

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 10 Exchange Street		Owner: Joe Soley	Phone: 774-8300	Permit No: 000358
Owner Address: Joe Soley c/o Acres Real Est	Lessee/Buyer's Name: 388 Fore St. Portland, ME 04101	Phone:	Business Name: S/A	Permit Issued: APR 20 2000
Contractor Name: Joe Soley	Address: SAA	Phone: SAA		
Past Use: Retail	Proposed Use: Same	COST OF WORK: \$ 900.00	PERMIT FEE: \$ 30.00	Zone: CBL: 032-1-02
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: M Type 3B BOCA 99 Signature: [Signature]	
Proposed Project Description: Insert stairs between 1st floor and basement. [basement to be used for storage only)		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By: UB	Date Applied For: 4-7-00	Signature: _____ Date: _____		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS
CEO DISTRICT

COMMENTS

5-10-00 pre construction w/ Arthur - Mike I. & Joes. Reviewed stair detail 7" x 11" and the need for a structural analysis on brick wall. Also Fire Rated Separation of opening unless all exits are adequate in number and visibility/signage and per required codes. JB

5-11-00 Structural Analysis Submitted and approved. JB

6-1-00 Inspected stairs Rise/Run 7-11 except for top step which has 1/2" nosing and 1 1/4 measurement from ~~to~~ tread below. Headroom at step is 6' 2", need to correct to 6' 8", Handrail required on both sides returned.

Inspected Angle irons for Lintel at brick opening - *Need to inspect header at joist cut for opening - no access today. Left message for Mike Tasha to call concerning code issues JB

6-8-00 Inspection w/ Steve W. Stair tread 1/4" ~~no~~ nosing, handrail unacceptable, Header unacceptable, fire Rating incomplete. JB Need to check on code for encroachment into required opening. JB

6-16-00 w/ Mike N. & Arthur, need to ~~bring~~ bring stair tread to code, 36" required opening, Stair handrail both sides consistent, less than 4" opening guardrails, inadequate headroom, need to see Lintel on stair side, need Engineer letter on Beam/Lintel junction on storage side, Landing at base of stair unsafe, Header at opening inadequate, Fire rate all - stop work order to meet requirements. JB

6/29-00 Inspected stairs - headroom issue, Guard Ht, nosing, 4" spacing, width of stairwell JB

7-7-00 received letter from Nemco's
 8-22-00 w/ AR - stair width 35-35 1/2 varies, Head room ok, spacing ok, Guard Ht ok, Lintel viewed on both sides of header seem to be bearing on plywood wall partition, Nosing is still 1/4", NO Fire rated door. JB

9/12/2000 - conditions of letter of 6/20/00 have been met. Completed! A Rowe.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

From: Gaylen McDougall
To: Arthur Rowe
Date: Tue, Sep 12, 2000 4:34 PM
Subject: Re: 10 Exchange St stairs Permit # 000358

NFPA 101 sec.25-3.1 exception No. 1- " In Class A or Class B mercantile occupancies, unprotected openings shall be permitted between any two floors. ". This is part of the code, but the stairs do not need a fire rated door.

Mac

>>> Arthur Rowe 09/12 3:10 PM >>>

It is my understanding that the newly created stairway from the Hemp products store to the cellar will not need a fire rated door. Can you confirm this so I can close the case out? They have met all our other requirements. Thanks.

Inspection Services
Michael J. Nugent
Manager



Department of Urban Develop
Joseph E. Gra
Direc

CITY OF PORTLAND

June 20, 2000

Joseph L. Soley
PO Box 367 D.T.S
Portland, ME 04112

RE: 10 Exchange Street
CBL: 032-I-012
Permit # 000358

8/22/00
w/ J. B.

Dear Mr. Soley;

An evaluation of your property at the above location on June 16, 2000 revealed that the structure fails to comply with Sec. 117.1 of the BOCA Code of the City of Portland.

These code violations and deficiencies were noted:

1. Section 1014.6.1 Beveling of nosing of stair treads shall not exceed 1/2 inch. See attached sheet.
2. Section 1014.4 Stairway headroom shall not be less than 80 inches.
3. Section 1014.3 Stairways shall not be less than 36 inches in width. 35+?
4. Section 1021.3 Balusters shall not be no further apart than 4 inches.
5. Section 707.1 and 1014.8.3 Stairway must be 1-hour fire rated. A 1-hour fire rated door must be at the top or bottom of the stairs.
6. Section 1014.7 Handrails shall be of an equal height and on both sides of the stairs.
7. Section 107.7 Steel beam/lintel in cellar at the foot of the stairs. Also unsupported beams in the cellar.

This is a stop work order pursuant to Section 117.1 of the Building Code (BOCA 1999). All construction activity must stop immediately. You are required to file an engineer's report on the steel beam/lintel and the unsupported beams in the cellar. You are further required to submit adequate plans in order to comply with the requirements of items 1 through 6. You must comply by July 9, 2000. Failure to comply will result in this office referring the matter to the City of Portland's Corporation Counsel for legal action or possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. ss4452. This constitutes an appealable decision pursuant to Section 121.5 of the Code. Please feel free to contact me at 874-8697 if you have any questions.

Sincerely,

Arthur Rowe
Code Enforcement Officer
CC: File

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

*21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

*22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

*23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

*27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements.

*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

*36. Before removing masonry wall structural details with analysis shall be submitted for review and approval.

*37. A one hour fire resistance shall be placed either at the top or bottom of the proposed stairway.

*38. The basement area is for storage only due to headroom requirements.

P. Samuel Hoffses, Building Inspector

Cc: Lt. McDougall, PFD

Marge Schmuskal, Zoning Administrator

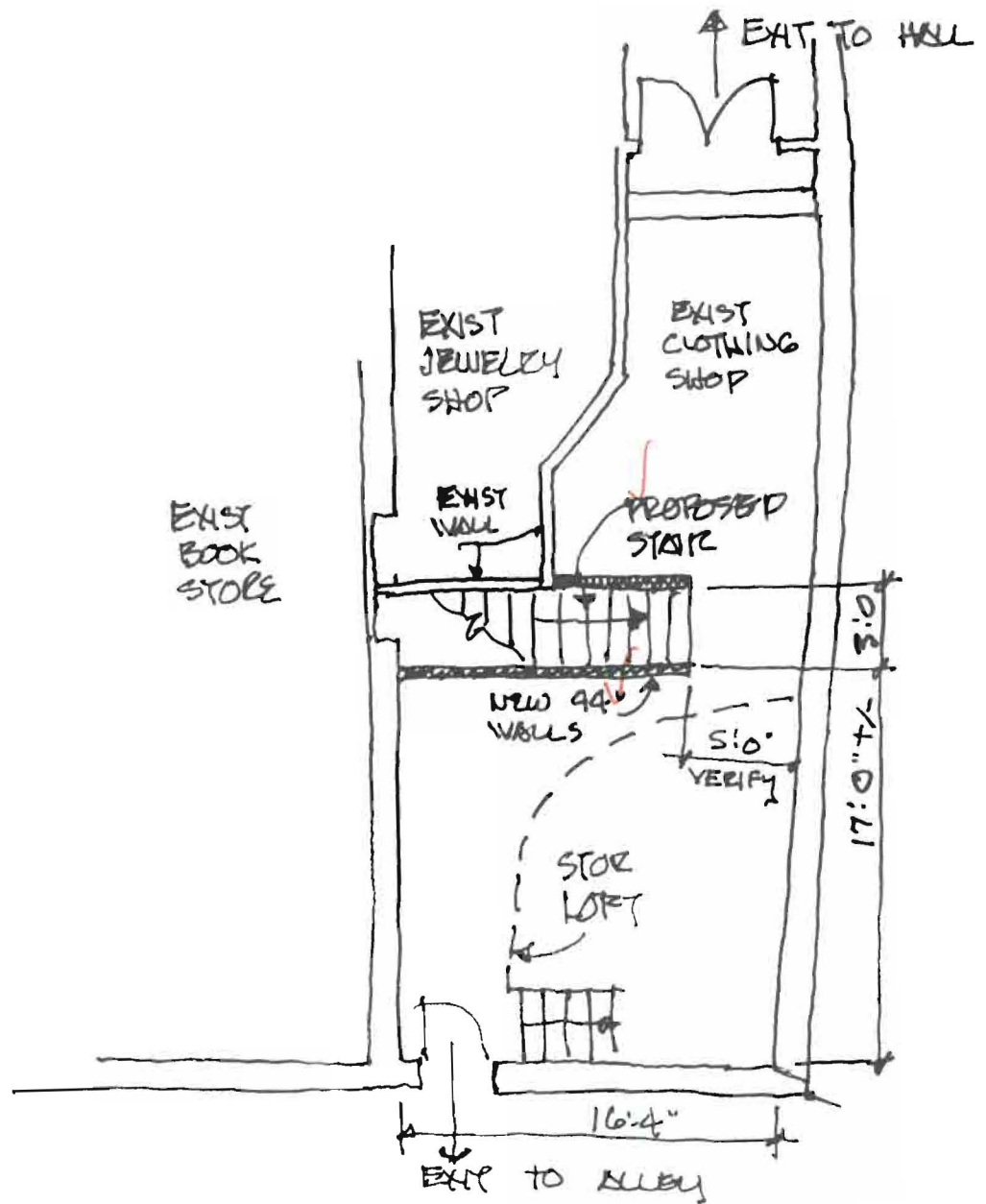
PSH 1/26/00

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

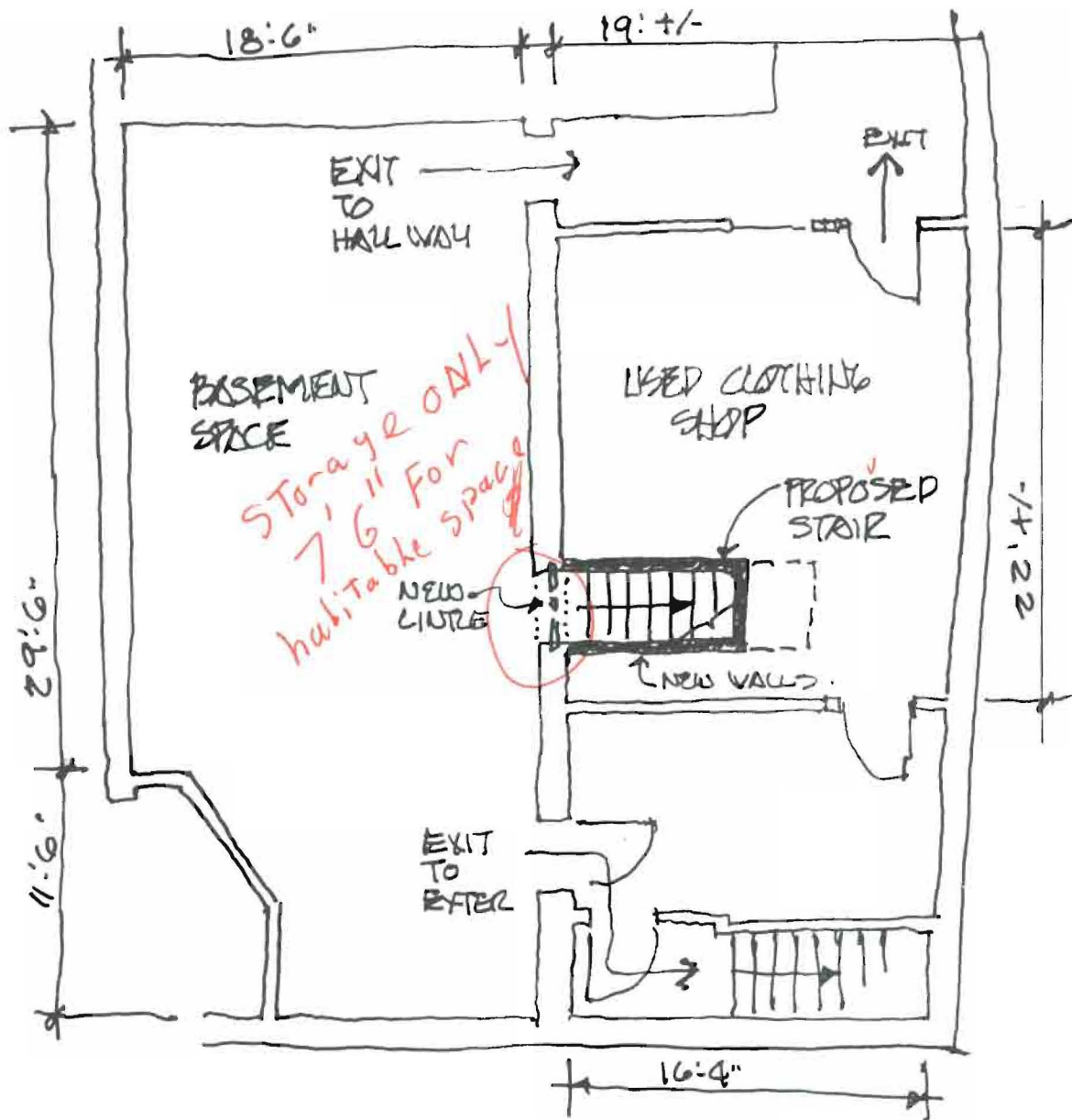
****CERTIFICATE OF OCCUPANCY FEE \$50.00

**** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.



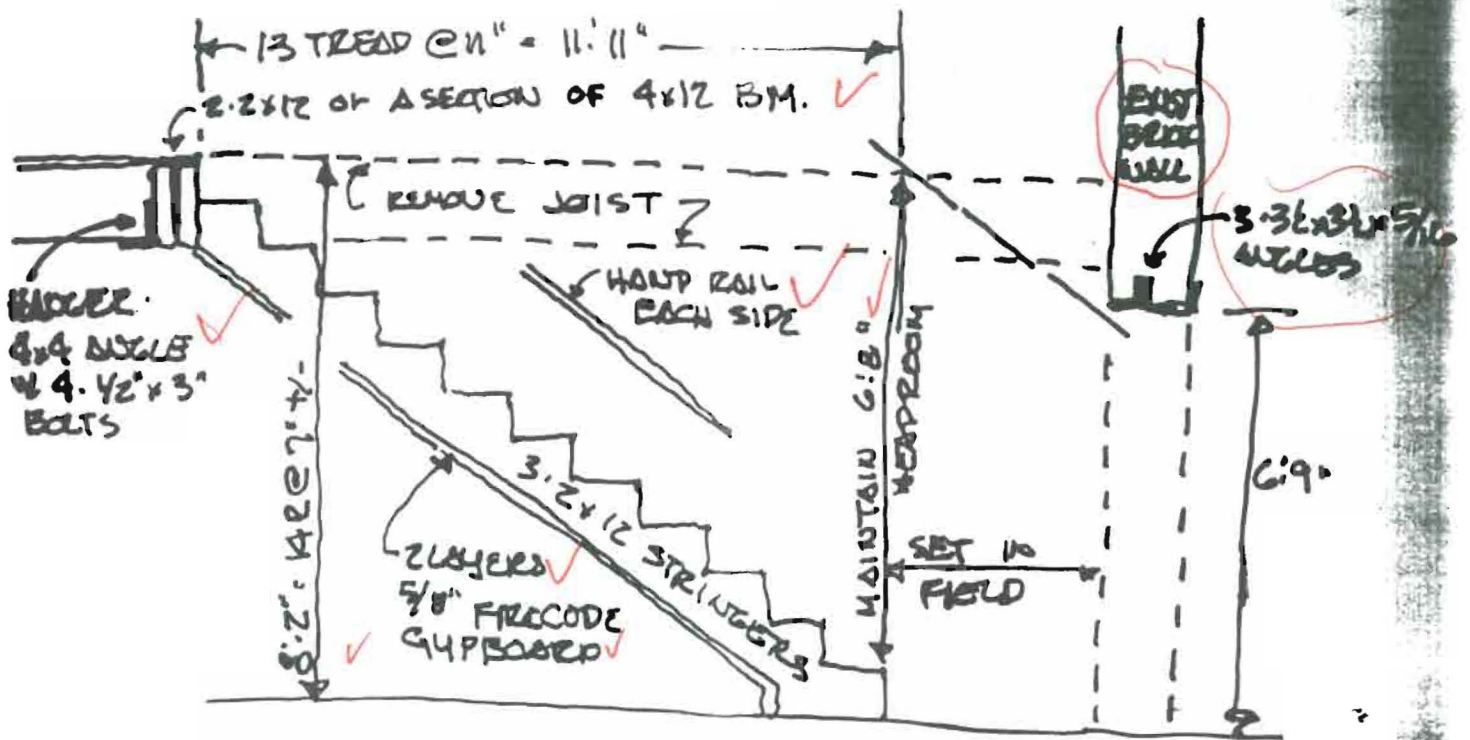
FIRST FL. PLAN @ W/EXCHANGE

REVISED 04.06.00

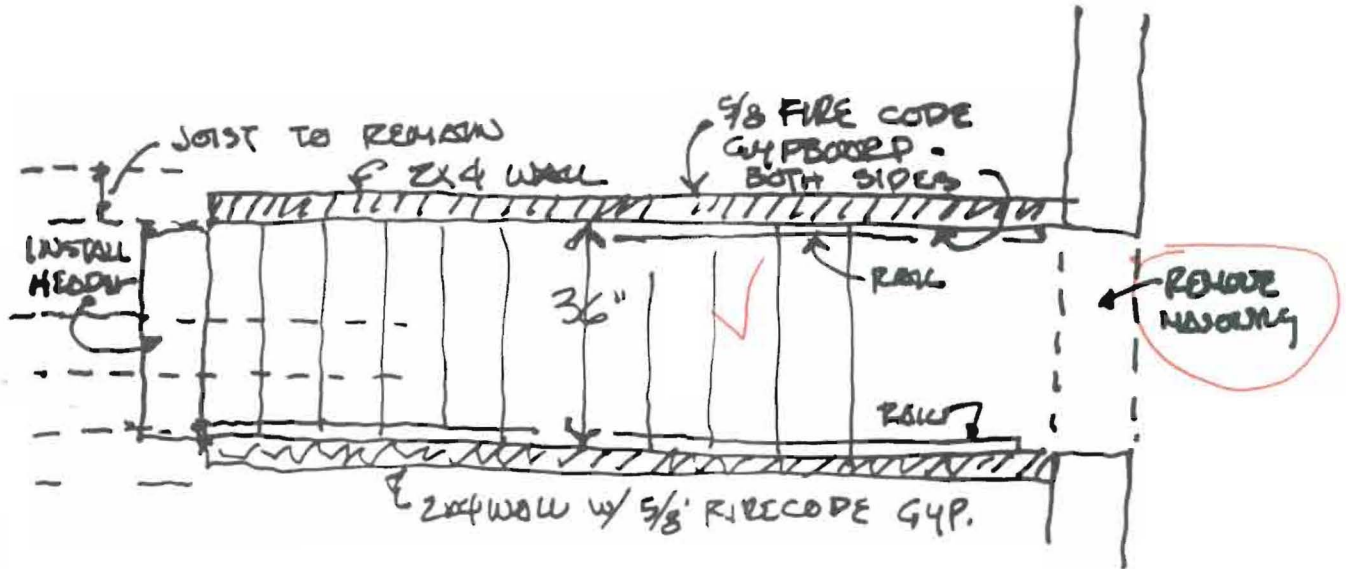


BASEMENT FLOOR EXCHANGE

REVISED 04.06.03



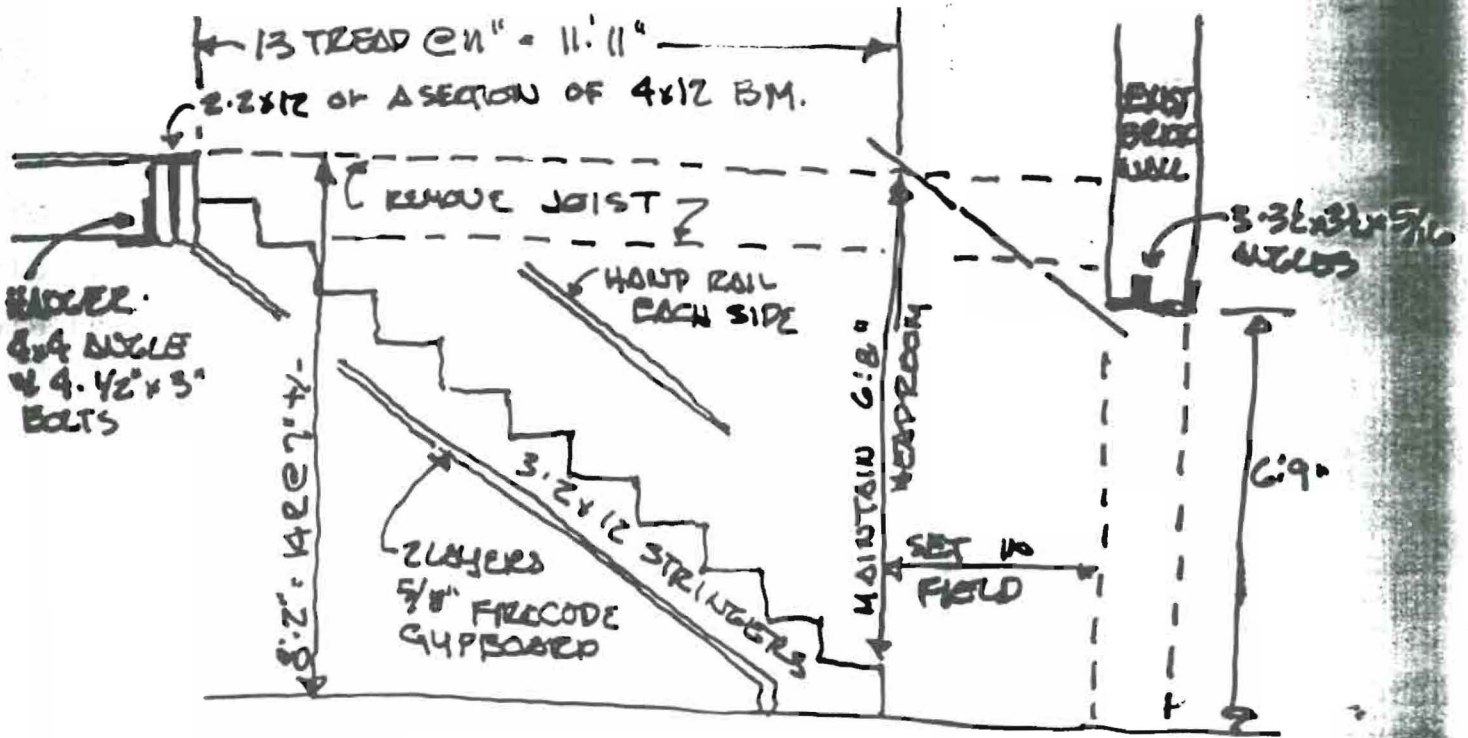
SECTION



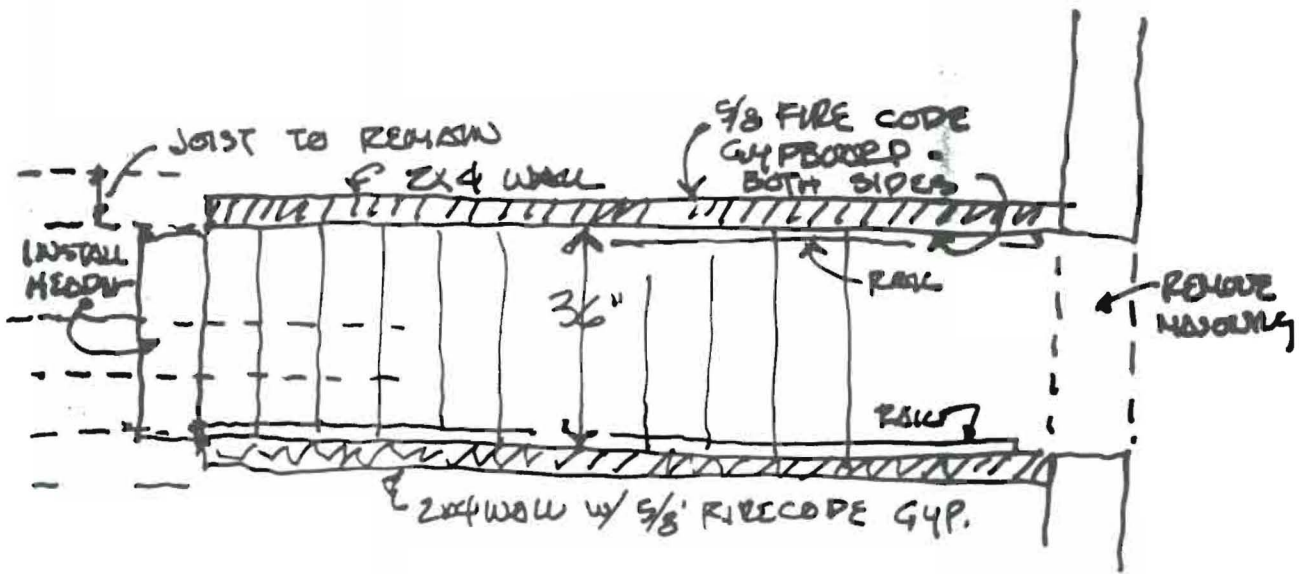
PLAN

TO EXCHANGE ST.
INTERCOMMUNICATING STAIR

WAGES. 24.00
REV SPEK 2.00



SECTION



PLAN

TO EXCHANGE ST.
INTERCOMMUNICATING STAIR

WAGES. 24.00
REV APRIL 21.00

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): 10 EXCHANGE ST.		
Total Square Footage of Proposed Structure -	Square Footage of Lot -	
Tax Assessor's Chart, Block & Lot Number Chart# 37 Block# I Lot# 13	Owner: JOE SOLEY	Telephone#: 774-8300
Owner's Address: JOE SOLEY 40 ADAMS REAL ESTATE 386 FORE ST PORTLAND, 04101	Lessee/Buyer's Name (If Applicable) -	Cost Of Work: \$900 Fee \$30
Proposed Project Description:(Please be as specific as possible) INSERT A STAIR FOR INTERNAL USE BETWEEN 1ST. & BASEMENT. 2ND FL.		
Contractor's Name, Address & Telephone JOE SOLEY		Rec'd By UB
Current Use: RETAIL	Proposed Use: RETAIL	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

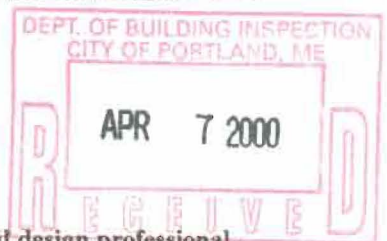
Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 4-7-00
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum



TO
SAM HOFFERS.

32-I-12

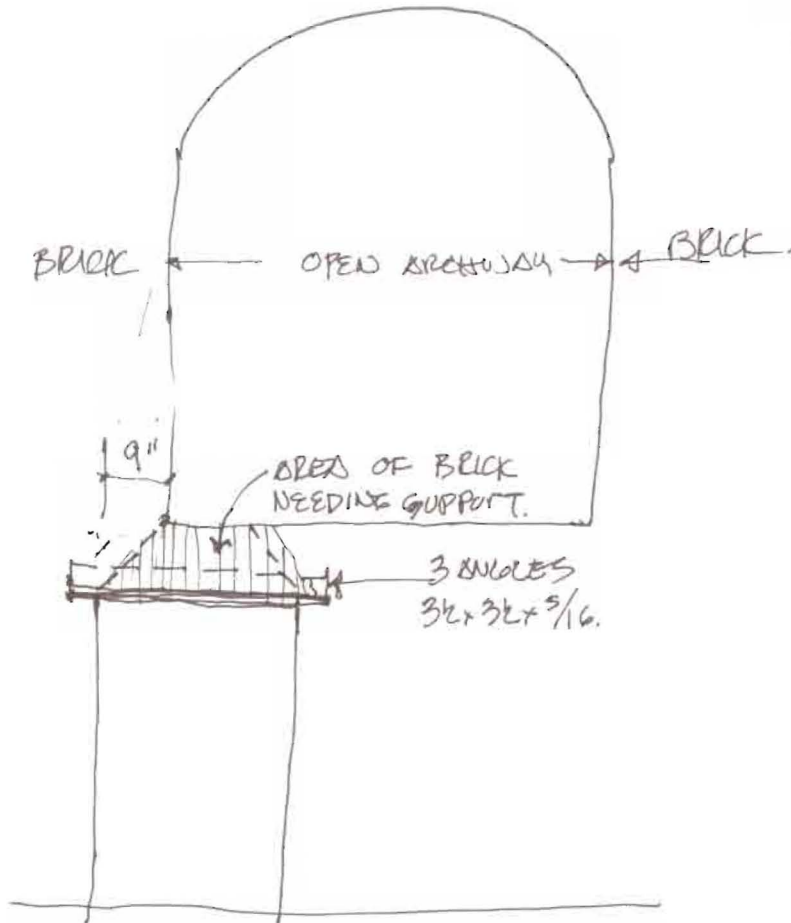
10 Exchange

5-11-00

FR
BILL WEMMERS

as per required
structural analysis

RE
10 EXCHANGE



AS PER MY SKETCH OF APRIL 2/2000
AND AS PER NOTE # 21 ON THE BUILDING PERMIT
THE LITTLE OF 3 ANGLES OF 3/4" x 3/4" x 5/16" WILL BE
INSTALLED TO CARRY THE LOAD OF THE BRICK WALL
UNDER THE ARCH AS SHOWN ABOVE

Bill.

BUILDING PERMIT REPORT

774-3683

DATE: 7 APRIL 2000 ADDRESS: 10 Exchange ST. CBL: 032-T-013
 REASON FOR PERMIT: Insert stairs between 1st Floor and basement (Basement Storage only)
 BUILDING OWNER: Joe Soley
 PERMIT APPLICANT: _____ / CONTRACTOR: Joe Soley
 USE GROUP: M CONSTRUCTION TYPE: 3B CONSTRUCTION COST: 900.00 PERMIT FEES: 430.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *11, *12, *13, *14
~~*17, *21, *22, *23, *27, *32, *34, *36, *37, 20~~

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
 Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
 Caution must be taken to protect concrete from freezing. Section 1908.0
 It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A,B,H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36" and not more than 42". Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- *12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- *17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)