

Machias Savings Bank

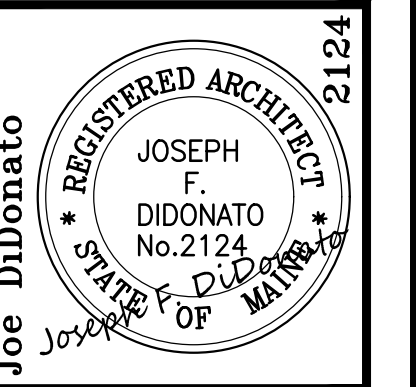
193 Middle Street, Portland, Maine

ARCHITECT: **TLA, INC.**
 400 US Route One, Suite A South Falmouth, ME 04105 Tel: (207) 842-6260

CONSULTING ARCHITECT: **DiDonato Architects**
 134 Guinea Road Kennebunkport, ME 04046 Tel: (207) 286-2900

STRUCTURAL ENGINEER: **Casco Bay Engineering**
 424 Fore St. Portland, ME 04101 Tel: (207) 842-2800

M / E / P ENGINEER: **Bennett Engineering**
 7 Bennett Road, P.O. Box 297 Freeport, ME 04032 Tel: (207) 865-9475



400 US Route One, Suite A South Falmouth, ME 04105
 Tel: (207) 842-6260
 Fax: (207) 842-6271
 1 (800) 232-2253



SUPPLEMENTAL CONDITIONS & TYPICAL NOTES

- Contract Documents:** These drawings are part of the Contract Documents and are intended to be used with the 1997 AIA Documents A101 & A201, "Standard Form of Agreement Between Owner and Contractor" and "General Conditions of the Contract for Construction".
 - Coordination of all Work** including that of his subcontractors, utilities, town, and state agencies is the responsibility of the General Contractor (GC). Subcontractors shall be provided complete sets of working drawings. Subcontractors working from partial, uncoordinated sets do so at their own risk.
 - Drawings and Specifications** - are complementary. If contradictions are found the Architect's interpretation will govern.
 - GC shall warrant for a period of one year** after final acceptance of project by TLA, all equipment, finishes, and workmanship. (see General Conditions)
- Existing Conditions** and dimensions shall be verified by the GC and subcontractors prior to start of work and fabrication of work requiring an exact fit. Failure to do so will not be considered grounds for any additional compensation. Notify Architect of any discrepancies between the Contract Documents and visible existing conditions prior to start of work.
 - Removals:** The General Contractor shall make all removals required to install new work and legally dispose of unwanted materials. Including existing underslab plumbing (if any). The General Contractor shall be responsible for cutting, patching, and trenching for the trades. Coordinate with the Owner storage and delivery of materials noted on these drawings to be salvaged (if any).
 - The Contractor shall give 24 hours advance notice of any disruption in services and/or daily operations to the TLA, Owner and Tenant. Keep disruptions of building occupant activities to a minimum. GC shall provide a detailed construction schedule including dates and time periods of work by trades and compliant with requirements in Notice To Bidders (if any). Provide weather tight and dust tight temporary closures to protect existing areas during construction. Provide alternate exits from existing areas where required by Codes.
- Work** - shall be installed and fastened in a workmanlike manner and in accordance with manufacturer's recommendations, referenced standards, accepted construction practices. Lay out work square, level, plumb, in alignment as shown, to avoid cuts, and avoid using less than half size widths. Do not install work when environmental conditions would adversely affect work unless adequate provisions have been made to counteract heat, cold, moisture, especially in relation to concrete, stucco, masonry, sealers, roofing, drywall, resilient flooring, paint, and conditioning of architectural woodwork and carpet.
 - Codes** - The work shown shall comply with the requirements of OSHA, IBC 2009, NFPA 101 Life Safety Code 2009 Ed., International Energy Conservation Code 2009 Ed., ASHRAE Standards 62.1, 62.2 and 90.1 2007 Ed., Maine State Internal Plumbing Code, ADAAG 2010 Ed., whether specifically indicated on drawings or not.
- "Provide"** - as used in the Contract Documents shall mean the same as "furnish and install".
 - Materials** - shall be new, delivered in unopened packages, stored and protected per manufacturer's recommendations. Manufacturers specified are to establish design and quality. Substitute materials will be allowed when accepted by the Architect, 5 working days prior to submission of bids. Acquisition of written approval is the sole responsibility of the G.C. (Late, lost, mis-routed or mis-communicated submittals will not relieve the Contractor of responsibility to provide specified item. One manufacturer for each material shall be used throughout.

SUPPLEMENTAL CONDITIONS & TYPICAL NOTES

- Dimensions** - are shown to face of GWB drywall or centerline of studs as indicated on drawings. The Contractor shall verify and coordinate dimensions in the field to accommodate site conditions, final material selection and to avoid work conflicts including work by other contractors and sub-contractors.
 - Exact locations of all equipment and materials are subject to approval of the Owner and Architect and they reserve the right to make any reasonable changes in location without extra cost.
 - Do not scale drawings.** Use manufacturer data or call Architect to obtain critical dimensions.
 - Wood Blocking** - shall be provided as shown on the drawings and for all wall mounted equipment, furnishings, and specialties including but not limited to: shelf standards, grab bars, toilet partitions, coat rack & hooks, window treatment and wall mounted cabinets.
 - Conceal Work** - including piping, conduit, or ductwork in walls or above ceilings unless specifically called to be exposed on drawings.
 - New Partitions** - shall run up to the bottom of the structure above unless specifically noted to stop above or below the ceiling or to the bottom of the GWB ceiling.
 - Repair** - all finishes or items new or existing to remain that are damaged during construction. Failure to document existing conditions outside the work area that may be subject to disturbance, shall not eliminate responsibility to repair damaged existing finishes. GC is responsible to prevent/repair site erosion during all phases of construction.
 - ADA Requirements:** Contractor shall provide Accessible features as noted in the Contract Documents.
 - All latch sets shall have lever latchesets.
 - Door Location:** Minimum latch side wall dimensions shall be as shown to comply with Accessibility Guidelines. (Place all new doors w/4" clearance between hinge edge and GPDW finish side.)
 - ADA Room Clearances:** Drawings indicate accessibility clearances (to finish faces) around and in toilet rooms and bathrooms as follows:
 - Dashed circle indicates an ADA required 5'-0" diameter wheel chair turning area. Small portions (toe area) may project under toilets or lavatory or counter.
 - Dashed lines near lavatory or toilet indicate ADA required area into which door swing or fixed equipment can not protrude.
- SIGNAGE:** Permanent rooms and spaces shall be designated with signage compliant with Americans and Disabilities Act (ADA) requirements complying with Section 4.30 Signage.
 - Provide signage for toilet room, exit signs and other signage is provided with symbol, text and Braille.

Interior sign size: 6"x8"
 Text width to height ratio 3:5 to 1:1
 Stroke to height ratio 1:5 to 1:10
 Min. text height 3" raised 1/32"
 Accompany text with Grade 2 Braille
 Mount sign 60" A.F.F. to Center Line of Sign on latch side of door

Sign size: 4"x2"

SPECIAL WORK SCOPE

- BANK EQUIPMENT** will be installed by vendors contracted directly by the Bank. Shop drawings will be provided to the Contractor. The Contractor shall be responsible for:
 - Provide electrical provisions as required for all bank equipment and for CCVS/security systems. Maintain building openings/passage/right of way of sufficient size for taking equipment into building and to operate a fork lift truck inside shell space.
 - Protect bank equipment until turned over to Owner and if bank equipment is damaged then the Contractor shall be responsible for repairs.
 - Bank Equipment:** The Contractor shall supply all required conduit and electrical connection required by the manufacturer and the bank for power and security.
- TLA will provide the following Work.** The GC will be given shop drawings and shall coordinate his work with that provided by TLA.
 - Furniture.
 - Window Treatment.
 - Specialty millwork indicated by half tone-cross-hatch.
- Flooring** - including vinyl base
- FIRE EXTINGUISHERS:** Work shall include U/L Rated fire extinguishers and cabinets by J.L. Industries as shown on the drawings and as follows:
 - "Cosmic 5E" 2A 10BC ~5 lb. fire extinguisher: See General Note: 5 A1.2
 - "Ambassador 016" Steel Cabinet 1 1/2" rolled trim, with Fire-FX option for fire rated walls and ADAC option (no projection more than 4") for "Cosmic 10E" extinguisher.
 - Use "Ambassador 1014" flush for "Cosmic 5E" and "Ambassador 206" for "Cosmic 20E"
- ALLOWANCES:**
 - Wire allowance for security equipment: \$ 6,000.00
 -
 -

REQUIRED SUBMITTALS

- Submittals:** - The Contractor shall review and stamp submittals prior to the Architect review. Contractor's review of submittals represents that the Contractor has determined and verified materials, field dimensions and field construction criteria related thereto and has checked and coordinated information within submittals with design concept and information given in the Contract Documents. TLA may reject any submission without said stamp. TLA is not responsible for any delays in the project caused by rejected or incomplete submittals. G.C. should expect a minimum of two week submittal turn around.
 - Submit manufacturer's data, samples, schedules and shop drawings for the Architects review and acceptance as follows:

Construction Schedule	Toilet Accessories
Roof Truss Design	Exterior / Interior Materials
Steel Frame Design	Hardware Cuts and Schedule
 - As **Built** shall be given to the Owner upon completion showing any departures from the Contract Documentation a reproducible set of drawings.
 - Operation and Maintenance Instructions** shall be given to the Owner in a bound/loose leaf set upon completion for equipment, finishes, fixtures and appliances, etc. Include copies of Manufacturer's warranties.

BUILDING CODE ANALYSIS

BUILDING CODE & LIFE SAFETY			
NFPA 101 (2009) Life Safety Code & IBC 2009			
General Project Description:			
This project is a new interior fit-up for a Branch Bank. The First Floor will occupy 5,411 s.f. and a Second Floor (Carriage Floor) will occupy 2,426 s.f. for a total Occupancy of 7,837 s.f. Branch. The Bank will occupy approximately 70 % of the Ground First Floor space of an existing Four Story Building. The original building was constructed as the "Casco Bank Block" Building. The building is a Mixed Use Occupancy consisting of Mercantile and Business Use Groups.			
Building Data:			
Occupancy:	Business Group B	IBC Section 304	
New Business Occupancies	NFPA 101 Chapter 38		
Construction Type:	VB Combustible Unprotected		
Fire Suppression System:	Supervised Sprinkler system (per NFPA 72) in accordance per NFPA 13		
Fire Alarm and Detection System	per NFPA 72 and IBC Section 907		
Means of Egress:			
Occupant load factor - First Floor :	5,431 s.f. / 100 s.f. pp = 55 persons	NFPA 101 Table 7.3.1.2	
Occupant load factor - Second Floor :	2,426 s.f. / 100 s.f. pp = 25 persons	NFPA 101 Table 7.3.1.2	
Minimum width corridors:	50 or less = 36" / 50 or more 44"	NFPA 101 Section 38.2.3.2	
Min. number of required exits - First Floor	2 required; 3 provided	NFPA 101 Section 7.5.1.1.1	
Min. number of required exits - Second Floor	1 required; 2 provided	NFPA 101 Section 38.2.4.6	
Common path of travel:	Sprinkled 100' max. / 44'-0" Actual	NFPA 101 Section 38.2.5.3.1	
Dead end corridors:	Sprinkled 50' max. / 47'-0" Actual	NFPA 101 Section 38.2.5.2.1	
Minimum exit access remoteness:	1/3 diagonal with sprinkler $\frac{1}{4} = 47'$	NFPA 101 Section 7.5.1.3.3	
Exit Access Travel Distance:	Sprinkled 300' max. / 92'-0" Actual	NFPA 101 Section 38.2.6.3	
Fire Ratings (IBC 2009 - type 5B construction)			
Building Elements :	Fire rating	Code Reference	
Structural Frame :	0 hours	IBC Table 601	
Exterior Bearing Walls :	0 hours	IBC Table 601	
Interior Bearing Walls :	0 hours	IBC Table 601	
Interior Non-Bearing Walls :	0 hours	IBC Table 601	
Floor Construction :	0 hours	IBC Table 601	
Roof Construction :	0 hours	IBC Table 601	
Interior Fire Separation :			
Existing Stair (vert. exit enclosure) walls :	1 Hour	per NFPA 80 Table 715.4	
Draftstopping in attics :	Not Required	IBC Section 771.4.3	
Exit Access Corridor walls : (Greater than 30)			
Sprinklered	0 hour	Table 1018.1	
Non-sprinklered	1 hour	Table 1018.1	
Interior Finishes: (Walls, Ceilings & Floors)			
Exit Enclosures & Exit Access Corridors	SPRINKLERED	NON-SPRINKLERED	IBC 2009 Table 803.9
Corridors	Class B	A	
	Class C	B	
Room Walls, Ceilings and Corridors:	Class C	C	IBC 2009 Table 803.9
Interior Floor Finish:	Class 2 - DOC FF-1 "pill test"		IBC 2009 Section 804.4.1
NOTE:			
1. Portable Fire Extinguishers must be sized and located per NFPA 10 per Table 906.3(1) and the Local Fire Department.			

DESCRIPTION OF WORK

- Description of Work:**
 This project is an Interior Fit-up of an Existing First and Second Floor Space for Machias Savings Bank.
 - First Floor 5,431 s.f. and Second Floor (Carriage Level) 2,426 s.f. = Total Area: 7,857 s.f.
 - Totally Sprinklered Space, Fire and Smoke Alarm System, and Security System.
 - The General Contractor shall be responsible for a completed project which includes but not limited to: Mechanical, Electrical, Plumbing installation, Construction, and Finishes. The General Contractor shall be required to co-ordinate the work of subcontractors provided by the Owner and TLA.
- Finishes:**
 - TLA work shall include VCT, Vinyl Base, and Pedimat.
 - GC shall prepare concrete slab floor, wall finish and blocking for TLA Finish and Millwork Contractors. Floors shall be free from paint, varnish, excessive adhesive, residue, solvents, wax, coatings, curing compounds, and oil.
 - TLA's Floor Finish Contractor shall be responsible for moisture testing, sweeping or vacuuming the floor free of dust prior to installation of flooring materials.
 - GC shall provide leveling compound to the satisfaction of the flooring installer if floors are not level.
 - GC shall maintain a minimum temperature of 65 degrees F.
 - GC shall provide plumbing installed in millwork by TLA.
 - GC shall provide paint, interior stain/varnish, and wainscot, crown, base, chair rail, window/door casing as indicated on the drawings. Prior to purchase of trim the GC shall verify with TLA that it will match work provided by TLA Millwork Contractor.

CONTRACT DOCUMENTS

SHT NO.	DRAWING NAME	Date	Revision	Revision
C 1.1	COVER SHEET	06-24-16		
E 1.0	EXISTING CONDITIONS AND DEMOLITION PLANS	06-24-16		
A 1.0	1/8" FIRST AND SECOND FLOOR PLAN	06-24-16		
A 1.1	1/4" FIRST FLOOR PLAN - PARTIAL	06-24-16		
A 1.2	1/4" FIRST FLOOR PLAN & DETAILS	06-24-16		
A 2.0	1/4" SECOND FLOOR PLAN & DETAILS	06-24-16		
A 3.0	DOOR SCHEDULE & ADA ACCESSIBLE DETAILS	06-24-16		
A 5.1	FIRST & SECOND FLOOR PLANS - INTERIOR ELEVATIONS			
A 5.2	FIRST & SECOND FLOOR PLANS - INTERIOR ELEVATIONS			
F 1.1	FIRST & SECOND FLR PLANS - FINISH & FURNITURE PLAN			
F 1.2	FIRST & SECOND FLR PLANS - CARPET INSTALLATION			
F 1.3	FIRST & SECOND FLR PLANS - CARPET RENDERING			
RCP	FIRST & SECOND FLOOR - REFLECTED CEILING PLANS			

revision	date	revision	description
2	05-29-15		Delete A4.6 Building Sections
1	04-17-15		MIP ISSUED FOR CONSTRUCTION & REVISED PLANS
No.			drawn by: JFD

Construction Set: 06/24/16
 Machias Savings Bank
 Portland, Maine
 193 Middle Street,
 Cover Sheet

DRAWING NO. 1 Floor Plan		TYPE DRAWING (typical wall, door, window detail) 2 Partition Type		INTERIOR ELEVATION C4 A-X		ROOM NAME ROOM NUMBER FIN #1 A-10 Room Size 20'-0" x 30'-0" 600 SF.		SECTION MARKER Drawing Number Referenced Sheet #		DETAIL MARKER Drawing Number Referenced Sheet #		ELEVATION MARKER Drawing Number Referenced Sheet #		FINISH SYMBOLS		DEMOLITION: Fully remove existing construction indicated		NEW WALL CONSTRUCTION							
SHEET NO. A-2	SCALE: See Title Block	WINDOW NUMBER 103	DOOR NUMBER 104	EQUIPMENT KEY NO. EC #20 FAN COIL	REVISION NO. 1	BREAK LINE	Notes of particular importance.	±6'-0" Adjust dimension to suit exist. conditions.	SLIDING DOOR	BOLD DOOR	ACCORDIAN DOOR	FOLD PARTITION	EXISTING DOOR	NEW DOOR	CASED OPENING	DOOR WIDTH DOOR NUMBER (based on rm#) Fire Label	3'-0" 101 B	WALL PNT1	BASE VB1	FLOOR CPT1	EXISTING CONSTRUCTION to remain	"TYPE" MARKER (for typical wall, door, window details) See Dwg List for Sheet No for Referenced Details			
EARTH	ROCK/LEDGE	AGGREGATE	COMPACTED FILL	CONCRETE	SAND/PLASTER	BRICK	CONC. MASONRY UNIT	STONE	STONE Elevation	STEEL	ALUMINUM	RUBBER/PLASTIC	ROUGH FRAMING	FINISH WOOD	PLYWOOD	PARTICLE BOARD	WOOD FACE	BATT INSULATION	RIGID INSULATION	DRYWALL	ACOUSTIC TILE	GLASS	GLASS Elevation	TILE Elevation	ROOF SHINGLES

C1.1
 sheet number
 issued: 06-24-16
 project no. 1601