

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

# PERMIT

Permit Number: 031397

This is to certify that 10 Exchange Properties Llc / Matthew Higgins Builders

has permission to remove non-bearing partitions and create high

AT 10 Exchange St 032 1012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on procedure before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1397	Issue Date:	CBL: 032 I012001
-----------------------	-------------	---------------------

Location of Construction: 10 Exchange St	Owner Name: 10 Exchange Properties Llc	Owner Address: Po Box 4894	Phone: 401-965-9288
Business Name:	Contractor Name: Mathew Higgins Builders	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Past Use: Retail & Personal Service	Proposed Use: Jewelry Studio - remove non-bearing partition and create 42" high wall	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>B</b> Type: <b>BOCA 99</b>	

**Proposed Project Description:**  
remove non-bearing partition and create 42" high wall

Signature: *[Signature]* Signature: *[Signature]*

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: *[Signature]* Date: **11/13/03**

Permit Taken By: tmm	Date Applied For: 11/12/2003	<b>Zoning Approval</b>	
-------------------------	---------------------------------	------------------------	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <b>11/13/03</b></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>requires a separate review</i></p>
	<p><i>1st floor to remain a pedestrian activity use</i></p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

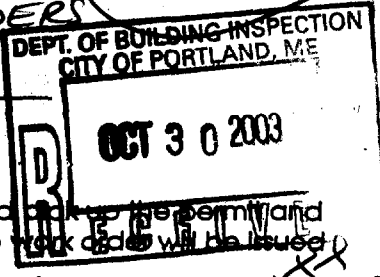
SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>10 EXCHANGE ST. SUITE 215</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>032      I      012</u>	Owner: <u>JOS. SOLEY</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>GINA ROURKE</u>	Applicant name, address & telephone: <u>GINA ROURKE #4</u> <u>60 CARLETON ST</u> <u>PORTLAND, ME</u> <u>04102</u> <u>(207)</u>	Cost Of Work: \$ <u>1000-</u> Fee: \$
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>JEWELRY STUDIO - OCCUPANCY IS RETAIL AND PERSONAL SERVICE</u> <span style="float: right; font-size: small;">CURRENT CERT. OF</span>		
Approximately how long has it been vacant: <u>APPROX ONE YEAR</u>		
Proposed use: <u>WOMEN'S SPECIALTY BOUTIQUE</u>		\$ <u>30.00</u>
Project description:		
Contractor's name, address & telephone: <u>MATTHEW HIGGINS BUILDERS</u>		
Who should we contact when the permit is ready: <u>GINA ROURKE</u>		
Mailing address: <u>60 CARLETON ST #4</u> <u>PORTLAND, ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>cell (401) 965-9288 call</u>		



03-1397

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant:	Date: <u>10/30/03</u>
-------------------------	-----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**


# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>10 EXCHANGE ST SUITE 215</u>		
Total Square Footage of Proposed Structure	Square Footage <del>of lot</del> <u>650 +/-</u>	
Tax Assessor's Chart, Block & Lot Chart#                  Block#                  Lot#	Owner: <u>JOS. SOLEY</u>	Telephone:
Lessee/Buyer's Name (If Applicable) <u>GINA ROURKE</u>	Applicant name, address & telephone: <u>60 CARLETON ST #4 PORTLAND, ME 04102 774-2163 cell(401)965-9288</u>	Cost Of Work: \$ <u>970</u>  Fee: \$
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>JEWELRY STUDIO</u>		<u>CURRENT CERT. OF OCCUPANCY IS DETAIL AND PERSONAL SERVICE</u>
Approximately how long has it been vacant: <u>ONE YEAR</u>		
Proposed use: <u>WOMEN'S SPECIALTY BOUTIQUE</u>		
Project description: <u>TRANSFORM TWO NON WEIGHT BEARING PARTITION WALLS TO PARTIAL WALLS W/RAILS</u>		
Contractor's name, address & telephone: <u>NORM @ A NEW LOOK BUILDING &amp; REMODELING ONE WATERHOUSE RD., GORHAM, ME 839-6442</u>		
Who should we contact when the permit is ready: <u>GINA ROURKE</u>		
Mailing address: <u>60 CARLETON ST #4 PORTLAND, ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <u>774-2163</u> <u>or cell 401-965-9288</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u></u>	Date: <u>Nov 11, 03</u>
--	-------------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the  
Planning Department on the 4<sup>th</sup> floor of City Hall**

Construction Plans for  
Nomia Boutique  
10 Exchange Street, Suite 215  
Portland, ME 04101

Contractor  
A New Look Building and Remodeling  
One Waterhouse Road  
Gorham, ME 04038  
207-839-6442

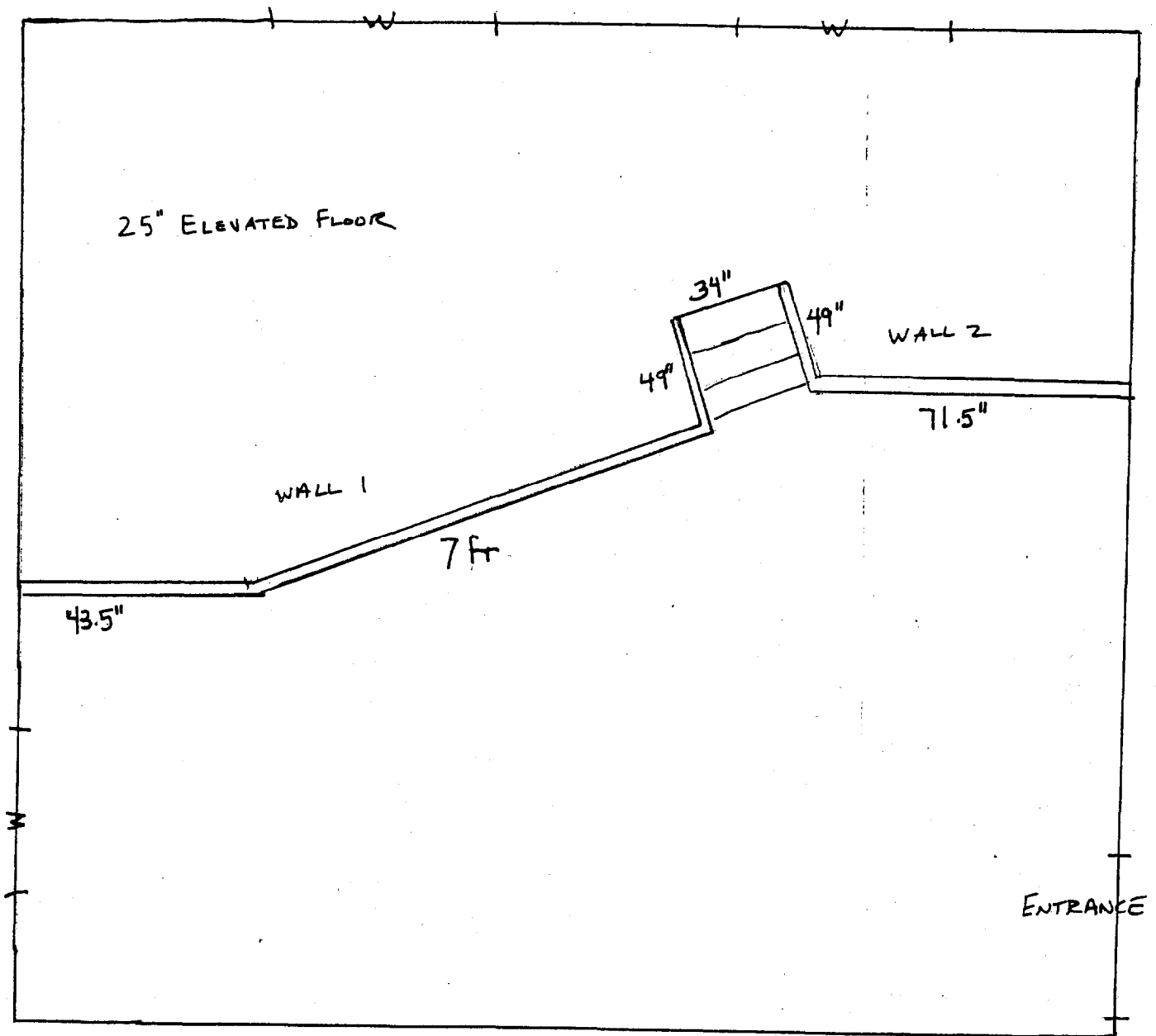
**Summary of Intent:** Partial removal of interior partition walls in order to maximize natural light and visual field for future retail operation.

Currently, the space is divided by two non-weight bearing partition walls separating the entry level from the elevated portion of the room. There is a 25" elevation with three stairs and a door leading to this portion of the space. The existing walls appear to have been built in order to separate retail from work space and extend through the dropped ceiling.

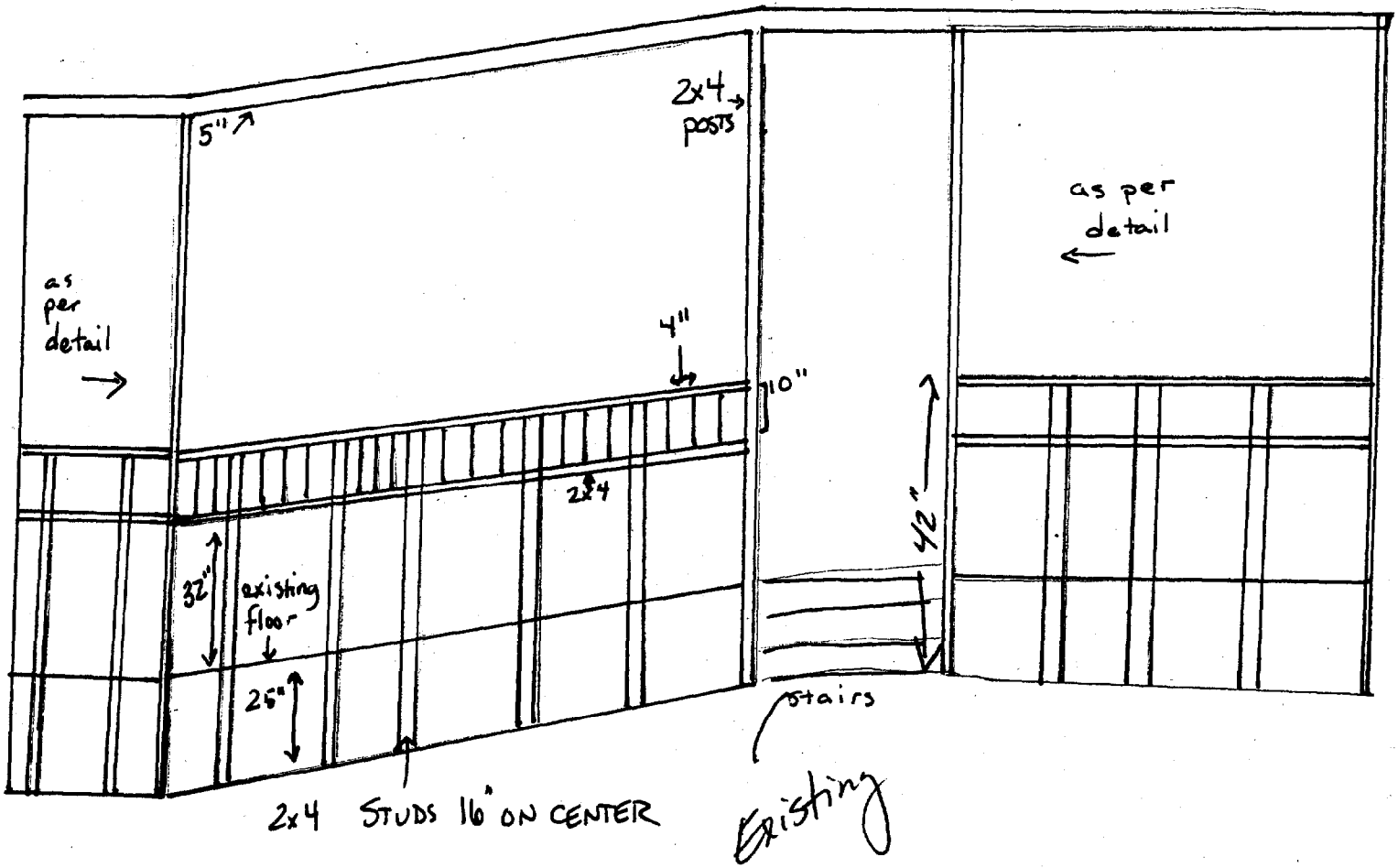
The walls will be converted to partial walls with railing, reaching the minimum height of 42" from the elevated floor, 67" from the entry level floor. In addition, due to the preexisting, uneven installation of the dropped ceiling, approximately 5 inches of the top portion of the walls will remain intact and will be sealed off in order to minimize the amount of construction time and costs. Supporting studs will remain in place to support remaining wall.

The project is very straightforward, does not involve any electrical or plumbing work, and is expected to be completed within a day.

Floor Plan for Nomia Boutique  
10 Exchange St Suite 215  
Work to be completed by  
A New Look Building and Remodeling



Construction detail for Nomia Boutique  
10 Exchange St Suite 215  
Work to be completed by  
A New Look Building and Remodeling





**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

Received from Oct 30 20 03

Location of Work Junia C Rowke  
10 Exchange

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 30.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 032 I 012

Check #: 632 Total Collected \$ 30.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.