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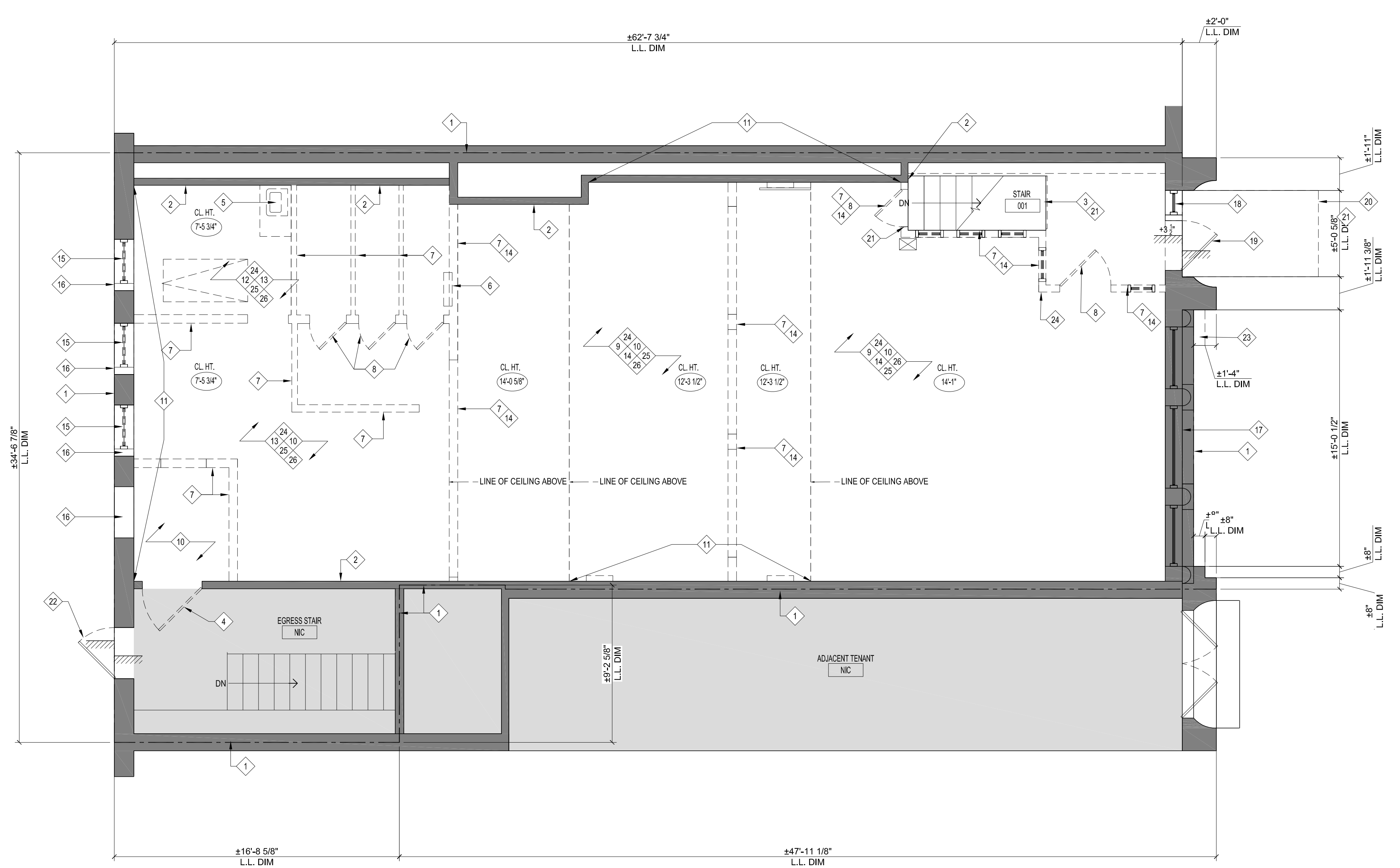
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Issue	Date	Issue	Date
A. ISSUE FOR HISTORIC REVIEW	07/01/15	Δ ISSUE FOR HISTORIC REVIEW	07/16/15
B. ISSUE FOR LL REVIEW/PRELIM	07/10/15		
PRICING			
C. ISSUE FOR DEMO PERMIT	07/20/15		

Project
FAT FACE PORTLAND
34 EXCHANGE STREET
PORTLAND, ME 04104

Drawing Title
GROUND FLOOR DEMOLITION PLAN

Project No.	Drawn By	Date	Scale
5063.02			1/4"=1'-0"

Seal _____ Floor(s) _____

Drawing No. **DM-101.00**

LEGEND

- AREAS NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING MILLWORK TO BE REMOVED

- DIMENSION TAG
- INDICATES CLOUDED AREA OF REVISION, BULLETIN OR ADDENDUM
- INDICATES REVISION NUMBER AND AREA OF REVISION, BULLETIN OR ADDENDUM

SHEET NOTES

1. REFER TO DWG G-001.00 AND G-002.00 FOR ADDITIONAL NOTES
2. G.C. TO COORDINATE ALL RESPECTIVE TRADES REQUIRED FOR THE DEMOLITION PHASE OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION PRIOR TO THE START OF THE DEMOLITION.
3. G.C. SHALL FAMILIARIZE ITSELF AND ADHERE TO THE BUILDINGS RULES AND REGULATIONS
4. G.C. SHALL CONFORM TO THE BUILDINGS STANDARD PROCEDURE IN REGARDS TO DEMOLITION, CORE DRILLING, AND DEBRIS CARTING. ALL OVERTIME AND ELEVATOR CHARGE SHALL BE INCLUDED IN G.C.'S GENERAL CONDITIONS
5. DEMOLITIONS CASTING AND NOISE DISTURBANCES MUST BE COORDINATED WITH BUILDING MANAGEMENT AND PREFORMED DURING PERMITTED HOURS.
6. ALL DEMOLITION DEBRIS REMOVAL SHALL BE COORDINATED WITH BUILDING MANAGEMENT AS REQUIRED.
7. DO NOT REMOVE ANY BUILDING CLASS "E" FIRE PROTECTION SIGNALS OR EQUIPMENT, PROTECT AS REQUIRED FOR THE DURATION OF CONSTRUCTION PERIOD
8. REFER TO ENGINEER'S DRAWINGS FOR ASSOCIATED DEMOLITION G.C. TO NOTIFY ARCHITECT OF ANY DISCREPANCY PREVENTING OR AFFECTING REMOVAL IF IDENTIFIED ITEMS
9. G.C. TO FIELD VERIFY 'EXISTING TO REMAIN' CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
10. G.C. SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY PROTECTION FOR ALL DOORS, CASEWORK, ALL APPLIED MATERIAL, FIREPROOFING, AND MISC. ITEMS TO REMAIN OR TO BE REUSED AND REINSTATE THEM TO ORIGINAL CONDITION IF DAMAGED.
11. G.C. TO PATCH OR REPAIR ALL SCARRED CONDITIONS CAUSED BY DEMOLITION AS REQUIRED.
12. G.C. SHALL ERECT AND MAINTAIN THE REQUIRED CONSTRUCTIONS BARRICADE SEALED FROM DUST MIGRATION ALL SAFEGUARDS AND PRECAUTIONS TO BE UNDERTAKEN, INCLUDING POSTING WARNING SIGNS AND ENFORCING SAFETY REGULATIONS AND PROTECTION OF PROPERTY.

DEMOLITION KEY NOTES

13. G.C. SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES REQUIRED BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AS NOTED. G.C. SHALL ALLOW FOR ALL LABOR, MATERIALS AND THE LEGAL REMOVAL OF ALL DEBRIS IN BID PRICE. NO ALLOWANCES WILL BE MADE FOR FAILURE TO DO SO.
14. G.C. SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES REQUIRED BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AND INCLUDE ALL MATERIALS, LABOR AND THE LEGAL REMOVAL AND DISPOSAL OF ALL DEBRIS AND DEMOLITION MATERIAL IN BID PRICE. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO.
15. G.C. IS RESPONSIBLE TO REMOVE ALL DEBRIS ON A DAILY BASIS DURING NON MALL HOURS. NO OPEN TOP DUMPSTERS ARE TO BE USED.
16. DURING DEMOLITION G.C. SHALL REMAIN A FIRE EXTINGUISHER FOR EVERY 3,000 SQ FT OF SPACE AND ONE PER FLOOR WHERE THERE IS MORE THEN ONE FLOOR. FIRE EXTINGUISHER SHALL BE A 25LB. TYPE APPROVED FOR A, B & C FIRES.
17. DO NOT REMOVE ANY EXISTING A/C UNITS OR ASSOCIATED DUCTWORK WITH OUT COORDINATING WITH ENGINEERING DRAWINGS AND LANDLORDS OPERATIONS MANAGER.
18. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB.
19. UPON COMPLETION OF THE DEMOLITION WORK, G.C. IS TO LEAVE ALL AFFECTED AREAS IN BROOM CLEAN CONDITION. ALL EXISTING TO REMAIN ITEMS ARE TO BE RETURNED TO LIKE NEW CONDITION.
20. ALL ABANDONED WIRE AND CONDUIT ARE TO BE REMOVED BACK TO SOURCE.

DEMOLITION KEY NOTES

1. LEASE LINE
2. EXISTING PARTITION TO REMAIN. G.C. TO PATCH AND REPAIR AS REQUIRED AND PREP SURFACE FOR NEW FINISH. SEE FINISH PLAN AND ELEVATIONS FOR FINISH
3. EXISTING STAIRS TO REMAIN. GC TO REPAIR AS REQUIRED. GC TO REMOVE EXISTING HANDRAIL. GC TO INSTALL NEW 1-1/2" STAINLESS STEEL HANDRAIL BOTH SIDES.
4. EXISTING DOOR/DOOR FRAME TO BE REMOVED AND REPLACED. SEE DOOR AND HARDWARE SCHEDULE.
5. EXISTING PLUMBING FIXTURES TO BE REMOVED IN THEIR ENTIRETY. GC TO EXTEND EXISTING LINES TO NEW LOCATIONS AS REQUIRED AND CAP ANY UNUSED LINES. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
6. GC TO REMOVE EXISTING ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
7. EXISTING PARTITION TO BE REMOVED IN ITS ENTIRETY.
8. EXISTING DOOR TO BE REMOVED IN ITS ENTIRETY
9. EXISTING CEILING TO REMAIN. GC TO BRING TO LIKE 'NEW' CONDITION. GC TO REMOVE AND REPLACE ANY DAMAGED CEILING AS REQUIRED WITH MATCHING CEILING.
10. EXISTING MOSAIC TILE FLOOR TO REMAIN. G.C. TO BRING TO LIKE 'NEW' CONDITION. G.C. TO PREP SUBFLOOR FOR TILE INFILL AS REQUIRED AFTER REMOVAL OF PARTITIONS.
11. EXISTING PLASTER AND LATH TO BE REMOVED DOWN TO EXISTING MASONRY WALL. G.C. TO VERIFY IF MASONRY EXISTS BEYOND PLASTER PRIOR TO REMOVAL. GC TO REMOVE PLASTER AND LATH STRATEGICALLY TO PROVIDE LAYERED EFFECT. FATFACE TO REVIEW AND APPROVE DEMO.
12. EXISTING MEZZANINE AND ACCESS HATCH TO BE REMOVED IN ITS ENTIRETY.
13. EXISTING CEILING AND CEILING STRUCTURE TO BE REMOVED IN ITS ENTIRETY.
14. G.C. TO INFILL EXISTING CEILING WITH MATCHING CEILING TIN TILE AS REQUIRED AFTER REMOVAL OF PARTITIONS. REFER TO SHEET A902.00

DEMOLITION KEY NOTES

15. EXISTING WINDOW TO BE REMOVED IN ITS ENTIRETY.
16. EXISTING MASONRY TO BE REMOVED FOR NEW DOUBLE HUNG ARCHED WINDOWS AND WOOD LOUVERS. SEE A801, MECHANICAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
17. EXISTING STOREFRONT TO REMAIN. G.C. TO PATCH, REPAIR, CLEAN AND REFINISH AS REQUIRED. SEE A800 FOR MORE INFORMATION.
18. G.C. TO REMOVE EXISTING SIDELIGHT AND SILL AND REPLACE WITH NEW.
19. EXISTING STOREFRONT DOOR AND HARDWARE TO REMAIN. G.C. TO REPLACE CORE PER HARDWARE SCHEDULE.
20. EXISTING AWNING AND AWNING STRUCTURE TO BE REMOVED.
21. REMOVE EXISTING PARTITIONS AND FASTENERS@ EXISTING STAIR OPENING
22. EXISTING EGRESS DOOR AND HARDWARE TO BE REPLACED BY LANDLORD.
23. EXISTING VENT TO BE REMOVED. PAVERS TO BE PLACED TO MATCH EXISTING.
24. WHERE PARTITIONS ARE REMOVED GC TO PATCH/MATCH EXISTING FLOOR AS REQUIRED. GC TO PROVIDE ARCHITECT WITH SAMPLE FOR APPROVAL.
25. EXISTING UNUSED CONDUIT, JBOXES, ELECTRICAL TO BE REMOVED. ELECTRICAL TIED BACK TO PANEL.
26. GC TO REMOVE EXISTING LIGHTING AND ALL ASSOCIATED WIRING, CONDUIT AND HANGERS BACK TO PANEL. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
27. GC TO REMOVE EXISTING UNUSED HVAC DUCTS, GRILLES, DIFFUSERS AND DUCT HANGERS AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.