

CLIENT/OWNER/TENANT

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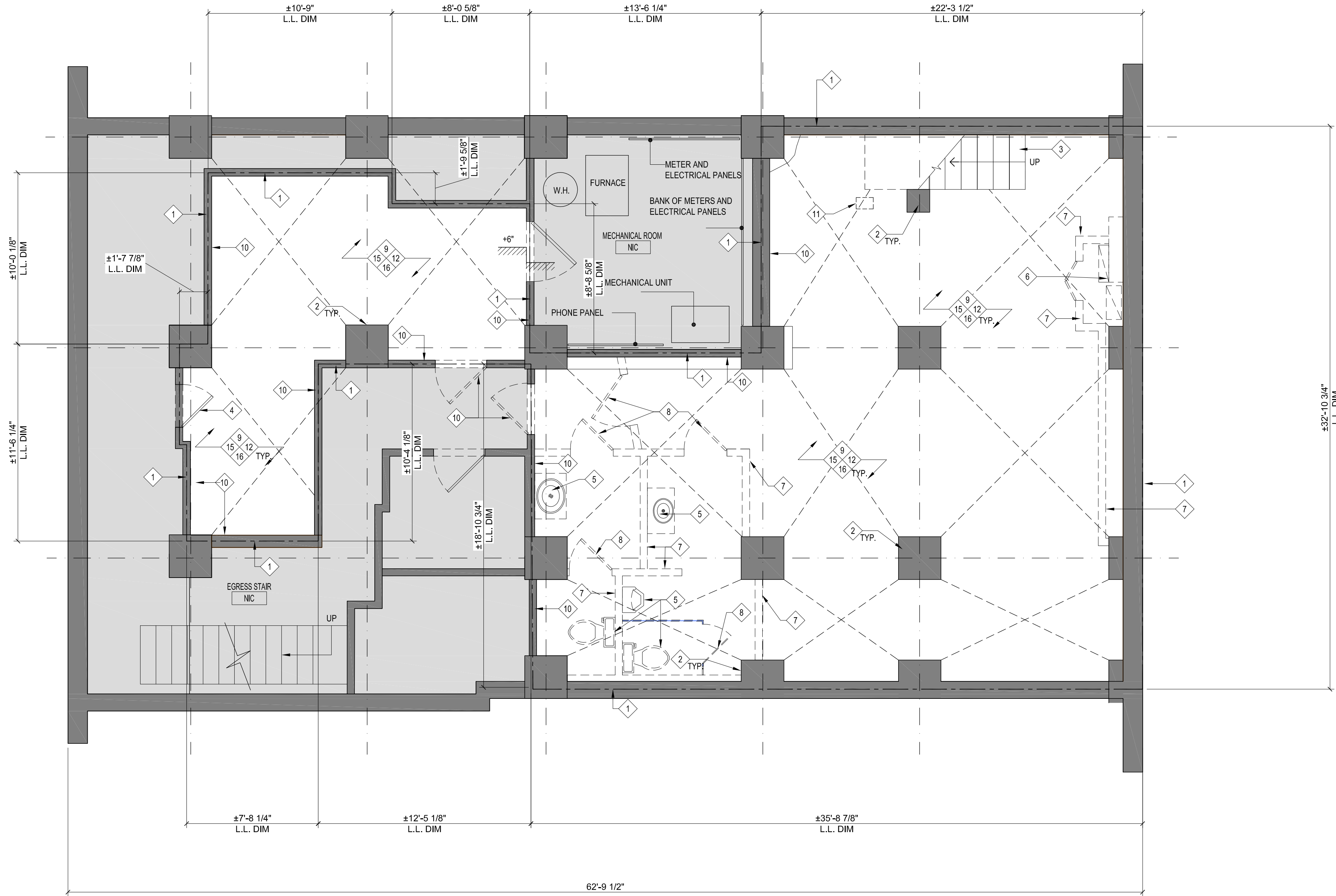
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| Issue | Date | Issue | Date |
|-------------------------------|----------|-----------------------------|----------|
| A. ISSUE FOR HISTORIC REVIEW | 07/01/15 | △ ISSUE FOR HISTORIC REVIEW | 07/16/15 |
| B. ISSUE FOR LL REVIEW/PRELIM | 07/10/15 | | |
| PRICING | | | |
| C. ISSUE FOR DEMO PERMIT | 07/20/15 | | |

Project
FAT FACE PORTLAND
34 EXCHANGE STREET
PORTLAND, ME 04104

BASEMENT DEMOLITION PLAN

| Project No. | Drawn By | Date | Scale |
|-------------|----------|----------|------------|
| 5063.02 | | --- | 1/4"=1'-0" |
| Seal | | Floor(s) | |



DM-100.00

LEGEND

- AREAS NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING MILLWORK TO BE REMOVED
- DIMENSION TAG
- INDICATES CLOUDED AREA OF REVISION, BULLETIN OR ADDENDUM
- INDICATES REVISION NUMBER AND AREA OF REVISION, BULLETIN OR ADDENDUM

SHEET NOTES

1. REFER TO DWG G-001.00 AND G-002.00 FOR ADDITIONAL NOTES
2. G.C. TO COORDINATE ALL RESPECTIVE TRADES REQUIRED FOR THE DEMOLITION PHASE OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION PRIOR TO THE START OF THE DEMOLITION.
3. G.C. SHALL FAMILIARIZE ITSELF AND ADHERE TO THE BUILDINGS RULES AND REGULATIONS
4. G.C. SHALL CONFORM TO THE BUILDINGS STANDARD PROCEDURE IN REGARDS TO DEMOLITION, CORE DRILLING, AND DEBRIS CARTING. ALL OVERTIME AND ELEVATOR CHARGE SHALL BE INCLUDED IN G.C.'S GENERAL CONDITIONS
5. DEMOLITIONS CASTING AND NOISE DISTURBANCES MUST BE COORDINATED WITH BUILDING MANAGEMENT AND PREFORMED DURING PERMITTED HOURS.
6. ALL DEMOLITION DEBRIS REMOVAL SHALL BE COORDINATED WITH BUILDING MANAGEMENT AS REQUIRED.
7. DO NOT REMOVE ANY BUILDING CLASS "E" FIRE PROTECTION SIGNALS OR EQUIPMENT, PROTECT AS REQUIRED FOR THE DURATION OF CONSTRUCTION PERIOD
8. REFER TO ENGINEER'S DRAWINGS FOR ASSOCIATED DEMOLITION G.C. TO NOTIFY ARCHITECT OF ANY DISCREPANCY PREVENTING OR AFFECTING REMOVAL IF IDENTIFIED ITEMS
9. G.C. TO FIELD VERIFY "EXISTING TO REMAIN" CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
10. G.C. SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY PROTECTION FOR ALL DOORS, CASEWORK, ALL APPLIED MATERIAL, FIREPROOFING, AND MISC. ITEMS TO REMAIN OR TO BE REUSED AND REINSTATE THEM TO ORIGINAL CONDITION IF DAMAGED.
11. G.C. TO PATCH OR REPAIR ALL SCARRED CONDITIONS CAUSED BY DEMOLITION AS REQUIRED.
12. G.C. SHALL ERECT AND MAINTAIN THE REQUIRED CONSTRUCTIONS BARRICADE SEALED FROM DUST MIGRATION, ALL SAFEGUARDS AND PRECAUTIONS TO BE UNDERTAKEN, INCLUDING POSTING WARNING SIGNS AND ENFORCING SAFETY REGULATIONS AND PROTECTION OF PROPERTY.

DEMOLITION KEY NOTES

1. LEASE LINE
2. EX. MASONRY COLUMN TO REMAIN. GC TO REPAIR AND REINFORCE AS REQUIRED.
3. EXISTING STAIRS TO REMAIN. GC TO REPAIR AS REQUIRED. GC TO REMOVE EXISTING HANDRAIL. GC TO INSTALL NEW 1-1/2" STAINLESS STEEL HANDRAIL BOTH SIDES.
4. EXISTING DOOR TO REMAIN.
5. EXISTING PLUMBING FIXTURES TO BE REMOVED IN THEIR ENTIRETY. GC TO EXTEND EXISTING LINES TO NEW LOCATIONS AS REQUIRED AND CAP ANY UNUSED LINES. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
6. GC TO REMOVE EXISTING ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
7. EXISTING PARTITION TO BE REMOVED IN ITS ENTIRETY.
8. EXISTING DOOR TO BE REMOVED IN ITS ENTIRETY
9. EXISTING VAULTED MASONRY CEILING TO REMAIN. GC TO REPAIR AS REQUIRED.
10. EXISTING PARTITION TO REMAIN.
11. NEW MECHANICAL DUCT OPENING AS REQUIRED. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS FOR MORE INFORMATION
12. G.C. TO REMOVE ALL EXISTING FLOORING FINISHES DOWN TO EXISTING SUBSTRATE AND PREPARE SURFACE FOR NEW FINISH AS PER FINISH PLAN.
13. WHERE PARTITIONS ARE REMOVED GC TO PATCHMATCH EXISTING FLOOR AS REQUIRED. GC TO PROVIDE ARCHITECT WITH SAMPLE FOR APPROVAL.
14. EXISTING UNUSED CONDUIT, JBOXES, ELECTRICAL TO BE REMOVED. ELECTRICAL TIED BACK TO PANEL.
15. GC TO REMOVE ANY EXISTING LIGHTING AND ASSOCIATED WIRING/CONDUIT/HANGERS AND TIE BACK TO PANEL. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
16. GC TO REMOVE ANY EXISTING UNUSED HVAC ITEMS. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
17. EXISTING DOOR AND FRAME TO BE REMOVED. GC TO PREP FOR NEW DOOR AND FRAME AS REQUIRED.
13. G.C. SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES REQUIRED BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AS NOTED. G.C. SHALL ALLOW FOR ALL LABOR, MATERIALS AND THE LEGAL REMOVAL OF ALL DEBRIS IN BID PRICE. NO ALLOWANCES WILL BE MADE FOR FAILURE TO DO SO.
14. G.C. SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES REQUIRED BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AND INCLUDE ALL MATERIALS, LABOR AND THE LEGAL REMOVAL AND DISPOSAL OF ALL DEBRIS AND DEMOLITION MATERIAL IN BID PRICE. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO.
15. G.C. IS RESPONSIBLE TO REMOVE ALL DEBRIS ON A DAILY BASIS DURING NON MALL HOURS. NO OPEN TOP DUMPSTERS ARE TO BE USED.
16. DURING DEMOLITION G.C. SHALL REMAIN A FIRE EXTINGUISHER FOR EVERY 3,000 SQ FT OF SPACE AND ONE PER FLOOR WHERE THERE IS MORE THEN ONE FLOOR. FIRE EXTINGUISHER SHALL BE A 25LB. TYPE APPROVED FOR A, B & C FIRES.
17. DO NOT REMOVE ANY EXISTING A/C UNITS OR ASSOCIATED DUCTWORK WITH OUT COORDINATING WITH ENGINEERING DRAWINGS AND LANDLORDS OPERATIONS MANAGER.
18. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB.
19. UPON COMPLETION OF THE DEMOLITION WORK, G.C. IS TO LEAVE ALL AFFECTED AREAS IN BROOM CLEAN CONDITION, ALL EXISTING TO REMAIN ITEMS ARE TO BE RETURNED TO LIKE NEW CONDITION.
20. ALL ABANDONED WIRE AND CONDUIT ARE TO BE REMOVED BACK TO SOURCE.