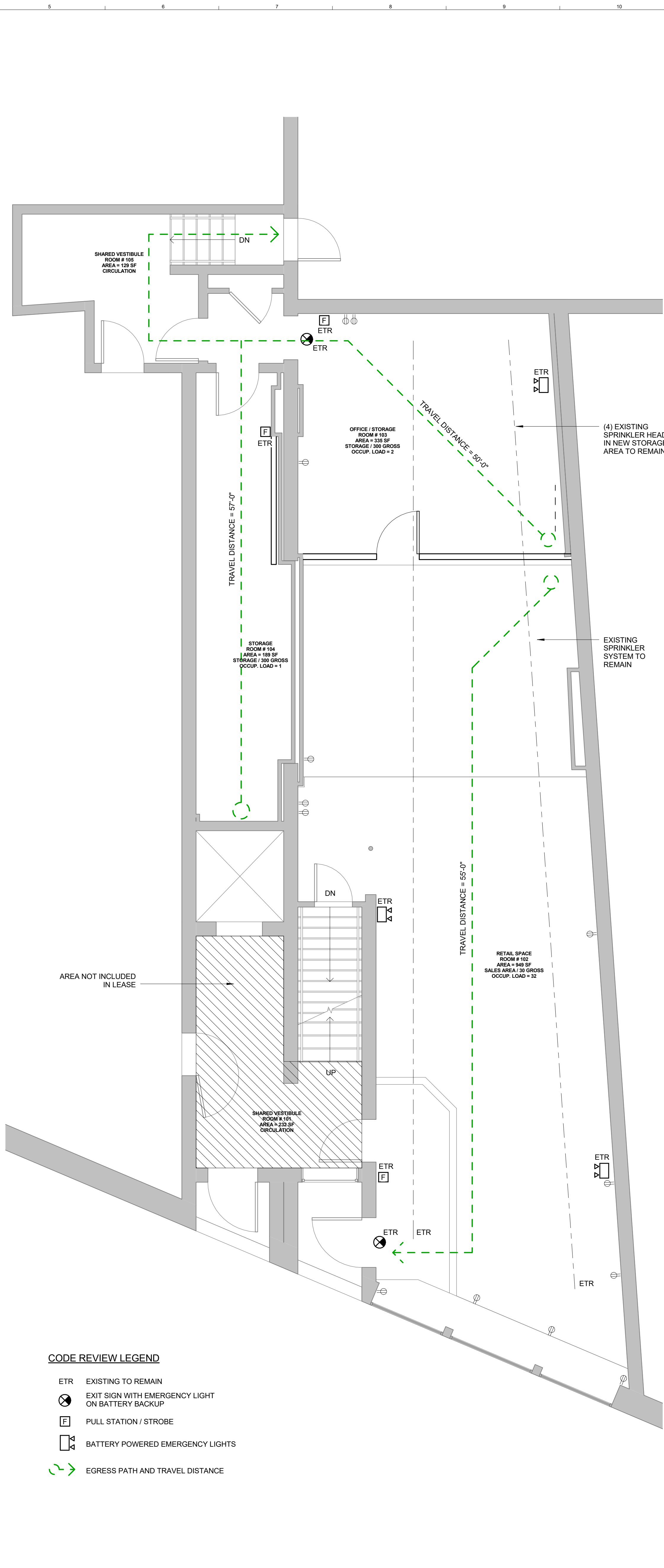


A1 BASEMENT CODE PLAN
1/4" = 1'-0"



A5 FIRST FLOOR CODE PLAN
1/4" = 1'-0"

Applicable Codes:
 City of Portland, Maine Code of Ordinances
 1999 NFPA 70 - National Electrical Code w/Portland Amendments (Sec. 6-32)
 1993 BOCA National Mechanical Code w/Portland Amendments (Sec. 6-86)
 2009 NFPA 101 - Life Safety Code w/Portland Amendments (Sec. 10-1)
 2009 NFPA 1 - Fire Code w/Portland Amendments (Sec. 10-16)
<http://www.portlandmaine.gov/131/City-Code>

Maine Uniform Building and Energy Code (MUBEC)
 2009 International Residential Code (IRC)
 2009 International Building Code (IBC)
 2009 International Existing Building Code (IEBC)
 2009 International Energy Conservation Code (IECC)
 2009 Uniform Plumbing Code
 2007 ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality
 2007 ASHRAE 62.2 - Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings
 2007 ASHRAE 90.1 - Energy Standard for Buildings except Low Rise Residential Buildings w/out addenda
 2006 E-1465 Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings

CODE REVIEW SUMMARY:

PROJECT NARRATIVE:
 THIS PROJECT IS A LEVEL 2 ALTERATION, TENANT RENOVATION FOR A NEW "O BAG" RETAIL STORE IN AN EXISTING TENTANT SPACE IN AN EXISTING BUILDING. THE SCOPE OF WORK INCLUDES INTERIOR CONSTRUCTION, MILLWORK AND NEW LIGHTING. NEW EXTERIOR SIGNAGE IS ALSO PROPOSED.

PORTLAND ZONING ORDINANCE REVIEW:

ITEM #	ITEM	SECTION	REQUIREMENT	PROPOSED COMPLIANCE
	Zoning		Zone B3 - Downtown Business Historic District	

CODE REVIEW BY SECTION: IBC vs. NFPA 101

ITEM #	ITEM	MUBEC / 2009 IBC	2009 NFPA 101 - Life Safety Code	PROPOSED COMPLIANCE
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1.0 USE AND OCCUPANCY				
Primary Use	309	Mercantile Group M	Chapter 37	Mercantile, Class C
Hazard Classification			12.1.5	Ordinary Hazard Content
Alteration Type	IEBC 404 / 701.1	Level 2 Alteration		
Gross Floor Area				1,685 SF
Occupant Load	Table 1004.1.1	Sales Area = 30 SF / Occupant Storage Area = 300SF / Occupant	7.3.1.2	Sales Area = 30 SF / Occupant Storage Area = 300SF / Occupant Total Occupant Load = 35

2.0 CONSTRUCTION TYPE & GENERAL BUILDING HEIGHT AND AREA LIMITATIONS				
Construction Type	Table 503 and 506.3	Type IIIB	Table A.8.2.1.2	Type III (200)
Area Limitation	Table 503 and 506.3	12,500 SF per Story w/ Sprinkler increase (s=2) up to 37,500 SF per Story		No Proposed Change to Construction Type
Story Limitation	Table 503 and 504.1	2 Stories w/ Sprinkler increase up to 3 stories above grade.		No Proposed Change to Area Leased Area: Basement = 100 SF First Floor = 1585
Height Limitation	Table 503 and 504.1	55 Feet w/ Sprinkler increase up to 75 Feet		No Proposed Change to Number of Stories Existing building = ~45'-0". No Proposed change to building height

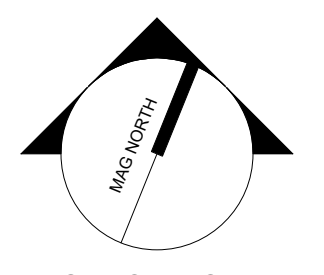
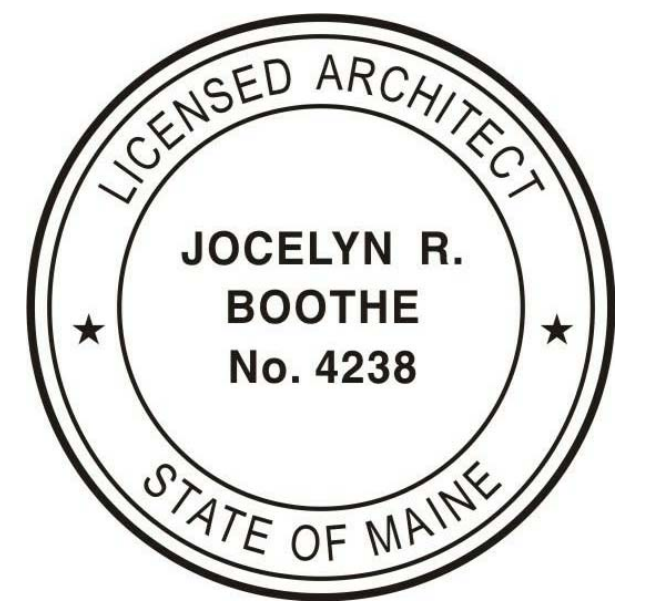
3.0 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS				
Primary Structural Frames	Table 601	0 hr	Table A.8.2.1.2	0 hr
Exterior Bearing Wall	Table 601	2 hr	Table A.8.2.1.2	2 hr
Interior Bearing Wall	Table 601	0 hr	Table A.8.2.1.2	0 hr
Non-bearing Exterior Walls	Table 601	0 hr	Table A.8.2.1.2	0 hr
Non-bearing Interior Walls	Table 601	0 hr	Table A.8.2.1.2	0 hr
Floor Construction and Secondary Members	Table 601	0 hr	Table A.8.2.1.2	0 hr
Roof Construction and Secondary Members	Table 601	0 hr	Table A.8.2.1.2	0 hr

4.0 FIRE AND SMOKE PROTECTION FEATURES				
Automatic Sprinkler Systems	903.2.7	Sprinkler System Not Required	37.3.5.1	Sprinkler System Not Required Existing Automatic Sprinkler System to Remain

5.0 EGRESS				
Egress Width per Occupant	1005.1	.3" per person Stairways .2" per Person Horizontal	7.3.3.1	.3" per person Stairways .2" per Person Horizontal 293" Stair Width Required 284" Horizontal width required (403" provided)
Minimum Door Widths	1008.1.1	32" Minimum Clear Width	7.2.1.2.3	32" Minimum Clear Width
Common Path of Travel	1014.3 / 1028.8	75 feet with Sprinkler System	37.2.5.3.1	100' max
Travel Distance	Table 1016.1 / 1028.7	250 Feet with Sprinkler System	37.2.6	250 feet with sprinkler system
Dead End Corridors	IEBC 705.6.3	70 Feet with Sprinkler System	37.2.5.2	50' max
Minimum Number of Exits	IEBC 705.3.1.1	Single Egress permitted at the level of discharge, if less, 50 people and, 75' travel distance	37.2.4.3	Single Egress permitted if travel distance < 75'-0" Travel distance = 55' from public area. 1 public egress provided. Second egress for staff area provided.

REV.	DESCRIPTION	DATE
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PERMIT DRAWINGS
31 MAY 2016



O bag
191 MIDDLE STREET
PORTLAND, ME 04101

CODE REVIEW NOTES

SHEET TITLE:	
PROJECT No.:	GRAPHIC SCALE: 1" = 10'
SCALE: As indicated	
PROJECT MANAGER: JRB	SHEET No. G2
DRAWN BY: JRB	
CHECKED BY: JRB	