032 1021001

Location of Construction: 188 MIDDLE ST	Owner Name: BUCKSTAR LLC	Owner Address: 100 SILVER ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - renovation, new bathrooms & finishes & Doors	Proposed Project Description: renovation, new bathrooms & finishes & Doors
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 11/14/2008**Note:****Ok to Issue:** ☒

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This property is located within the Pedestrian Activities District which limits the first floor uses to retail-like for tenants abutting the pedestrian sidewalk. Separate permits shall be required for the individual tenant fit-ups to review for PAD compliance. All windows abutting the exterior pedestrian way shall not be lessened in size, nor blocked.
- 3) Separate permits shall be required for any new signage. It is encouraged to have one common sign designed for all of the tenant users.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 12/04/2008**Note:****Ok to Issue:** ☒

- 1) Permit reviewed as Mercantile, any tenant space used for any other use group will require a separate tenant fit-up permit.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 11/18/2008**Note:****Ok to Issue:** ☐

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) Fire alarm system requires a Masterbox connection per city ordinance.
- 3) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) A single source supplier should be used for all through penetrations.
- 6) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance.
- 7) All construction shall comply with NFPA 101
- 8) Application requires State Fire Marshal approval.

<b>Location of Construction:</b> 188 MIDDLE ST	<b>Owner Name:</b> BUCKSTAR LLC	<b>Owner Address:</b> 100 SILVER ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

**Comments:**

11/12/2008-mes: This building is in Historic & PAD - the first floor areas just say tenant #1, tenant #2 etc. I called Mike B. To ask him what are the first floor uses and to advise him that this building is located in a PAD District. Permit on Hold until I hear back

11/14/2008-mes: Mike Brescia called me and stated that the first floor is not intended to be for offices - it is intended to be for boutique retail & small food providers. I told him about the Historic District and PAD. Separate permits are required for the tenant fit-ups

might still remain.

Thanks!

Matthew G. Winch, Architect  
Garrison Consulting  
41 Edgewood Ave  
Portland, ME 04103  
(207) 450-0750  
matthewwinch@earthlink.net

"every idea starts with a thought"

**From:** Jeanie Bourke  
**To:** Chris Hanson  
**Date:** 12/2/2008 9:53:54 AM  
**Subject:** Fwd: Re: 188 middle Street application - Pavillion

>>> "Matthew G. Winch" <matthewwinch@earthlink.net> 11/26 10:26 AM >>>  
Hi Jeanie -

I just left you a voice mail message on this same subject. Had called to inquire as to the status of the building permit application for 188 Middle street. It would be great if you could send along an update as to the status of this permit application. From what we understand, this has made its way through Captain Cass' hands.

Thanks Jeanie and have a great Thanksgiving holiday!

Matthew G. Winch, Architect  
Garrison Consulting  
41 Edgewood Ave  
Portland, ME 04103  
(207) 450-0750  
matthewwinch@earthlink.net  
"every idea starts with a thought"

On Nov 17, 2008, at 8:59 AM, Jeanie Bourke wrote:  
Zoning approved and routed this to fire for life safety review and then it will be routed for building code review.....I will look for it then.  
Thanks

Jeanie Bourke  
Code Enforcement Officer/Plan Reviewer

City of Portland  
Planning & Urban Development Dept./ Inspections Division  
389 Congress St. Rm 315  
Portland, ME 04101  
jmb@portlandmaine.gov  
(207)874-8715

>>> "Matthew G. Winch" <matthewwinch@earthlink.net> 11/13 2:32 PM >>>

Hi Jeanie -

Just wanted to follow-up on this permit app. Understand from our client that there were a couple of questions coming out of Marge Schmuckal's office. Believe that they were addressed however we just wanted to close the loop on any outstanding questions that









# Certificate of Design Application

From Designer:

MATTHEW WINCH, ARCHITECT

Date:

OCTOBER 29, 2008

Job Name:

SUBDIVISION OF THE BOND BLOCK

Address of Construction:

180 MIDDLE STREET

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

NFPA - 2006 LIFE SAFETY CODE

Building Code & Year IBC-2003 Use Group Classification (s) 1-mercantile

Type of Construction EXISTING TYPE 3B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES-EXISTING

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? \_\_\_\_\_ Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

NOT APPLICABLE

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1607)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)

\_\_\_\_\_ Basic wind speed (1809.3)

\_\_\_\_\_ Building category and wind importance Factor,  $I_w$   
table 1604.5, 1609.5)

\_\_\_\_\_ Wind exposure category (1609.4)

\_\_\_\_\_ Internal pressure coefficient (ASCE 7)

\_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)

\_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)

\_\_\_\_\_ Seismic use group ("Category")

\_\_\_\_\_ Spectral response coefficients,  $S_D$ s &  $S_D1$  (1615.1)

\_\_\_\_\_ Site class (1615.1.5)

- \_\_\_\_\_ Live load reduction
- \_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)
- \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)
- \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)
- \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $p_f$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$
- \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)
- \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)
- \_\_\_\_\_ Seismic design category (1616.3)
- \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)
- \_\_\_\_\_ Response modification coefficient,  $R$ , and  
deflection amplification factor,  $C_d$  (1617.6.2)
- \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)
- \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

- \_\_\_\_\_ Flood Hazard area (1612.3)
- \_\_\_\_\_ Elevation of structure

### Other loads

- \_\_\_\_\_ Concentrated loads (1607.4)
- \_\_\_\_\_ Partition loads (1607.5)
- \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
1607.12, 1607.13, 1610, 1611, 2404)



## Accessibility Building Code Certificate

Designer:

Matthew Winch, Architect

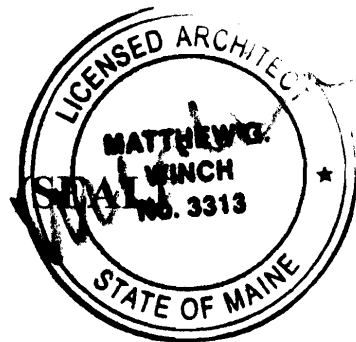
Address of Project:

122 Maple St

Nature of Project:

Renovations / New Pathways  
Finishes & Doors

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature:

M.W.

Title:

Partner

Firm:

Garrison Consulting

Address:

41 Edgewood Ave

Portland, ME 04103

Phone:

(207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



## Certificate of Design

Date:

October 29, 2008

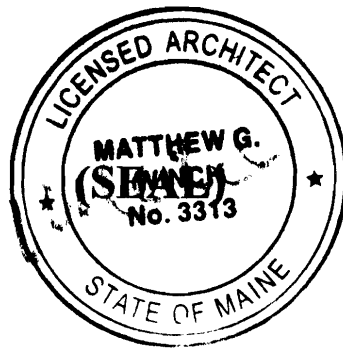
From:

Matthew Wink, Architect

These plans and / or specifications covering construction work on:

138 Middle St. Renovations, New Bathrooms,  
Finishes & Doors

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature: Matthew Wink

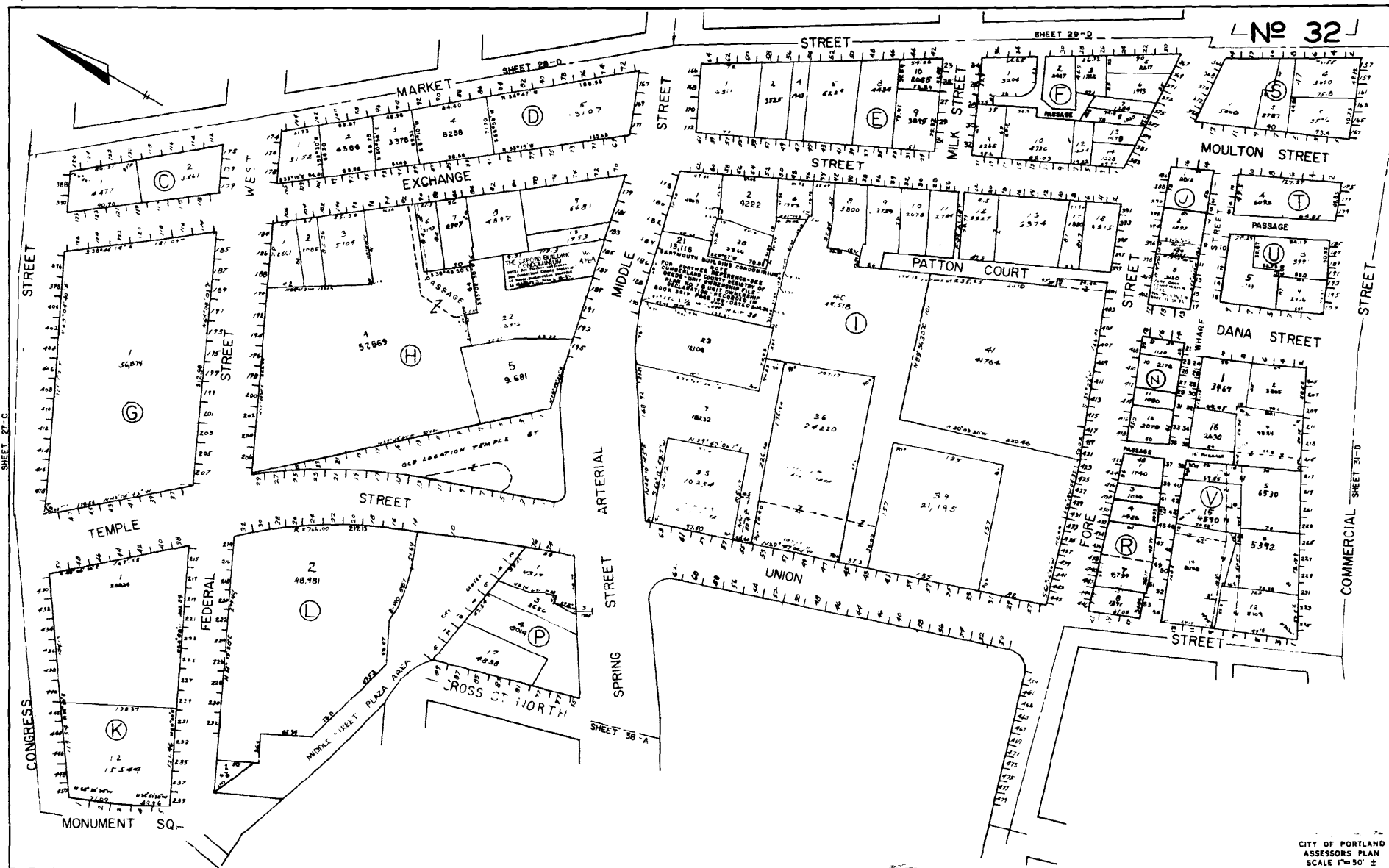
Title: Principal

Firm: Erickson Consulting

Address: 41 Edgewood Ave  
Portland, ME 04103

Phone: (207) 450-0750

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)





# Transmittal

**To:** City of Portland      **Project name:** 188 Middle Street  
GC#2007-018  
**Date:** 11/10/08      **From:** Matthew Winch  
**Re:** BP Submittal      **cc:** Mike Brescia, file

---

Item:	Date	Quantity	Title
1	10/29/08	1 set	plan set 24x36
2	10/29/08	1 set	plan set 11x17
3	10/29/08	1 set	Permit application and affidavits

**Remarks:**

Please find enclosed a building permit application and associated drawings for the renovations of the ground floor space at 188 Middle Street – formerly the Pavillion.



# Transmittal

**To:** City of Portland      **Project name:** 188 Middle Street  
GC#2007-018  
**Date:** 12/03/08      **From:** Matthew Winch  
**Re:** BP Submittal      **cc:** Mike Brescia, file

---

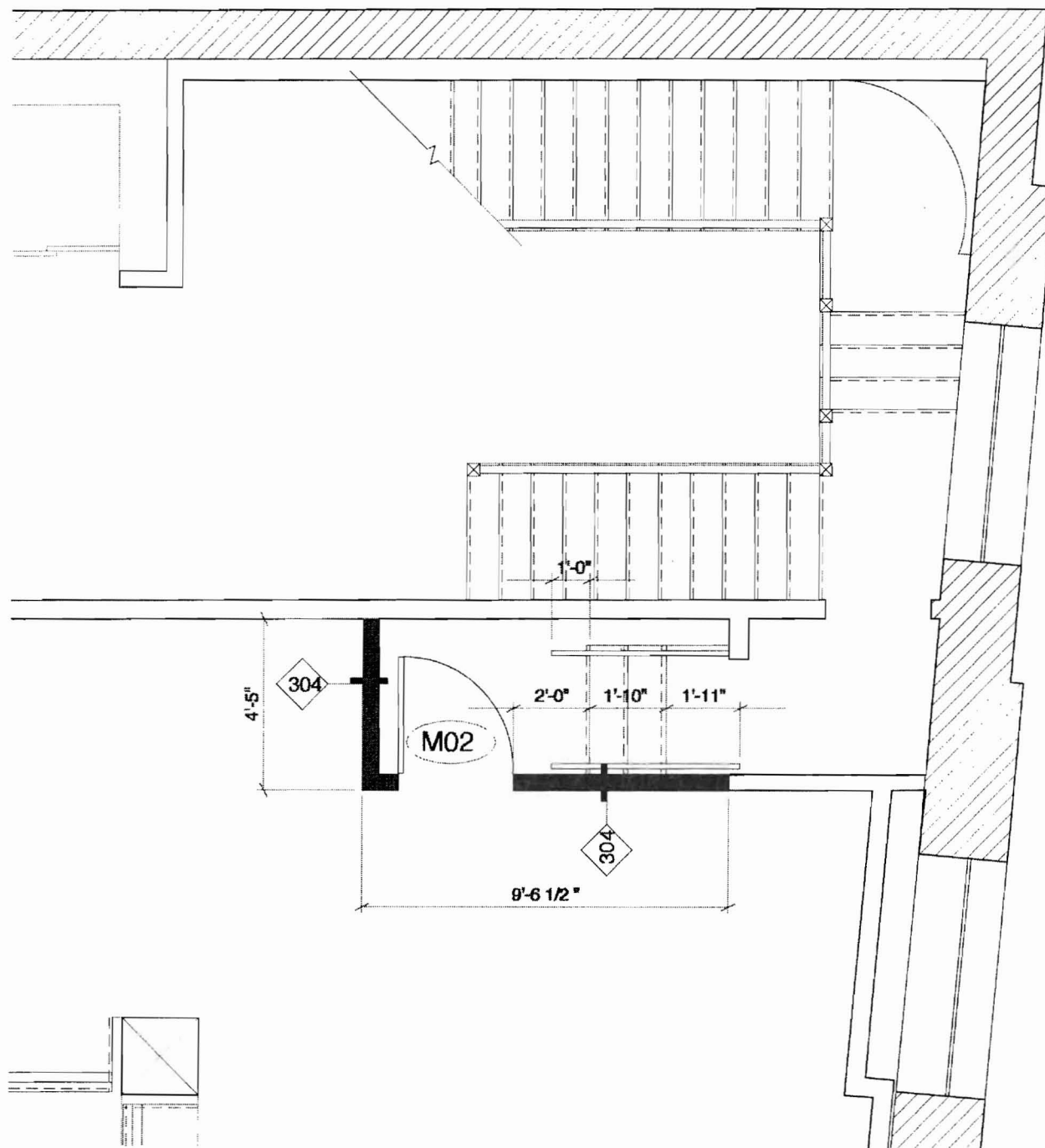
Item:	Date	Quantity	Title
1	12/03/08	1 copy	Code Study 24x36
2	12/03/08	1 copy	Code Study 11x17

**Remarks:**

Please find enclosed a brief code analysis for the renovations to the ground floor space at 188 Middle Street – formerly the Pavillion.

---

41 Edgewood Avenue Portland, ME 04103  
(207) 450-0750  
matthewwinch@earthlink.net



**GARRISON**  
CONSULTING

41 edgewood ave  
portland, maine 04103  
telephone 207 450 0750

e-mail matthewwinch@earthlink.net

# 188 Middle St Mezzanine Stair Enclosure

Scale: 1/4" = 1'-0" Date: 11/19/08

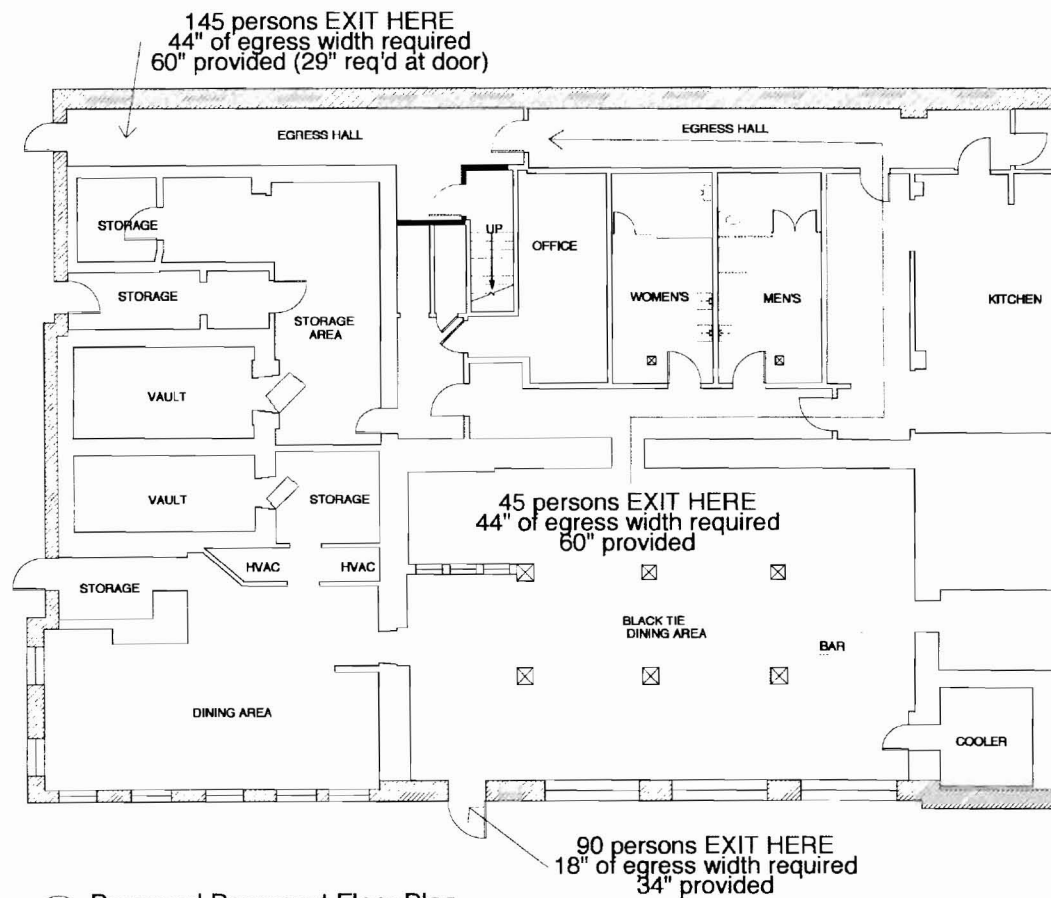
Drawn By: MGW

Project No: 2007-014

DWG NO:

**SKA-05**



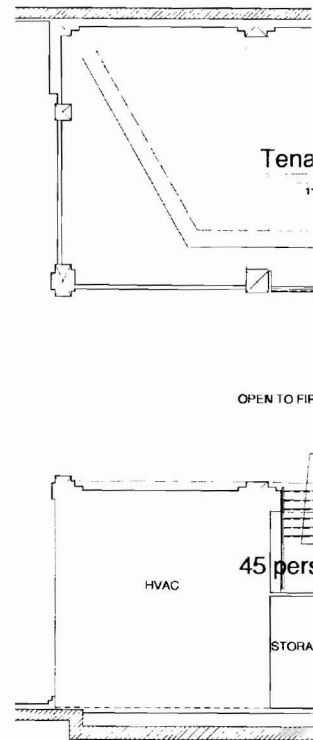


30 Proposed Basement Floor Plan

0 4 12 24

Max travel distance 197'-0"  
400'-0" allowable

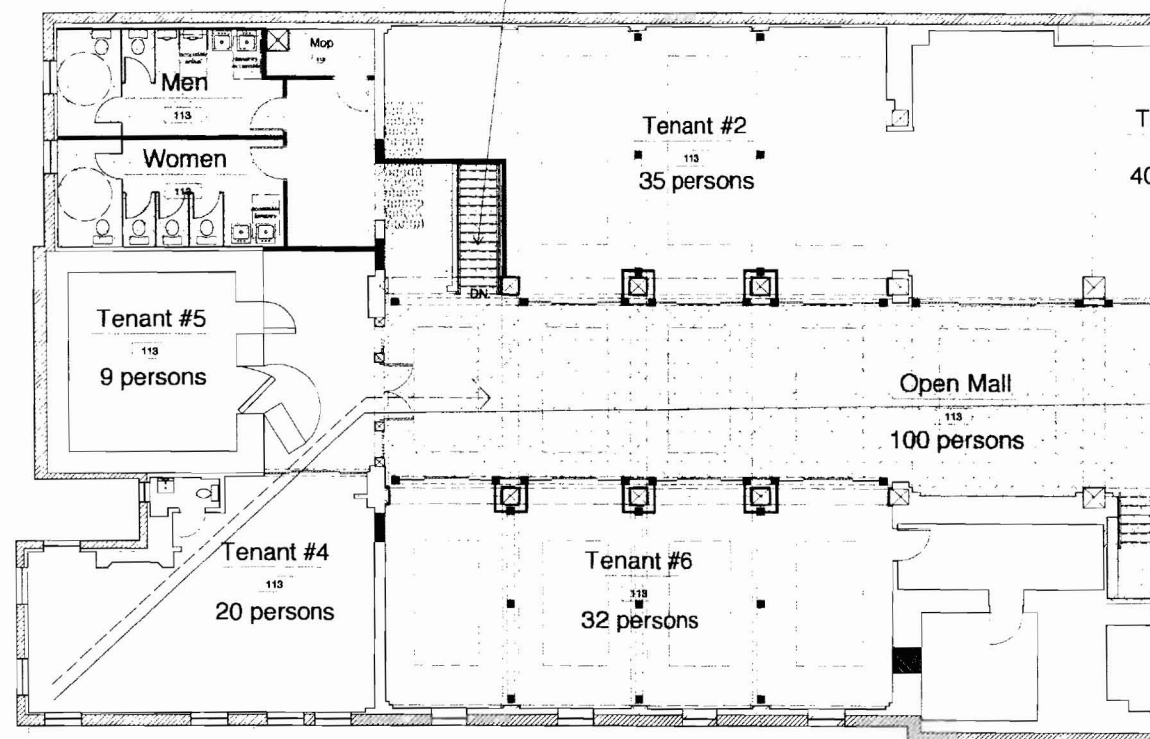
Max travel common path  
of travel distance 65'-0"  
100'-0" allowable



20 Proposed Mezzanine

0 4

100 persons EXIT HERE  
36" of egress width required  
44" provided



10 Proposed Ground Floor Plan

0 4 12 24

Max common path  
of travel distance 60'-0"  
100'-0" allowable

Max travel distance 179'-0"  
400'-0" allowable

DEC 3 2003

ARCHITECTURAL ABBREVIATIONS			
<b>A</b>	<b>E</b>	<b>L</b>	
ABV Above	EA Each	LAM Laminated (d)	RD Roof Drain
AFF Above Finished Floor	ELEC Electric (d)	LAV Lavatory	RM Room
AP Access Panel	EWC Electric Water Cooler	LCC Lead-coated Copper	RO Rough Opening
ACOUS Acoustical	EL Elevation	LI Left Hand	S
ACT Acoustical Tile		LT Light	
	ELEV Elevator	LS Light Switch	SAB Sound Absorption Blanket
ADD Addendum	EMER Emergency	LW Lightweight	SND Sanitary Napkin Dispenser
ADH Adhesive	ENC Enclosure (line)	LVR Low Point	SNR Sanitary Napkin Receptor
ADJ Adjacent	EQ Equal	LPT Low Point	SCH Schedule
ADJT Adjustable	EOP Equipment		SEAT Seating
AGG Aggregate		M	SEC Section
	ED Exhaust		
A/C Air Conditioning	EEST Estimating	MACH Machine	SHTH Sheathing
ALT Alternate	EXP Expansion, Exposed	MH Manhole	SHT Sheet
AL Aluminum	EJ Expansion Joint	MFR Manufacture (r)	SM Sheet Metal
ANC Anchor, Anchorage	EXT Exterior	MAS Masonry	SH Shelf, Shelving
AB Anchor Bolt	EXTD Extruded	MO Masonry Opening	SHR Shower
ANOD Anodized		MTL Material (s)	SIM Similar
APPROX Approximate	F	MAX Maximum	SOD Snap Dispenser
APRH Architect (arch)	FAB Fabricated	MECH Mechanical	STC Sound Transmission Class
AD Area Drain	FOF Face of Finish	MC Medicine Cabinet	S
AUTO Automatic	FOF Face of Finish	MET Metal	
	FOF Face of Finish	MIN Minimum	SPEC Specification (s)
AVG Average	FIN Finish (ed)	MISC Miscellaneous	SA Spray Acoustic
		MOD Modular	SQ Square
	FF Finished Floor	MRI Moisture Resistant	SS Stainless Steel
	FA Fire Alarm	MLDG Mounted	ST Star
	FE Fire Extinguisher		
	FEC Fire Extinguisher Cabinet	N	STD Standard
	FHC Fire Hose Cabinet	NOM Nominal	STA Station
BSMT Basement		NPS Nominal Pipe Size	STL Steel
BW Beam	PPRF Preproof	NC Noncombustible	STO Storage
BNG Bearing	PRF Preproof	N North	STR Structural
BEL Below	FIXT Fixture	NA Not Applicable	SUSP Suspended
BET Between	FLG Flushing		
	FWWS Flathead Wood Screw		
BIT Bituminous		NIC Not in Contract	T
BLK Blocking	FLR Floor (ing)	NTS Not To Scale	TKBD Teakboard
BLKG Blocking	FD Floor Drain	NO Number	TEL Telephone
BO Board	FLUOR Fluorescent	NR Not Rated	TEMP Temporary
BOT Bottom	FG Flooring		TC Terms Code
	FND Foundation		TZ Terrace
BW Bottom of Wall		O	
BKT Bracket	FS Full Size	OC On Center (s)	THK Thick (ness)
BRK Break	FUR Furnish (ing)	OPG Opposite	TPD Toilet Paper Dispenser
BUDG Building		OPP Opposite Hand	T&G Tongue and Groove
BUR Built-Up Roofing		OPH Opposite	T&B Top and Bottom
		OZ Ounce	TC Top of Concrete
	G	OD Outside Diameter	TJ Top of Joint
CAB Cabinet	GA Gauge, Gauge	OA Overall	TPL Top of Plate
CUH Cabinet Unit Heater	GL Galvanized	OH Overhead	TPO Top of Rough Opening
CPT Carpet (ed)	GL Glass, Glazing		TSL Top of Slab
CI Cast Iron	GB Grab Bar	P	TS Top of Steel
CB Catch Basin		PAF Power Actuated Fastener	TSBFL Top of Subfloor
	GD Grade, Grading	PNT Paint (ed)	TW Top of Wall
CLG Ceiling	GT Gypsum Wallboard	PR Pair	
CEM Cement		PRL Panel	TB Towel Bar
CTR Center		PRL Panel	TS Transition Strip
CT Concrete		PTD Paper Towel Dispenser	T Tread
CO Cleanout		PTR Paper Towel Receptor	TYP Typical
	H		
CLR Clear (ance)	HCP Handicapped	PBD Particleboard	U
CLO Closet	HBD Handboard	PTN Partition	UL Underwriters Laboratory
COL Column	HWD Hardware	PVMT Pavement	
CONC Concrete	HVAC Heating/Ventilating/Air Conditioning	PERF Perforate (d)	
	HT Height	PLAS Plaster	V
CMU Concrete Masonry Unit		PLAM Plastic Laminated	VCT Vinyl Composition Tile
CONCT Construction	HPT High Point	PL Plywood	VER1 Vertical
CONT Continuous, Continue	HC Hollow Core	PO Polyvinyl Chloride	VEB Vertical
CONTR Contract (or)	HM Hollow Metal	PVC Polyvinyl Chloride	Vener Plaster
CJT Control Joint	HR Hose Rib	PSF Pounds per Square Foot	VN Vinyl
		PSI Pounds per Square Inch	VWC Vinyl Wall Covering
CG Corner Guard		PFB Prestressed (d)	
CGHR Counterhook		PROP Proposed	W
CSFH Countersink Flat Head	I		WC Water Closet
CS Course	INCH Inch	Q	WH Water Heater
	INSUL Insulate (d, ion)	QTY Quantity	WP Waterproofing
D	INT Interior	QT Quarry Tile	WT Weight
DEPT Department	INV Invert		WWF Welded Wire Fabric
DTL Detail	IPS Iron Pipe Size	R	W Wood, Width, Wide
DIAM Diameter		RAD Radius	WIN Window
DIM Dimension		RWL Rainwater Leader	WM Wire Mesh
DW Dishwasher		REF Reference	WO Without
	J	RFR Reflect (ed, re, or)	W Wood
DPR Dispenser	JAN Janitor	REFR Refrigerator	WPT Work Point
DISP Disposal	JT Joint		WI Wrought Iron
DR Door		RE Reinforce (d, ing)	X
DBL Double		REM Remove	None
	K	REQ Required	Y
DA Double Acting	KT Kitchen	RES Resilient	None
DN Down		RSB Resilient Base	None
DWR Drawer		RT Return	None
DWG Drawing		RA Return Air	None
DF Drinking Fountain		REV Reverse	Z
		RH Right Hand	None
		R Left Hand	None

GENERAL NOTES	
1.	General Contractor shall verify all dimensions and report any discrepancies to the Architect before proceeding with work.
2.	General Contractor shall maintain structural integrity and weather tightness during construction.
3.	General Contractor shall coordinate all trades, scheduling of work, and inspections.
4.	All masonry dimensions are nominal and are to face of masonry unless otherwise noted. All partition dimensions are to face of stud unless otherwise noted.
5.	All doors shall be located a minimum of 3" off wall except where noted or dimensioned otherwise.
6.	Before penetrating or otherwise modifying joists, beams or other structural members, consult with Structural Engineer on maximum size and location.
7.	Verify size and location of all existing underground utilities and report all discrepancies to the Architect before proceeding with the work.
8.	General Contractor to provide, coordinate and install solid wood blocking in walls.
9.	All walls are to be constructed with 5/8" gypsum wallboard.
10.	General Contractor to use pressure-treated lumber at all locations or areas exposed to continuous moisture.
11.	General Contractor to foam insulate all exterior doors, window frames and thresholds, add perimeter roof connections as noted on details.
12.	
13.	

ARCHITECTURAL SYMBOLS			
	Proposed Elevation in Plan		Reference Detail
	Proposed Elevation in Elevation or Section		Interior Elevation
	Building Section		Partition Type
	Building Elevation		Window Type
	Wall Section		Revision Reference

# Boyd Block

## 188 Middle Street - Portland, ME

### Project Directory

### List of Drawings

Owner:

Silver Street Management  
100 Silver Street  
Portland, ME 04101

Architect:

Garrison Consulting  
41 Edgewood Avenue  
Portland, Maine 04103  
(207) 450-0750  
matthewwinch@earthlink.net

A000 - Cover

E101 - Existing Conditions

A101 - Proposed Floor Pla

A102 - Enlarged Bathroom

A201 - Proposed Reflecter

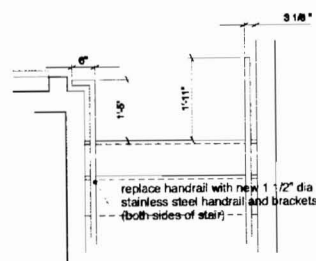
A301 - Interior Building Se

A601 - Schedules

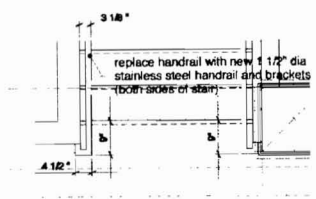
# DRAWINGS ISSUED F

[illegible]

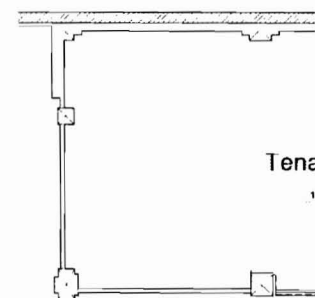
0 4 12 20



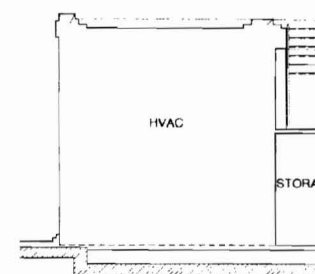
41 Stair Rail Detail #2



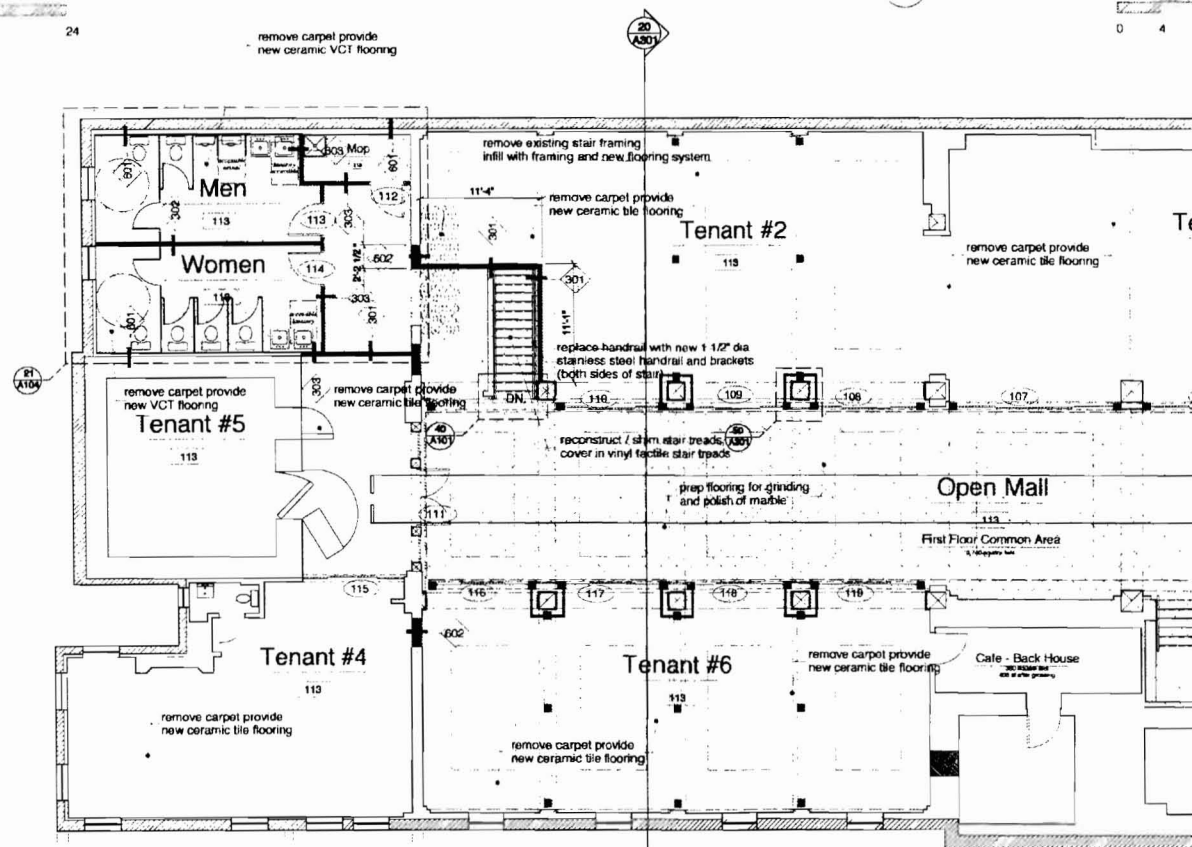
40 Stair Rail Detail #1



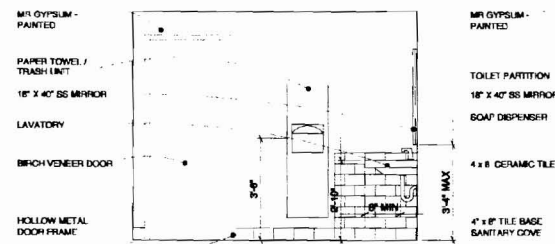
OPEN TO FIF



0



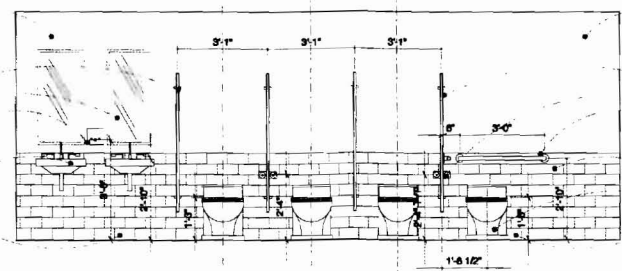
0 4 12 24



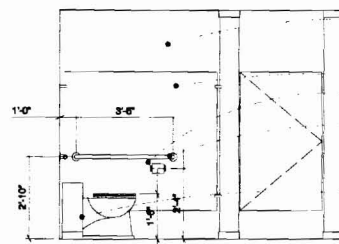
15 Int Elevation



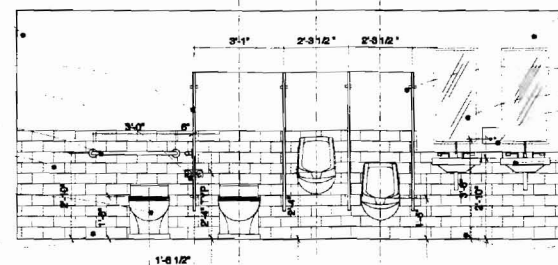
16 Int Elevation



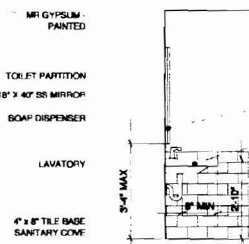
17 Int



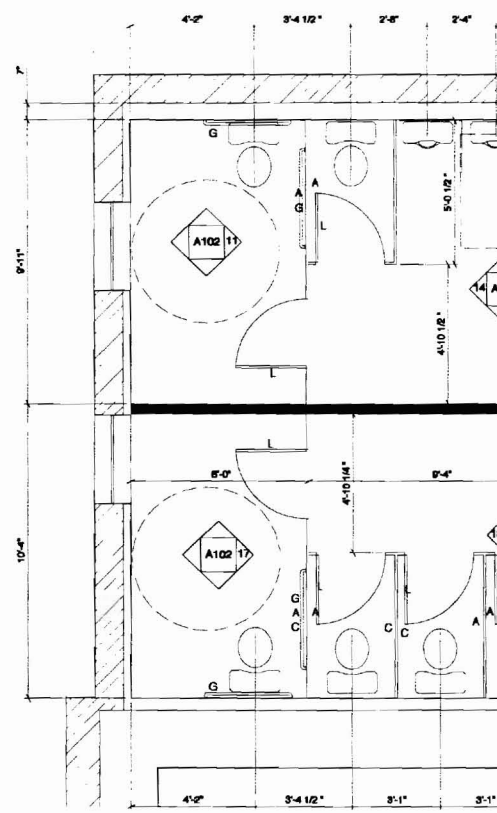
11 Int Elevation



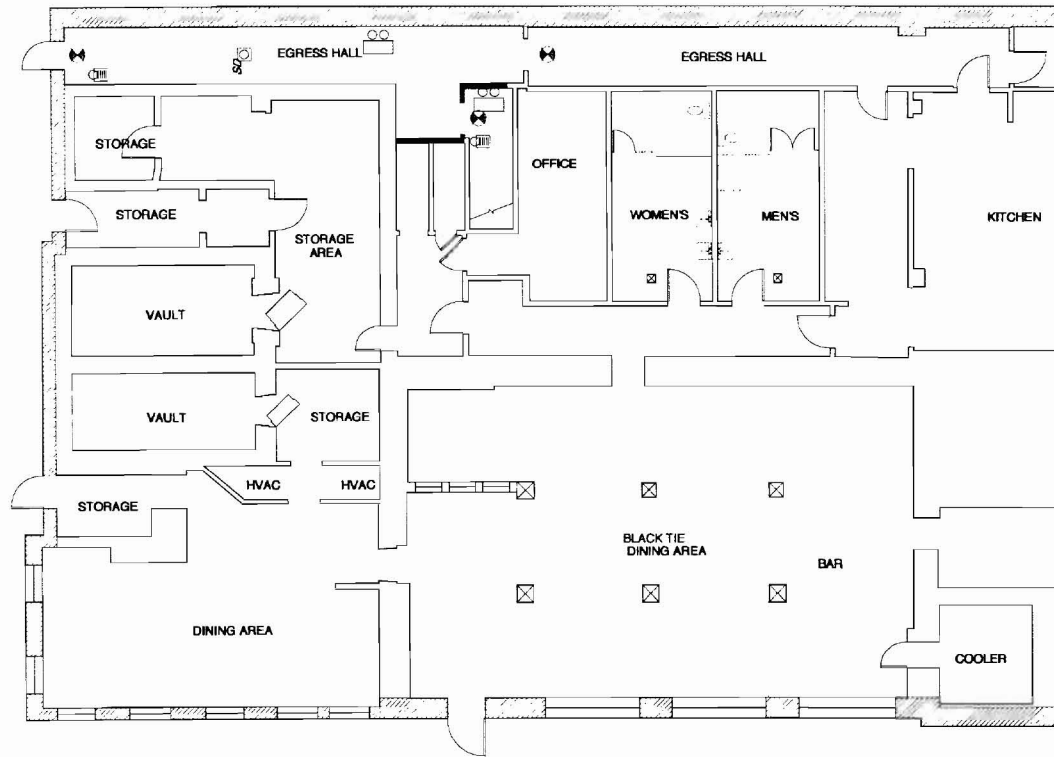
12 Int Elevation



13 Int



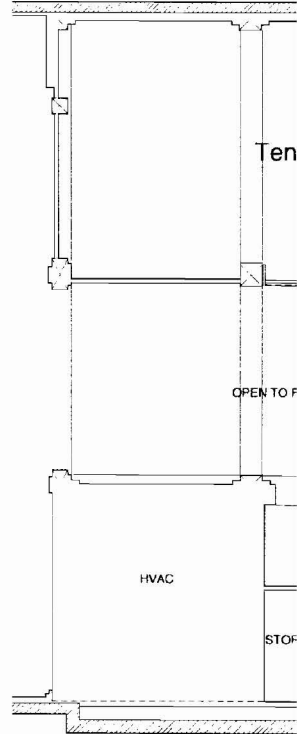
10 Enlarged Floor Plan



30 Proposed Basement Floor Plan

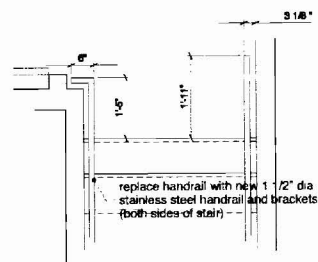
0 4 12 24

remove carpet provide  
new ceramic VCT flooring

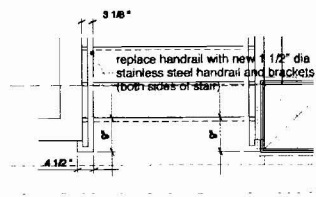


20 Proposed Mezzanine Floor Plan

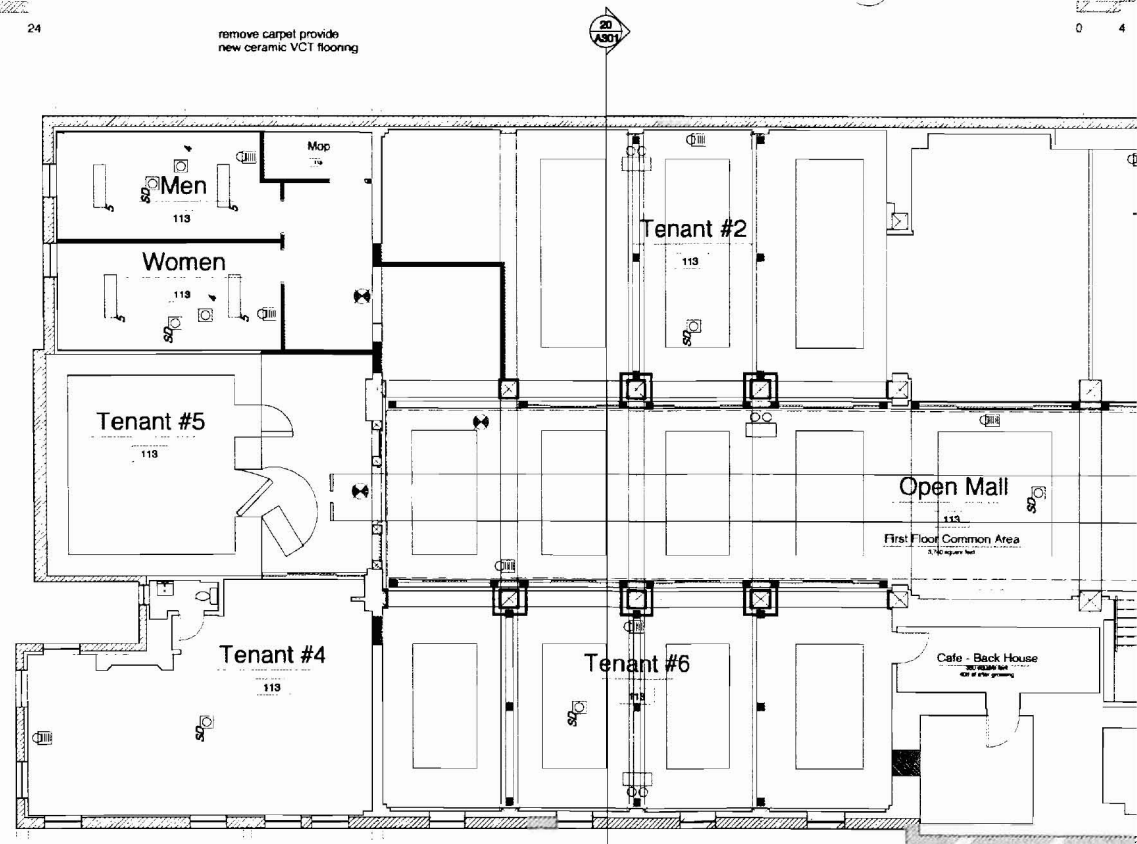
0 4



41 Stair Rail Detail #2

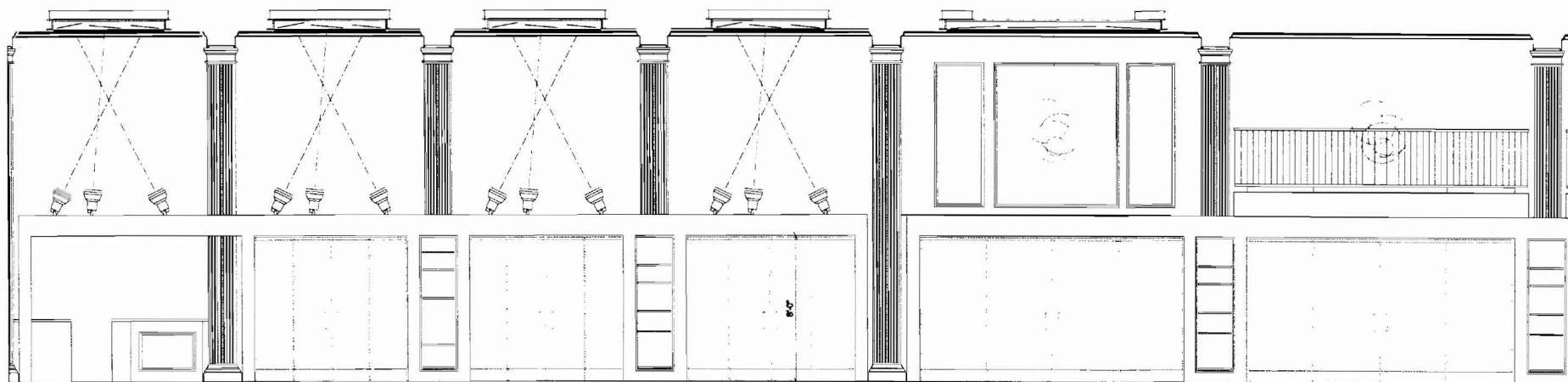


40 Stair Rail Detail #1



10 Proposed Ground Floor Plan

0 4 12 24



30 Proposed Longitudinal Section

0 4 12 24

3/8" METAL STUDS  
AT 16" ON CENTER

1/2" GYPSUM WALL BOARD  
PAINTED

EXISTING ACCT. CEILING  
TUBES PAINTED

1" METAL STUDS

EXISTING WOOD TRIM  
PAINTED

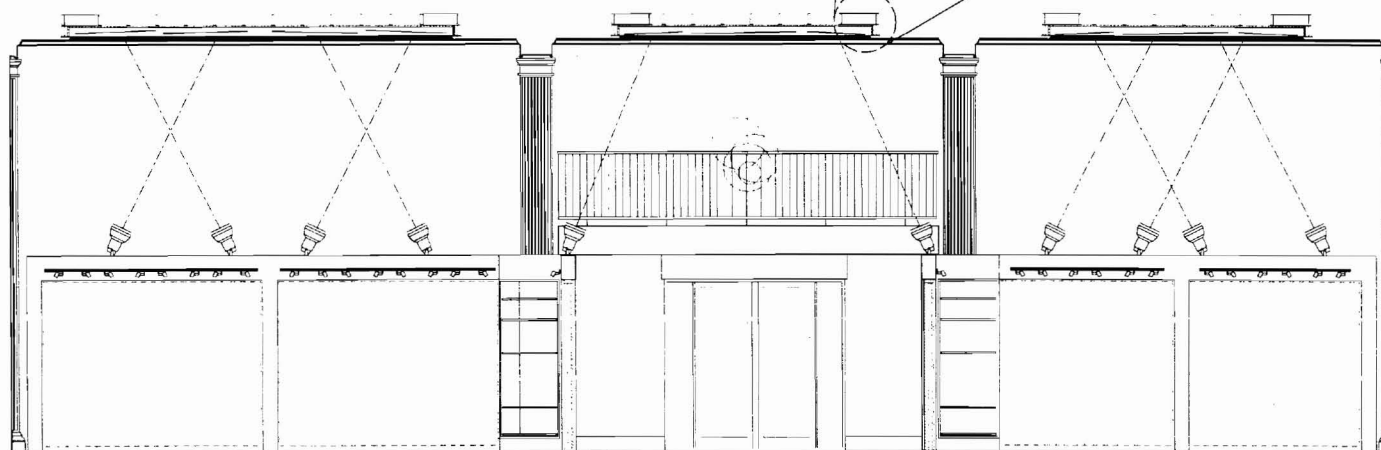
REFLECTIVE LIGHTING  
PANELS

LIGHT FIXTURE  
6" METAL STUDS  
AND SOLID WOOD BLOCKING  
1/2" CLEAR GLASS (TEMPERED)  
OVER 1/2" GYPSUM WALLBOARD

ADJUSTABLE GLASS  
SHELVING

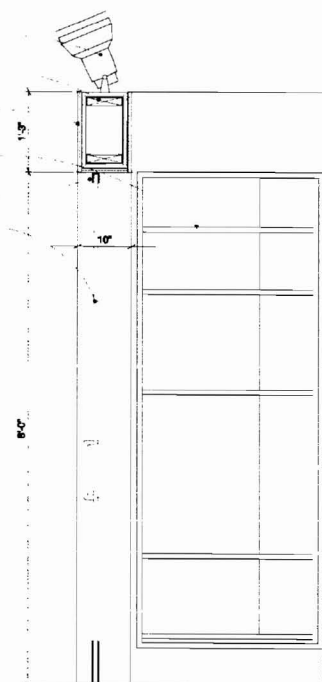
STAINLESS CHANNELL

1/2" CLEAR GLASS DOOR  
(TEMPERED)



20 Proposed Cross Section

0 4 12 24



40 Section at Display

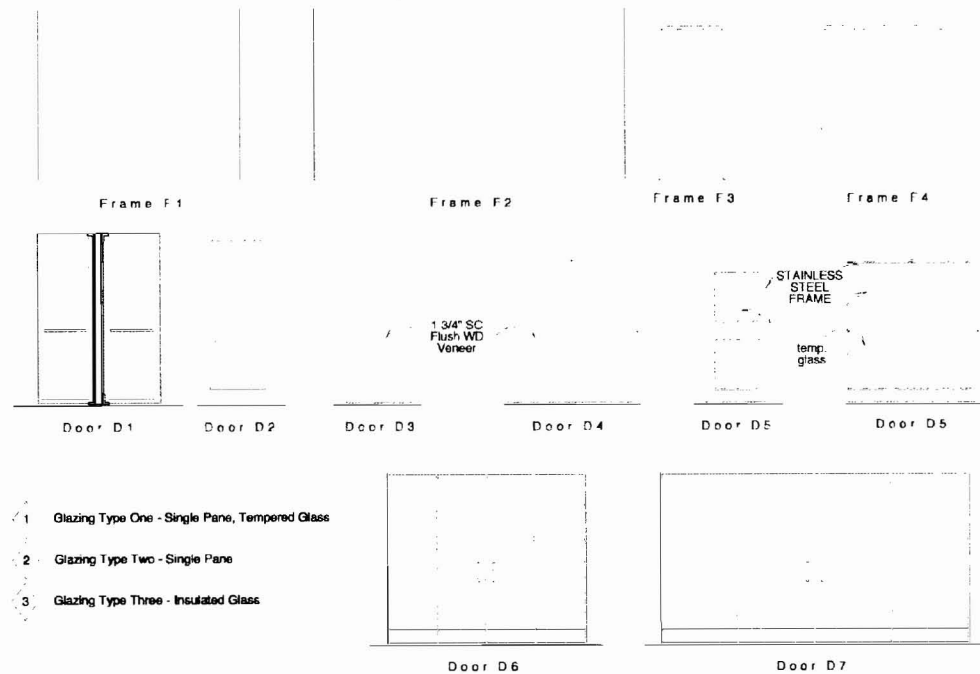


10 Proposed Longitudinal Section

0 4 12 24

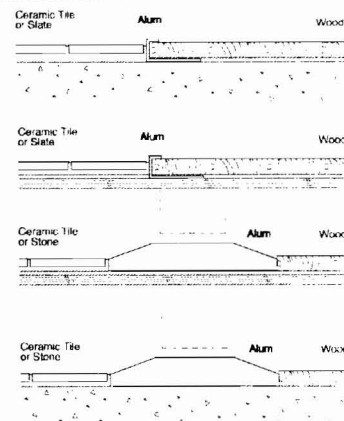
# FRAME & DOOR SCHEDULE

DOOR NO.	LOCATION	LABEL	MATERIAL	FRAME				DOOR				THRESHOLD	UNDERCUT	HARDWARE	SECURITY	REMARKS
				JAMB OPENING				DETAIL								
				TYPE	WIDTH	HEIGHT	DEPTH	HEAD	JAMB	TYPE	MATERIAL					
100	Front Door	—	WD	EXT	EXT	EXT	EXT	EXT	EXT	EXT	EXT	EXT	EXT	A	—	Restore existing doors, provide new locks, footbolts and weatherstripping
101	Front Door	—	AL	F3	3'-0"	8'-0"	4"	H2	J2	D2	AL	AL	1/4"	B	—	Provide automatic door activator
102	Revolving Door	—	AL	—	—	—	—	EXT	EXT	D2	AL	AL	1/4"	C	—	Custom Revolving doorway - 8'-0" diameter
103	Exit Lobby	1HR	HM	F3	3'-0"	6'-8"	VIF	H2	J2	D3	WD	AL	1/4"	D	—	Exit hardware and glazing kit
104	Tenant #3	—	—	F2	13'-2"	8'-0"	—	50/A301	40/A301	D7	GL	—	—	E	—	Keyed footbolts
105	Tenant #1C	—	—	F2	14'-8"	8'-0"	—	50/A301	40/A301	D7	GL	—	—	E	—	Keyed footbolts
106	Tenant #1B	—	—	F2	14'-4"	8'-0"	—	50/A301	40/A301	D7	GL	—	—	E	—	Keyed footbolts
107	Tenant #1A	—	—	F2	14'-2"	8'-0"	—	50/A301	40/A301	D7	GL	—	—	E	—	Keyed footbolts
108	Tenant #2C	—	—	F1	9'-0"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
109	Tenant #2B	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
110	Tenant #2A	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
111	Tenant #5	—	AL	F4	VIF	VIF	4"	EXT	EXT	D5	GL	—	—	E	—	Keyed footbolts
112	Mop	1HR	HM	F3	3'-0"	6'-8"	5.5/8"	H2	J2	D3	WD	AL	1/4"	G	—	Housekeeping locks
113	Men	—	HM	F3	3'-0"	6'-8"	5.5/8"	H2	J2	D3	WD	AL	1/4"	G	—	Housekeeping locks
114	Women	—	HM	F3	3'-0"	6'-8"	5.5/8"	H2	J2	D3	WD	AL	1/4"	G	—	Housekeeping locks
115	Tenant #4	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
116	Tenant #6A	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
117	Tenant #6B	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
118	Tenant #6C	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
119	Tenant #6D	—	—	F1	8'-4"	8'-0"	—	50/A301	40/A301	D6	GL	—	—	E	—	Keyed footbolts
B01	Egress Hal	1HR	HM	F3	3'-0"	6'-8"	VIF	H2	J2	D3	WD	AL	1/4"	D	—	Exit hardware and glazing kit
B02	Egress Hal	1HR	HM	F3	3'-0"	6'-8"	VIF	H2	J2	D3	WD	AL	1/4"	D	—	Exit hardware and glazing kit

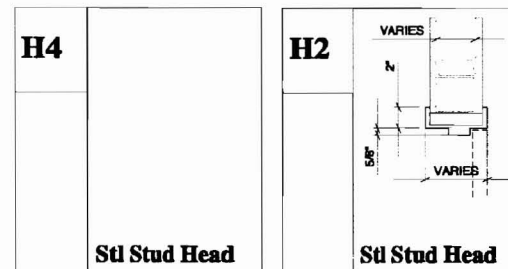
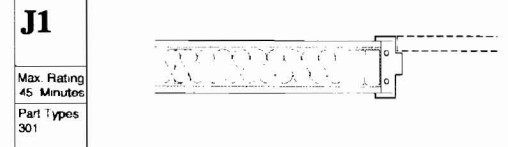
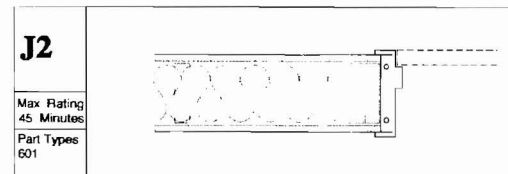


- 1 Glazing Type One - Single Pane, Tempered Glass
- 2 Glazing Type Two - Single Pane
- 3 Glazing Type Three - Insulated Glass

## Transition Strips / Thresholds



50 Section Detail  
NTS



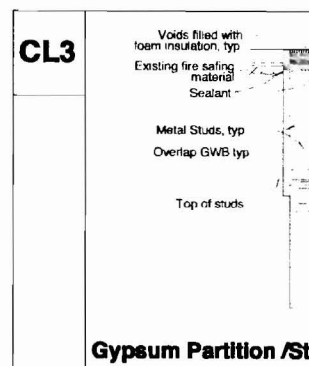
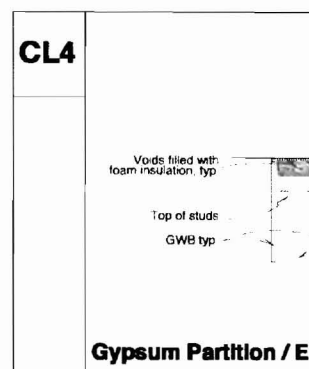
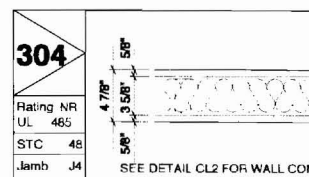
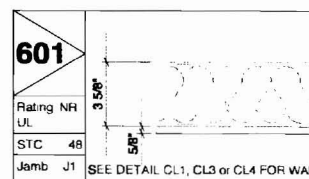
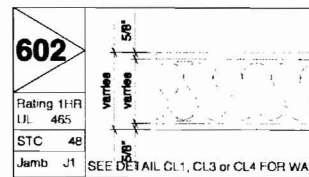
- All doors in sound insulated partitions shall be sound gasketed, unless noted otherwise.
- All frames in sound insulated partitions shall be sealed with acoustic sealant between the wall sheathing and the frame backband, unless noted otherwise.
- Refer to jamb designation or Door Schedule for details, materials, and dimensions, typ.
- Refer to Door Schedule for additional information.

<b>J1</b>	Jamb detail designation
Max. Rating 45 Minutes	Maximum fire rating for opening
Head Detail D1.D3	Head type references for this detail
Part Types 306-309 301-304	Partition type references for this detail

## GLAZING LEGEND

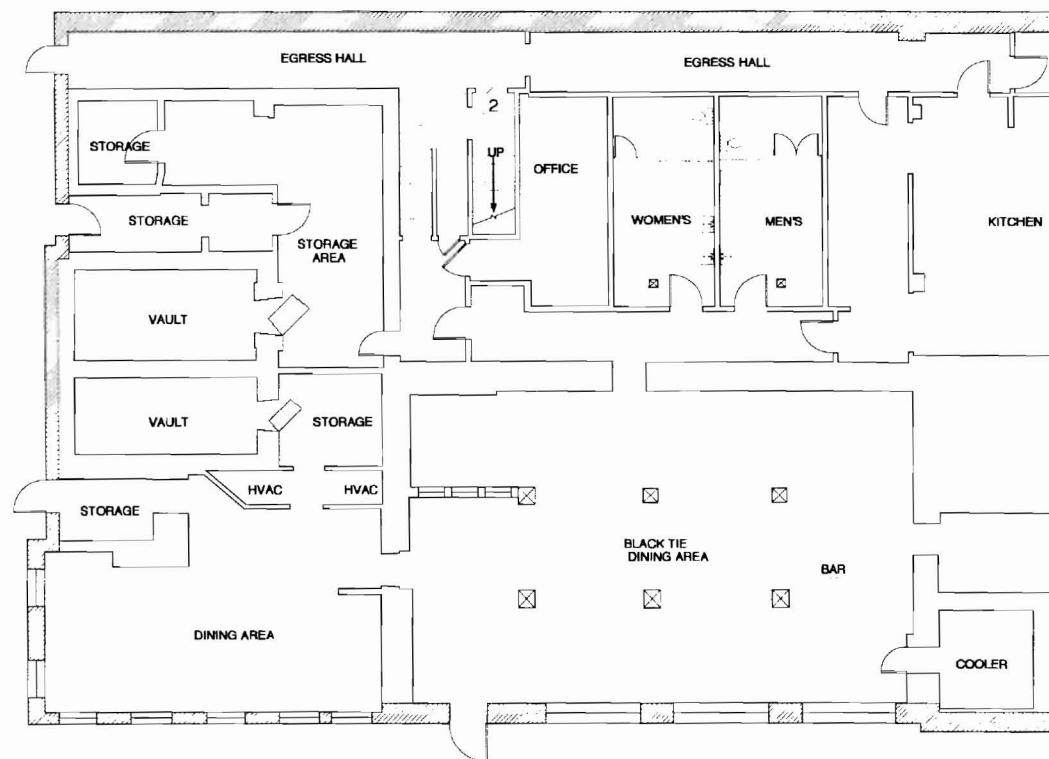
- ① Glazing Type One - Single Pane, Single Pane Storm Panel
- ② Glazing Type Two - Single Tempered Pane, Plexiglass Panel
- ③ Glazing Type Three - Laminated Glass, Tempered Glass Storm Panel
- ④ Glazing Type Four - Tempered Glass

## Frame / Door Notes

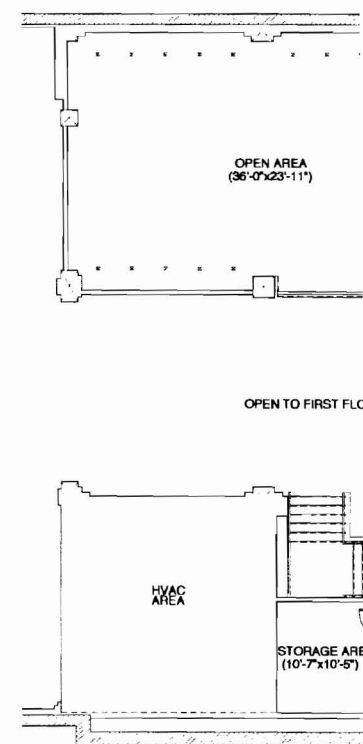


- All Fire Rated assemblies to be constructed in acc U.L. design number for the construction type. Fire conform to the following U.L. design numbers for 1 unless noted otherwise.
  - 1 Hour Assemblies
    - GWB Partitions UL465
    - GWB / Cementitious Partitions UL404, UL407
  - 2 Hour Assemblies
    - GWB Partitions UL411
    - GWB / Cementitious Partitions UL404, A
    - CMU Partitions UL905
  - 3 Hour Assemblies
    - CMU Partitions UL904
- Provide firestopping at all penetrations in fire rated fire rated assemblies about other construction
- All partitions shall extend to the underside of struct unless noted otherwise
- Columns and beams supporting fire rated partition unless noted otherwise

## Fire Rating Notes



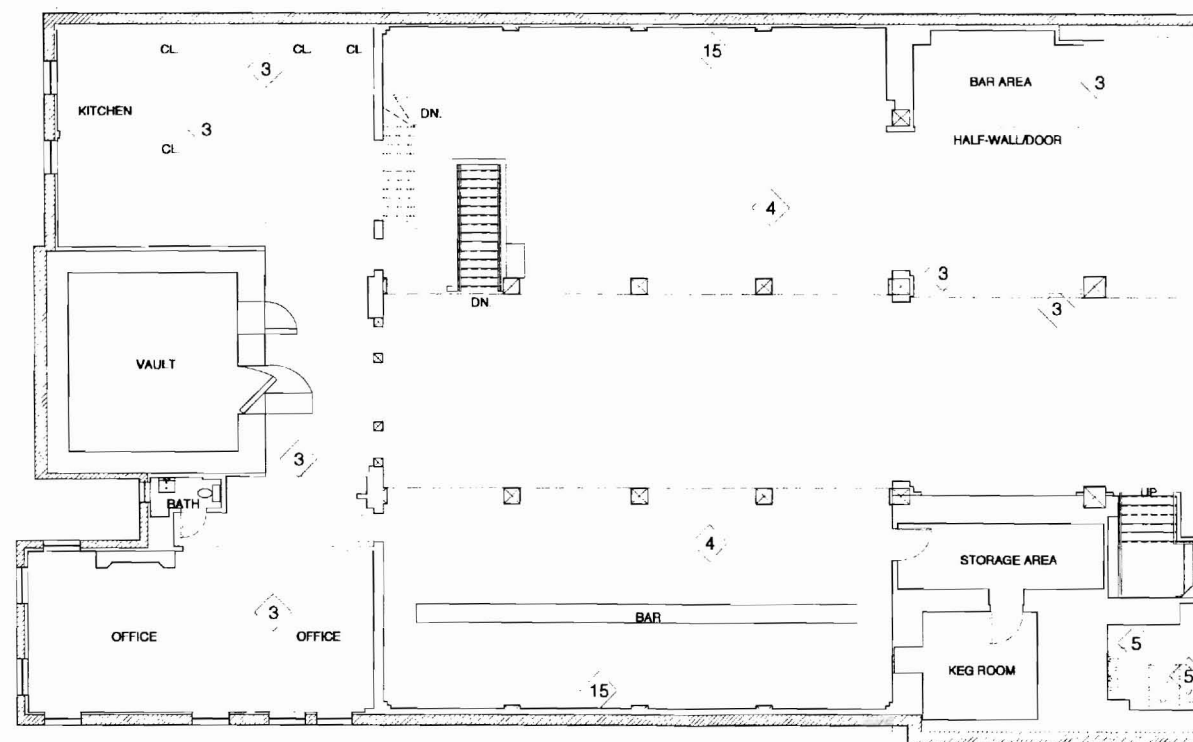
30 Existing Basement Floor Plan



20 Existing Mezzanine Plan

## Demolition Notes

- 1 Remove existing door, frame and blocking  
Prep opening for infill wall.
- 2 Remove existing door and prep opening for new door.
- 3 Remove existing wall
- 4 Remove existing carpet, backing and accessories
- 5 Remove existing plumbing fixtures. Cap all supply and waste lines at floor penetration.
- 6 Remove existing countertops, cupboards and damaged drywall as required.  
Prep wall for new paint.
- 7 Remove and store existing lighting fixtures and ceiling tile, re-install as required.
- 8 Remove existing radiator, cap at floor  
Preserve custom radiator cabinet for re-use
- 9 Remove existing electrical equipment
- 10 Remove existing concrete slab for future ductwork penetration.
- 11 Remove existing built-in cubicles.
- 12 Add one layer Type X wallboard on Night Club face  
Tape & finish
- 13 Remove wall framing and prep wall for relocated door.
- 14 Remove existing door, frame and blocking.  
Store door for reuse.
- 15 Remove existing open shelving.  
Patch wall and prep for new paint.
- 16 Remove existing electrical conduit and junction boxes back to existing electrical panel



10 Existing Ground Floor Plan