

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 193 Middle St		Owner: 193 Middle St Assoc.		Phone:	Permit No: 970351
Owner Address:		Lessee/Buyer's Name:		Phone:	Business Name:
Contractor Name: Frank C. Merangh		Address: 149 Dutton Hill Gray, Me 04039		Phone: 657-4633	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: APR 28 1997 CITY OF PORTLAND </div>
Past Use: Retail	Proposed Use: Same	COST OF WORK: \$ 9,000.00	PERMIT FEE: \$ 65.00	INSPECTION: Use Group: M Type: 3B 000896	
Proposed Project Description: Make Interior Renovations Ext Reno/Entranceway		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature: _____ Date: _____	
Permit Taken By: Mary Gresik		Date Applied For: 18 April 1997			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Frank Merangh	ADDRESS:	DATE: 18 April 1997	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zone: CBL: 032-8-022

Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT

2

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 193 Middle St		Owner: 193 Middle St Assoc.		Phone:		Permit No: 970351	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Frank C. Morang		Address: 149 Dutton Hill Gray, Me		Phone: 04039 657-4633		Permit Issued: APR 28 1997	
Past Use: Retail		Proposed Use: Same		COST OF WORK: \$ 9,000.00		PERMIT FEE: \$ 65.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: M Type: 30 BOCA 96 Signature: <i>[Signature]</i>	
Proposed Project Description: Make Interior Renovations Ext Reno/Entranceway		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:		Date:	
Permit Taken By: Mary Gresik		Date Applied For: 18 April 1997				Zone: <i>B3</i> CBL: 032--H-022	

PERMIT ISSUED
CITY OF PORTLAND

Zoning Approval:
OK - 3/24/97
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

*DA stayed
interior work to
proceed in advance
of approval on
exterior alterations*

**PERMIT ISSUED
WITH REQUIREMENTS**

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Frank C. Morang
SIGNATURE OF APPLICANT ~~XXXXXXXXXXXX~~ ADDRESS: 149 Dutton Hill Gray, Me DATE: 18 April 1997 PHONE: 657-4633

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT *2*
A. Rowl

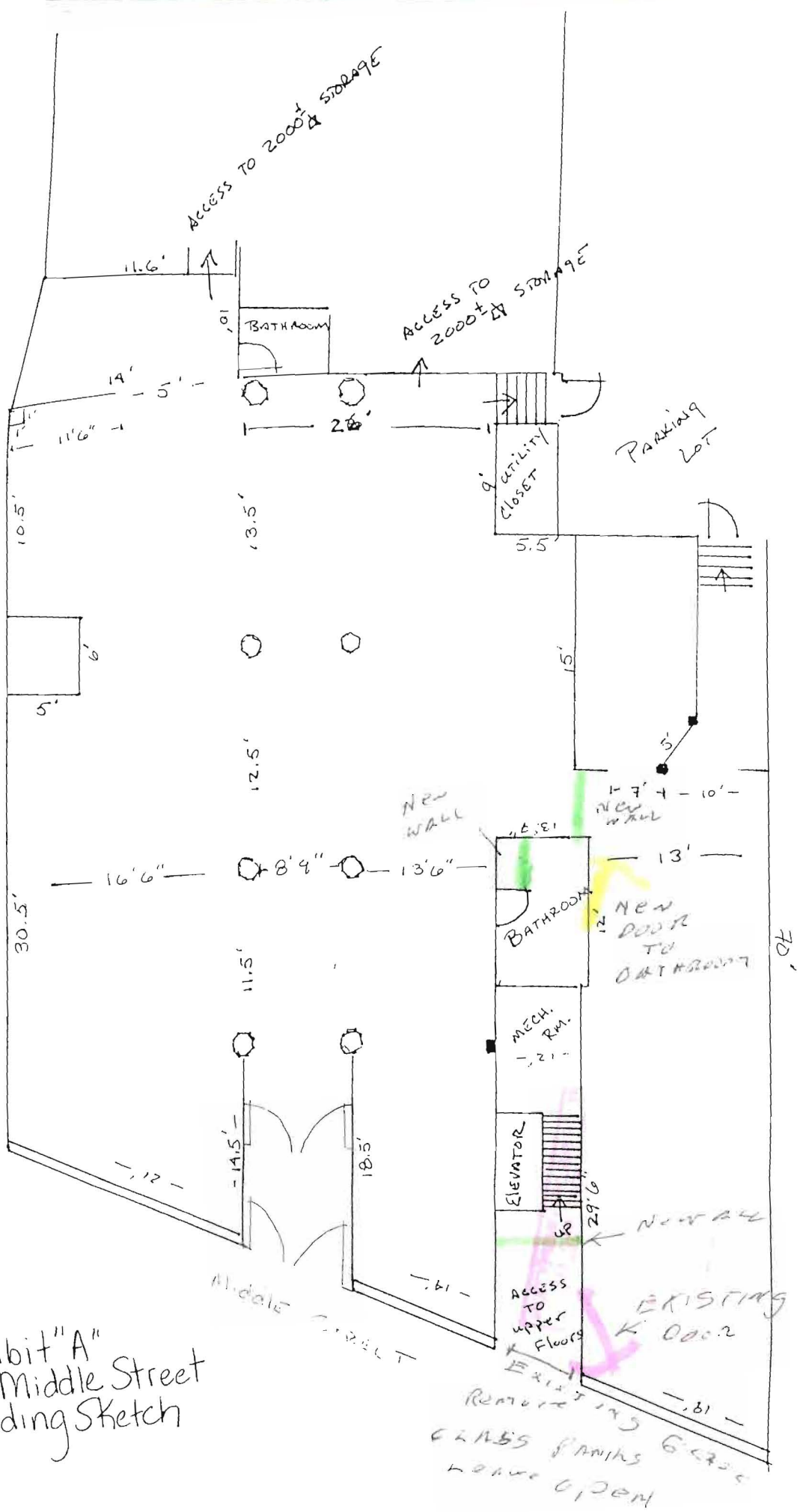


Exhibit "A"
 193 Middle Street
 Building Sketch

Remove existing
 GLASS PANING GLASS
 LEAVE OPEN

FRANK C. MORANG, SR.

Building Craftsman

Work at 193 Middle Street, Portland:

149 Dutton Hill
Gray, Maine 04039
(207) 657-4633

Build New Store Entry -

Remove glass panel - approximate size 4 ft x 10 ft high. This area appears to have been an old entry way at one time. Build new wall approximately 6 ft back from front of entry. Move existing door opening back toward new wall to allow for door to swing in foyer area. Install new door with hardware. Trim out new entry with pine and paint two coats.

Conversion of Existing Restroom Area for New Space -

Build approximately 12 ft of dividing walls in existing restroom. Install new handicap fixtures to include sink and lavatory. New fixtures to include lever faucets and grab bars to comply with city code. Patch walls and paint where necessary. Existing tile to remain.

New Dividing Wall Between Existing Two Spaces -

Build dividing wall approximately 8 ft long and 7 ft high. Tape and paint wall.

Existing door

193 Middle Street



52

BUILDING PERMIT REPORT

DATE: 28 APRIL 97 ADDRESS: 193 middle st.
REASON FOR PERMIT: TO MAKE INT/EXT Reno
BUILDING OWNER: 193 middle ST. ASSOC.
CONTRACTOR: Frank C. Morang
PERMIT APPLICANT: ↑ APPROVAL: *1 *17 *18 *19 *25 DENIED

CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
8. Headroom in habitable space is a minimum of 7'6".
9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)