

AKARI - Exterior Egress Stair

193 MIDDLE STREET, PORTLAND, MAINE

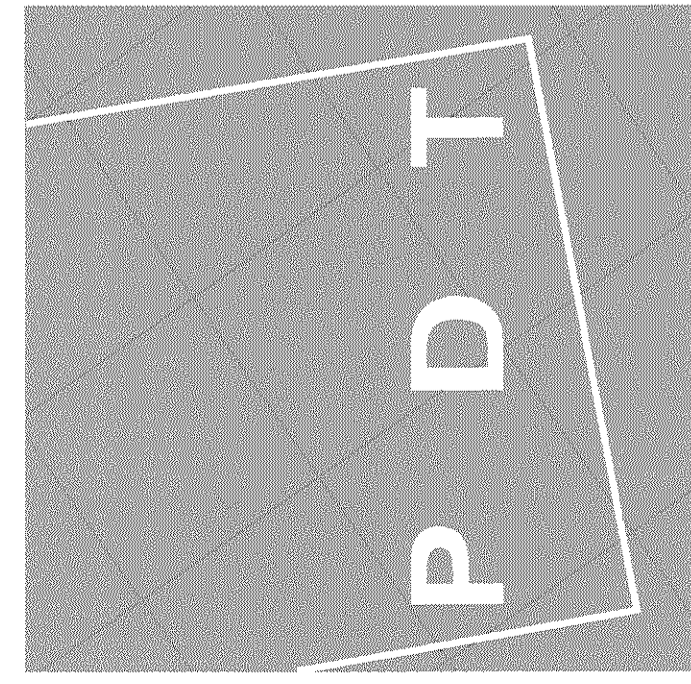
GENERAL NOTES:

1. DEMOLITION GENERAL NOTES
 - 1.1. THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. REMOVE ALL DOORS, AND MISCELLANEOUS HARDWARE, ELECTRICAL AND MECHANICAL ITEMS CONTAINED WITHIN THE WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF OR PROHIBITS THE NEW CONSTRUCTION SHOWN BY THE ARCHITECTURAL FLOOR PLANS.
- 1.2. COORDINATE WITH STRUCTURAL ENGINEER FOR ALL TEMPORARY SUPPORT AS REQUIRED.
2. PLAN GENERAL NOTES
 - 1.3. INSTRUCTIONS FOR SPECIFIC COMPONENTS OF THE WORK ARE KEYS TO THE DRAWINGS. BUILDING SYSTEMS PARTITIONS ARE KEYS TO FLOOR PLANS, SECTIONS AND OTHER DETAILS AS APPROPRIATE.
 - 1.4. WORK FOR GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
 - 1.5. DIMENSIONAL CONTROL
 - 1.5.1. DIMENSIONS AT EXTERIOR ARE FROM CENTERLINE LINE OF COL TO OUTSIDE FACE OF MASONRY FACE OF MASONRY TO FACE OF MASONRY FACE OF CONCRETE TO FACE OF CONCRETE. MASONRY OPENING TO MASONRY OPENING.
 - 1.5.2. DIMENSIONS AT INTERIOR ARE FACE OF MASONRY OR GWB AND CLEAR DIMENSIONS.
 - 1.5.3. MASONRY OPENINGS OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS ONLY. COORDINATE ALL MASONRY OPENINGS OR ROUGH OPENINGS WITH ACTUAL DOOR FRAME, OR CURTAIN WALL/STOREFRONT SIZES AND REQUIREMENTS.
 - 1.5.4. FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/16" BETWEEN DISSIMILAR MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS.
16. DETAIL & TYPICAL CONSTRUCTION NOTES:
 - A. MAINTAIN A CLEAR DIMENSION OF 1'-6" FROM ALL ADJACENT CONSTRUCTION TO THE MATCH (ON ALL) SIDE OF THE DIMENSIONS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
17. OWNERS SEPARATE CONTRACTOR SHALL BE RESPONSIBLE FOR INTERIOR RENOVATION SCOPE OF WORK UNLESS OTHERWISE NOTED. COORDINATE ALL ALARM, LIGHTING, POWER AND SPRINKLER WORK WITH OWNERS SEPARATE CONTRACTOR.
18. REFER TO SPECIFICATION SHEET FOR SUMMARY OF SCOPE OF WORK AND ADDITIONAL INFORMATION.

BIDDING NOTES

1. The BIDDER agrees, if this bid is accepted, to enter into an agreement with OWNER to perform and furnish the Work as specified or indicated in the Bidding Documents for the Bid Price and within the Bid Times indicated in the Bid and in accordance with the other terms and conditions of the Contract Documents.
 - a. This Bid will remain subject to acceptance for 60 days after the day of Bid opening.
 - b. The Bidder will sign and submit a statement of Acceptance and other documents required by the Bidder within 15 days after the day of Bid opening.
 - c. BIDDER has examined copies of the Bidding Documents.
 - d. BIDDER is familiar with federal, state, and local laws and regulations.
 - e. BIDDER has correlated the information known to BIDDER, information and observations obtained from visits to the site, reports and drawings identified in the Bidding Documents and additional examination, investigations, explorations, tests, studies and data with the Bidding Documents.
 - f. The Bid shall be genuine and not made in the interest of or on behalf of an undisclosed person, firm or corporation and is not submitted in conformity with an agreement or rules of a group, association, organization or corporations; BIDDER has not directly or indirectly induced or solicited another Bidder to submit a false or sham Bid; BIDDER has not solicited or induced a person, firm or corporation to refrain from bidding; and BIDDER has not sought by collusion to obtain for itself an advantage over another BIDDER or over OWNER.
3. Bidder agrees that the work will be substantially complete and ready for final payment and inspections and in accordance with the Contract Documents on or before March 31, 2010.
 4. All telephone calls and correspondence to be addressed to the office of the Architect. Submit all questions by email. Attn: Becca Casey, PDT Architects at casey@pdatarch.com tel: 207-775-1059
 5. Bid bonds, contract performance bonds and contract payment bonds will not be required.
 6. Bids shall be submitted as LUMP SUM PRICE.
 7. The Owner reserves the right to waive all formalities, and reject any and all Proposals or to accept any Proposal.
 8. Bids are due to the Owner, Allan Labos, by 3:00pm on Thursday, December 2nd at the office of the Owner, 193 Middle Street, Portland, Maine 04101
 9. Notification of Bid Award by Owner shall be not later than December 15, 2010.

BID SET
12 NOVEMBER 2010



ARCHITECTURE
INTERIOR DESIGN
PLANNING

49 DARTMOUTH STREET
PORTLAND, ME 04101
207 775-1059
207 775-2694 FAX

ABBREVIATIONS

A.F.F. ABOVE FINISH FLOOR
BRG. BEARING
BLDG. BUILDING
B.O. BY OWNER
CC CORNER GUARD
CJ CONTROL JOINT
CLG. CEILING
CL CENTER LINE
CONST. CONSTRUCTION
DIA. DIAMETER
DIM. DIMENSION
DN DOWN
ELEV. ELEVATOR
EJ EXPANSION JOINT
EXIST. EXISTING
FD FIELD DETERMINED
FEET FEET
FLUOR. FLUORESCENT
GA. GAUGE
G.C. GENERAL CONTRACTOR
G.Y.SUM WALL BOARD
HEIGHT HEIGHT
HOR. HORIZONTAL
LAV. LAVATORY
MAX. MAXIMUM
MTL. METAL
MIN. MINIMUM
MISC. MISCELLANEOUS
N.I.C. NOT IN CONTRACT
O.C. ON CENTER
OPP. OPPOSITE
OFS OVERFLOW SCUPPER
PL. PLATE
R.S.C.S. REFLECTED CEILING PLAN
R.C.P. REQUIRED
REV. REVISION
RM. ROOM
R.O. ROUGH OPENING
SIM. SIMILAR
SPEC. SPECIFICATION
SQ. SQUARE
STD. STANDARD
STL. STEEL
TYP. TYPICAL
UNO. UNLESS NOTED OTHERWISE
VERT. VERTICAL
V.I.F. VERIFY IN FIELD
W/ WITH
W/O WITHOUT
WD. WOOD

LIST OF DRAWINGS

T0 TITLE SHEET
A0 CODE PLANS & BUILDING SYSTEMS
A1 DEMOLITION FLOOR PLANS & FLOOR PLANS
A3 ROOF PLAN & DETAILS
A4 ELEVATIONS, SECTIONS & DETAILS
A5 SPECIFICATIONS
S0 STRUCTURAL NOTES
S11 EXTERIOR STAIR FRAMING PLANS
S12 EXTERIOR STAIR FRAMING PLANS
S21 STRUCTURAL DETAILS
S22 STRUCTURAL DETAILS

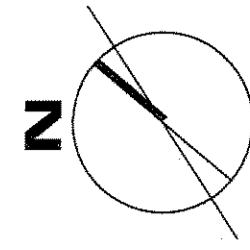
DRAWING LEGEND

EXISTING PARTITIONS TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED
ELEVATION NUMBER
ELEVATION MARKER
SHEET NUMBER
SECTION NUMBER
SECTION MARKER
SHEET NUMBER
PARTITION TYPE
EXISTING DOOR TO BE REMOVED
NEW DOOR AND FRAME
DOOR NUMBER
ROOM NAME
ROOM NUMBER
DETAIL

SITE LOCATOR



STRUCTURAL CONSULTANT:
Casco Bay Engineering
424 Fore Street
Portland, Maine 04101
207.842.2800
www.cascobayengineering.com



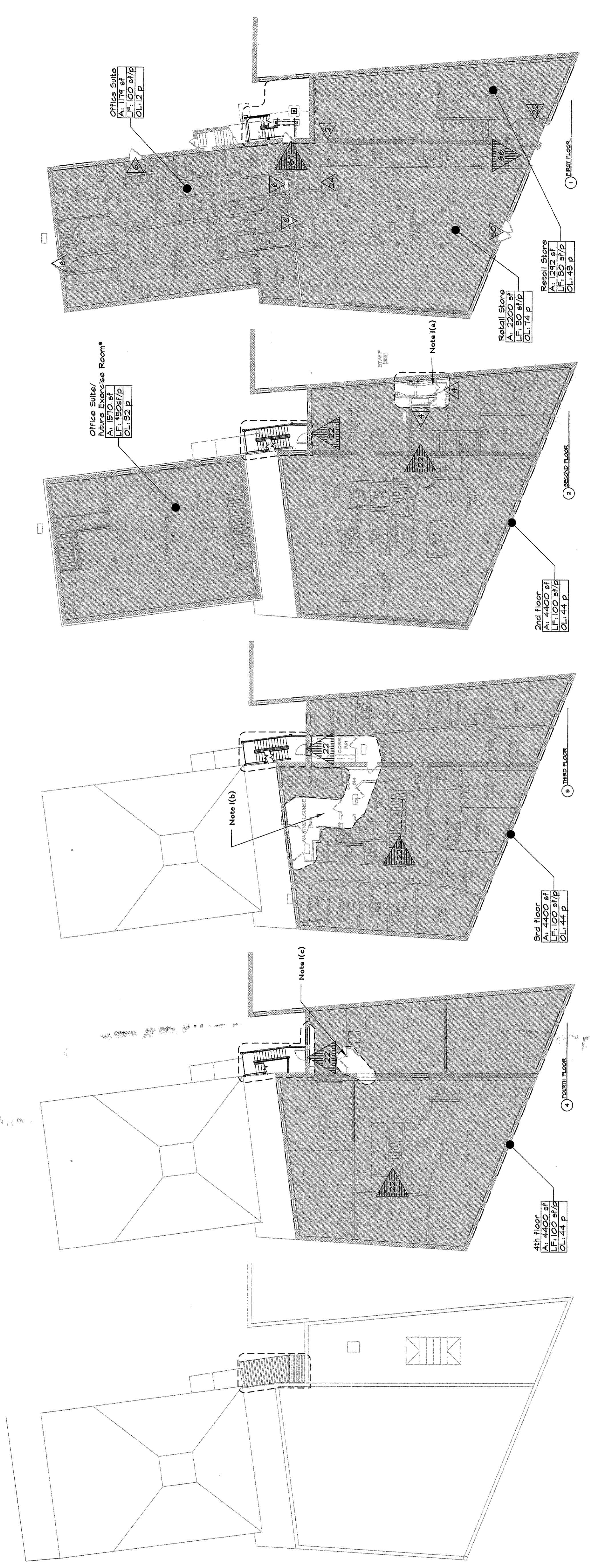
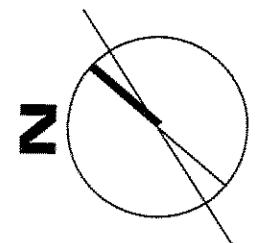
SITE

SHEET
T0

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ARCHITECTS
48 DARTMOUTH STREET
PORTLAND, MAINE 04101
www.pdatarch.com

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CODE PLAN DIAGRAMS
1/8" = 1'-0"

HISTORIC PRESERVATION CONSIDERATIONS

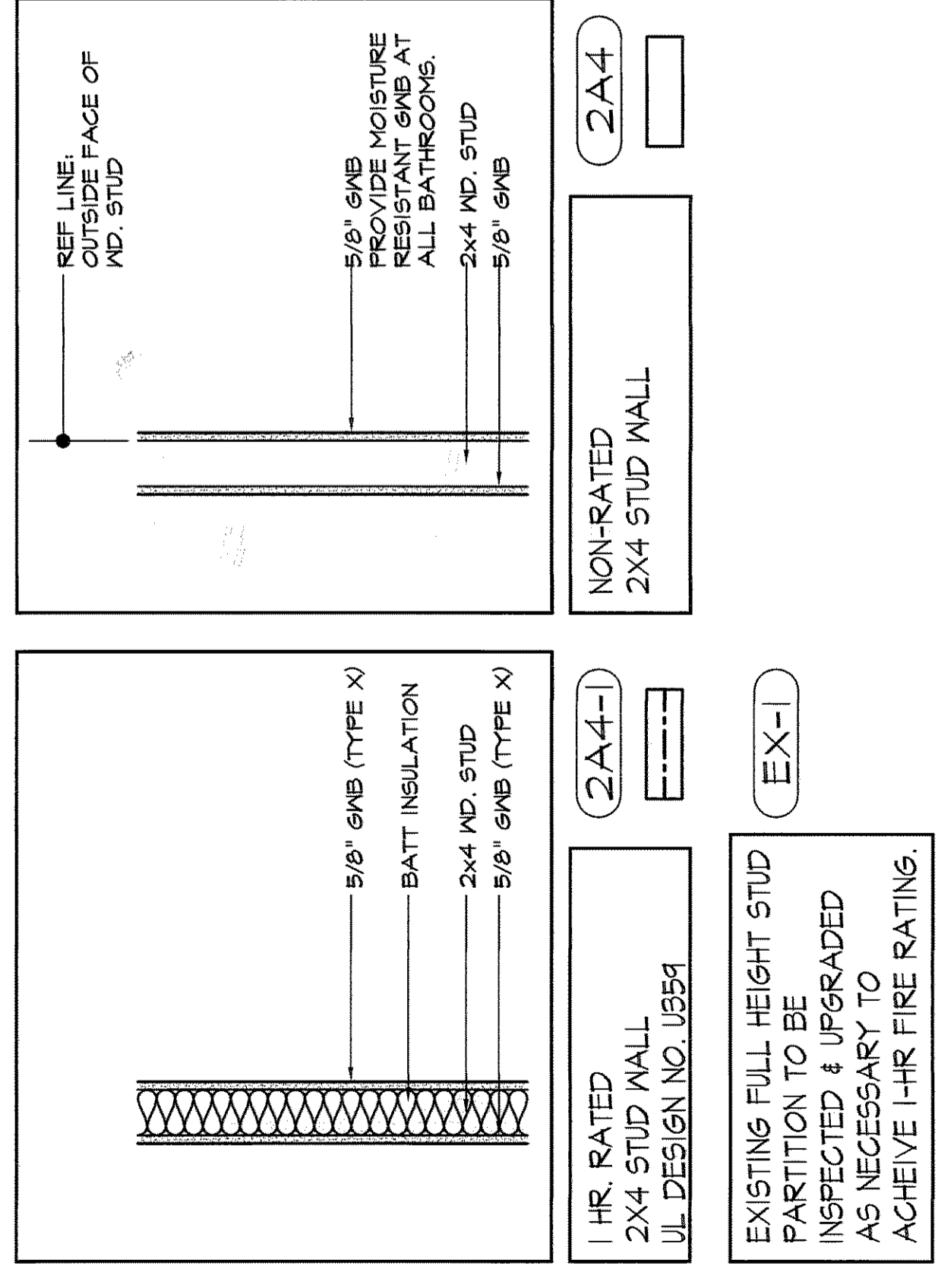
The existing building, at the rear facade, where all exterior work is proposed, is brick bearing wall with large (3'-6" wide x 7'-6" high) arched top windows. Some headers (at first floor doors and fourth floor windows) have painted steel plates on the exterior.
The area currently has a wall mounted air condenser unit, gutters & downspouts, conduit, and vent pipes exposed. These items will be reconfigured or relocated to accommodate the stair tower. The owners dumpster has been parked in the alcove adjacent to the proposed stair.
The proposed stair will be a scissor tower configuration constructed of custom colored dark gray galvanized steel framing, with perforated, galvanized steel treads, risers and landings, and will be screened with a metal mesh lined balustrade. All of those components will be the custom dark gray galvanized. The roof is proposed to be a matching steel deck. Additionally, at the ground, a fence is proposed by owner for assembly as the stair. The fence will use the same balustrade and screening.
By working with this constrained site to fit the stair in a tower configuration, we have significantly decreased the number of connections through the existing walls compared to a fire escape option which would have zig-zagged the width of the building. We believe that this design has less impact on the building and will not compete with but stand simply in contrast to the existing structure. This stair does not engage the 2-story brick structure behind the main building.
We are placing all new egress doors into existing window openings, disturbing only the sill and brick below, so as to leave all headers and fenestration pattern undisturbed. New door frames are called out to fit the arched top with transom lites, thus retaining the form and height of the existing openings.

CODE SUMMARY
and Primary Life Safety Plan review notes.

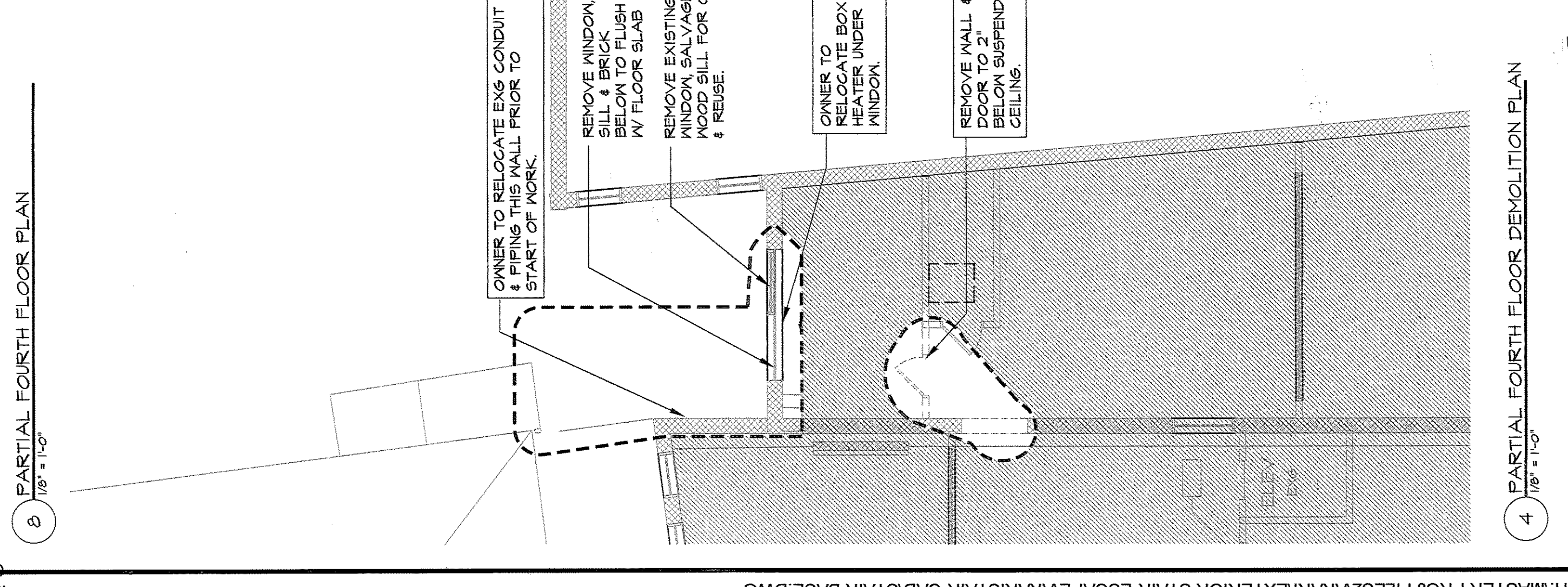
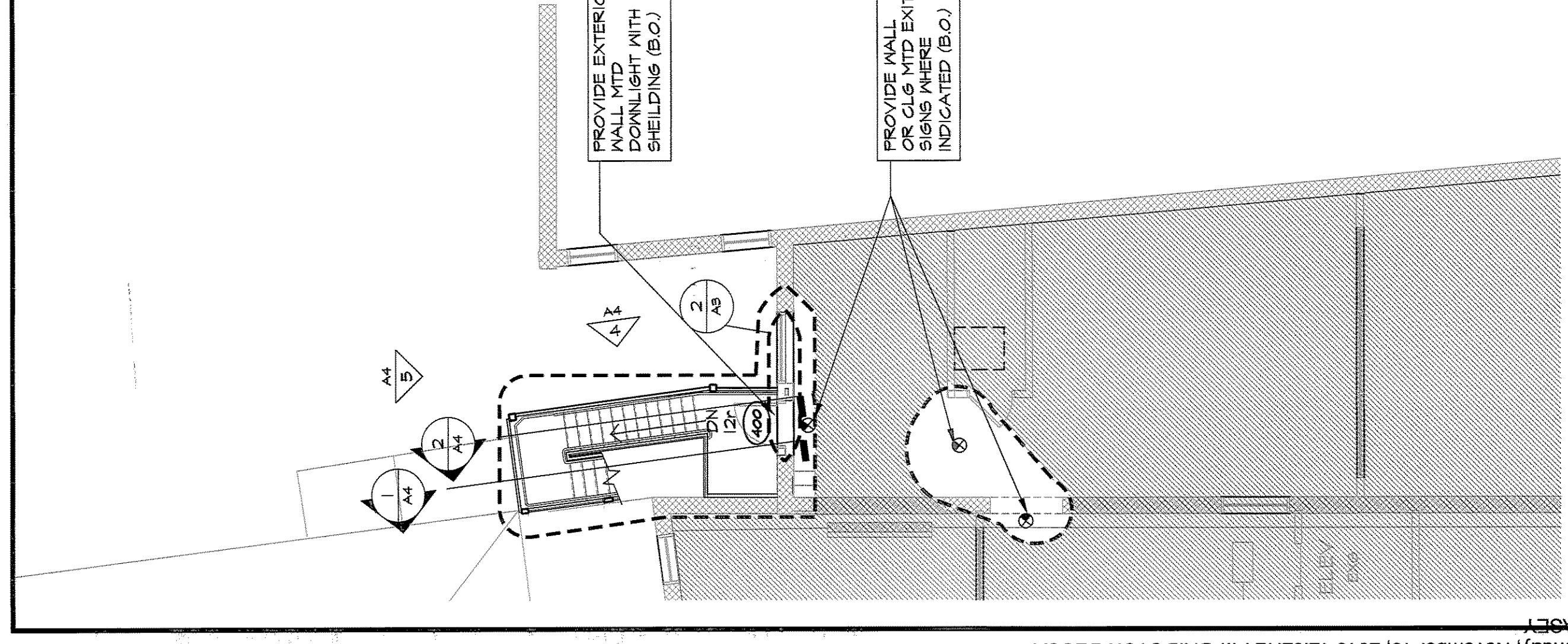
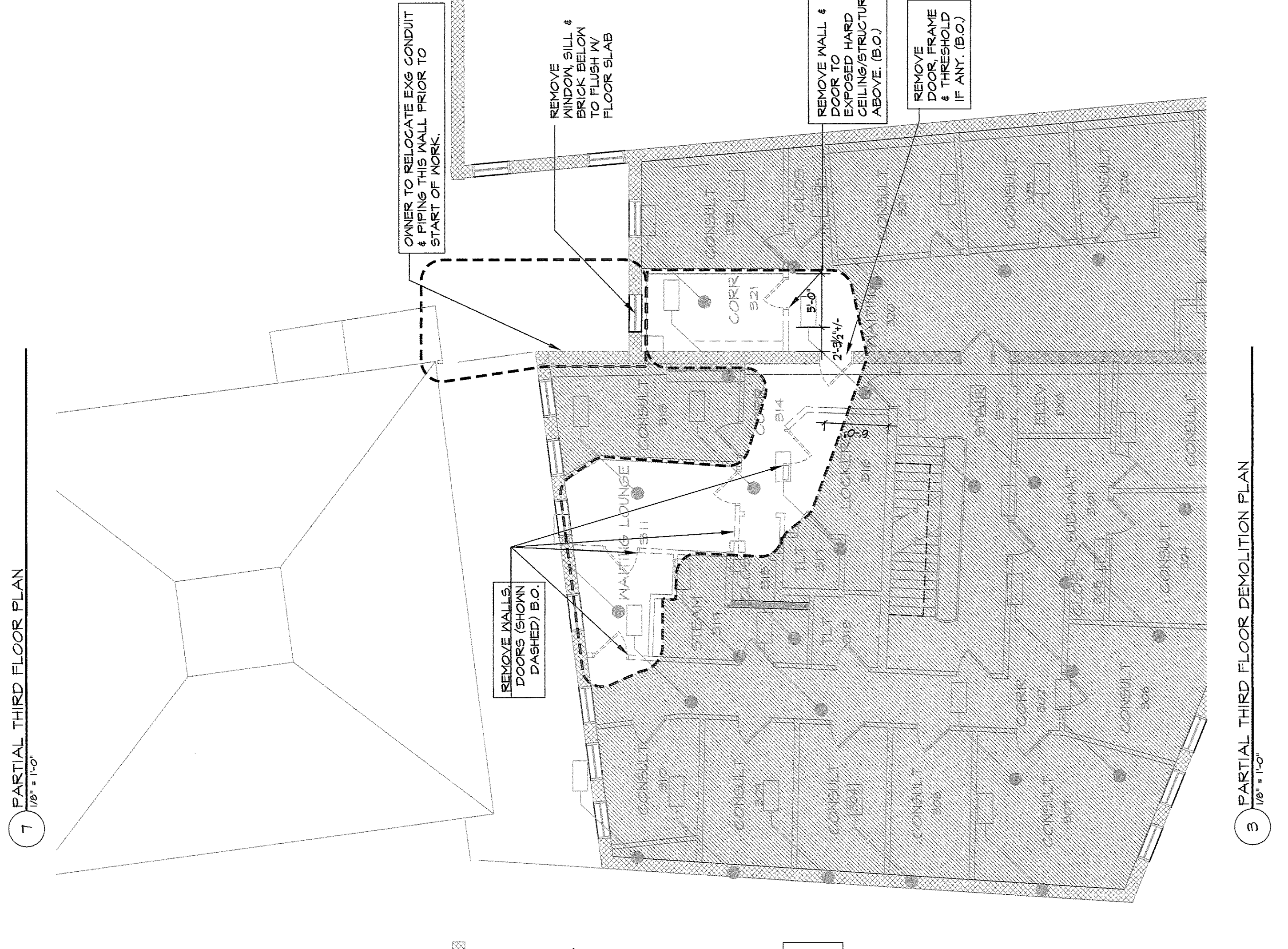
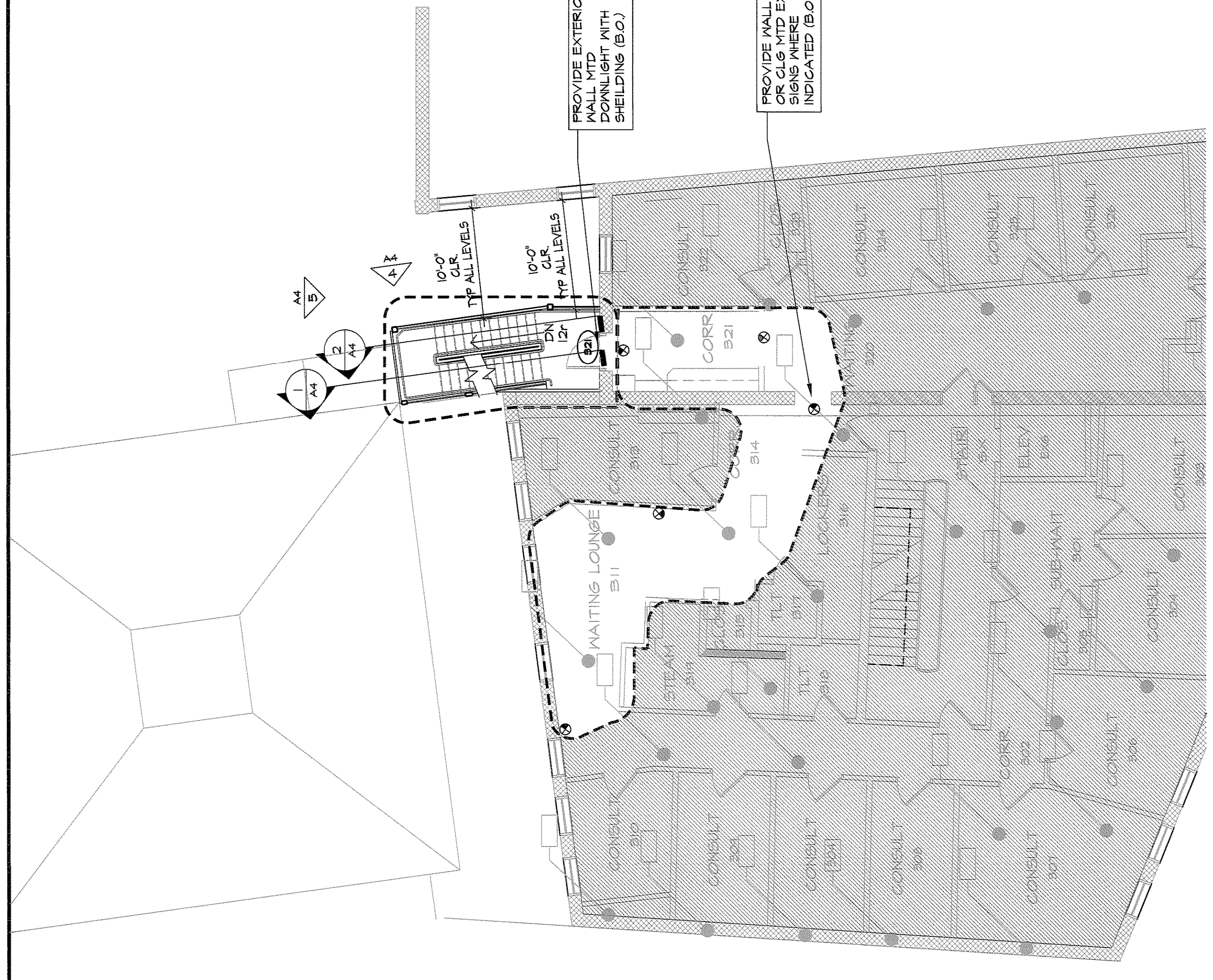
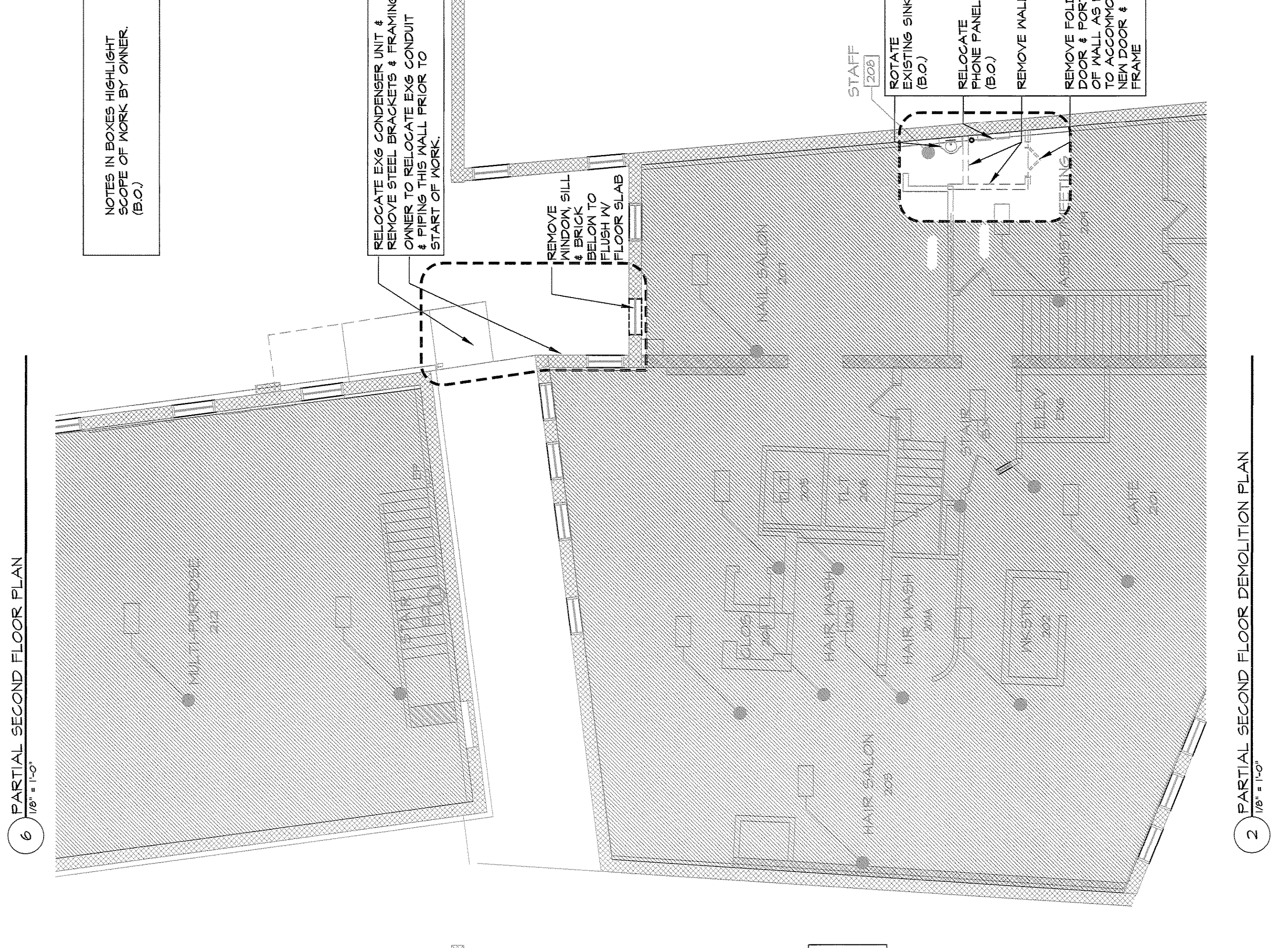
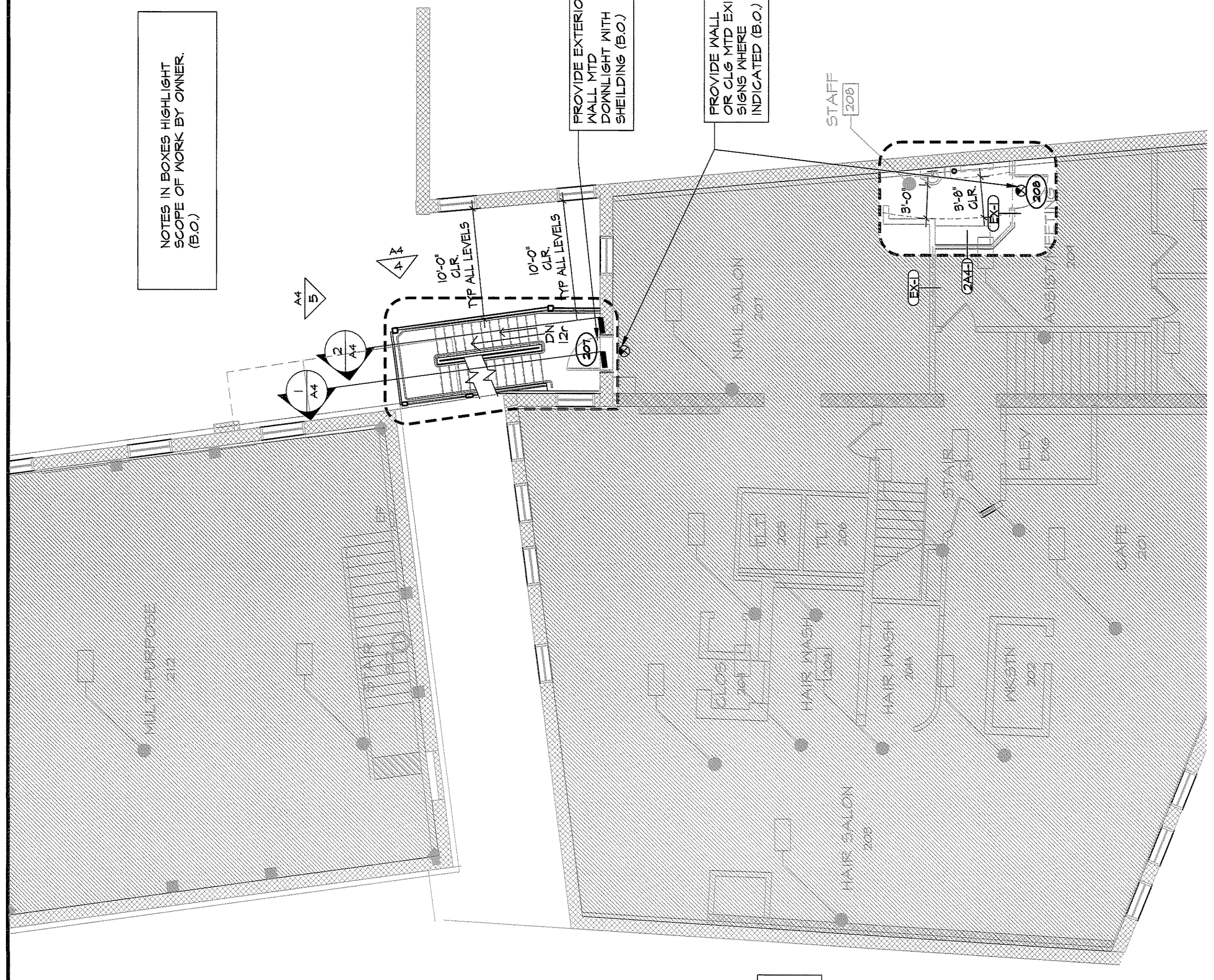
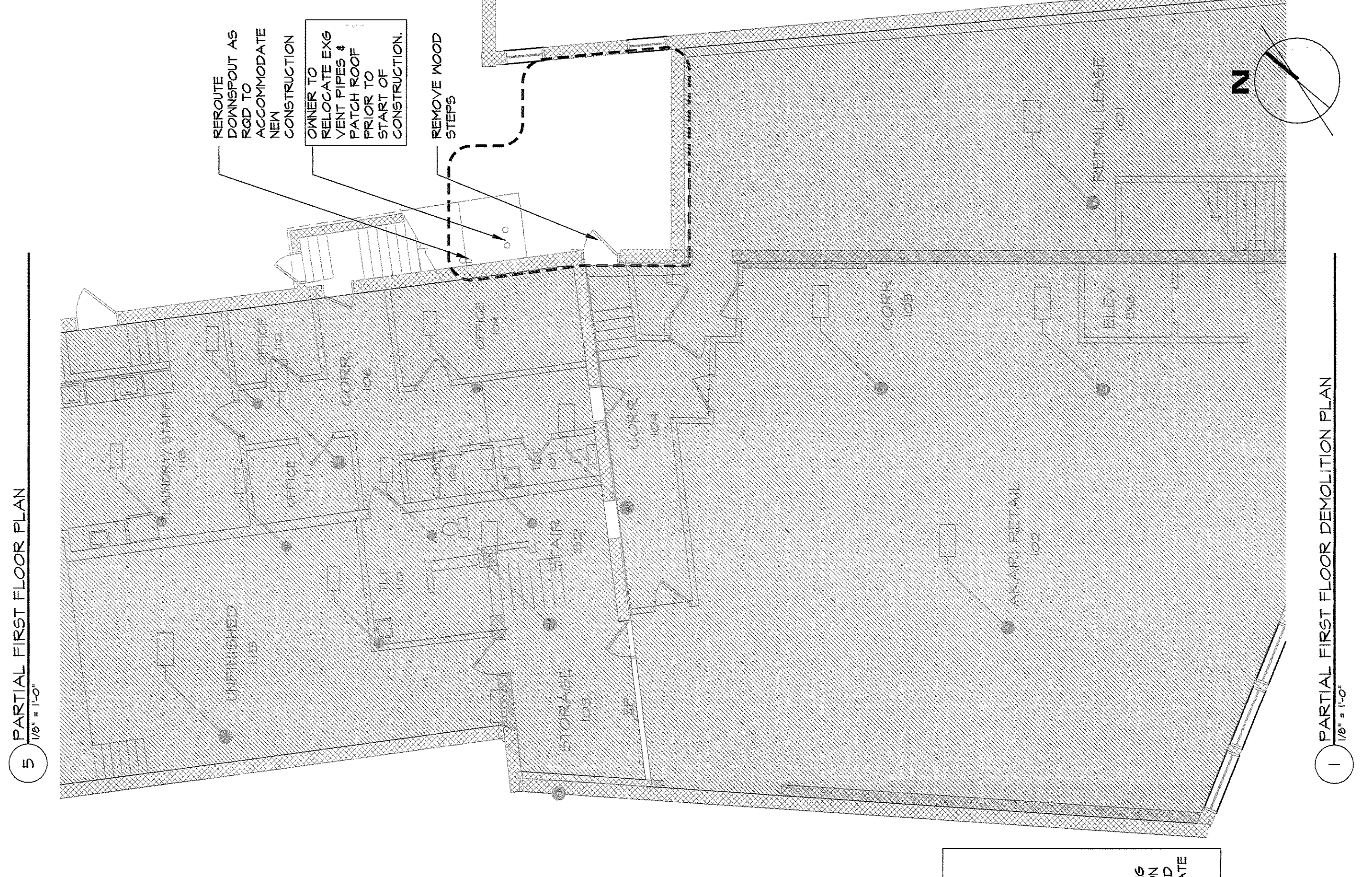
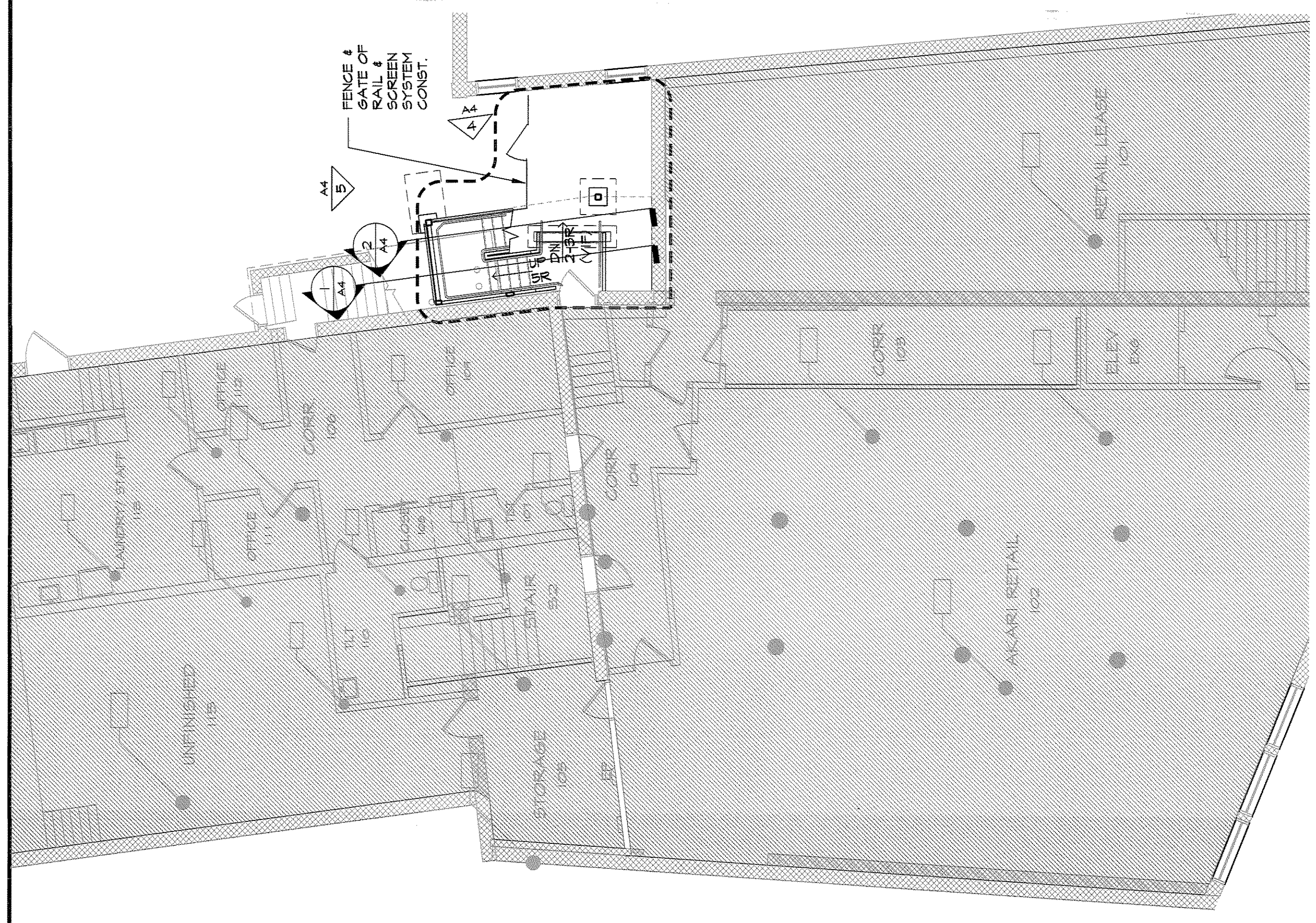
Existing Building
Construction Type: II, Unprotected
Fully Sprinklered & Supervised (including upgrade to Fire Alarm system per City request)
First floor is Mercantile, all others are Business Use.

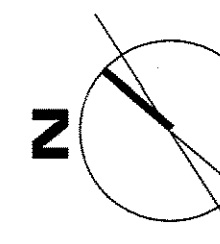
1. Per preliminary meeting with State Fire Marshal's office, the following renovations are proposed in conjunction with the addition of an exterior egress stair:
a) Provide a "horizontal exit" from the office suite of rooms 209-211 through the Nail Salon to new 2nd means of egress. This will require a 1-hr rated partition and 45 min. door between these spaces per NFPA 2006 7.2.4.1.2. Door to swing into the Assist/Meeting room to avoid possibility of objects blocking it from Staff 208. Per 7.3.4.1.2, the minimum width in existing buildings shall be not less than 28". Drawings call for 36" per 7.3.4.1 (2)
b) At the third floor, to allow clear passage to exits, some interior renovations will have to be done to provide a continuous corridor so that both exits may be reached from both sides of the building. (This will cut through room 311 & 312) and the door between 320 and 314 should be removed, as well as the partition separating room 321 (it will become part of Waiting 320).
c) At the fourth floor, the door & wall to the conference room will have to be removed - either to open that space up entirely, or create a corridor through to the new exit.
d) We looked at remoteness at each floor and determined that they were generally acceptable (within 1/3 the diagonal; longest overall diagonal is 100/3 = 33.3'). Given the existing central stair location - there is not a more remote option available for the new stair, so the shortest distance, which is 32' between exits at the 3rd floor, would be acceptable.

2. Proposed exit stair width:
NFPA 2006 7.2.2.2.1.2. Minimum New Stair Width [and NFPA 2009 - as adopted by City of Portland] (A) Where the total occupant load of all stories served by the stair is fewer than 50, the minimum width shall be 36in."
(D) For downward egress travel, stair width shall be based on the total number of occupants from stories above the level where the width is measured."
Building floor area = 4400sf/floor
/100 occupants/sf @ Business = 44 occupants/floor
/2 stairs = 22 occupants per stair/floor
Inquiry was as to whether the stair could remain 36" for all stories, as there is a not enough space to fit the 44" stair and keep a 10' setback from the adjacent building openings.
During meeting at SPM office, Ron & Rich agreed this was acceptable - though Ron cautioned that this will limit the future use of the building to Business, as that will not support a higher occupant load should the owner wish to change use in the future.
3. Opening Protectives:
NFPA 2006 [and NFPA 2009 - as adopted by City of Portland] 7.2.2.6.3.1. Exception (5): "Outside stairs in existing buildings protected throughout by an approved, supervised automatic sprinkler system in accordance with Section 97, shall be permitted to be unprotected."
4. Visual Protection:
NFPA 2006 [and NFPA 2009] 7.2.2.6.2 "At least more than 36" feet above" ground require a 48" min. height "opaque visual obstruction". The top floor in this project is 38'6" above ground level. The Fire Marshal's office and City Fire Prevention Officer indicate acceptance of this screened balustrade alternative. Screening specified to line the balustrades is 62% open.

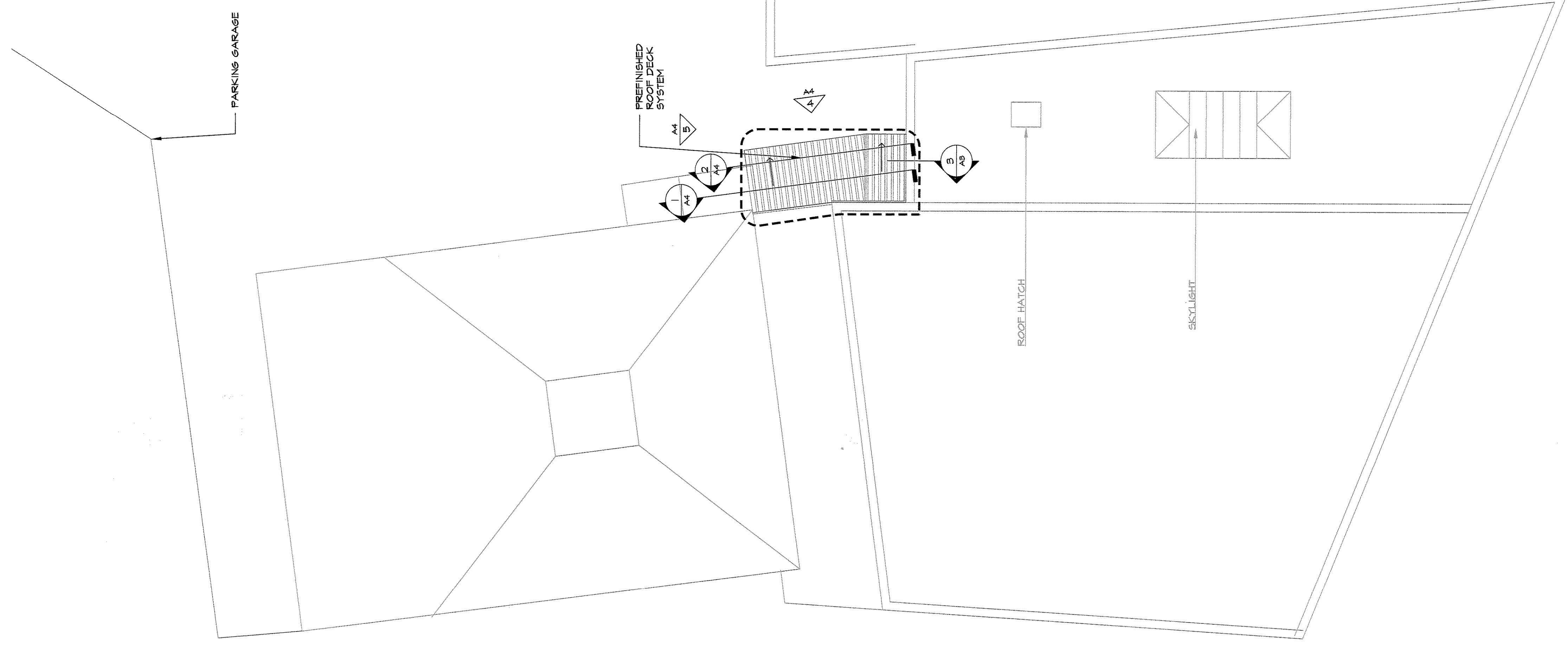


WALL SYSTEMS
NOTES

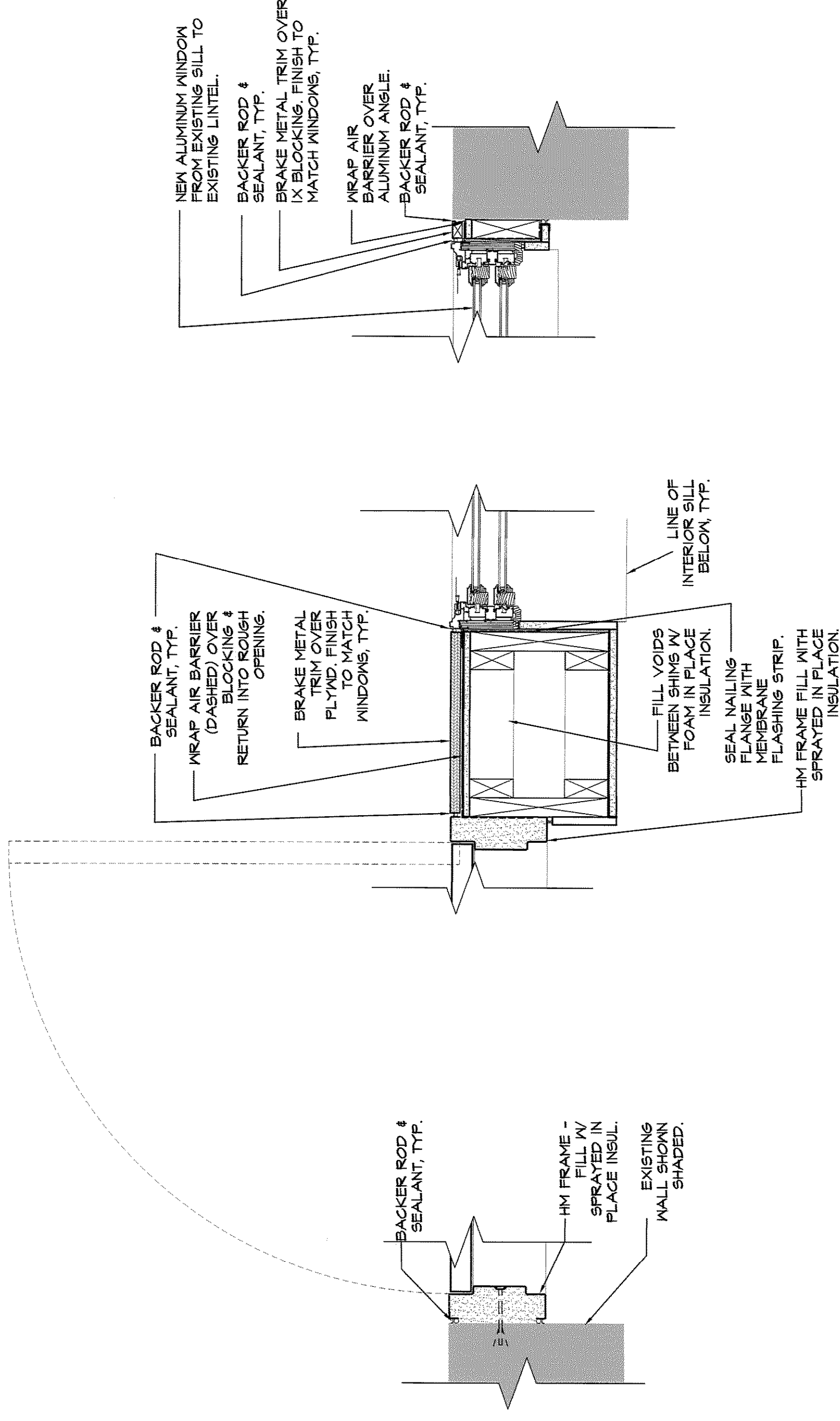




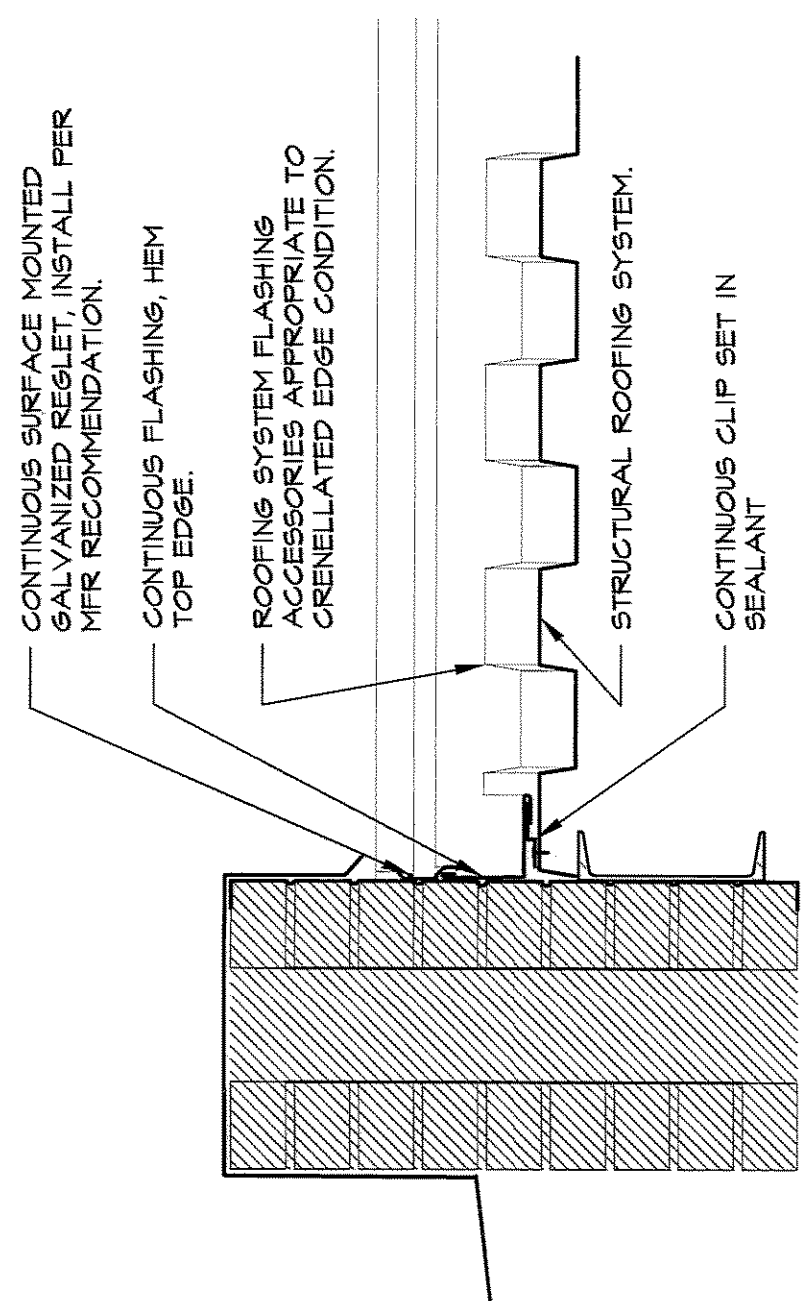
1 SECTION
1/8" = 1'-0"



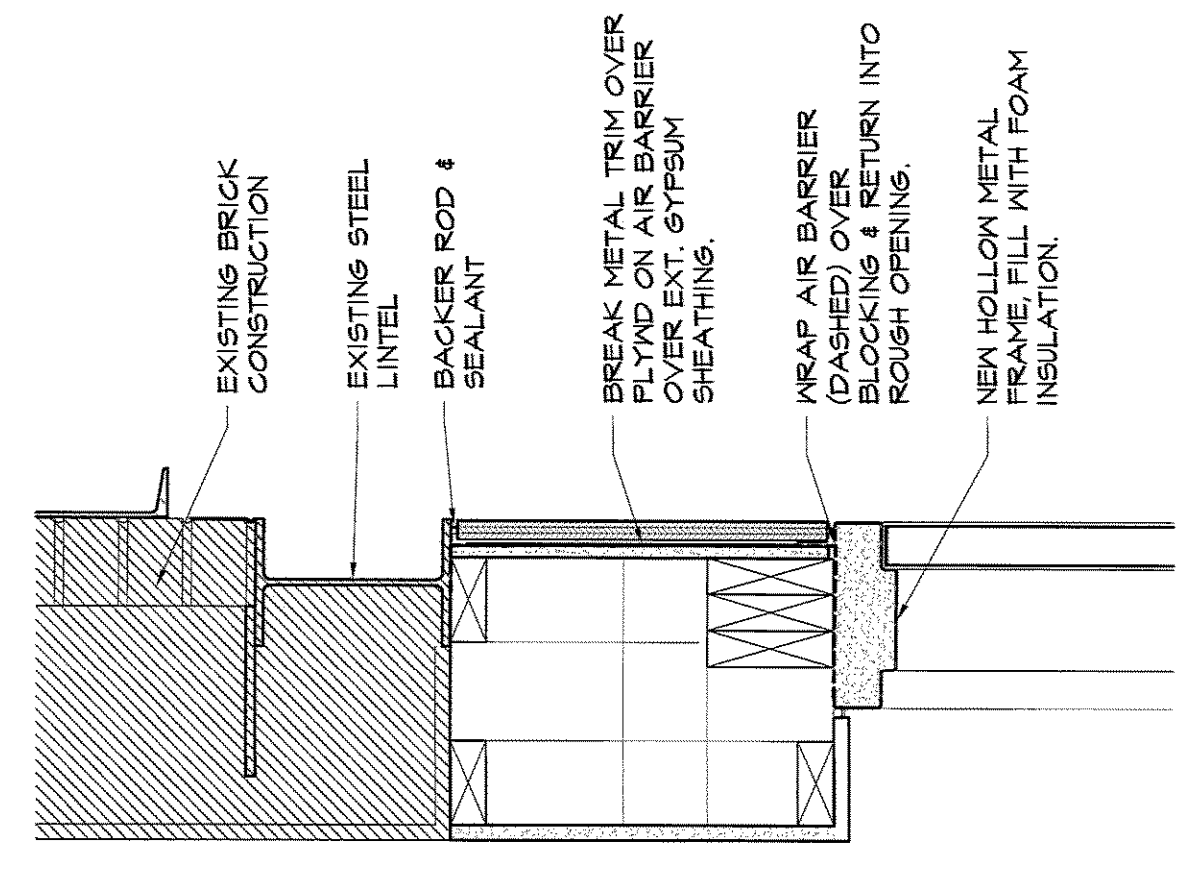
2 PLAN DETAIL AT 4TH FLOOR DOOR & WINDOW
1/8" = 1'-0"



3 DETAIL @ ROOF
1/8" = 1'-0"

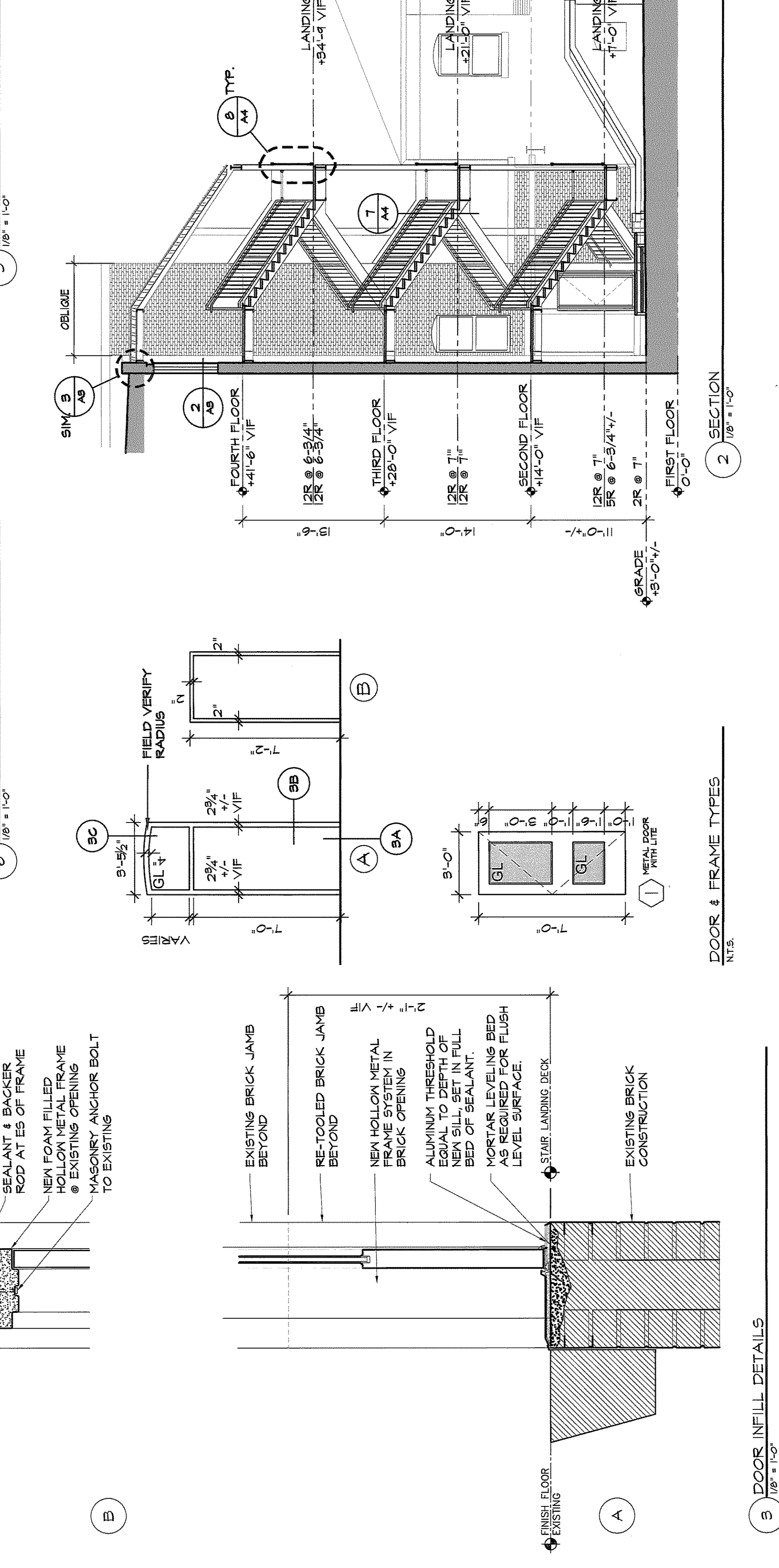
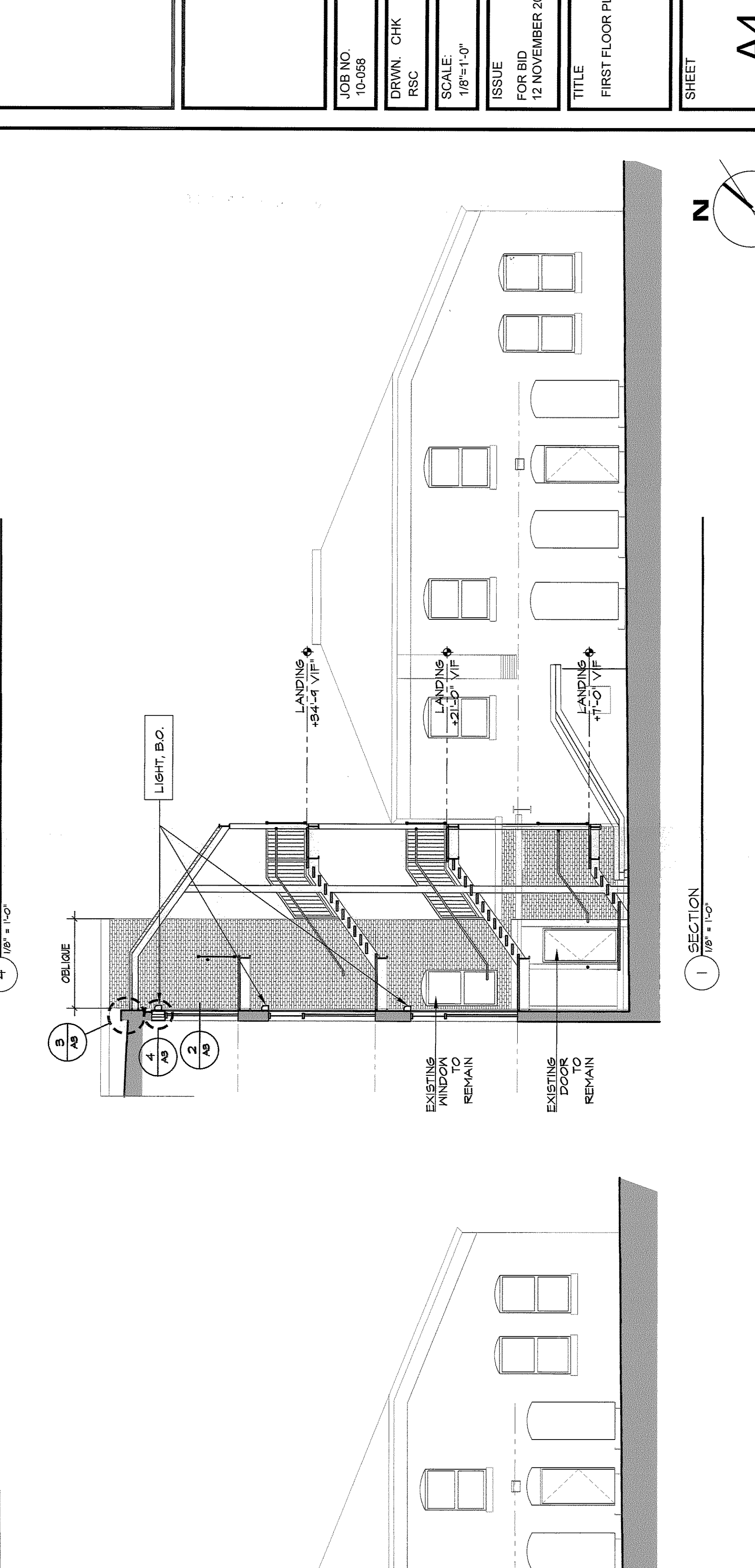
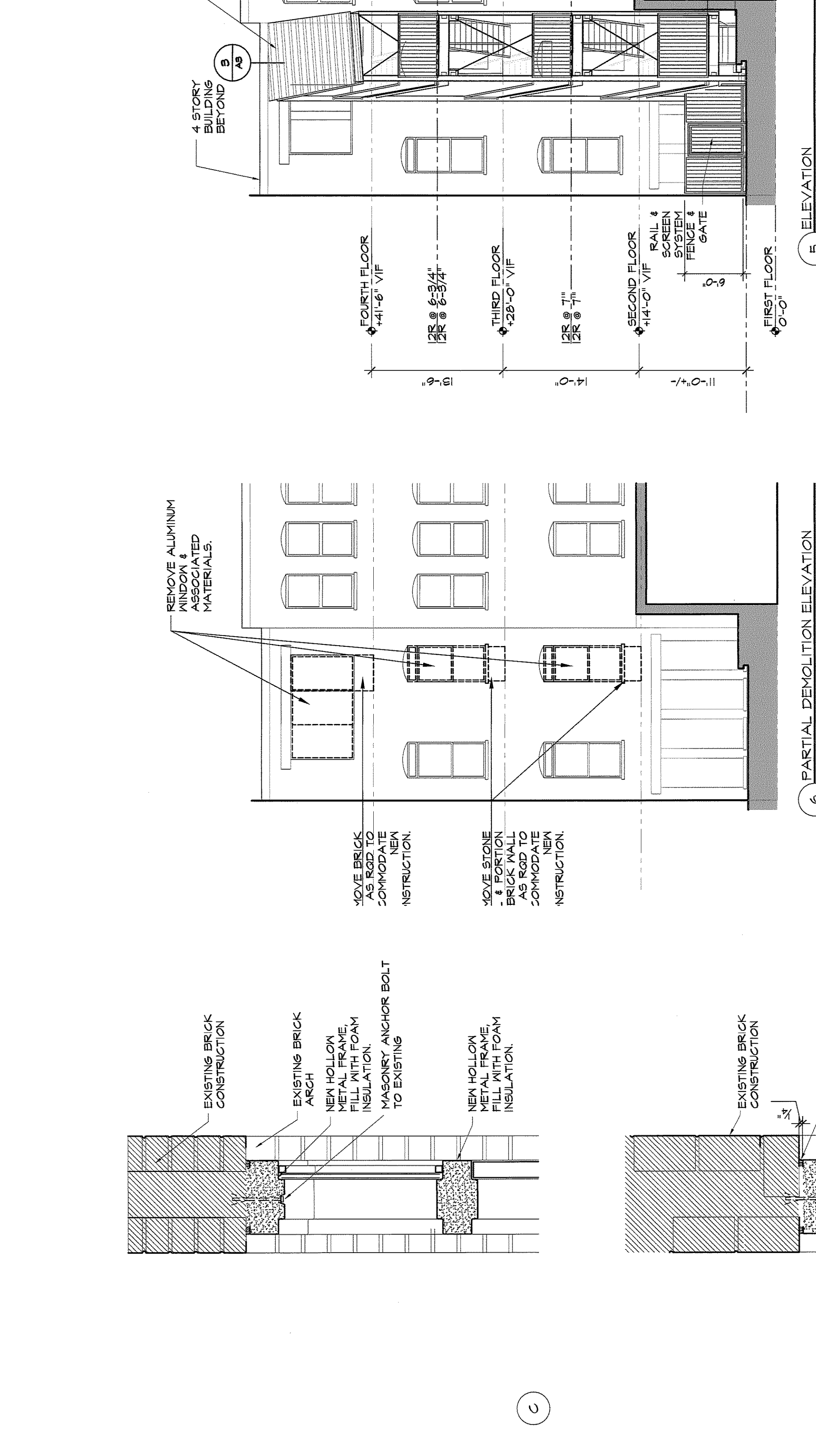
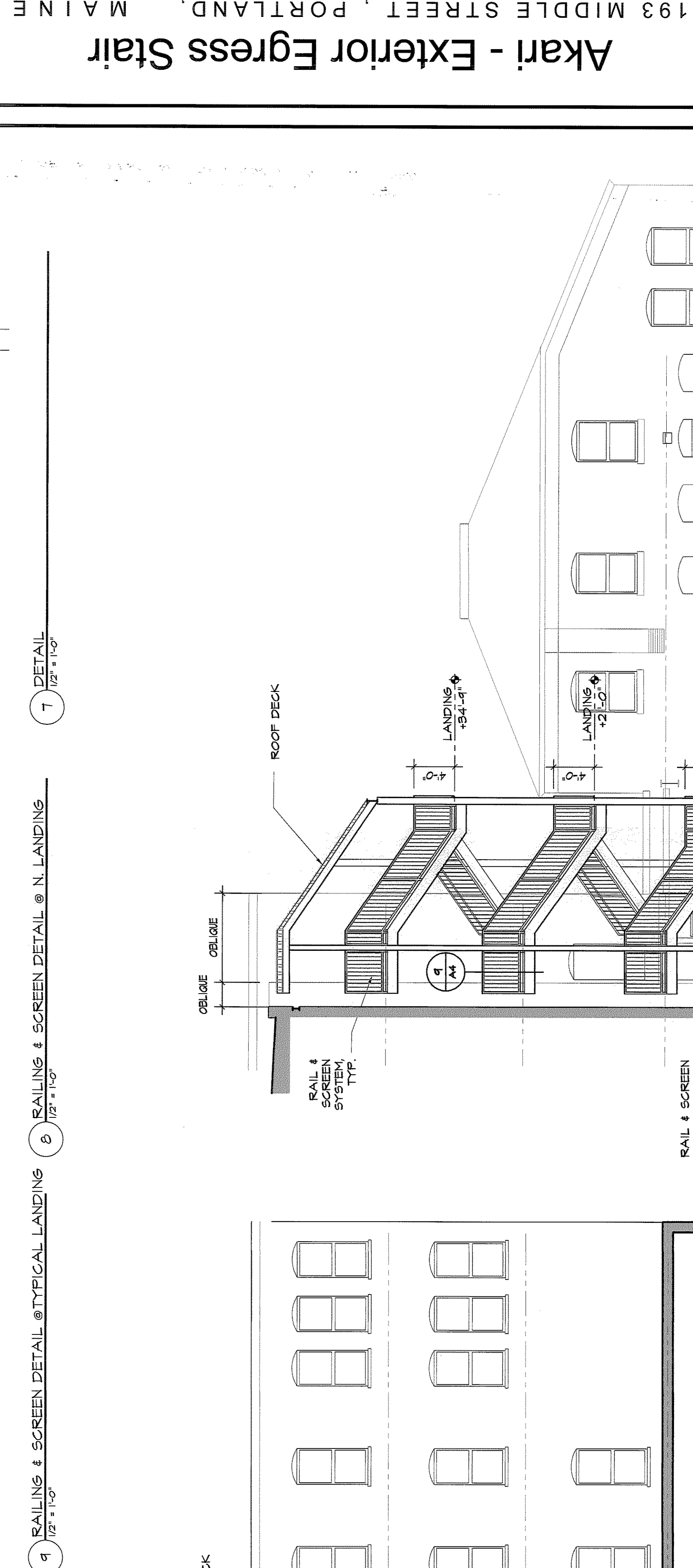
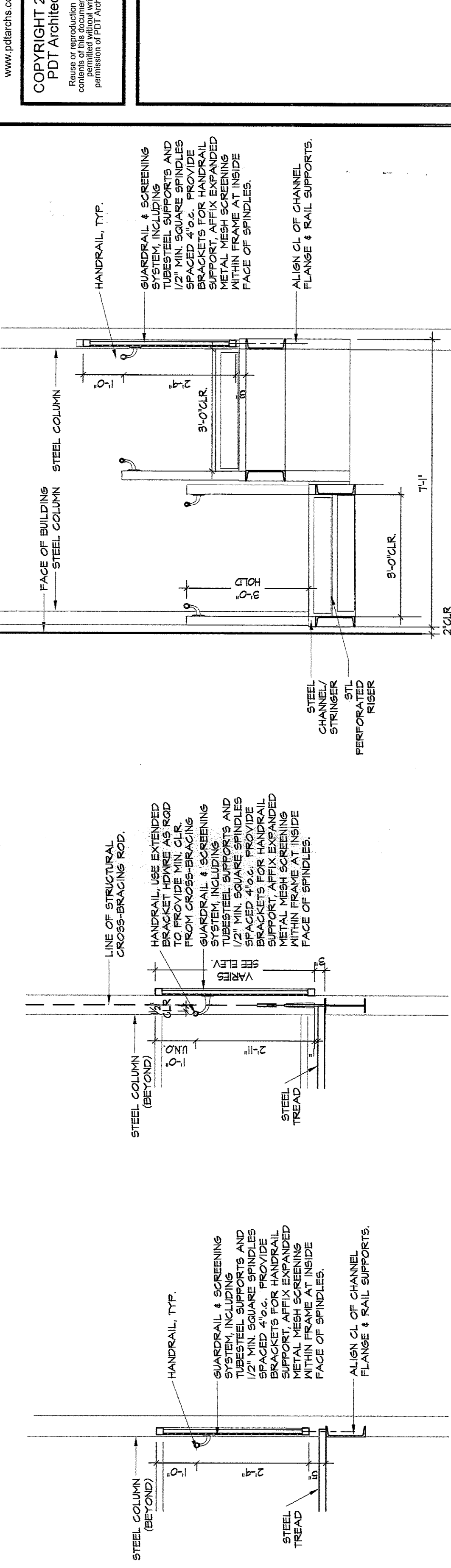


4 HEAD DETAIL @ 4TH FLOOR DOOR
1/8" = 1'-0"



DOOR SCHEDULE	DR #	LOCATION	MAT.	TYPE	FRAME TYPE	SIZE	HARDWARE	F.R.	NOTES
EXTERIOR / ALLEY	104A	EXTERIOR STAIR	PTD MTL	A	A	30" X 60" PR	PANIC BAR	-	GATE AND FENCE FRAMING & SCREENING TO BE SAME MATERIAL & FINISH AS STAIR RAILINGS.
EXTERIOR STAIR	207	EXTERIOR STAIR	PTD MTL	A	A	30" X 70"	LEVEL 1	-	-
STAFF (HORIZ. EXIT)	208	EXTERIOR STAIR	PTD MTL	(EXG)	HM	30" X 70"	LEVEL 1	45 MIN.	REUSE EXG DOOR REMOVED FROM 3RD FLOOR (THIS WORK BY OWNER)
EXTERIOR STAIR	321	EXTERIOR STAIR	PTD MTL	A	A	30" X 70"	LEVEL 1	-	-
EXTERIOR STAIR	400	EXTERIOR STAIR	PTD MTL	A	B	30" X 70"	LEVEL 1	-	-

1) HARDWARE TO INCLUDE SINGLE ACTION LEVER RELEASE KEYPED FROM EXTERIOR (LEVER 1) AND PANIC BAR KEYPED FROM EXTERIOR AT FENCE CONSTRUCTION; PROVIDE SLIDE LOCK WITH PADLOCK EYE AT INACTIVE LEAF.



PDT ARCHITECTS
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Akari - Exterior Egress Stair

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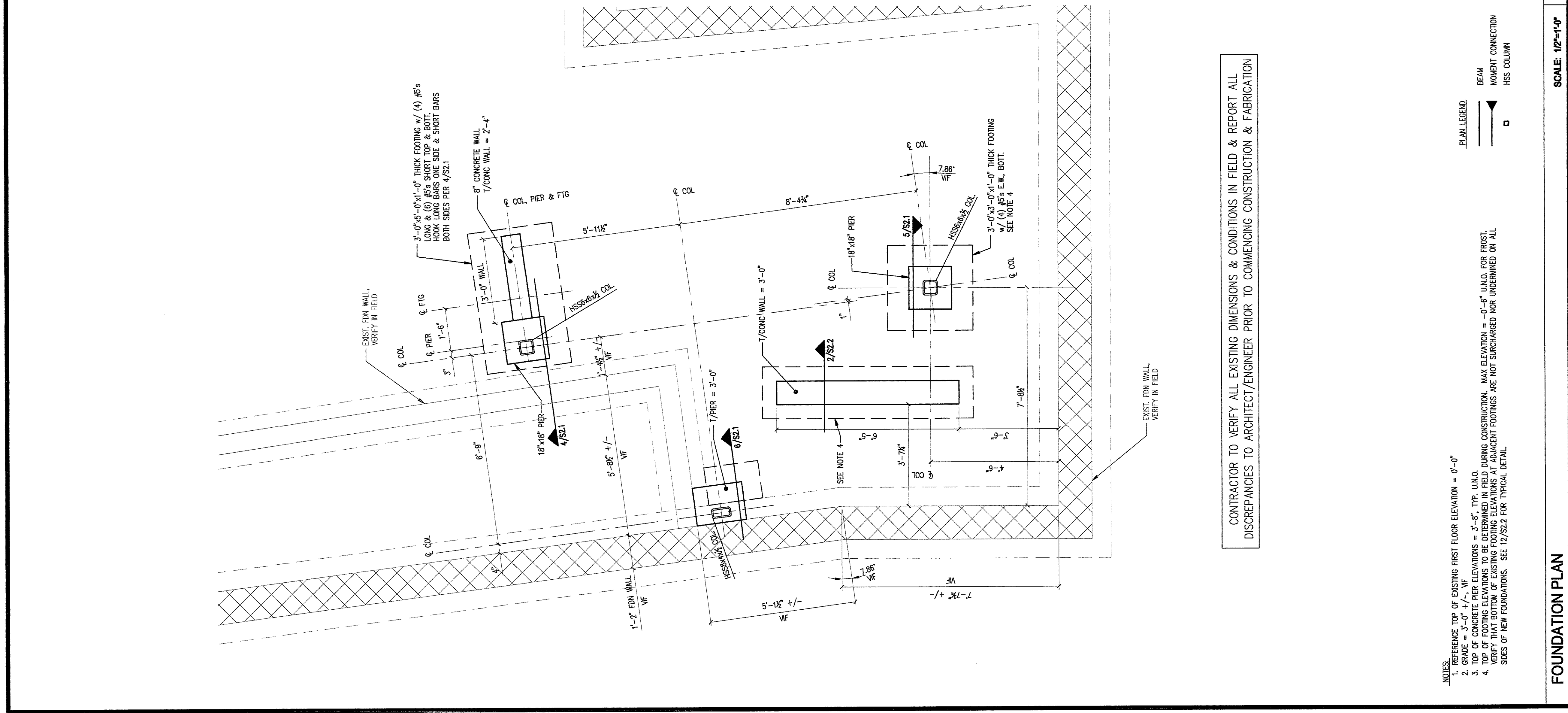
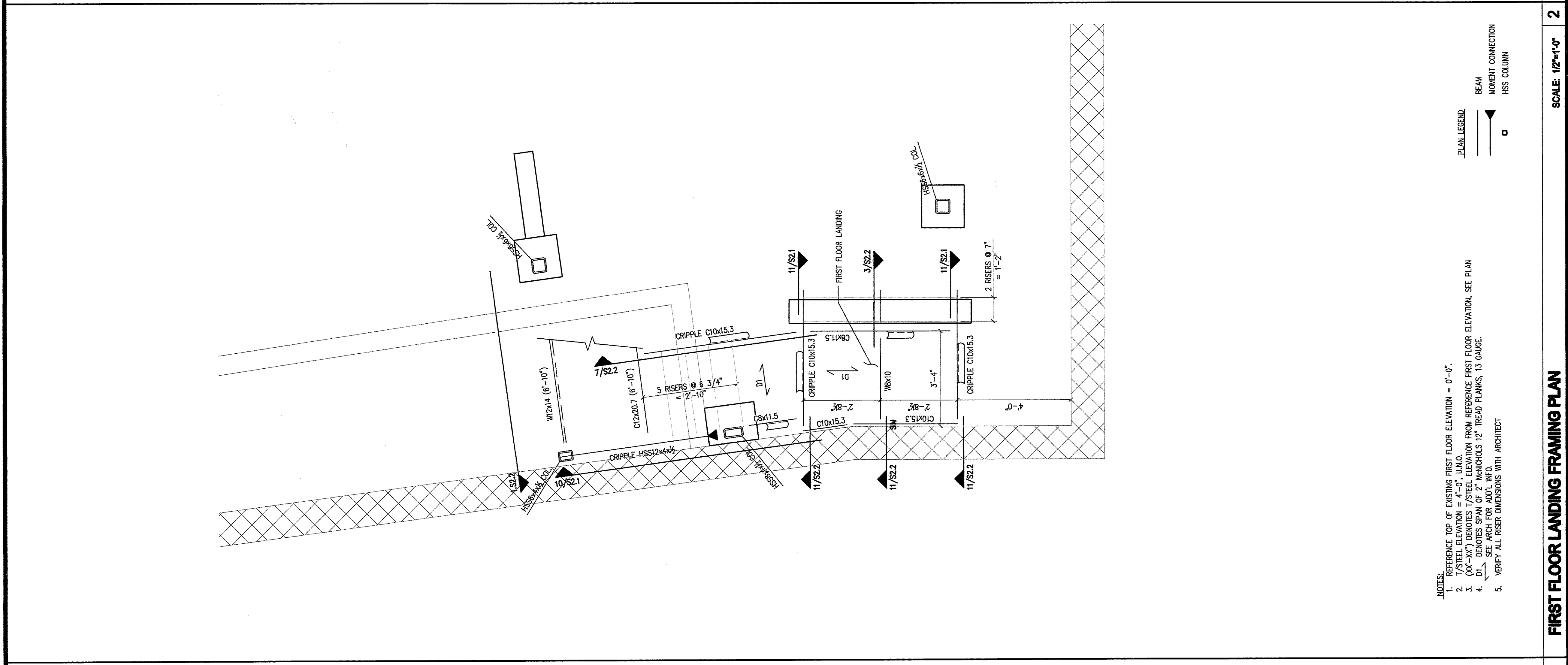
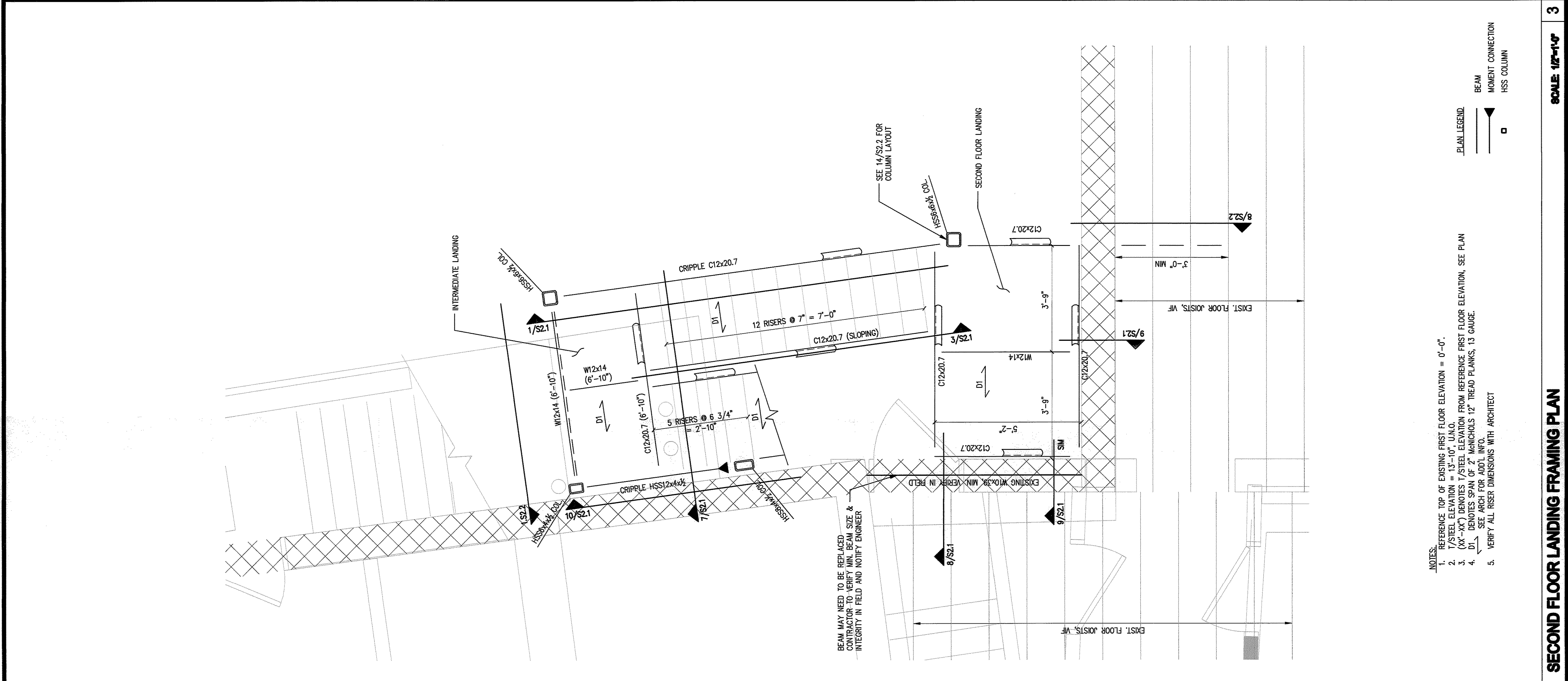
JOB NO. 10-058
DRWN. CHK.
RSC
SCALE 1/8" = 1'-0"
ISSUE
FOR BID
12 NOVEMBER 2010
TITLE
FIRST FLOOR PLAN
SHEET
A4

NO.	DATE	ISSUE FOR	ISSUE
1	11-12-10	ISSUE FOR	ISSUE

SHEET TITLE: **EXTERIOR STAIR FRAMING PLANS**

DESIGNED:	TD
DRAWN:	TD
DATE:	10-12-10
CADD FILE:	10-09-51.dwg
PROJECT NUMBER:	10-079

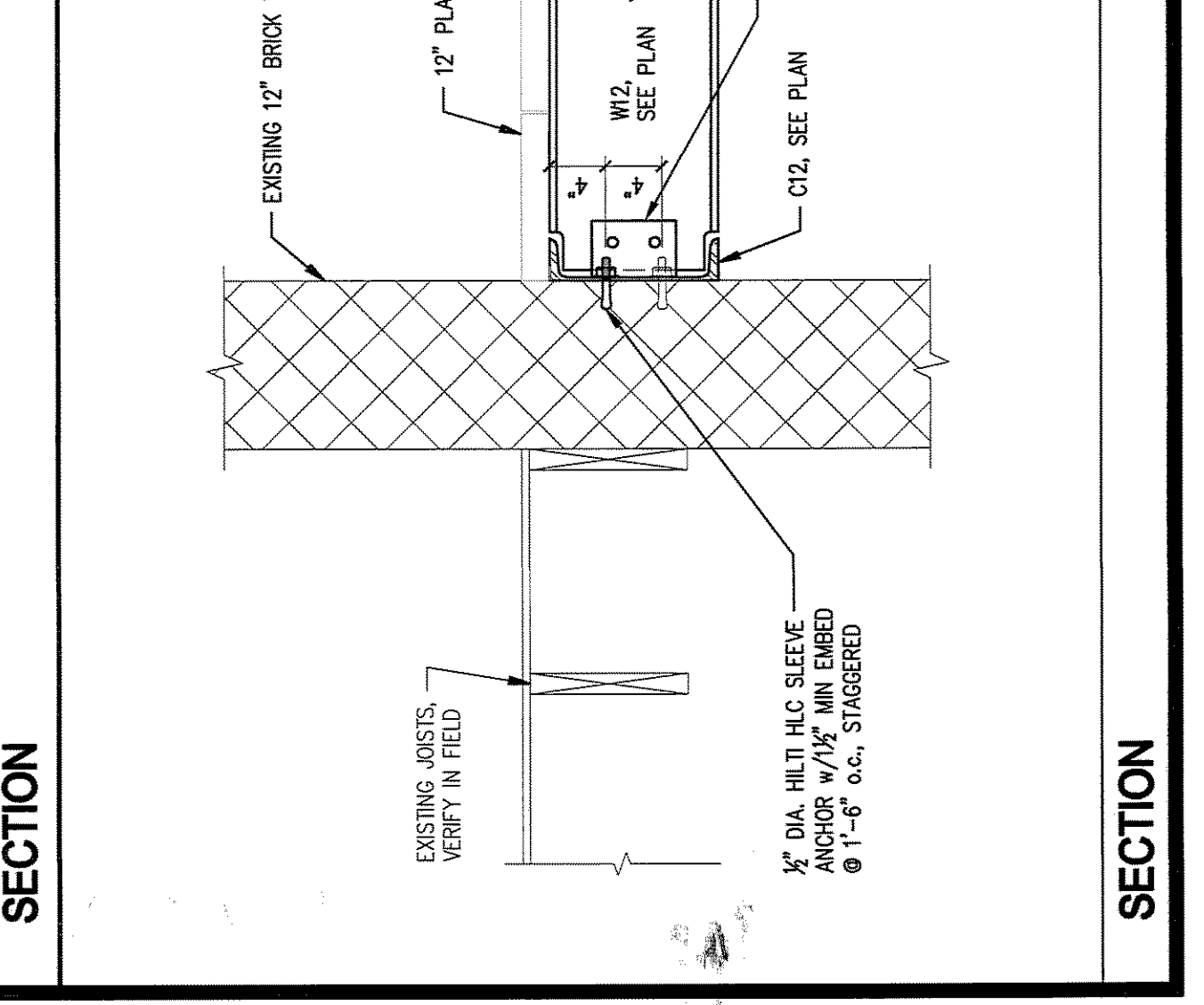
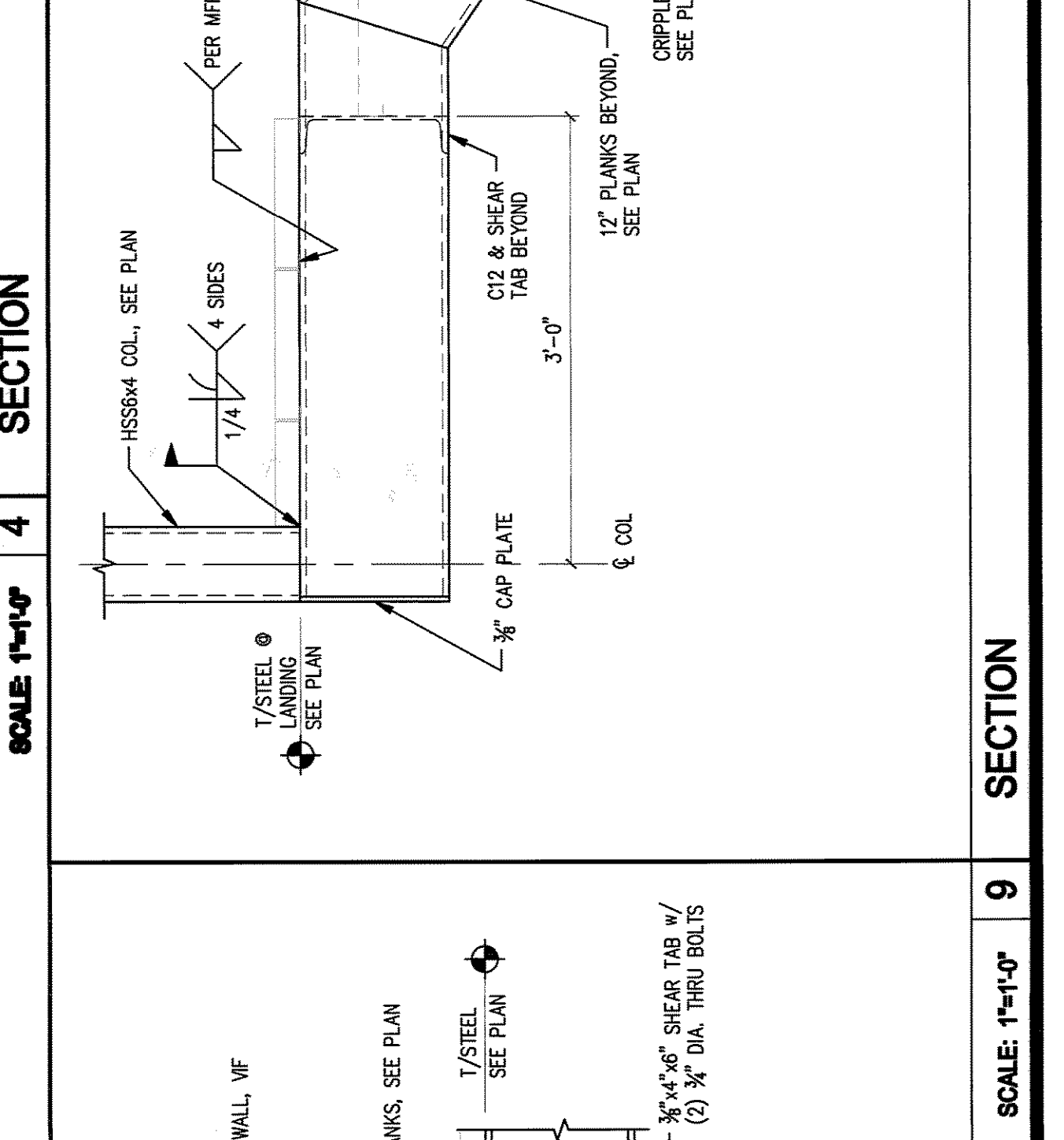
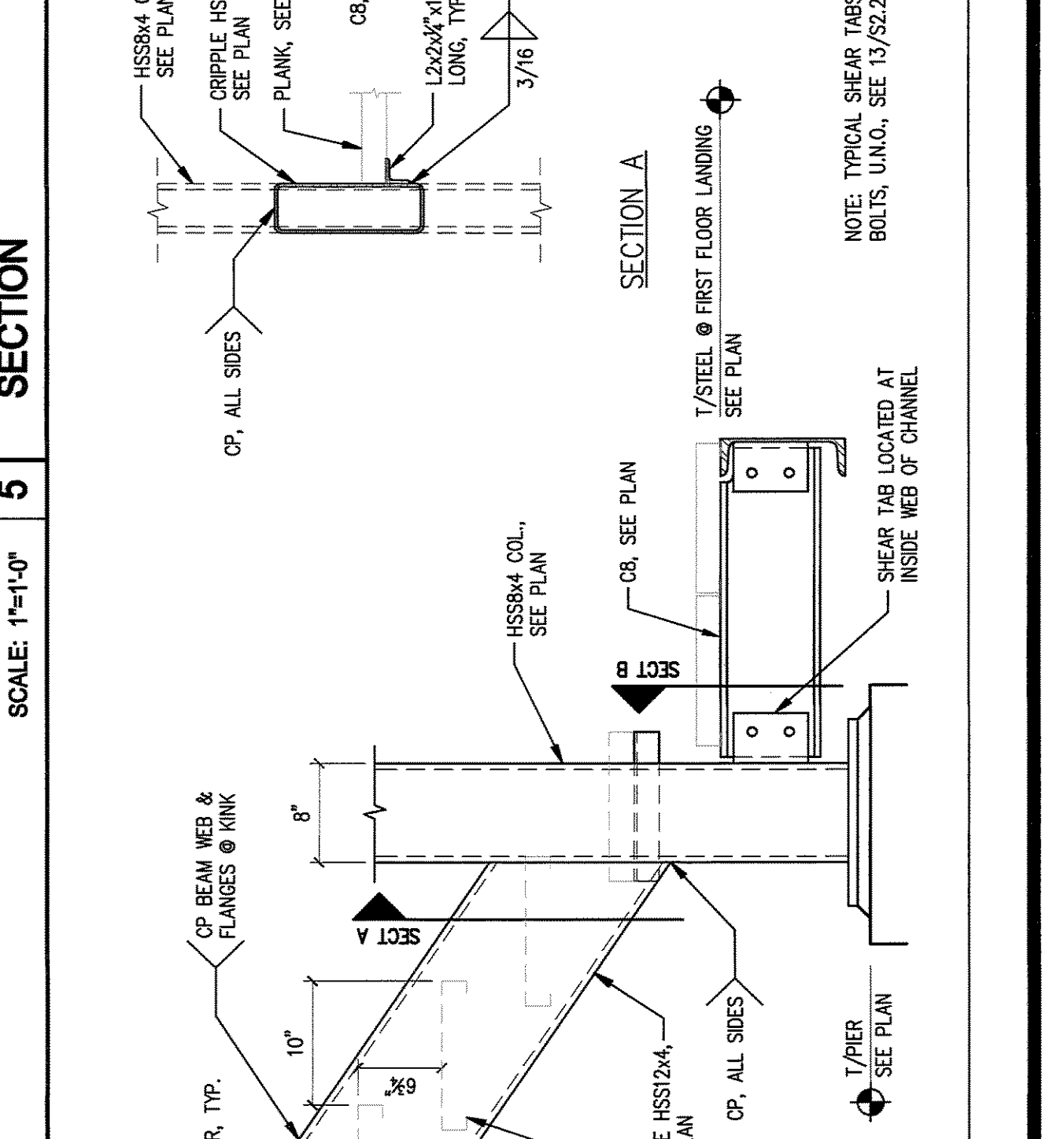
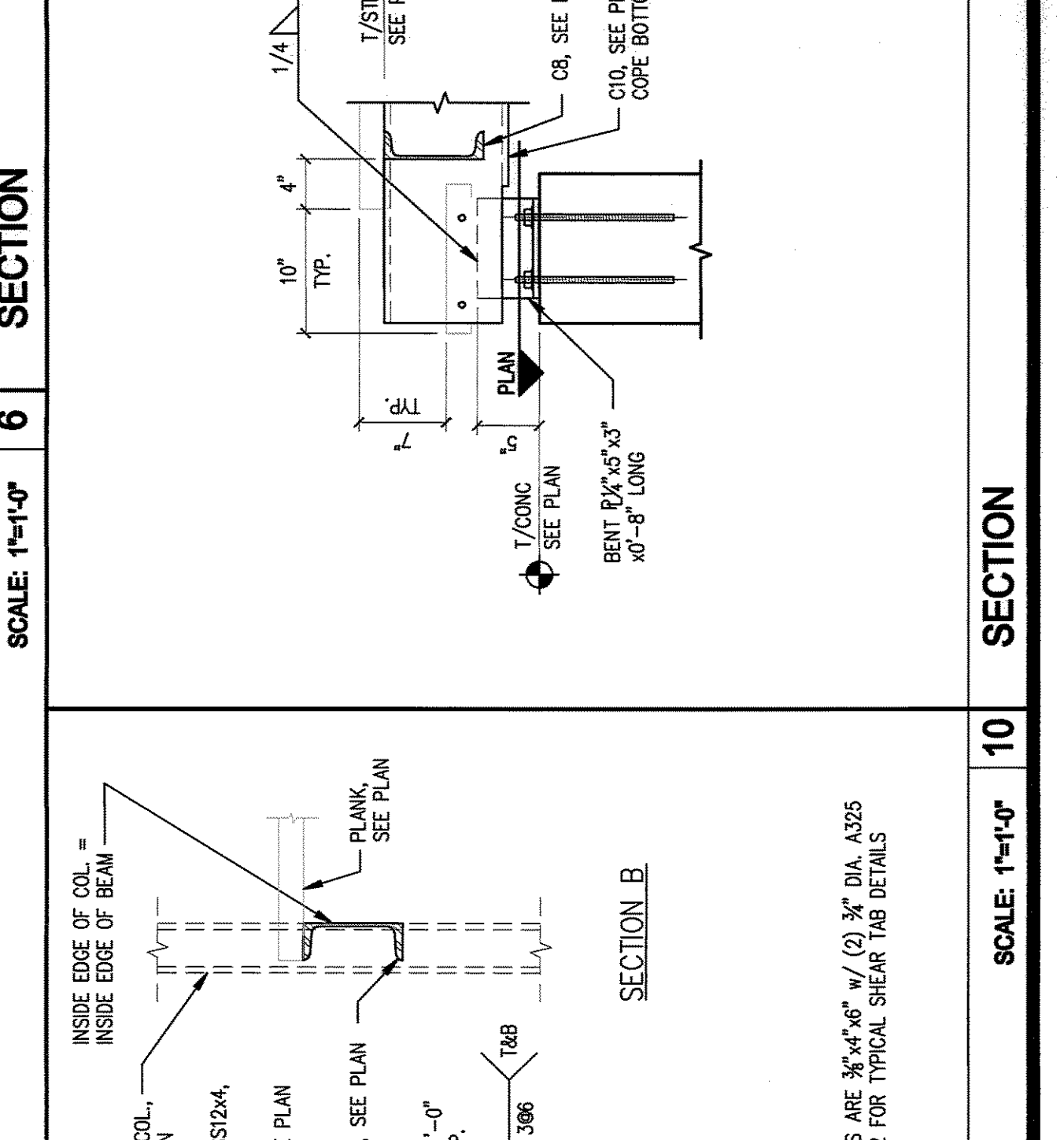
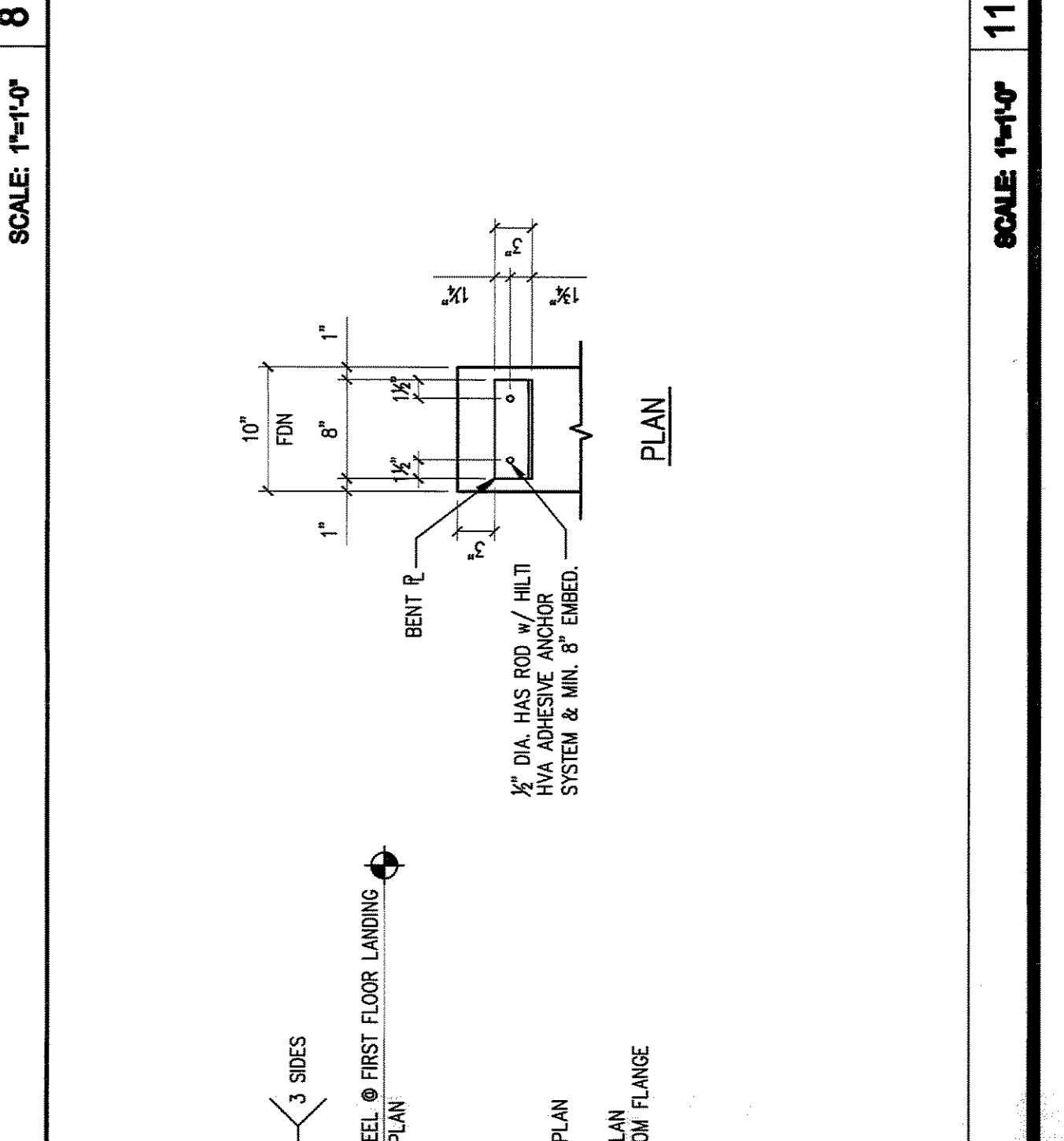
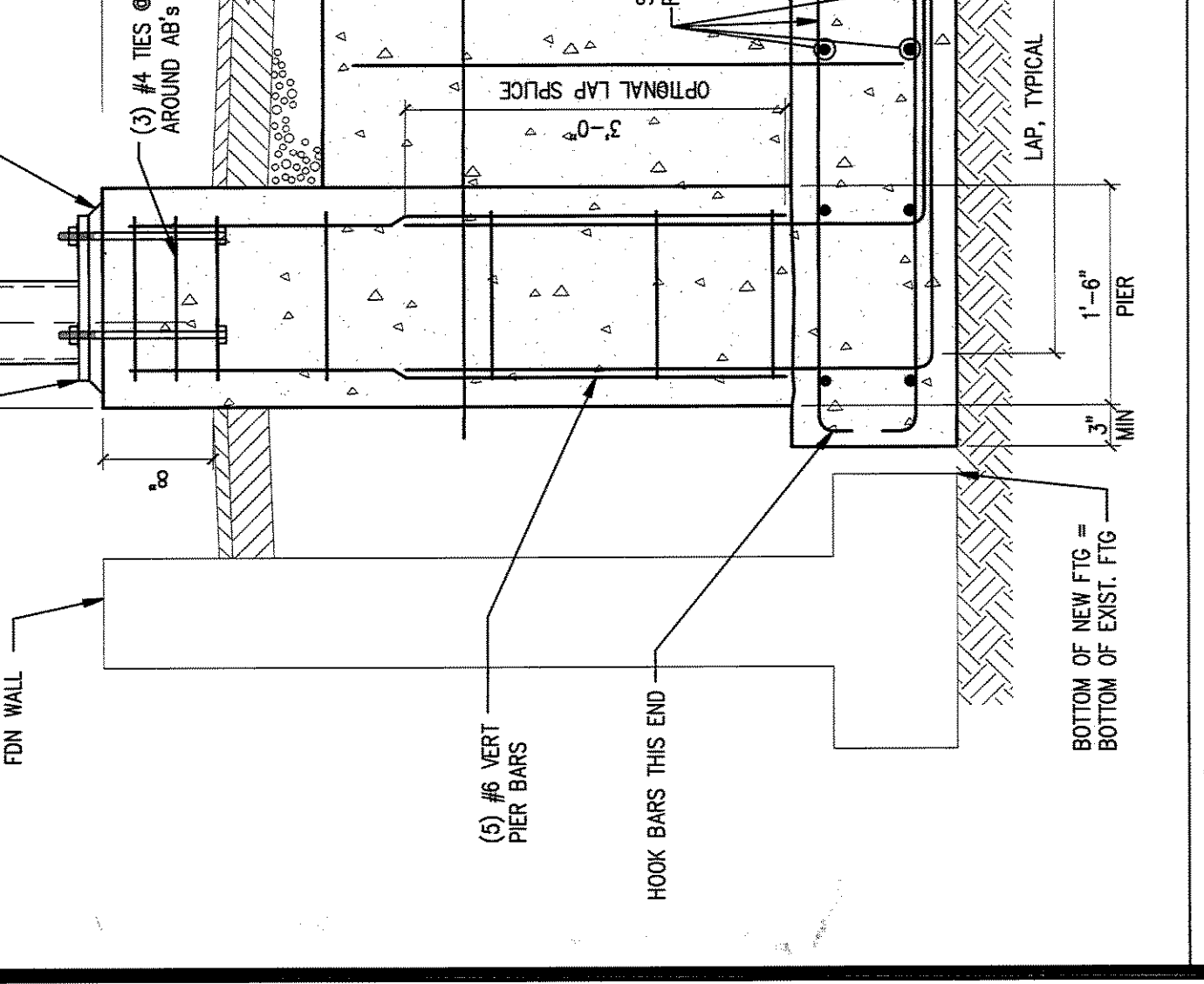
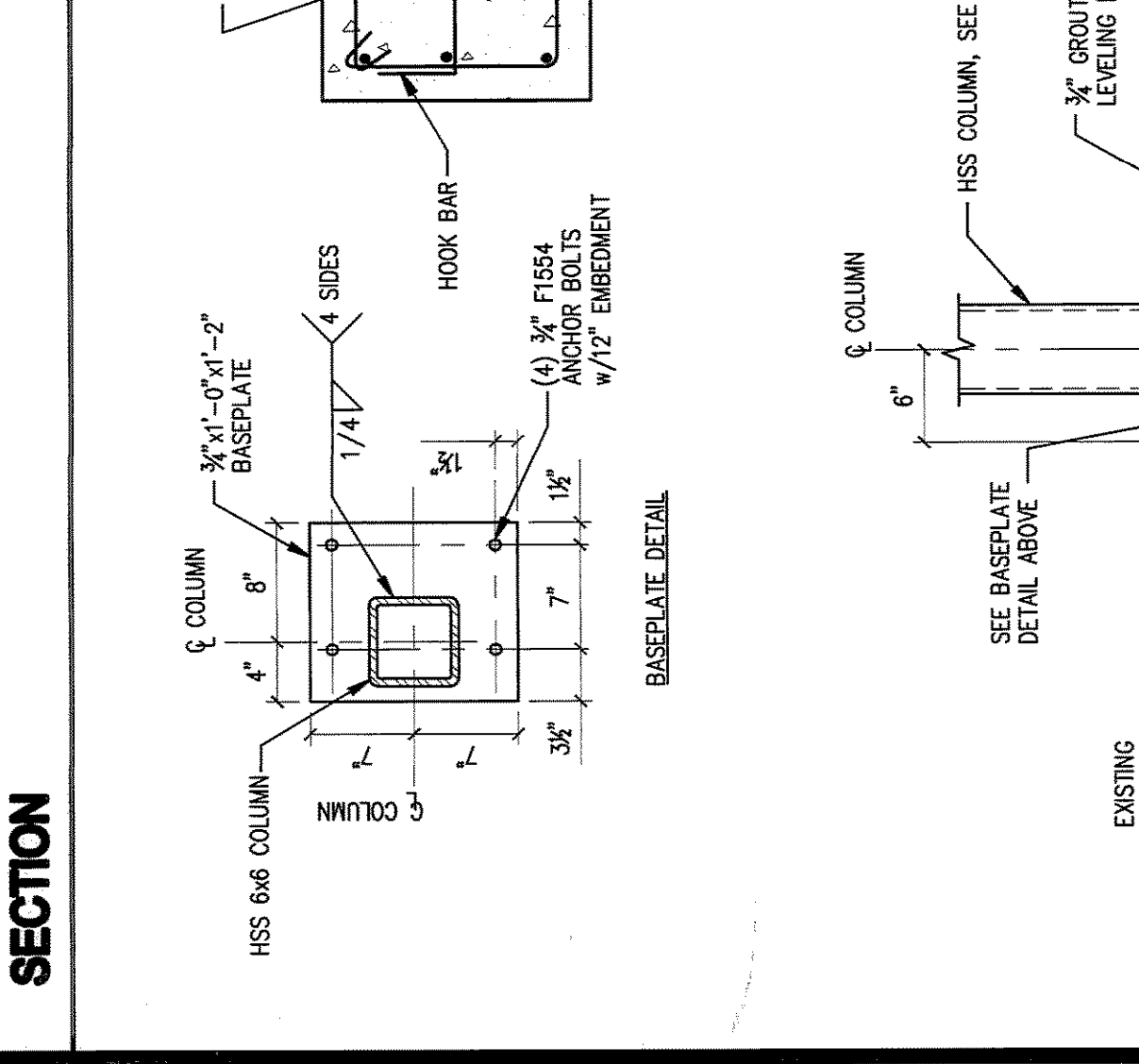
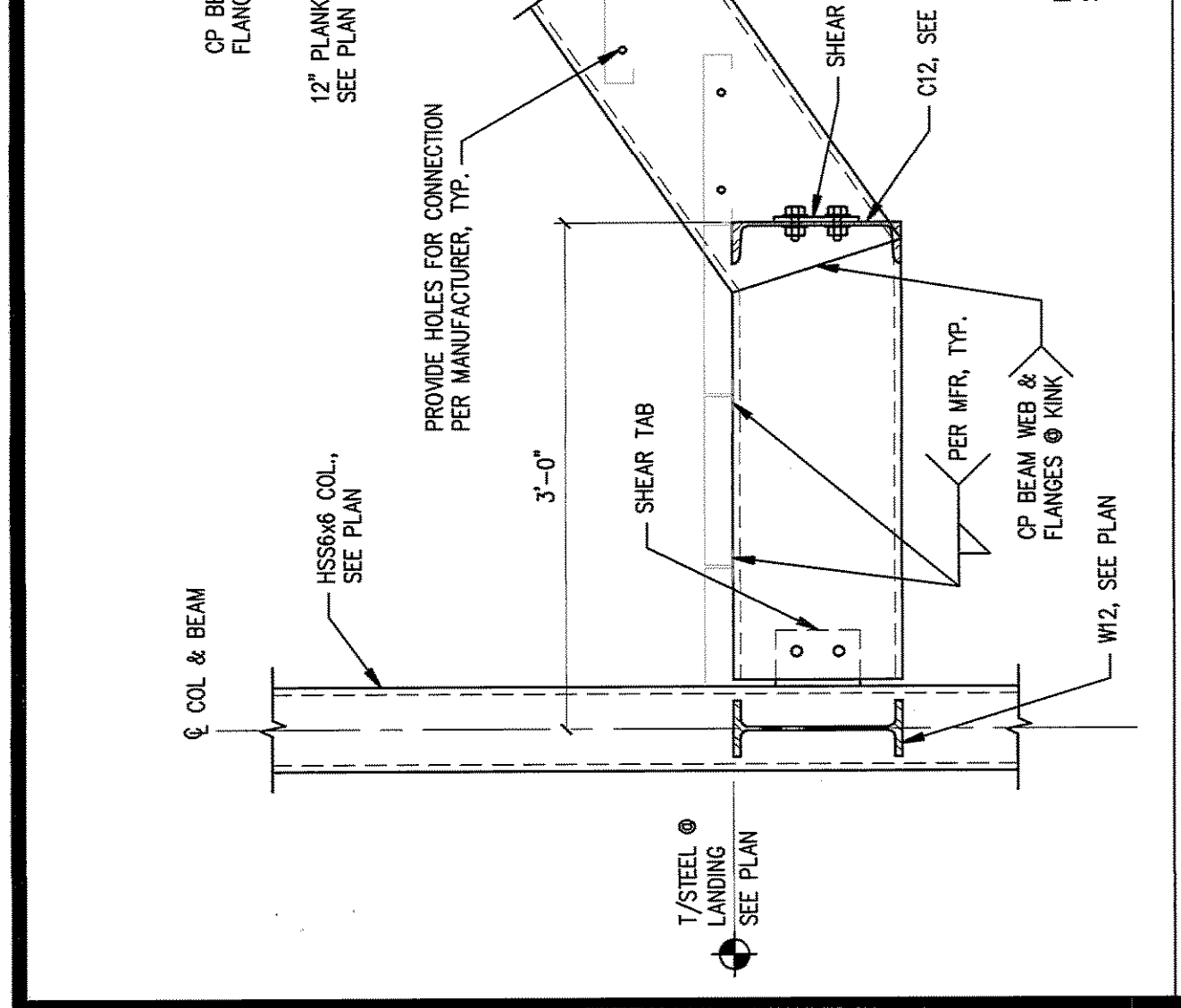
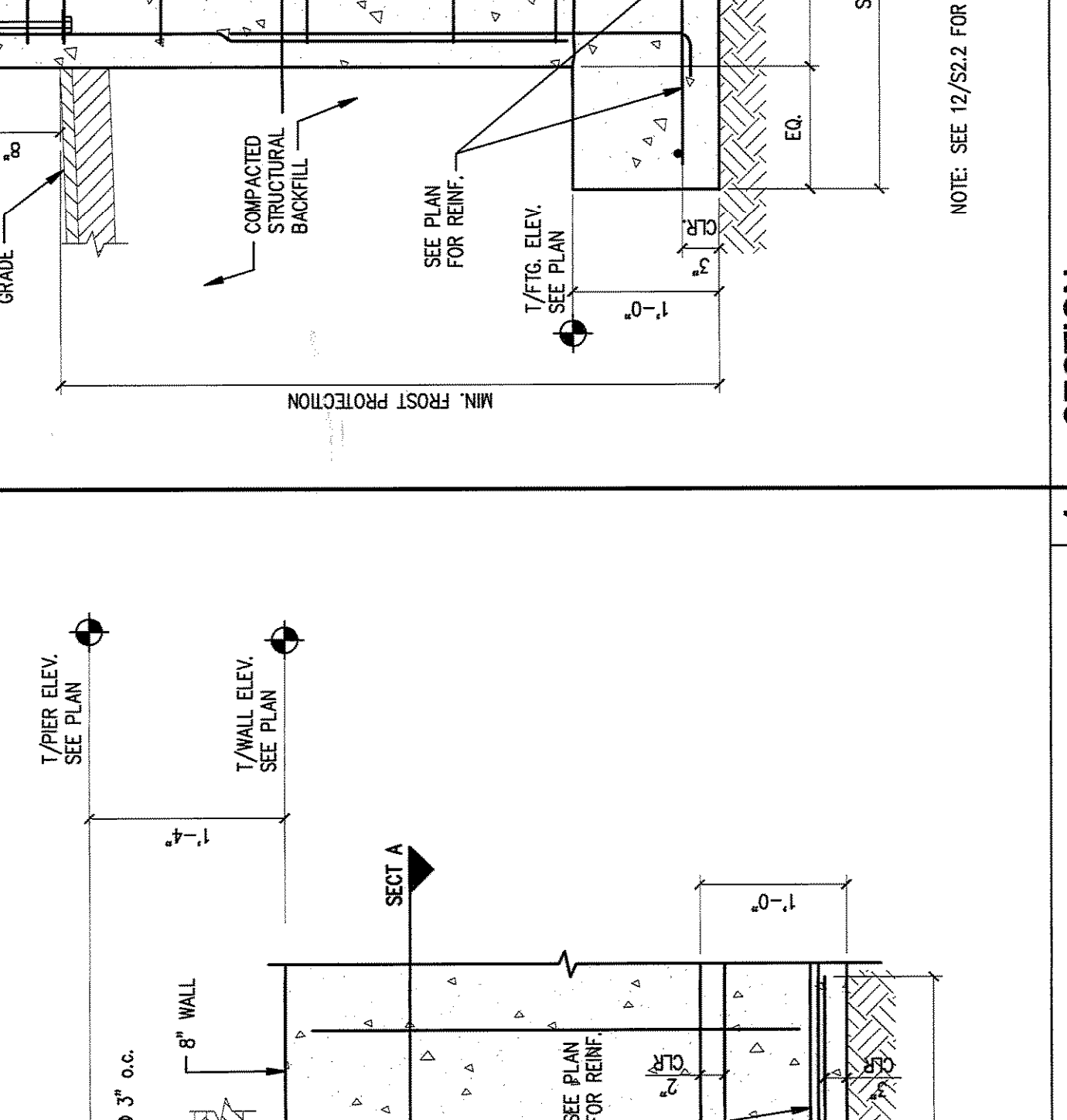
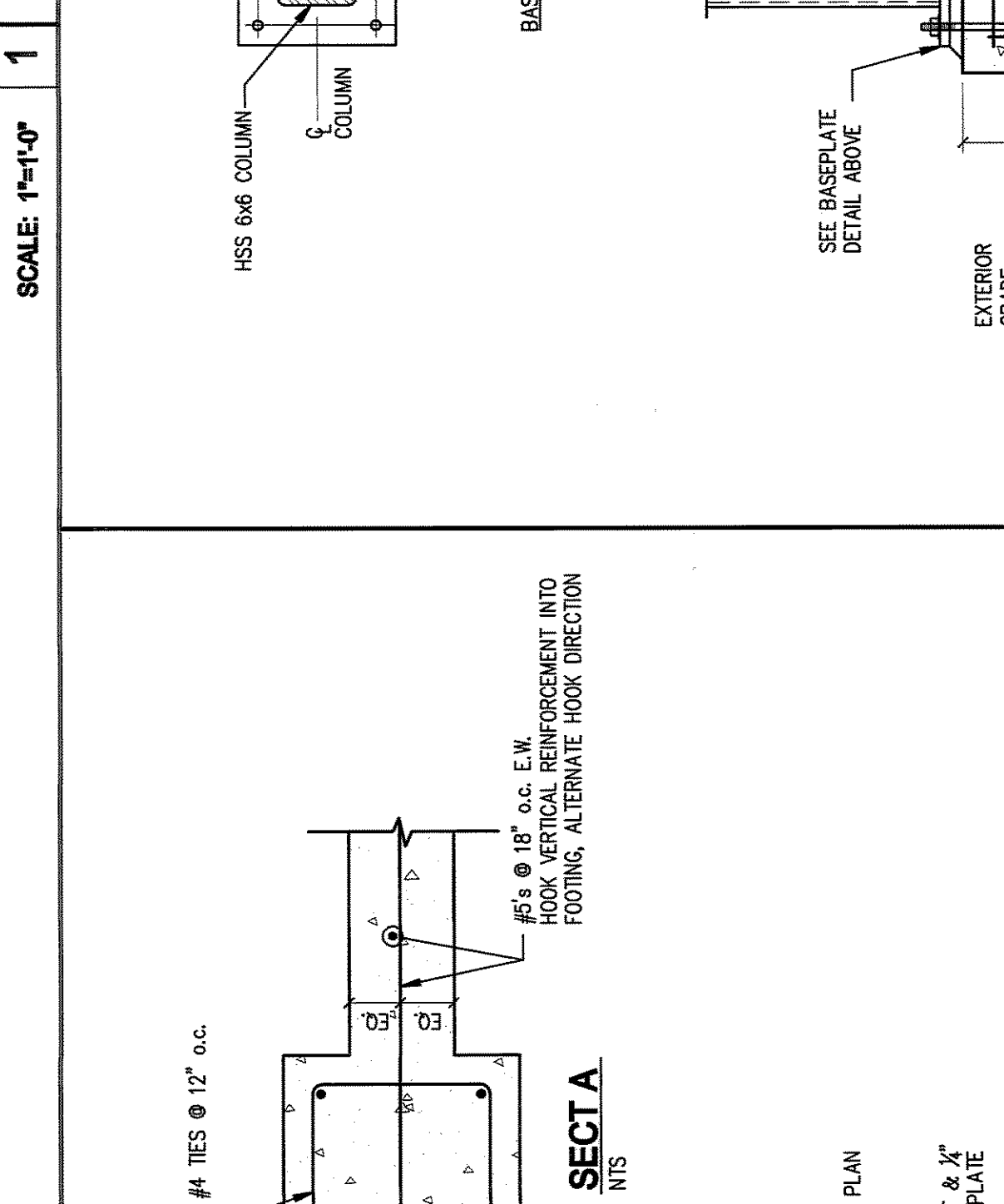
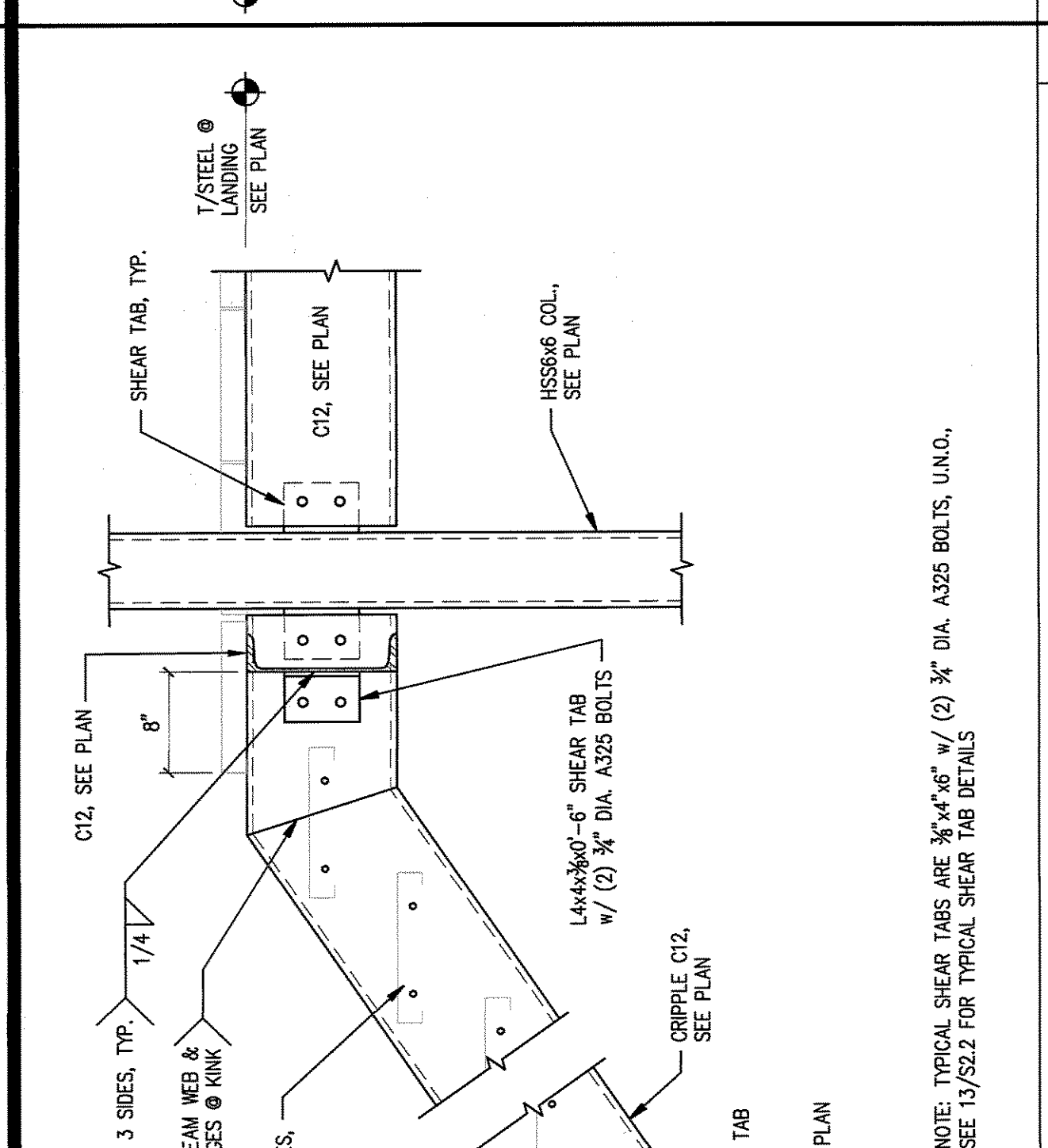
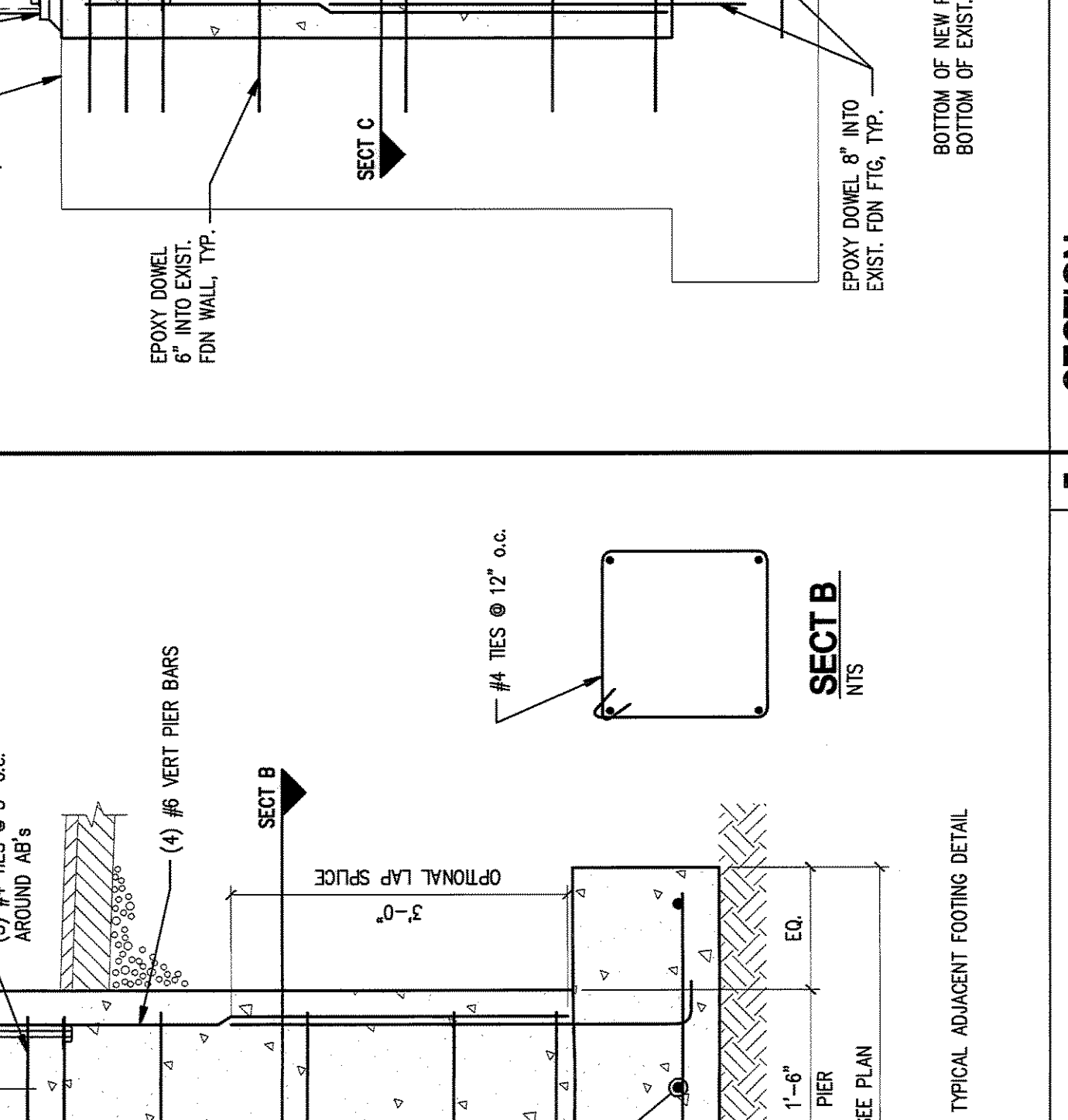
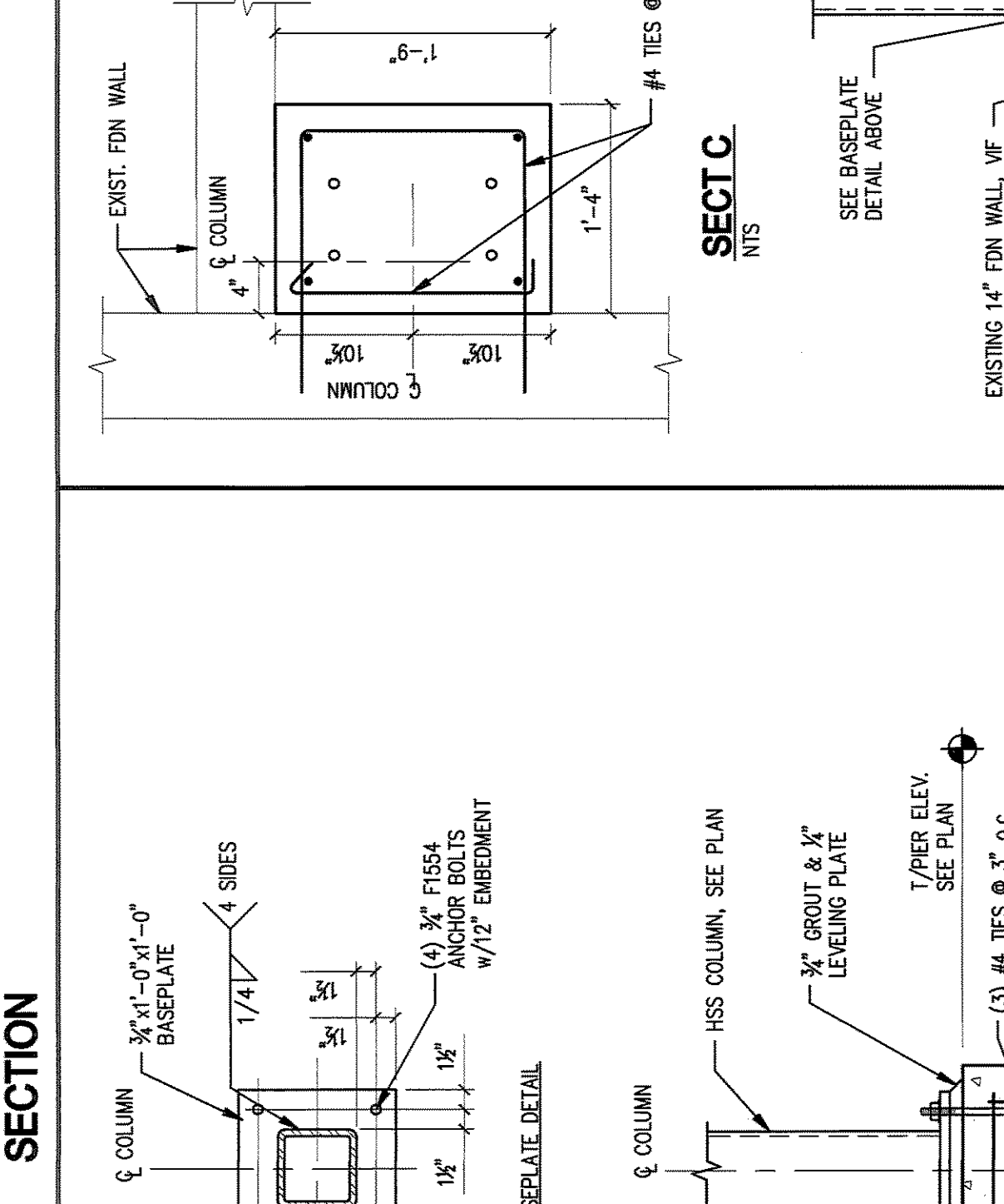
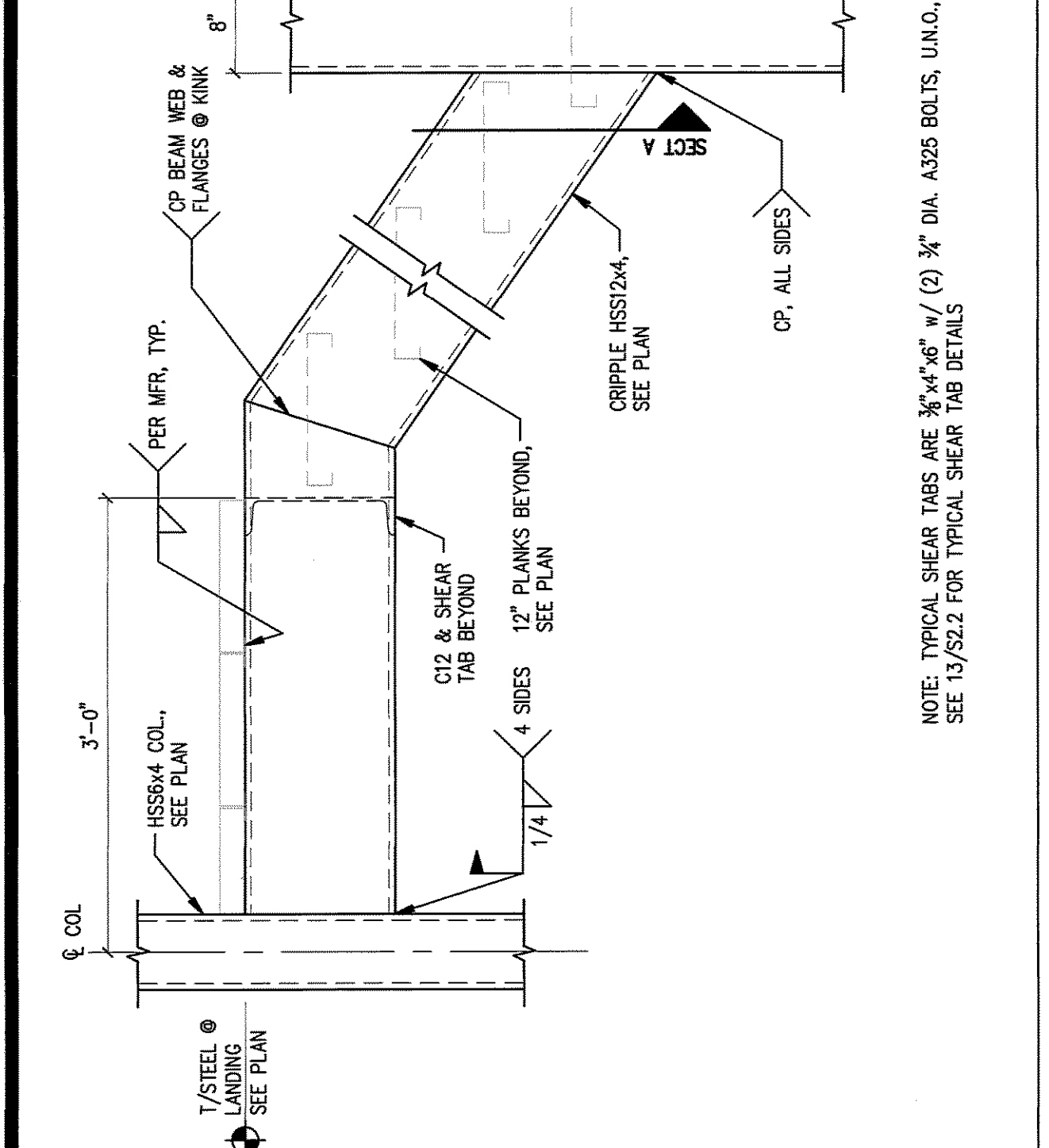
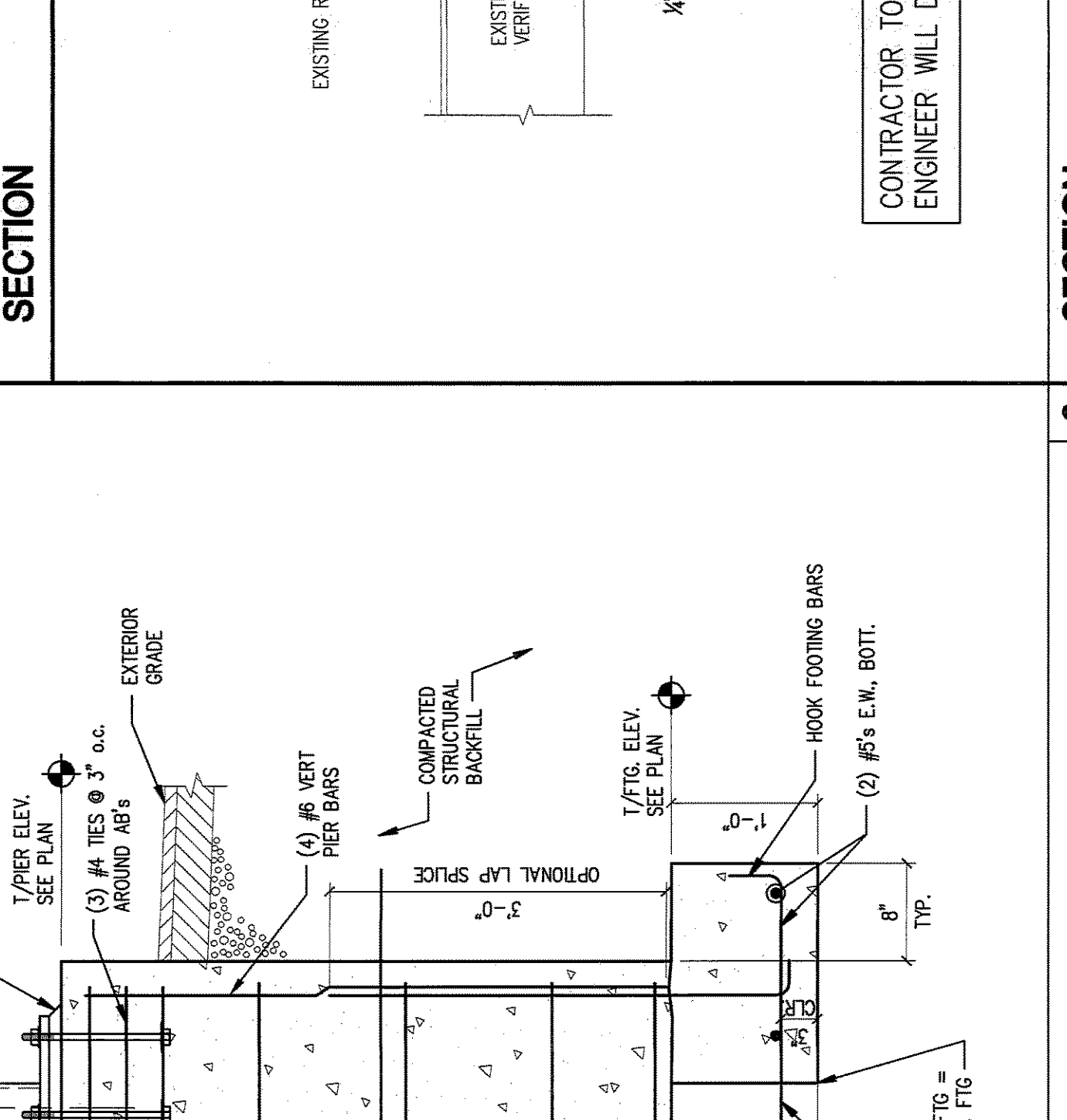
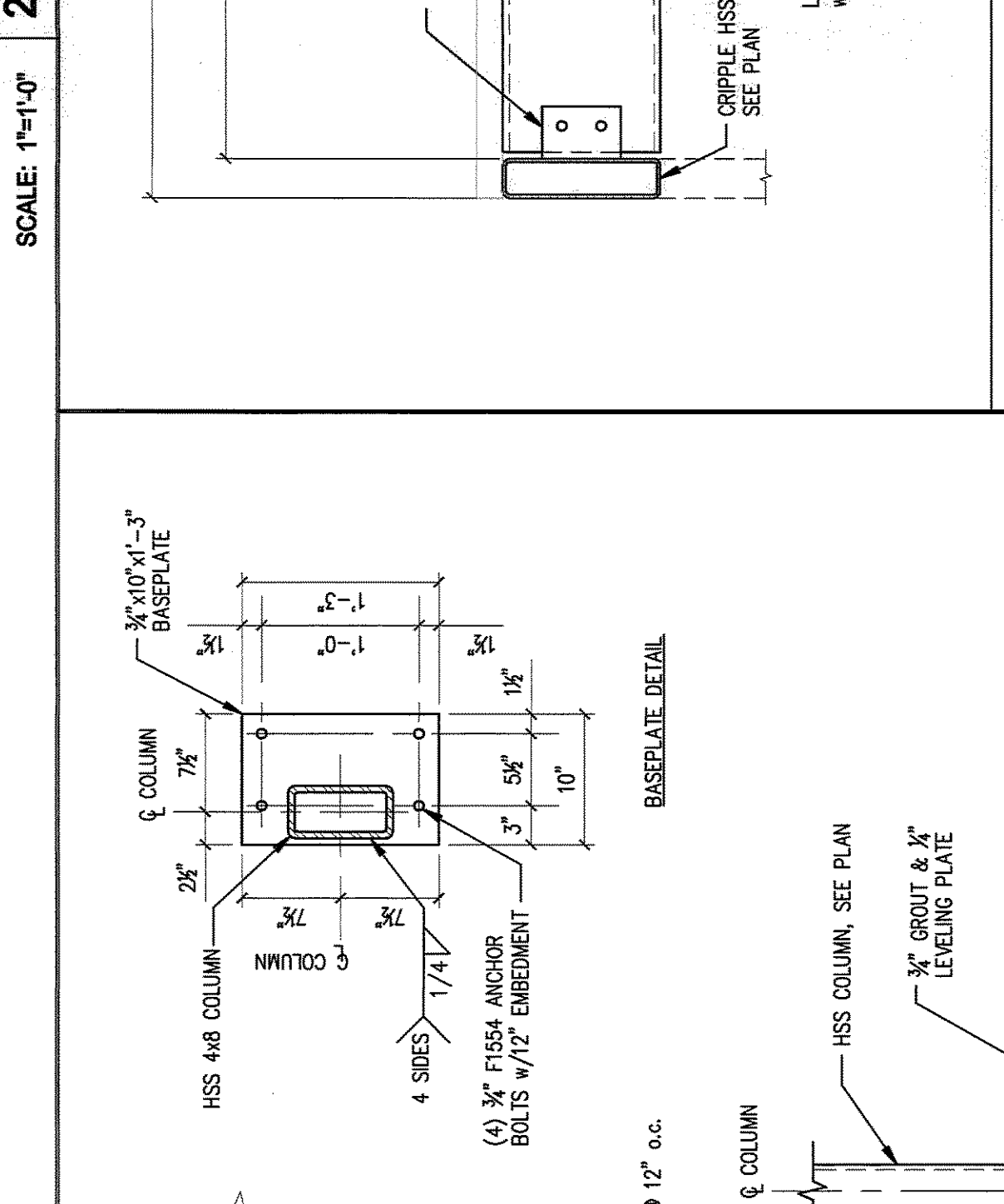
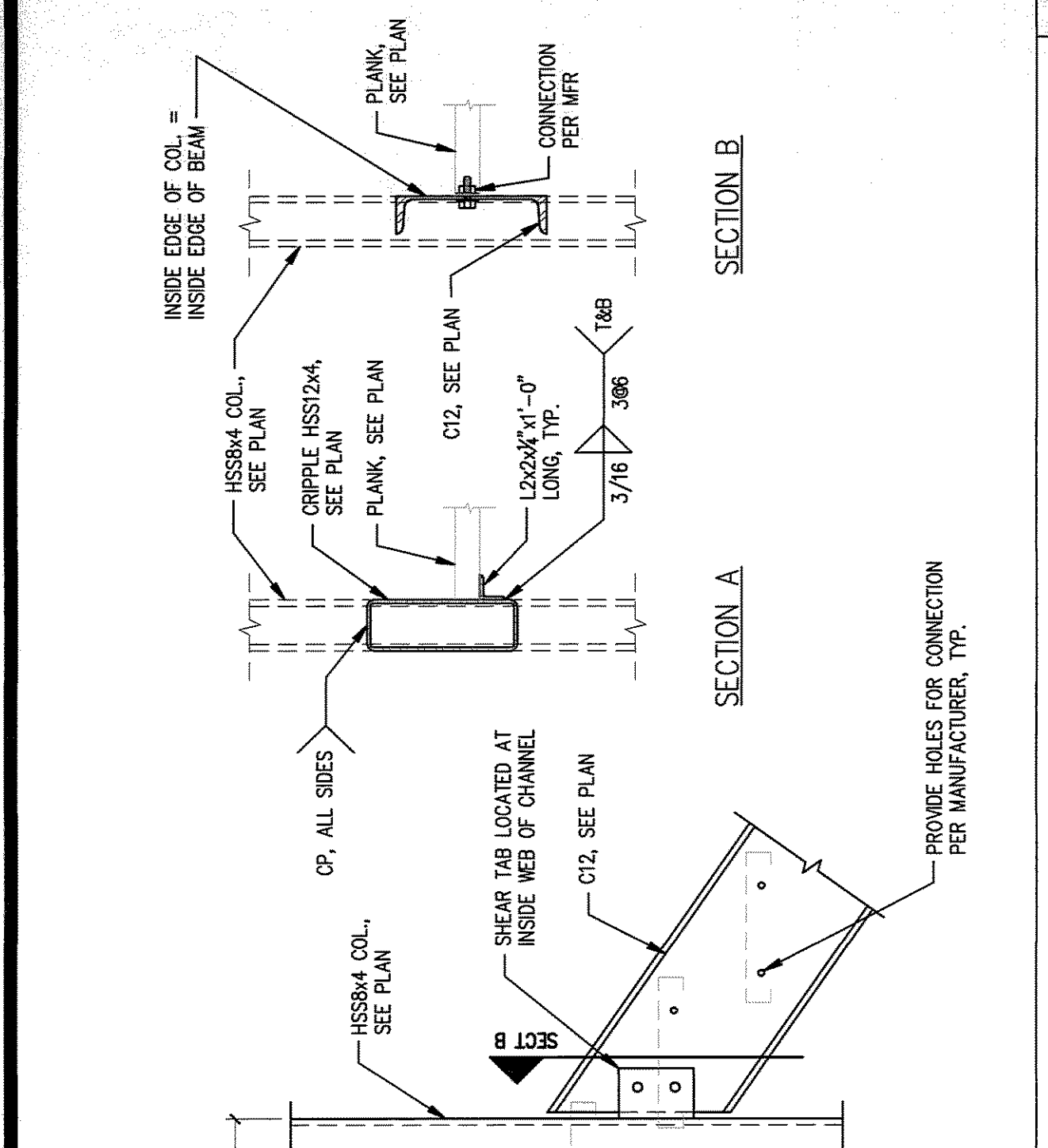
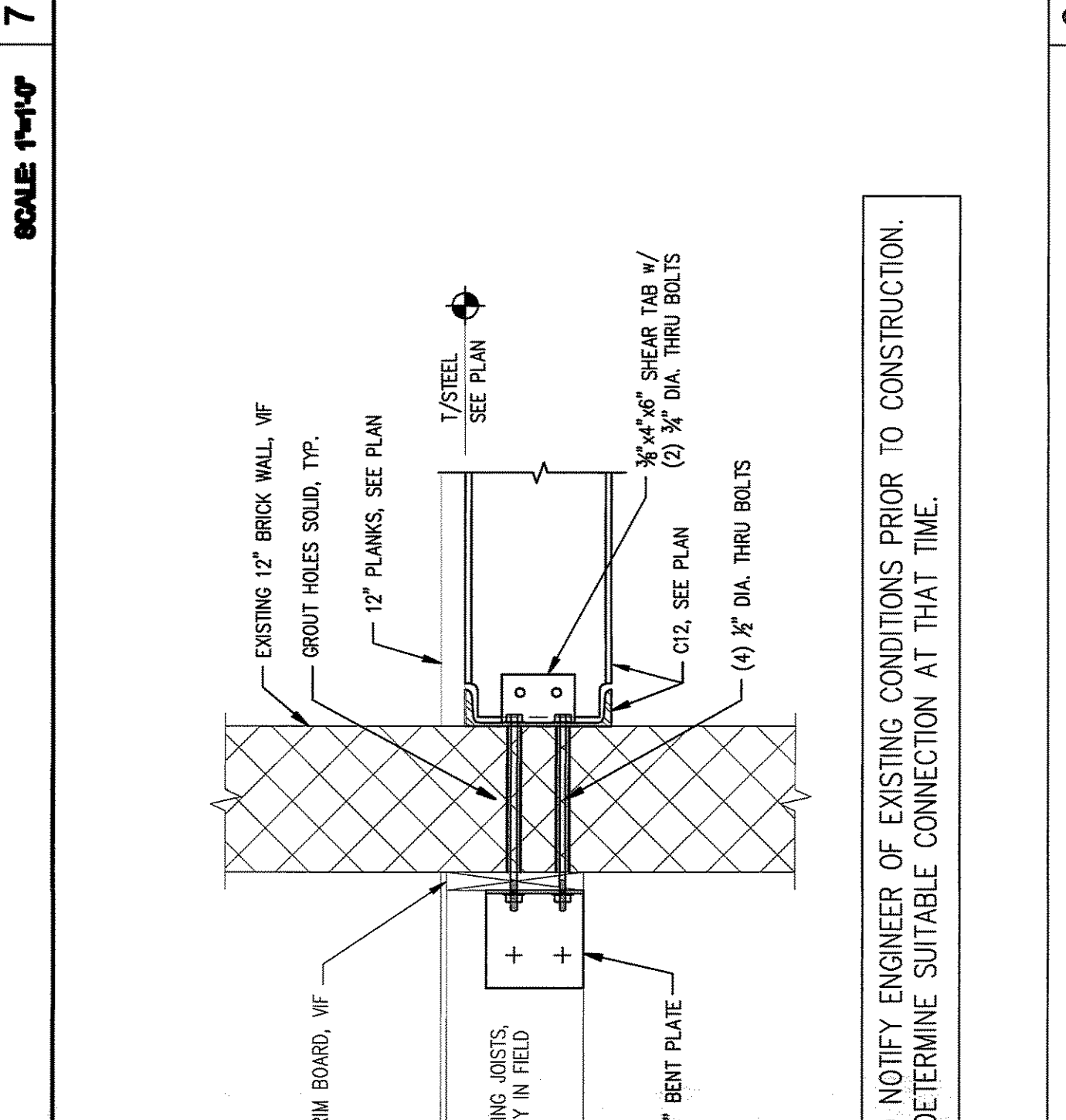
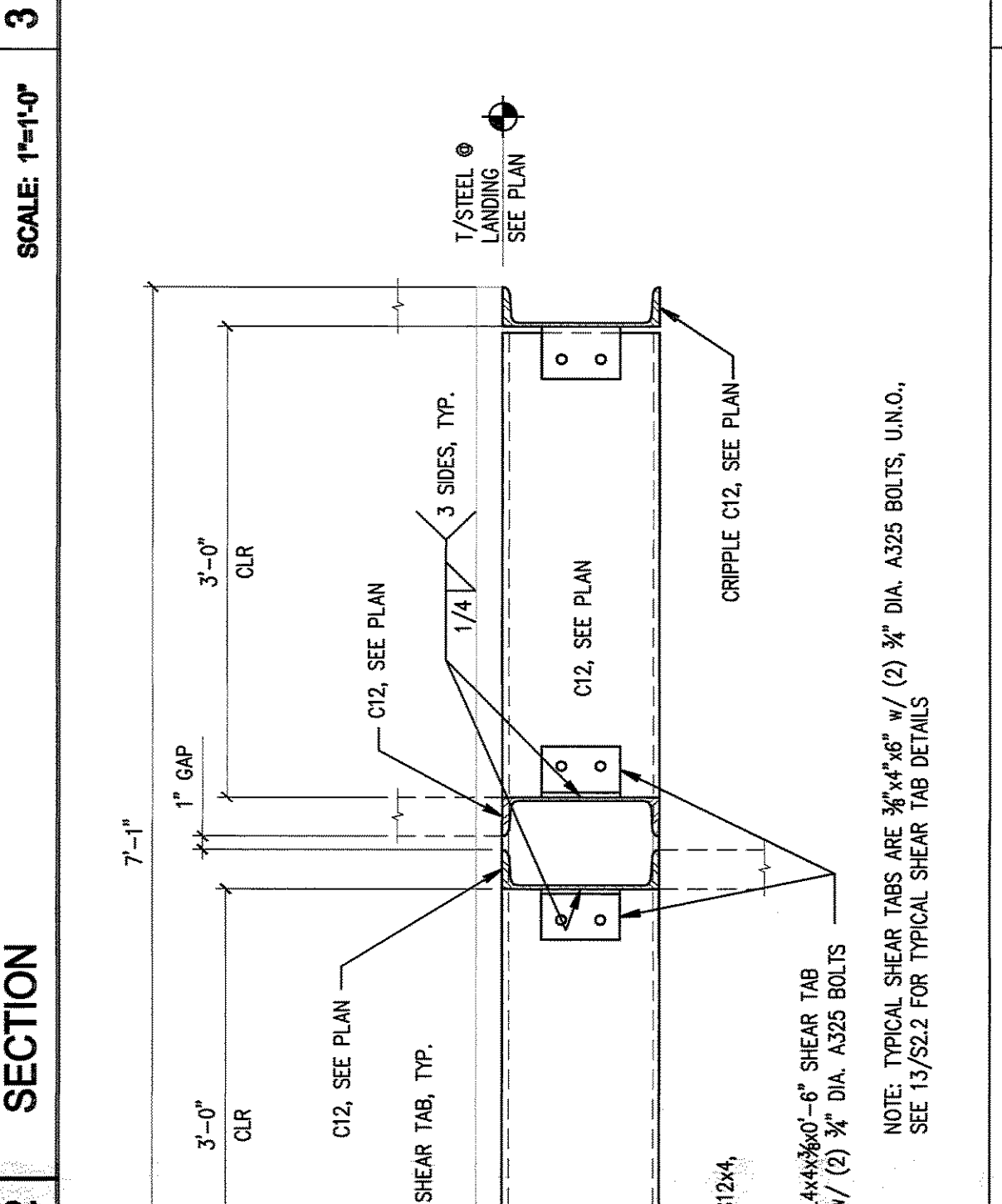
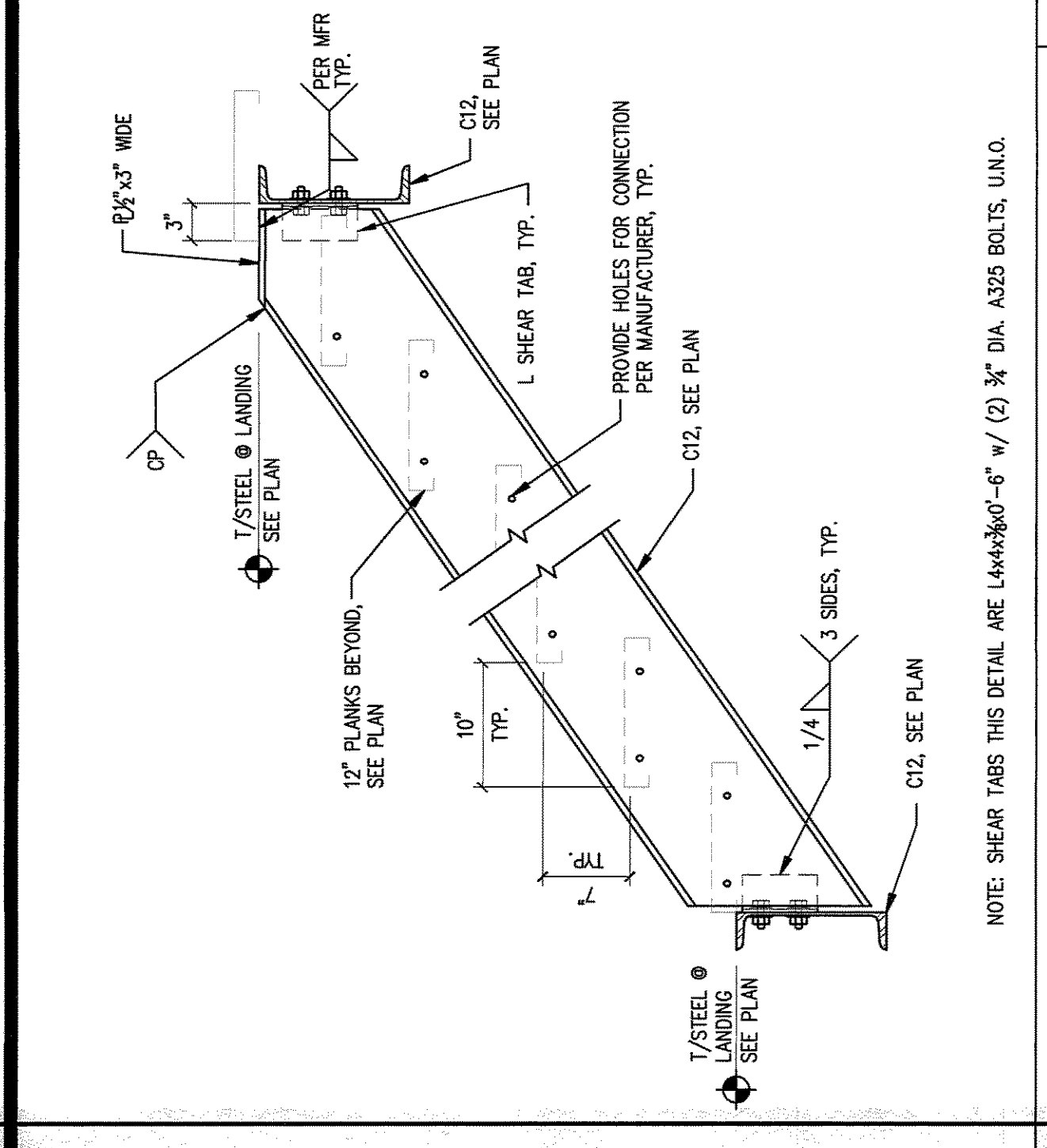
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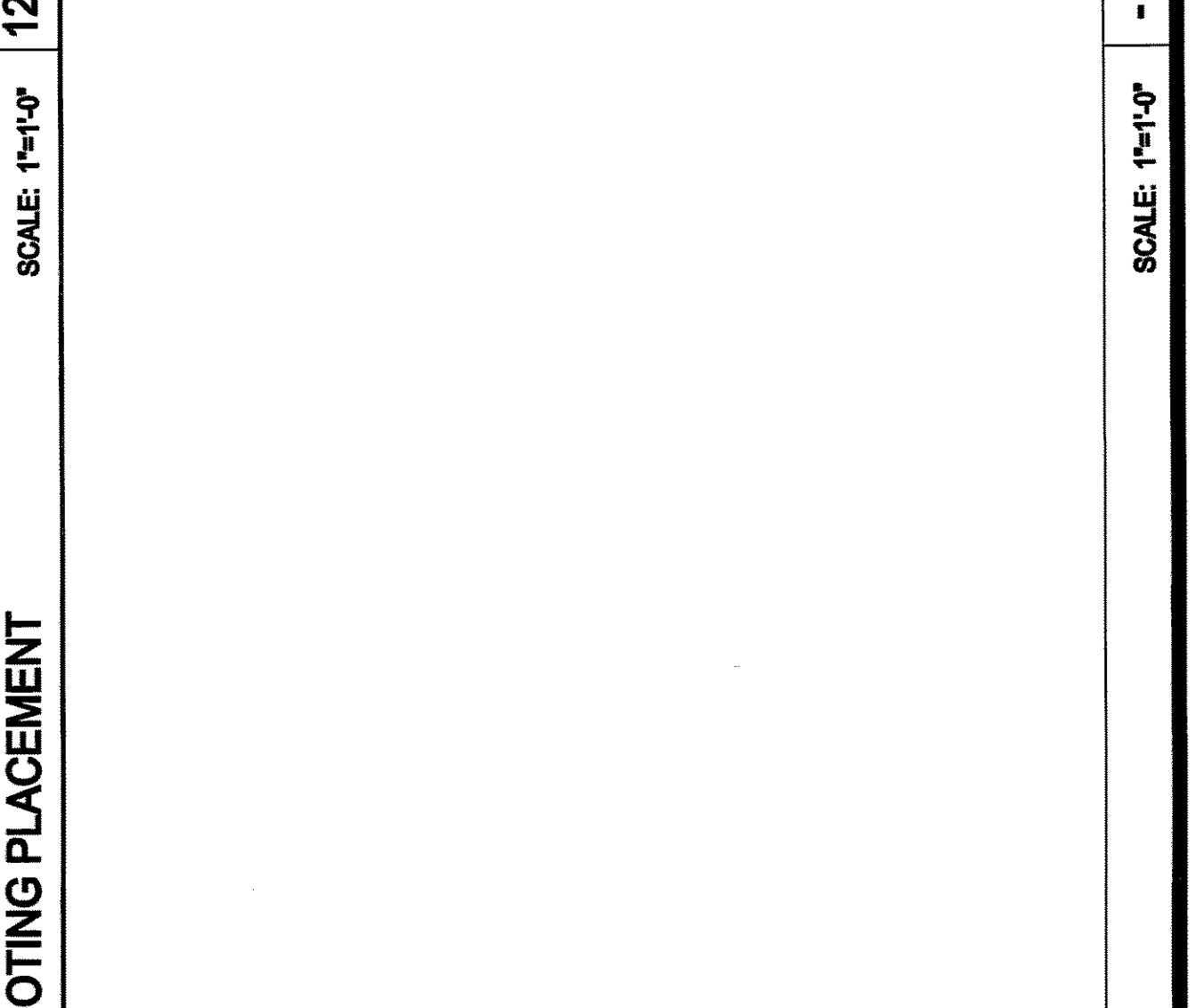
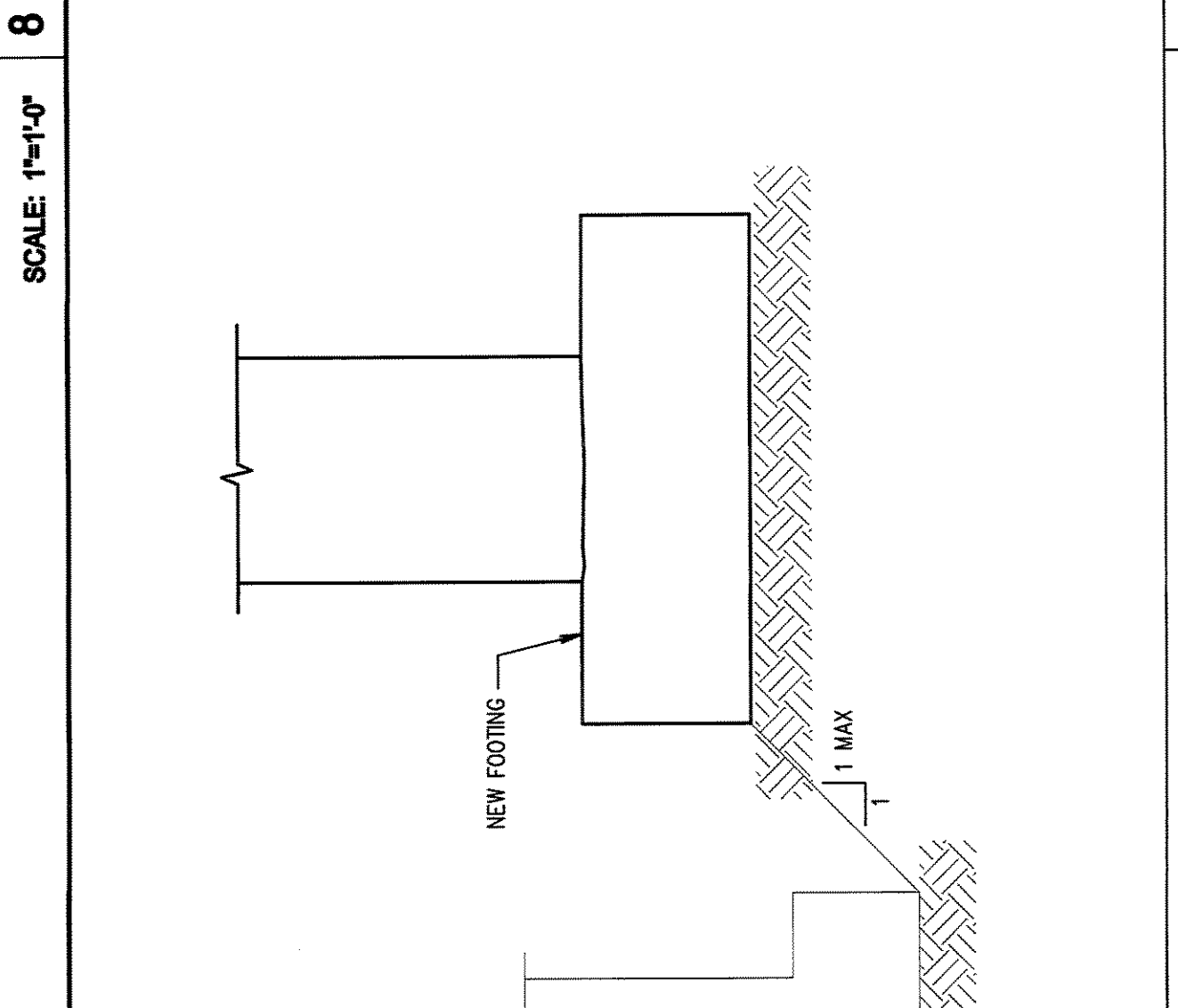
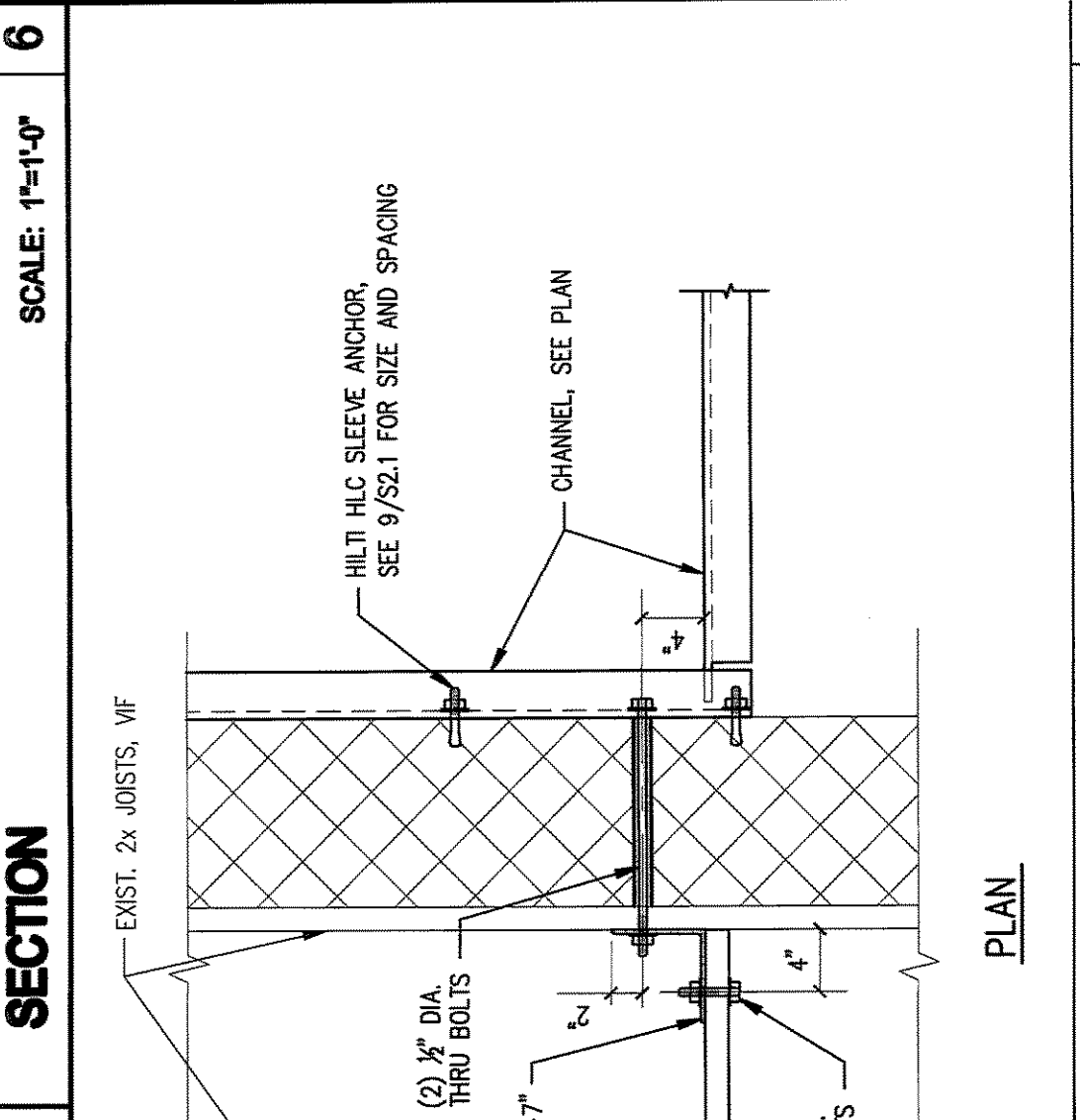
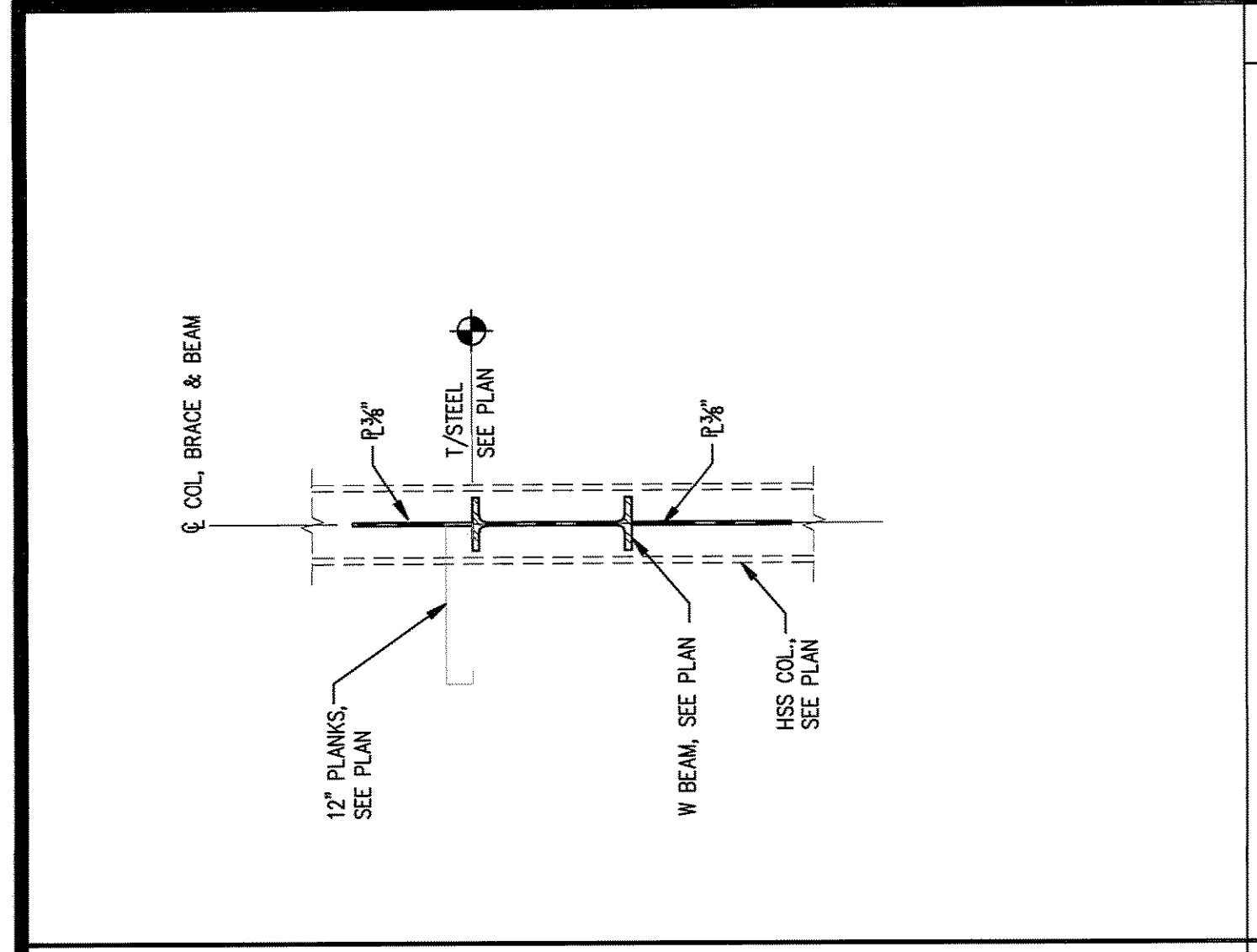
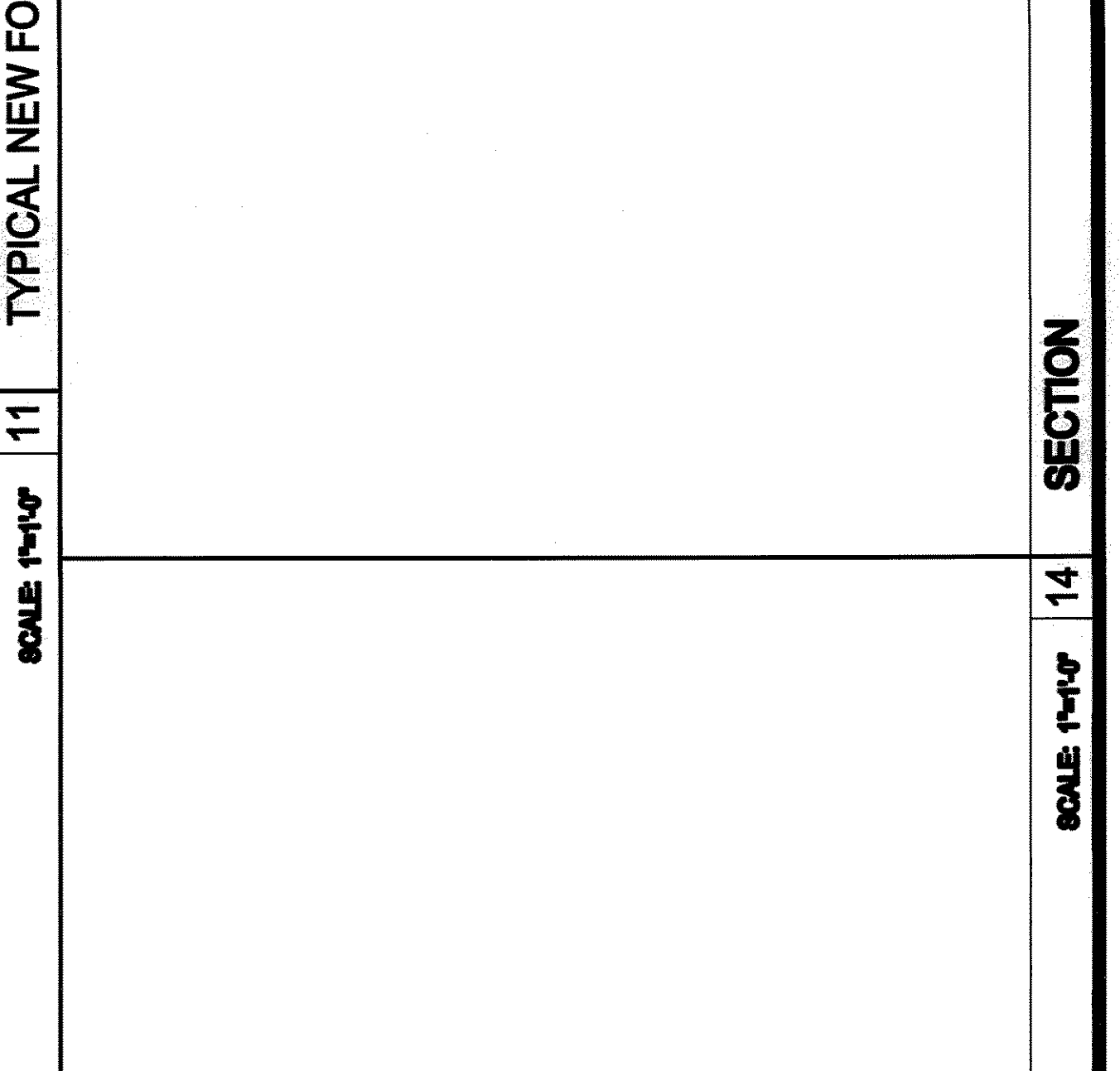
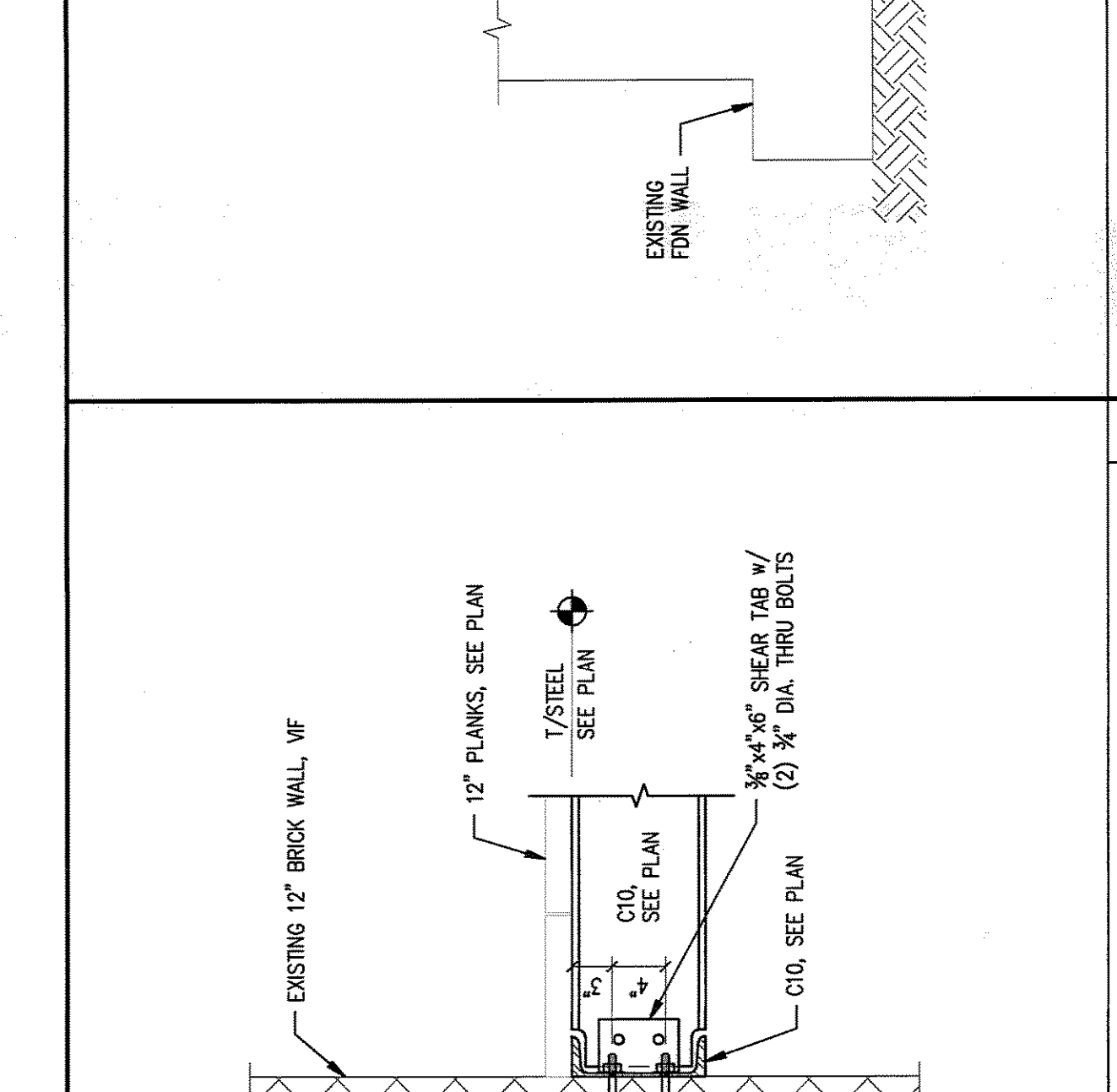
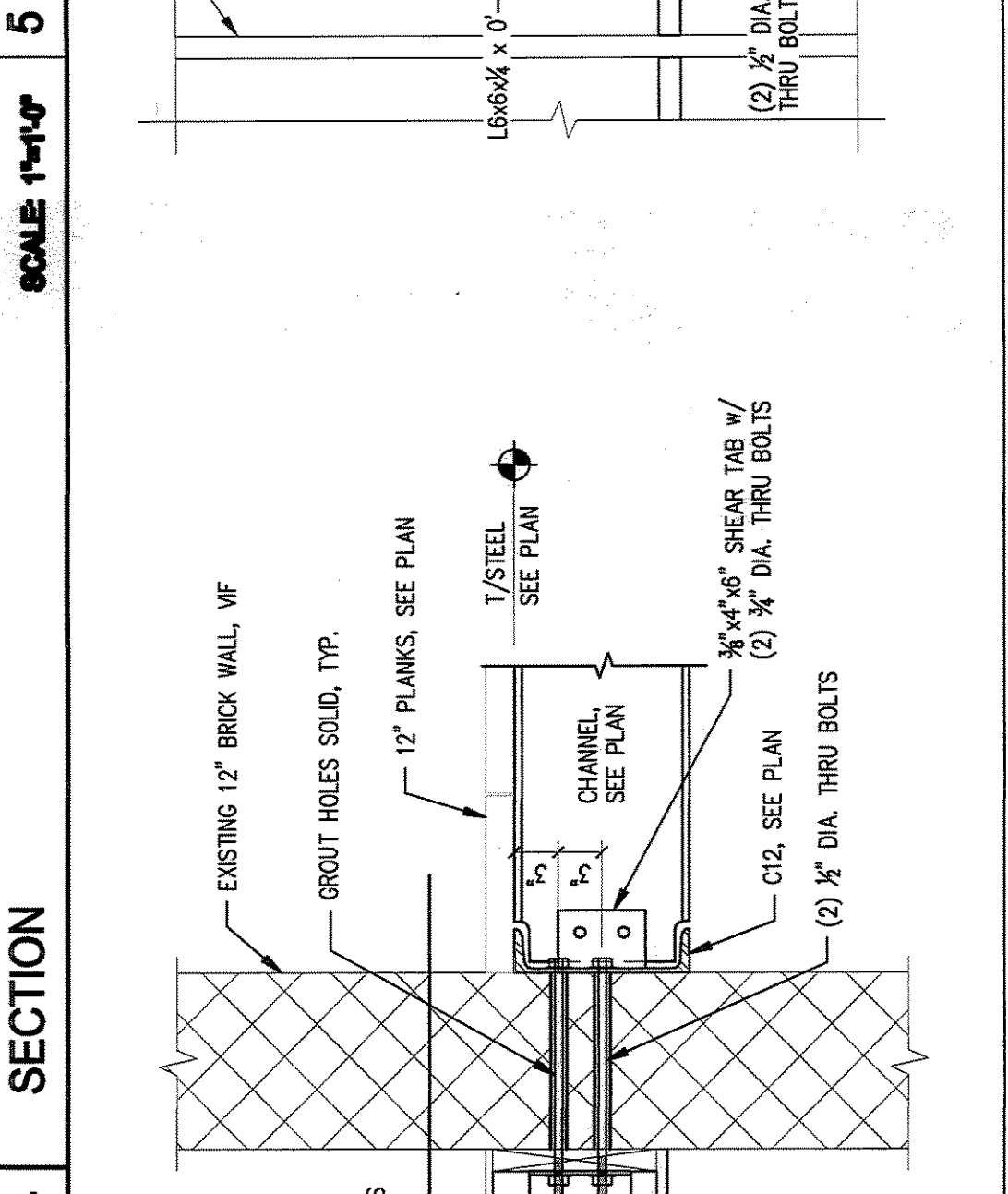
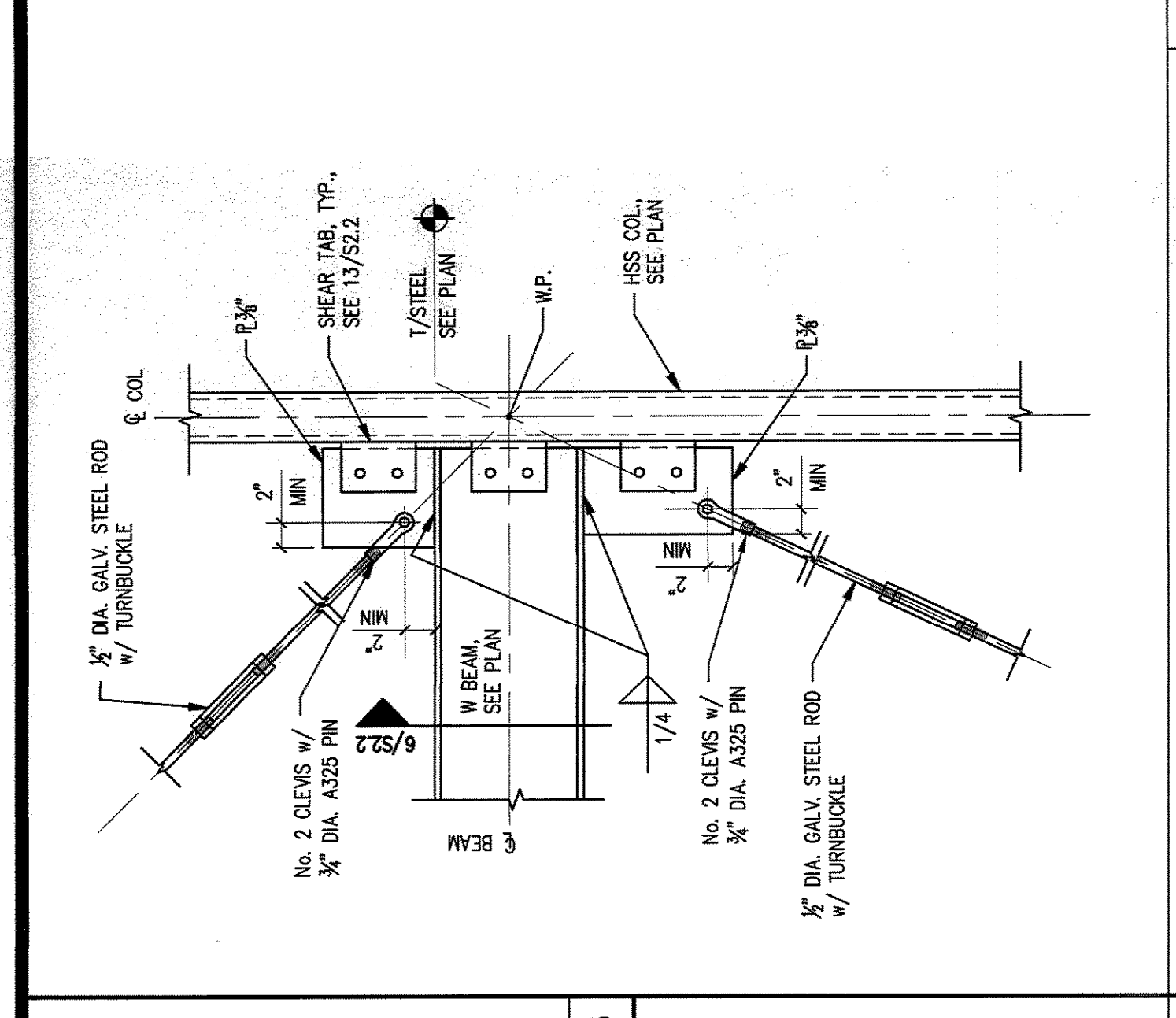
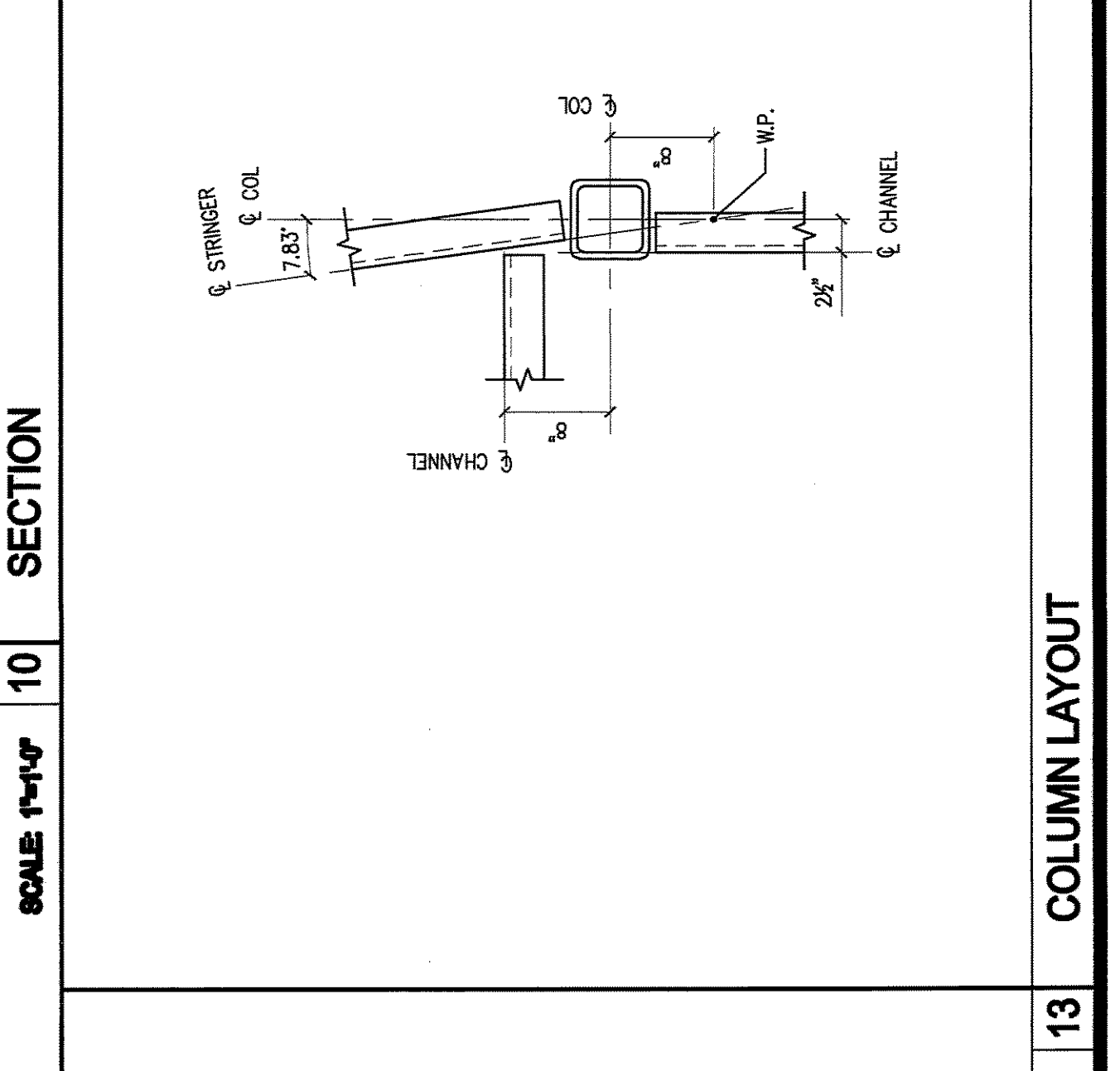
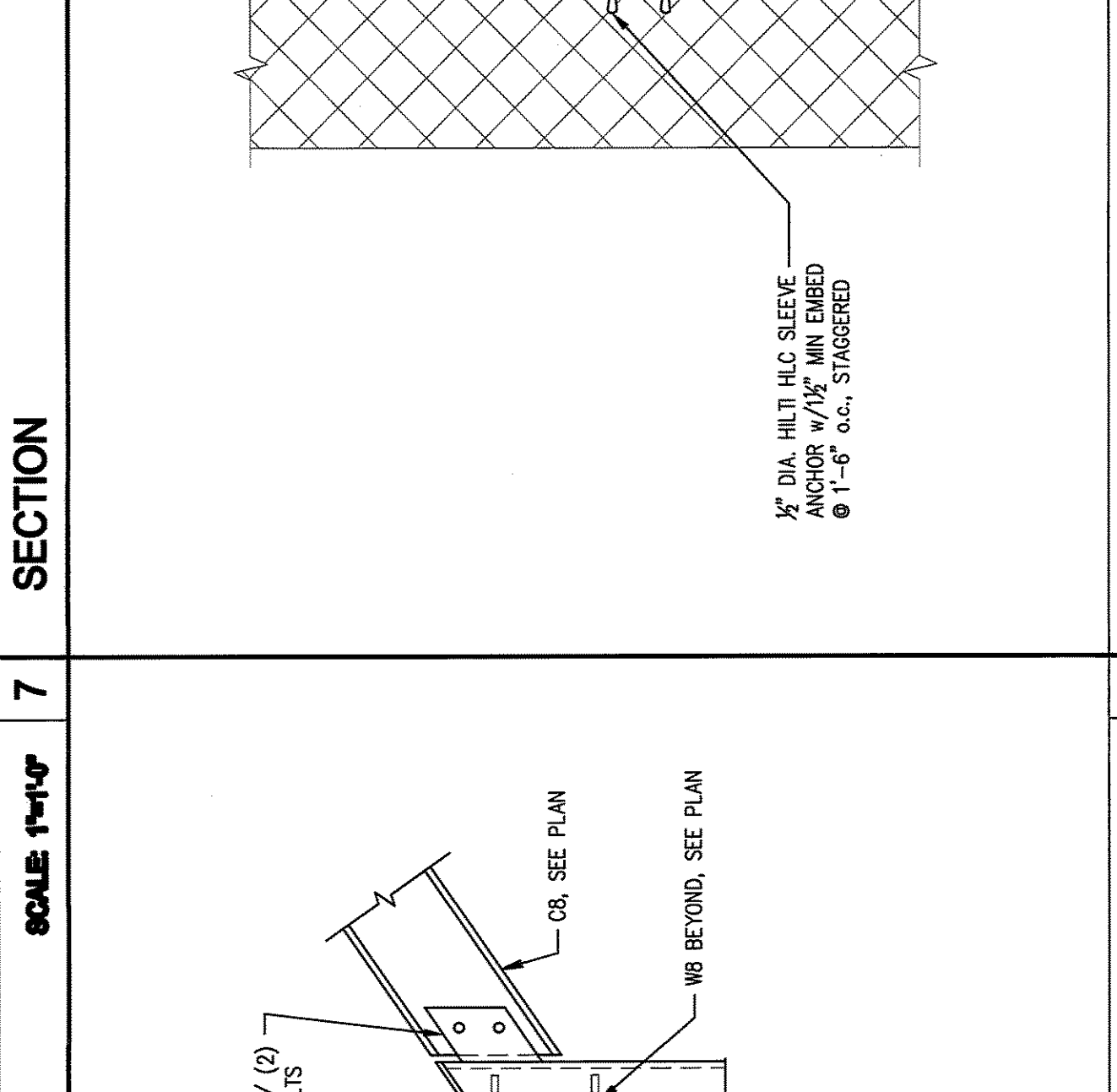
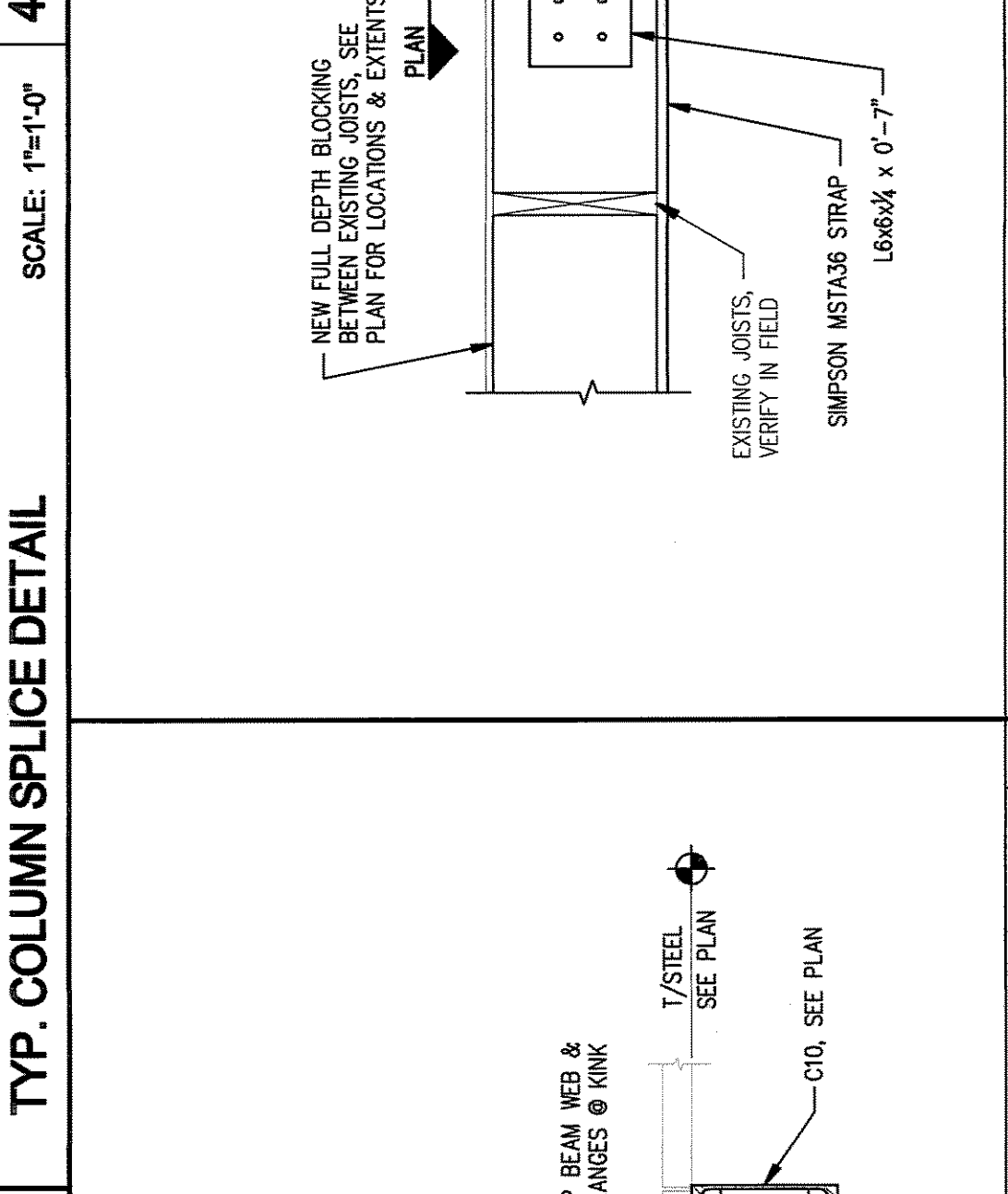
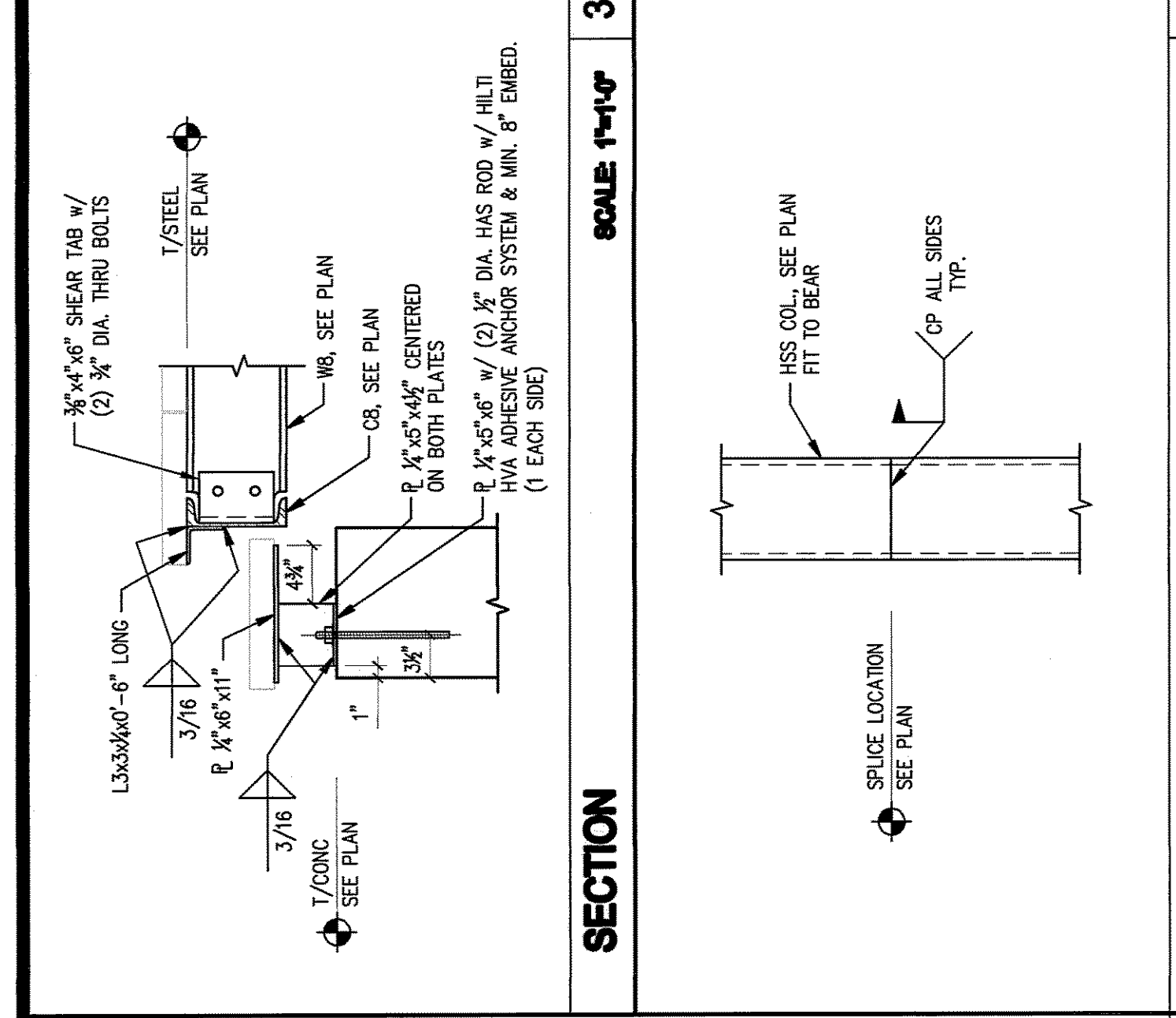
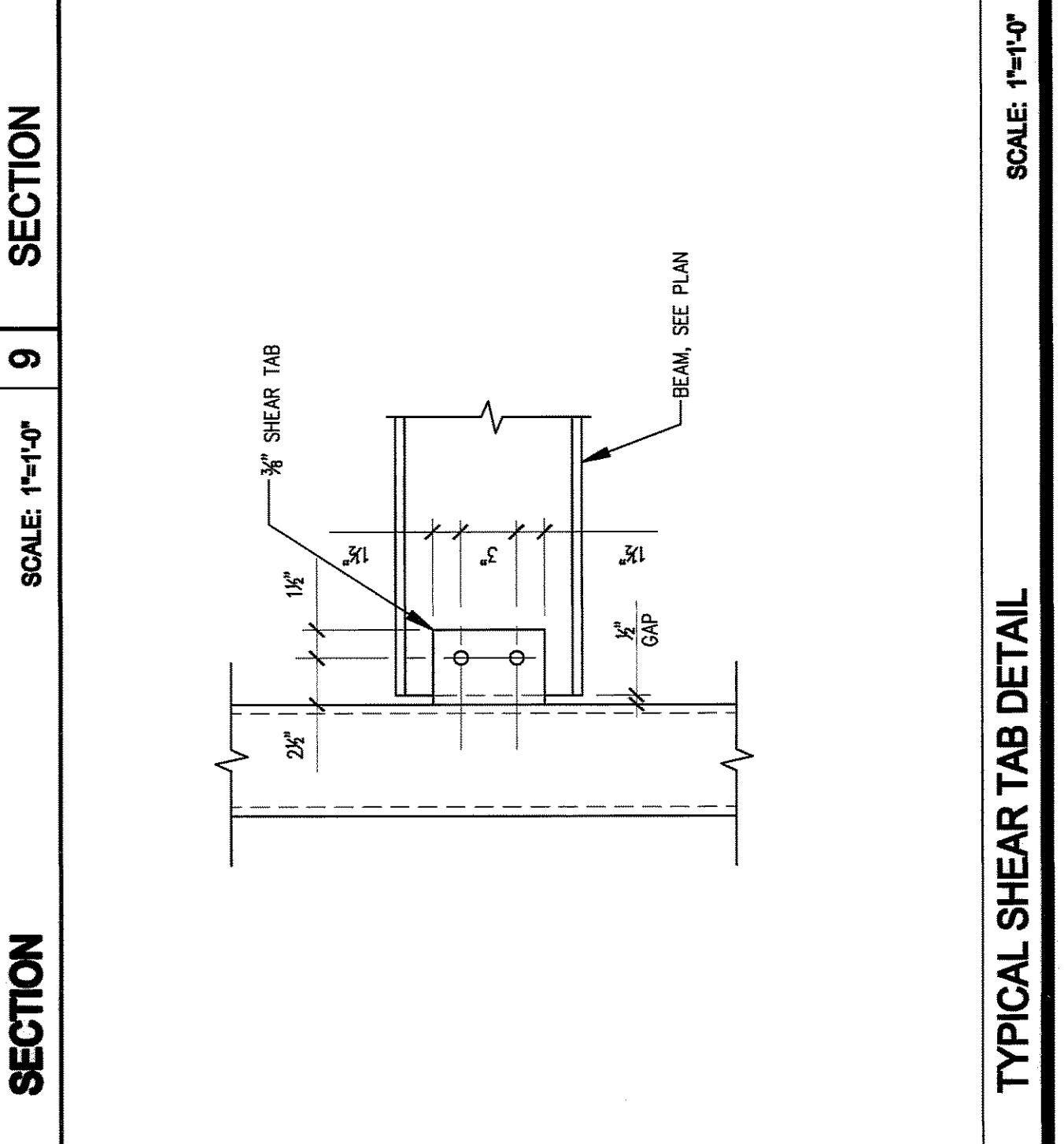
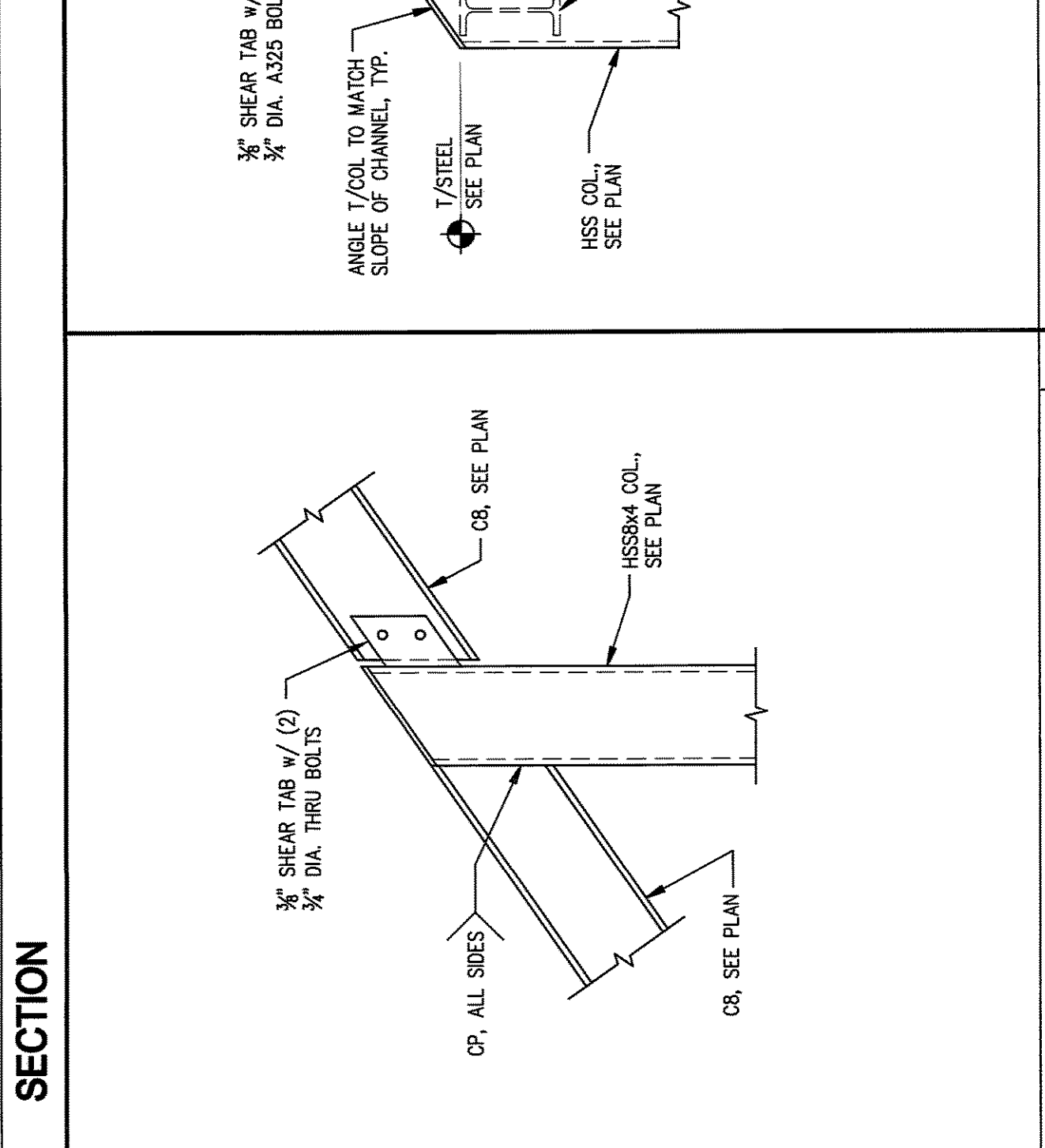
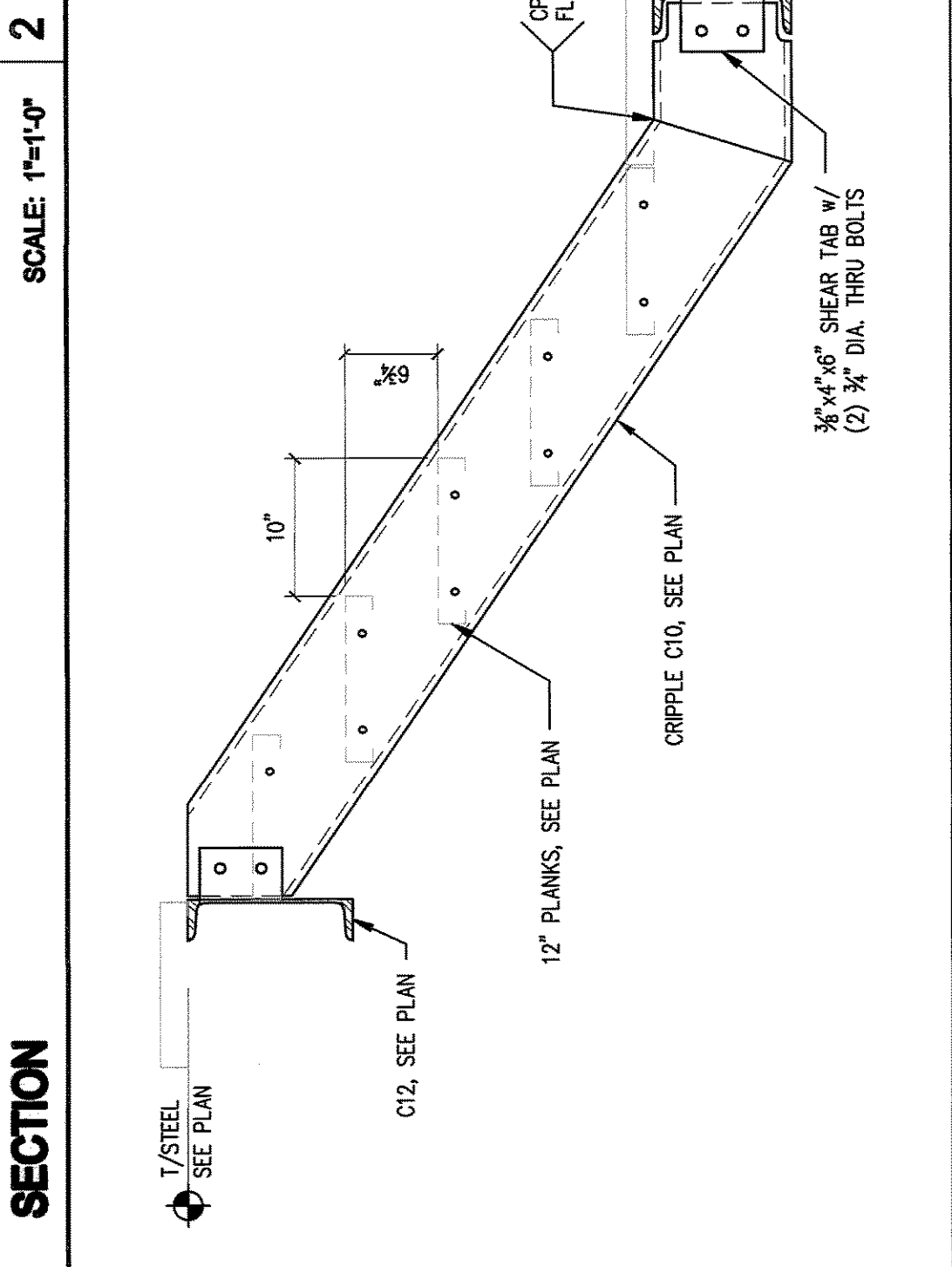
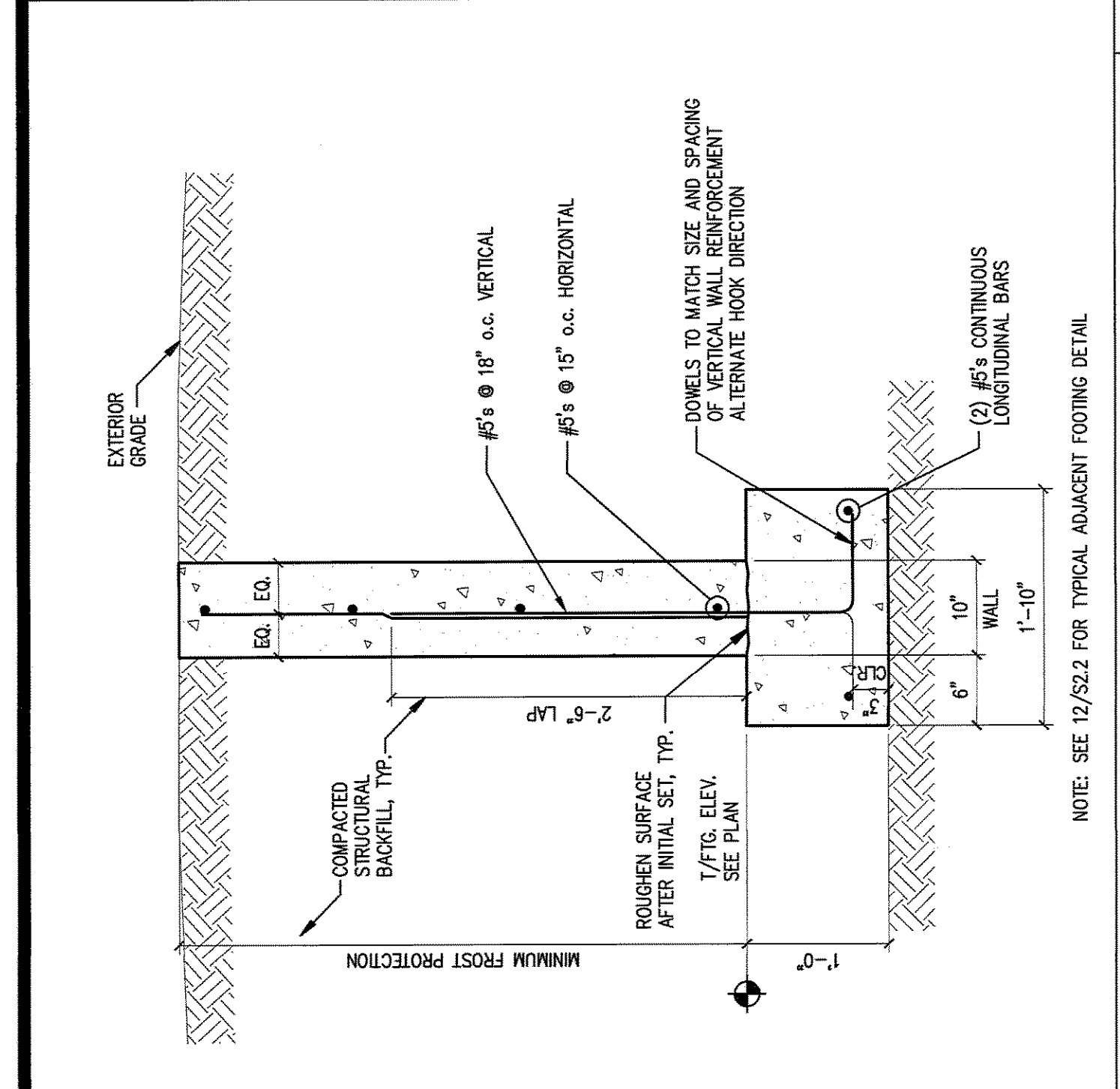
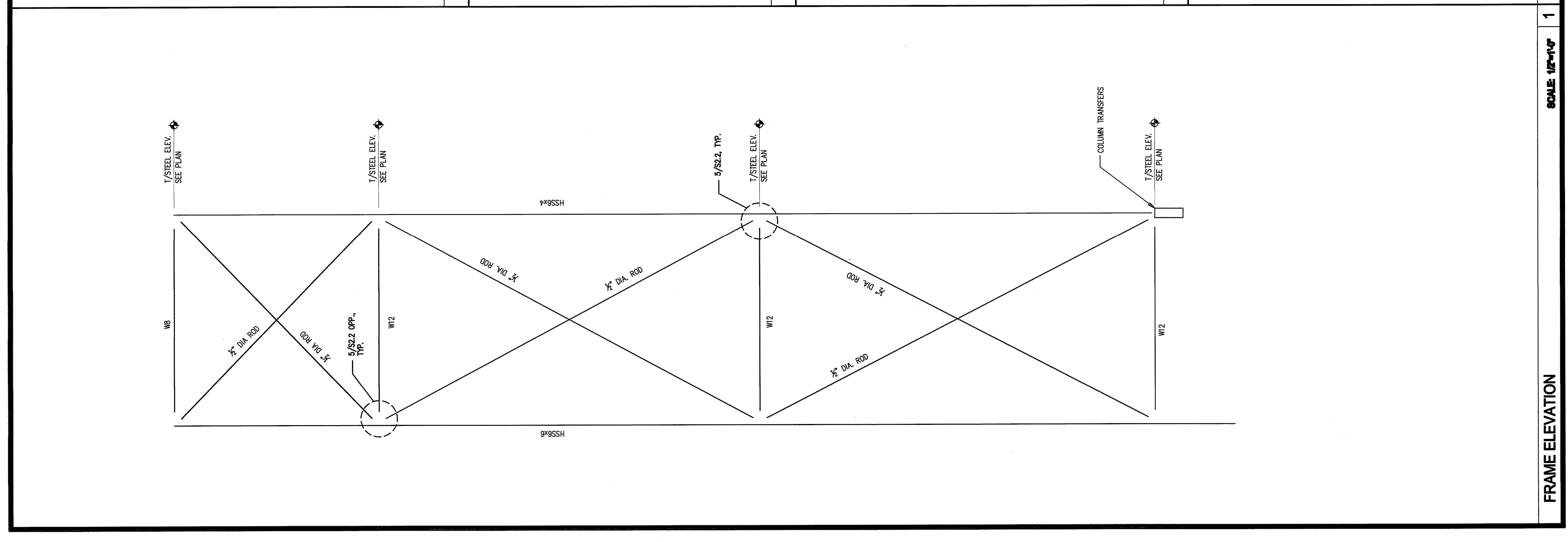
NO.	DATE	ISSUE FOR
1	11-12-10	ISSUE FOR BID
2	11-12-10	ISSUE FOR BID

STRUCTURAL DETAILS

DESIGNED:	TD
DRAWN:	TD
DATE:	10-12-10
CADD FILE:	10-079-51.dwg
PROJECT NUMBER:	10-079



NO.	DATE	ISSUE	REVISIONS
1	11-12-10	ISSUE FOR BID	



FRAME ELEVATION

TYPICAL SHEAR TAB DETAIL

COLUMN LAYOUT

SECTION

SECTION

SECTION

SECTION