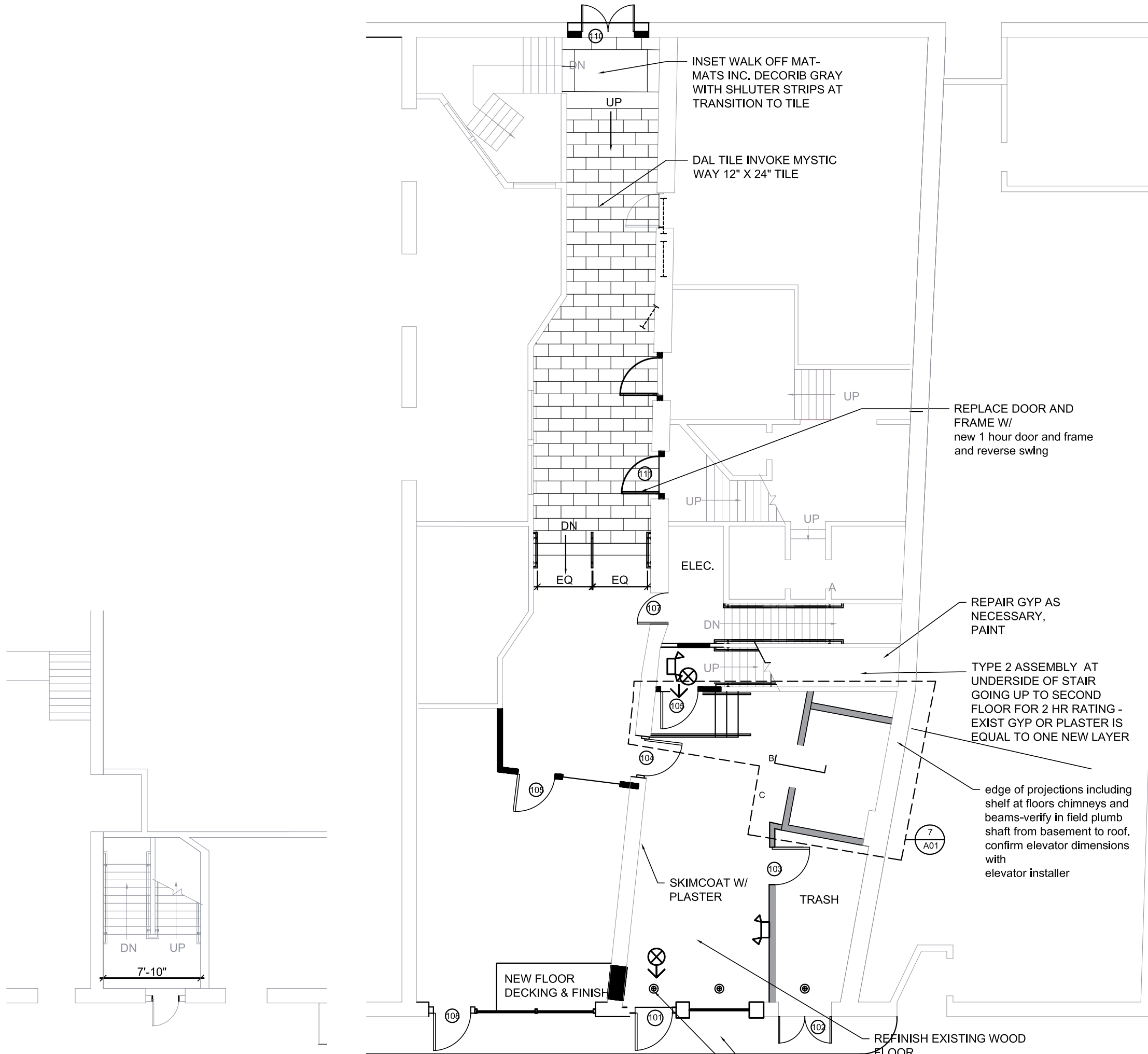
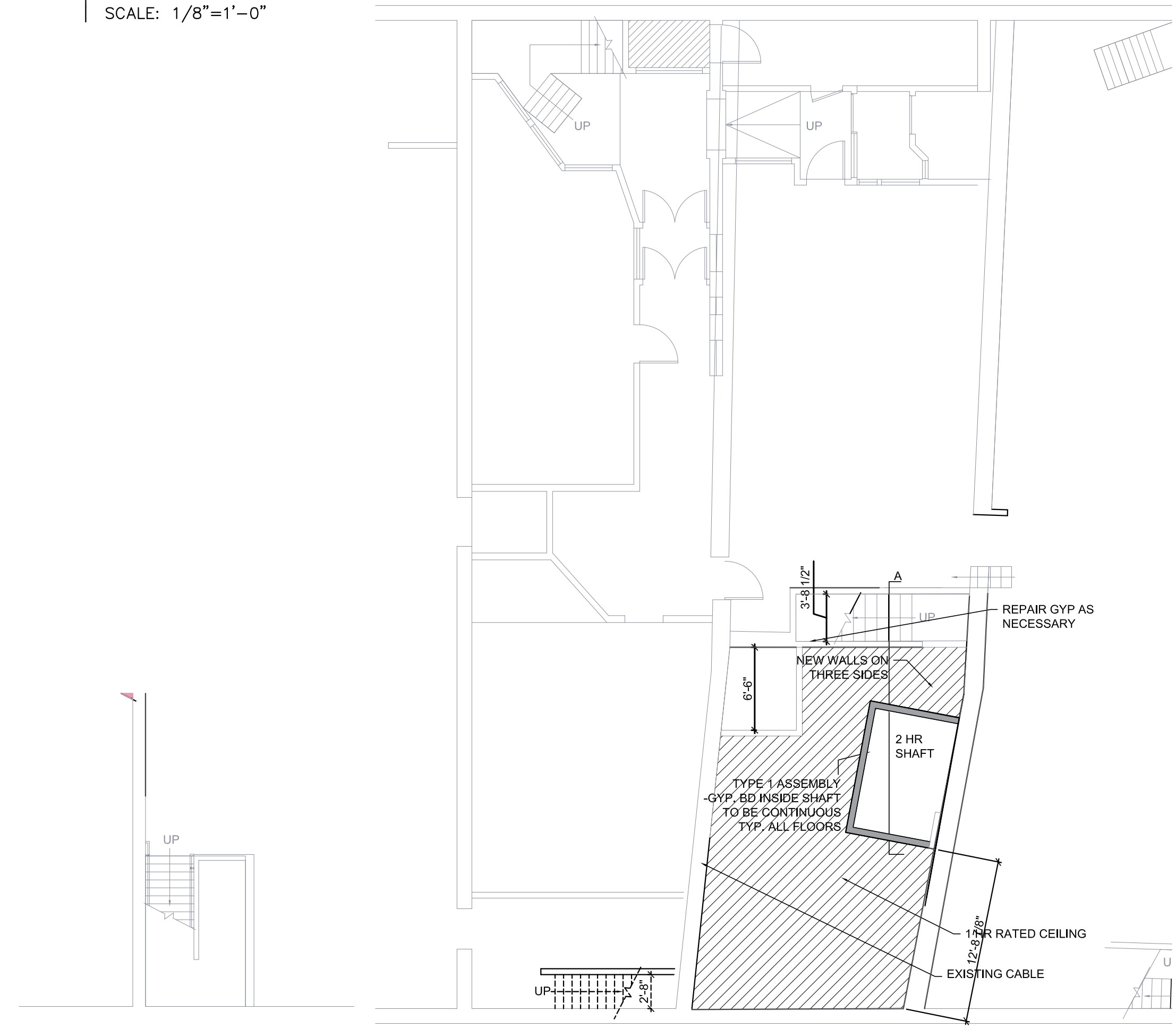


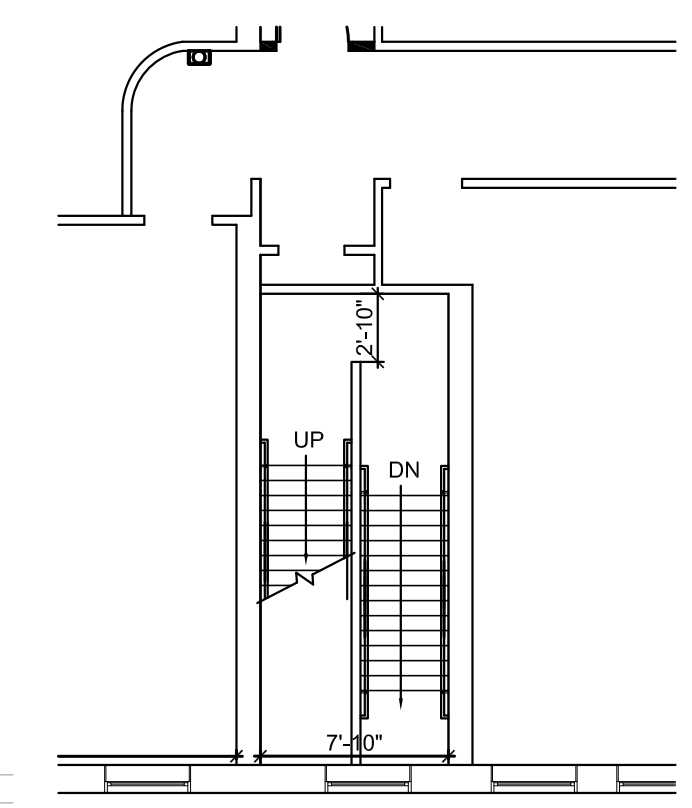
**EXCHANGE STREET**



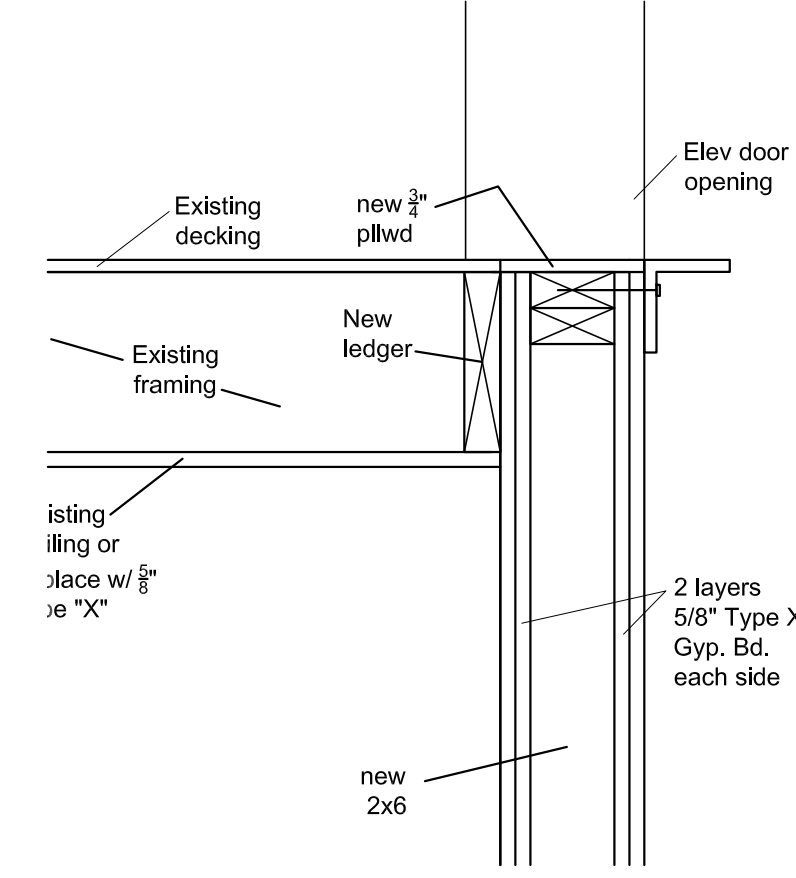
**2 | FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



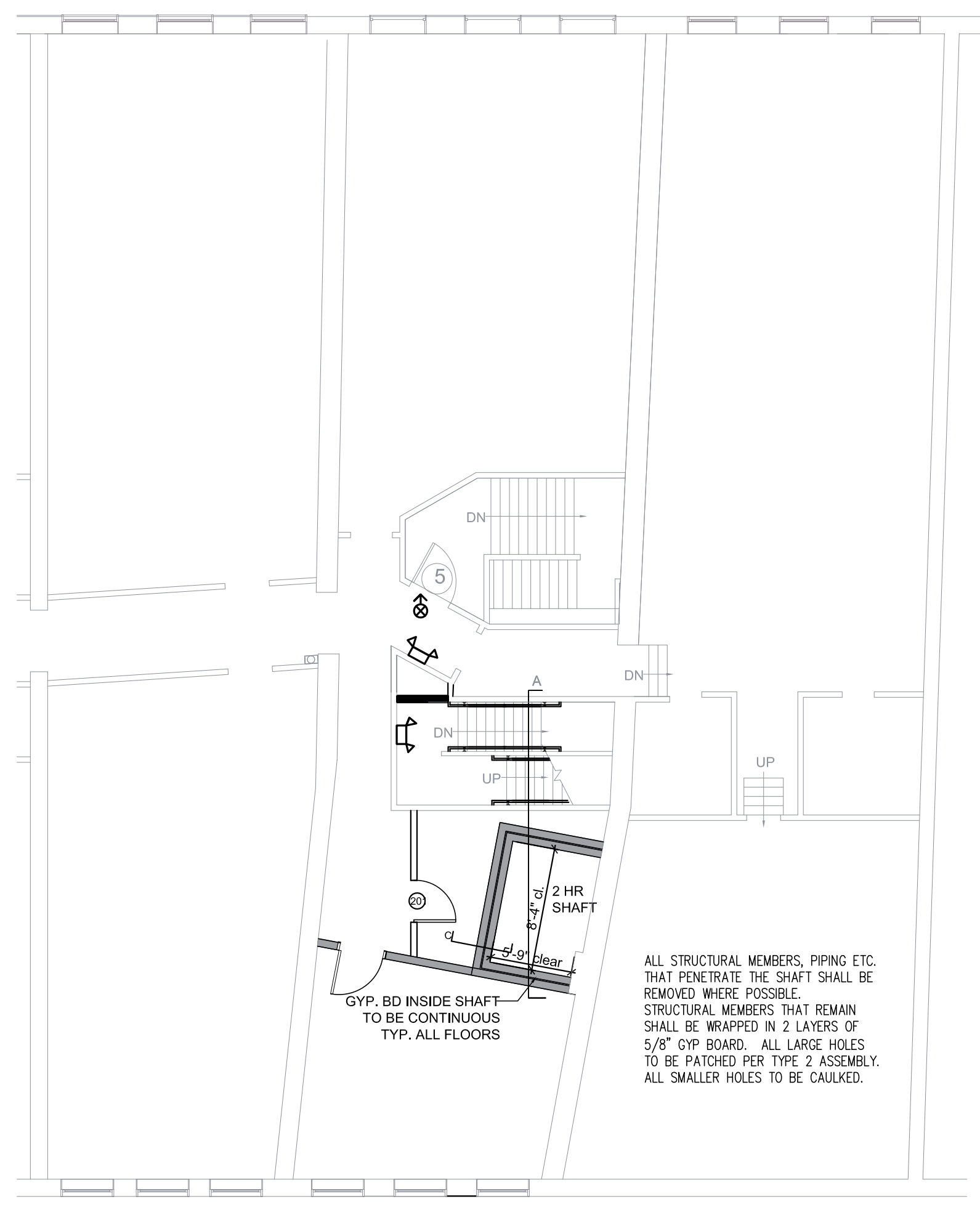
**1 | BASMENT PLAN**  
SCALE: 1/8"=1'-0"



**3 | SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**5 | SECTION B**  
SCALE: 1 1/2"=1'-0"



ALL STRUCTURAL MEMBERS, PIPING ETC. THAT PENETRATE THE SHAFT SHALL BE REMOVED WHERE POSSIBLE. STRUCTURAL MEMBERS THAT REMAIN SHALL BE WRAPPED IN 2 LAYERS OF 5/8" GYP BOARD. ALL LARGE HOLES TO BE PATCHED PER TYPE 2 ASSEMBLY. ALL SMALLER HOLES TO BE CAULKED.

**Code Analysis**

**IEBC 2009** Level 3 alteration  
Scope of work includes renovation of residential units, upgrade of exits and lobby. New elevator in new shaft

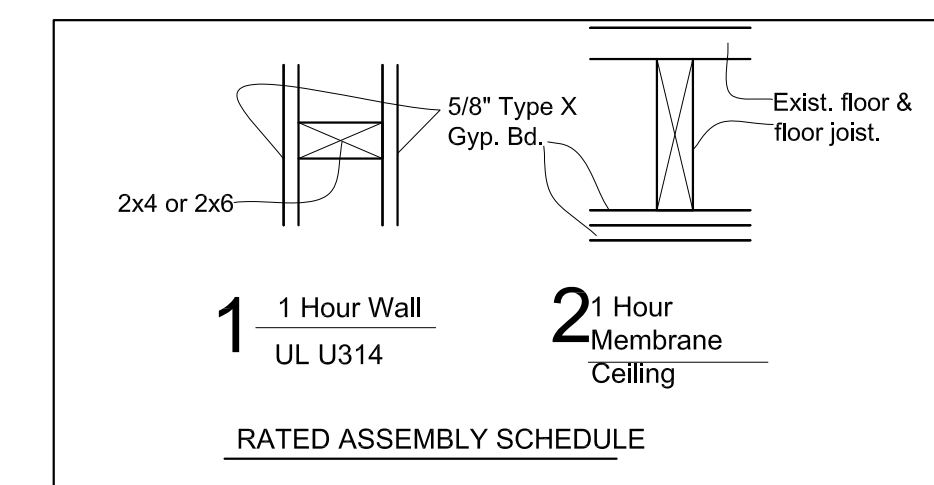
**Building sprinklered per NFPA 13**  
3rd and 4th floor R-2  
1st & 2nd Floor B and M use  
1/2 hour to corridor  
No exist. stair shaft rating if sprinklered(See NFPA)  
stair dimensions 8rise and 9" run  
existing riser = 7 1/2" and existing tread = 11  
winders 9" at 12" from narrowest point  
existing winder = 11" @ 12" from end  
alarm not required where <100 occ. (See NFPA)  
New elevator shaft= 2 hours

T1018  
703.2.1 Ex 5  
IFC 4604.11

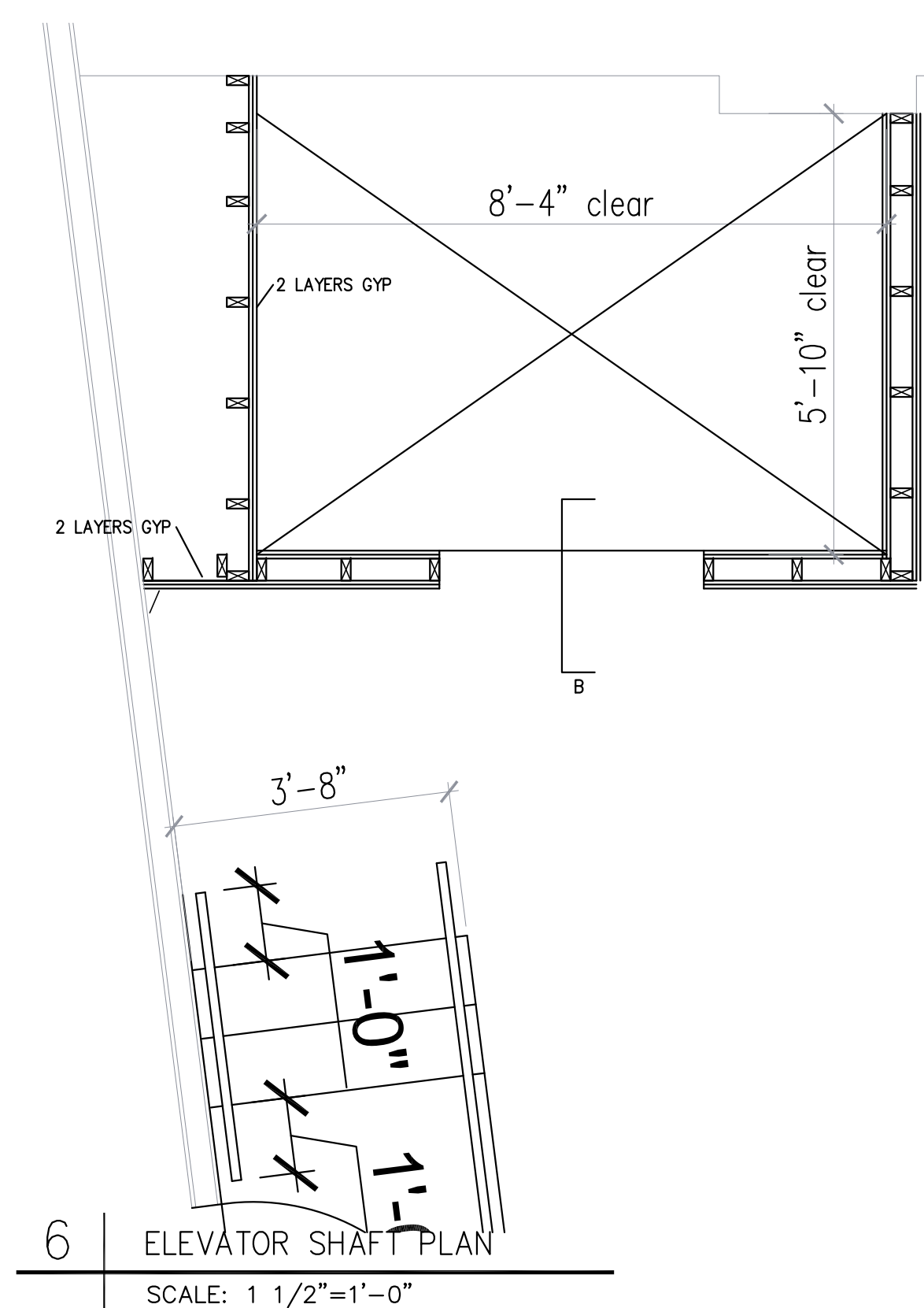
IFC 4602.12

IBC 907.2.2  
IEBC 701.3 IBC 708.4

- GENERAL NOTES:
1. ALL CORRIDOR WALLS REQUIRED 1/2 HR RATED CONSTRUCTION. ANY NEW WALLS OR REPAIRS TO BE 5/8" GYP EACH SIDE 2X4 WOOD STUD CONSTRUCTION
  2. ALL UNIT DOORS TO HAVE 20 MIN RATING
  3. ALL STAIR DOORS TO BE 1 HR RATED WITH CLOSERS AND EXIT HARDWARE
  4. ALL SHAFTS WALLS REQUIRED TO BE 1 HR. EXISTING STAIRS ARE 2 HRS (2 LAYERS 5/8" GYP EACH SIDE 2X4 WOOD STUD WALL) SO ALL REPAIRS TO MATCH 2 HR RATING.
  5. ALL EXIT STAIRS TO HAVE RAILS ON BOTH SIDE.
  6. REPAIR ALL MEZZANINE STAIRS WHERE NECESSARY. STAIRS TO MEZZANINE TO HAVE 36" HANDRAIL ON OPEN SIDE. ANY NEW STAIR OR RAIL CONSTRUCTION TO MATCH CODE.
  7. REMOVE AND RELOCATEDEMO PIPES IN EXIT STAIRS



**4 | WALL TYPES**  
SCALE: 1 1/2"=1'-0"

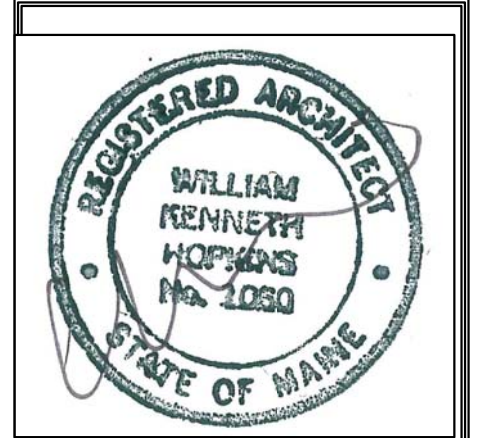


**6 | ELEVATOR SHAFT PLAN**  
SCALE: 1 1/2"=1'-0"

**NFPA 101 2009**

Analysis for Exist. Apt use Option 4(Sprinkler)	311.1.1
Multiple occupancy per 6.1.14	311.2.1
R use permitted above non residential w/ sprinkler	311.2.3
Ordinary hazard	311.5
No min construction requirement	311.6
Occupant load=10720/54= 54	311.7
Exit enclosures 1hour + 1 hour door	312.2.1.2
Area of refuge not required w/ sprinkler	312.2.12.2
Rated floor at vestibule - 1 hour	312.7
Trash room 1 hour or sprinklered	T31.3.2.1.1
Finishes for exits and lobbies=A or B	313.3.2
Alarm by sprinkler + manual	313.4.2.5
No smoke s if sprinklered	313.4.5.3
Corridors = 1/2 hour fire barriers	313.6.1
Corridor doors smoke sealed	313.6.2.2

NFPA 101,  
Max rise =8", Min tread = 9"  
Table 7.2.2.2.1.1(b)  
Existing enclosure in reasonable repair is satisfactory A.7.1.3.2.1(c)



**ARCHETYPE, P.A. ARCHITECTS**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Date	3-30-2016
Scale	1/8" = 1'-0"

**BASEMENT, 1ST & 2ND FLOOR PLANS**  
Project: **10 EXCHANGE STREET**  
10 EXCHANGE STREET PORTLAND, MAINE

**A1.01**