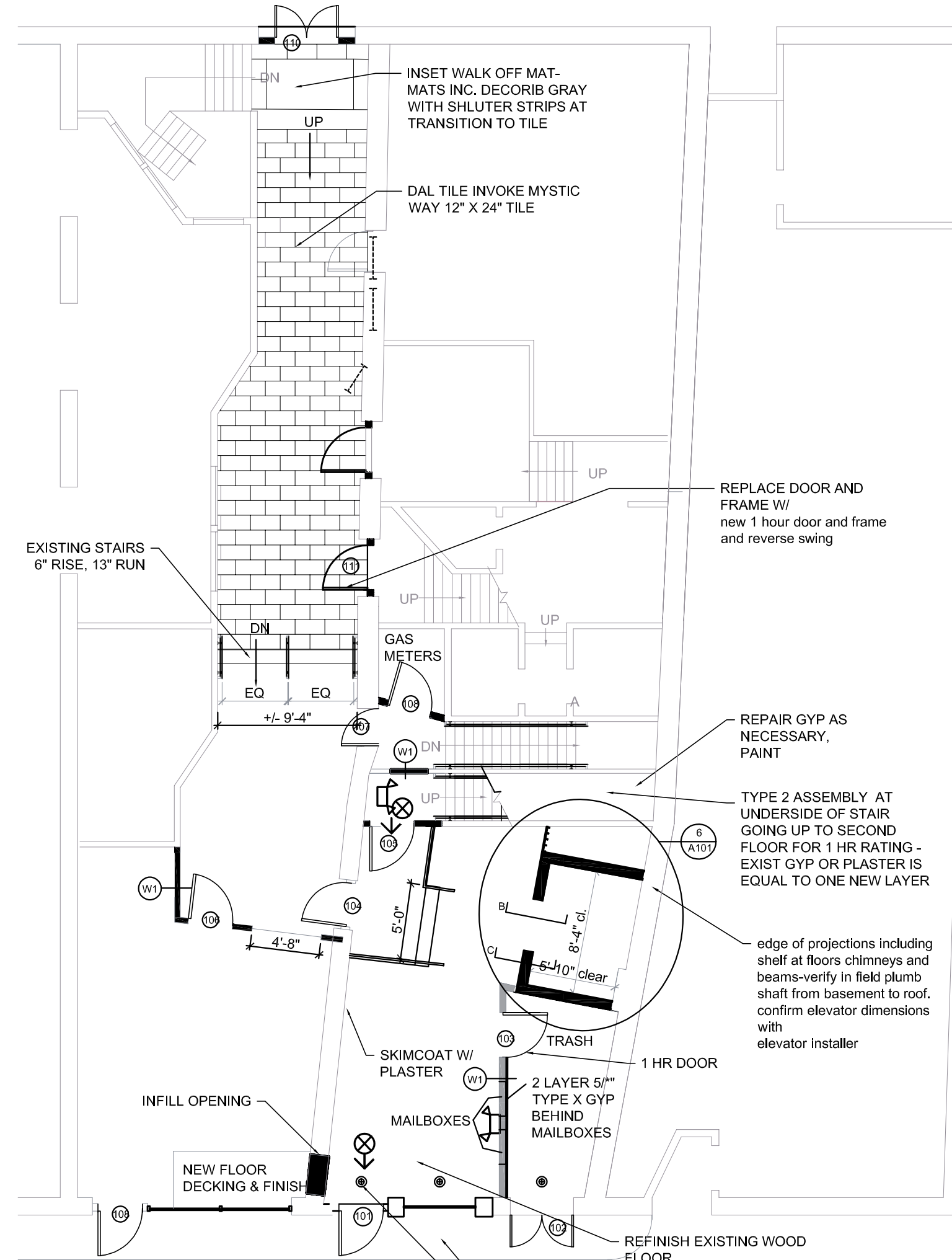
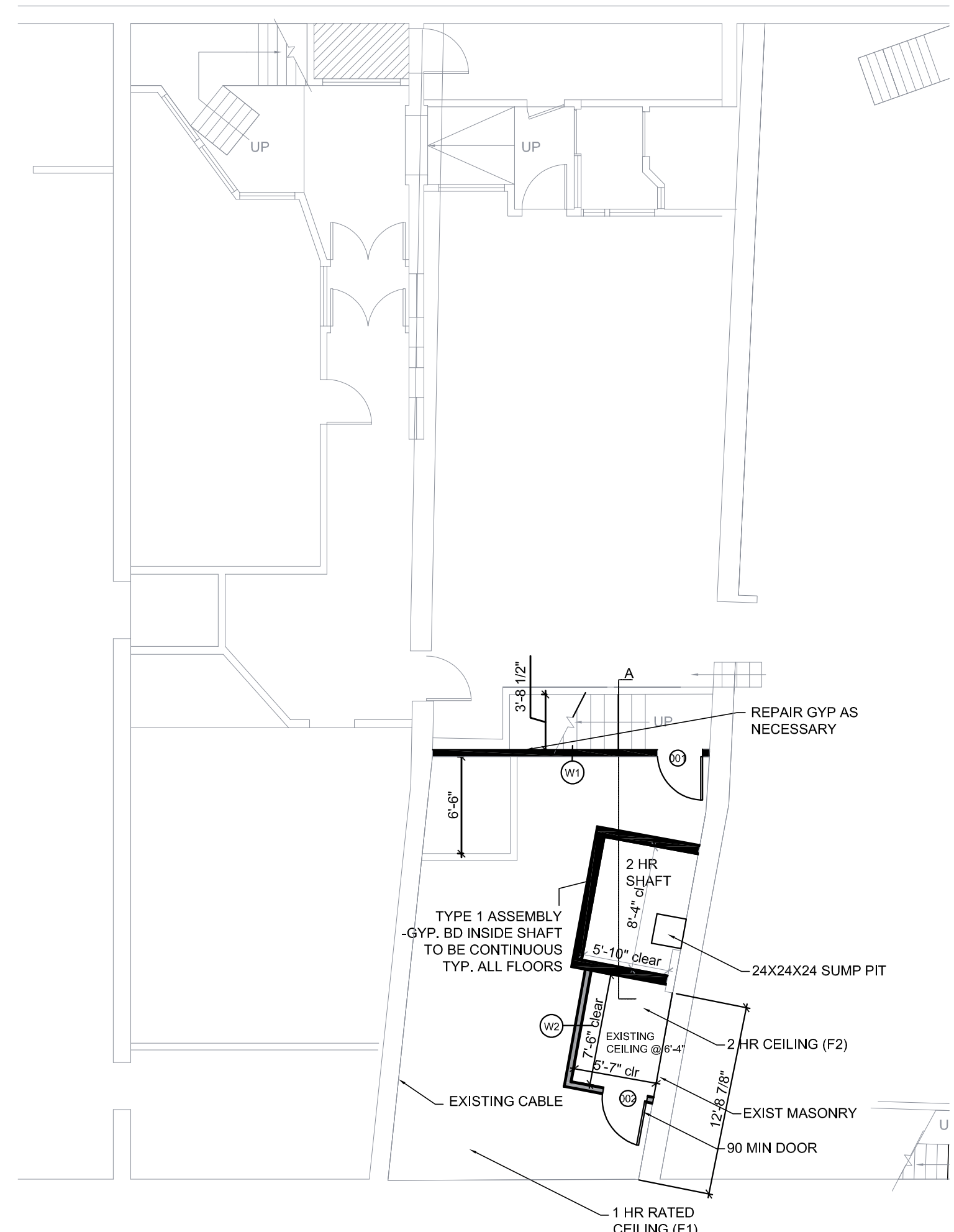


EXCHANGE STREET

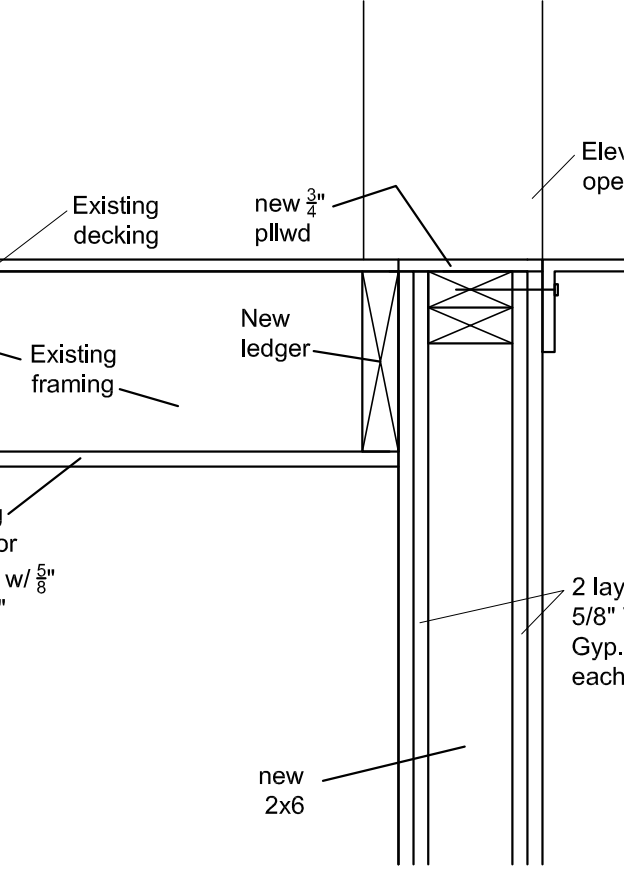


2 | FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



1 | BASMENT PLAN
SCALE: 1/8"=1'-0"

3 | SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



5 | SECTION B
SCALE: 1 1/2"=1'-0"



Code Analysis

IEBC 2009 Level 3 alteration
Scope of work does includes upgrade of exits and lobby. New elevator in new shaft.

construction type 3B

Building sprinklered per NFPA 13
3rd and 4th floor R-2
1st & 2nd Floor B and M use
1/2 hour to corridor
1 hr stair shaft rating if sprinklered (See NFPA)
stair dimensions 8rise and 9" run
existing riser = 7 1/2" and existing tread = 11
winders 9" at 12' from narrowest point
existing winder = 11' @ 12' from end
alarm not required where <100 occ. (See NFPA)
New elevator shaft= 2 hours

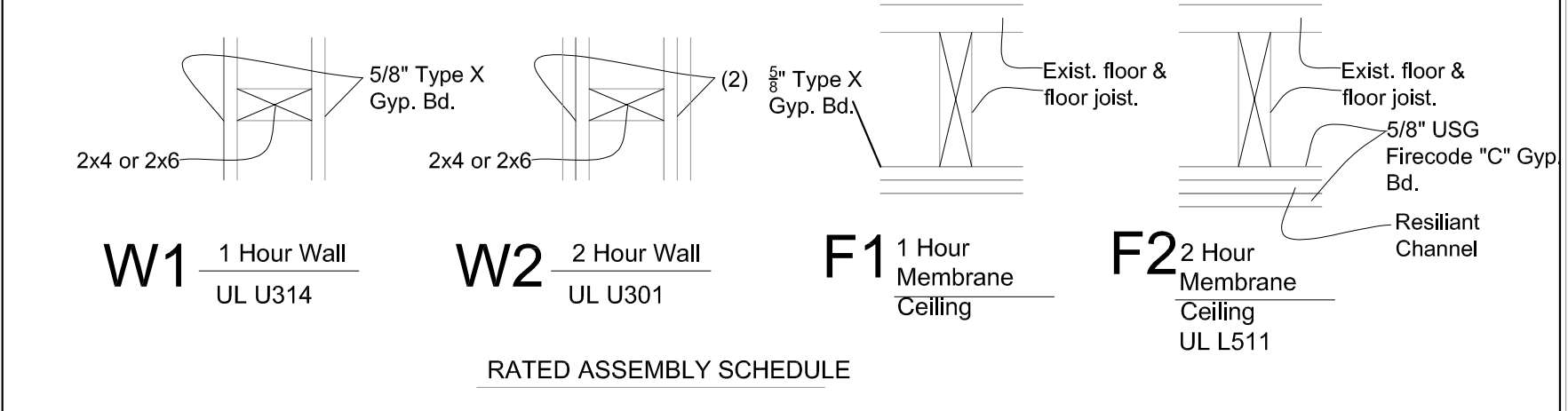
- T1018
- 703.2.1
- IFC 4604.11
- IFC 4602.12
- IBC 907.2.2
- IEBC 701.3 IBC 708.4

NFPA 101 2009

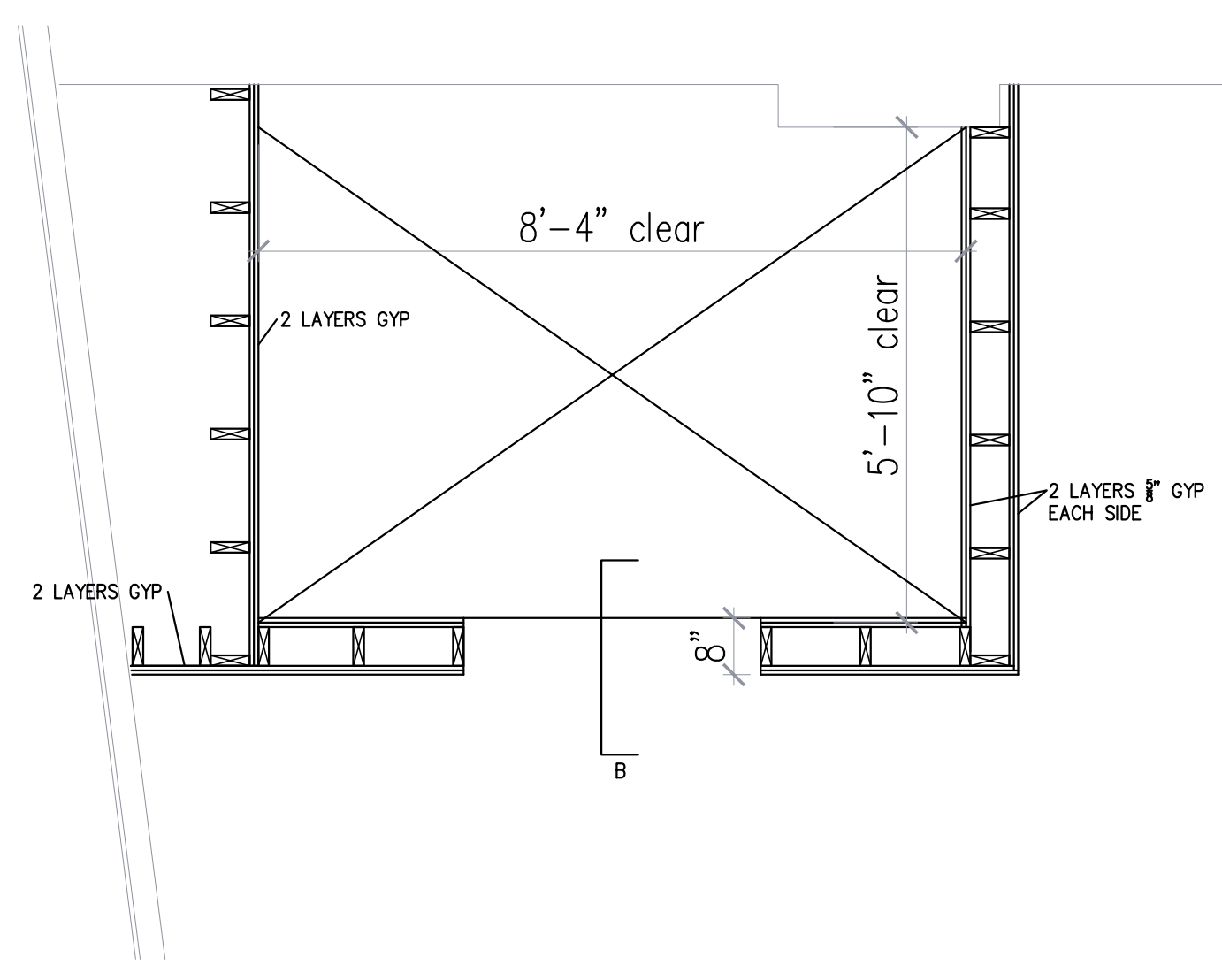
Analysis for Exist. Apt use Option 4(Sprinkler)	311.1.1
Multiple occupancy per 6.1.14	311.2.1
R use permitted above non residential w/ sprinkler	311.2.3
Ordinary hazard	311.5
No min construction requirement	311.6
Occupant load=1072= 54	311.7
Exit enclosures 1hour + 1 hour door	312.2.1.2
Area of refuge not required w/ sprinkler	312.2.12.2
Rated floor at vestibule - 1 hour	312.7
Trash room 1 hour or sprinklered	T31.3.2.1.1
Finishes for exits and lobbies=A or B	313.3.2
Alarm by sprinkler + manual	313.4.2.5
No smoke s if sprinklered	313.4.5.3
Corridors = 1/2 hour fire barriers	313.6.1
Corridor doors smoke sealed	313.6.2.2

NFPA 101,
Max rise =8", Min tread = 9"
Existing enclosure in reasonable repair is satisfactory A.7.1.3.2.1(c)

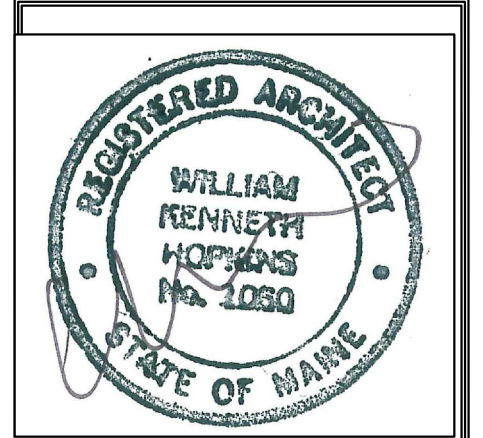
- GENERAL NOTES:
1. ALL CORRIDOR WALLS REQUIRED 1/2 HR RATED CONSTRUCTION. ANY NEW WALLS OR REPAIRS TO BE 5/8" GYP EACH SIDE 2X4 WOOD STUD CONSTRUCTION
 2. ALL UNIT DOORS TO HAVE 20 MIN RATING
 3. ALL STAIR DOORS TO BE 1 HR RATED WITH CLOSERS AND EXIT HARDWARE
 4. ALL SHAFTS WALLS REQUIRED TO BE 1 HR. EXISTING STAIRS ARE 2 HRS (2 LAYERS 5/8" GYP EACH SIDE 2X4 WOOD STUD WALL) SO ALL REPAIRS TO MATCH 2 HR RATING.
 5. ALL EXIT STAIRS TO HAVE RAILS ON BOTH SIDE.
 6. REPAIR ALL MEZZANINE STAIRS WHERE NECESSARY. STAIRS TO MEZZANINE TO HAVE 36" HANDRAIL ON OPEN SIDE. ANY NEW STAIR OR RAIL CONSTRUCTION TO MATCH CODE.
 7. REMOVE AND RELOCATEDEMO PIPES IN EXIT STAIRS



4 | WALL TYPES
SCALE: 1 1/2"=1'-0"



6 | ELEVATOR SHAFT PLAN
SCALE: 1 1/2"=1'-0"



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Date	Scale
3-30-2016	1/8" = 1'-0"
5-5-2016 - REVISIONS BASED ON SUBMITTALS	
1-31-2017 - REVISIONS BASED ON BUILDING INSPECTIONS	
2-16-2017 - REVISIONS BASED ON BUILDING INSPECTIONS	
3-2-2017 - REVISIONS BASED ON BUILDING INSPECTIONS	
3-28-2017 - REVISIONS BASED ON BUILDING INSPECTIONS	
4-27-2017 - SHARED STAIR DOOR	

BASEMENT, 1ST & 2ND FLOOR PLANS
Project: **10 EXCHANGE STREET**
10 EXCHANGE STREET
PORTLAND, MAINE

A1.01