



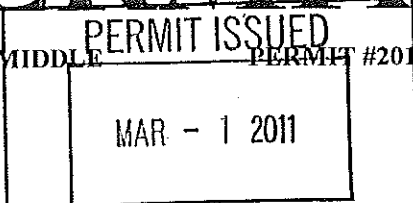
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that Savi Realty LLC/Great Falls Const.  
has permission to Install an exterior egress Stair System

Located At 193 MIDDLE PERMIT #2011-01-208



provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

*Sub per BW*

Fire Prevention Officer

*Jeanne Rankin 2/28/11*

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.  
PENALTY FOR REMOVING THIS CARD.

*all to close & scan*

# SCANNED



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-01-208-ALTCOMM

Located At: 193 MIDDLE

CBL032 - - H - 022 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

### **Historic**

\* The entire structure to be pre-finished or painted dark bronze or black, consistent with fire escapes throughout the Old Port Historic District.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy
4. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. Fire extinguishers are required. Installation per NFPA 10.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
6. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.

7. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
8. Any cutting and welding done will require a Hot Work Permit from Fire Department.
9. Tread depth has been allowed to be 10" as measured horizontally from nose to nose due to lack of space available.
10. The risers shall be solid.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Foundation/Rebar
  2. Final at completion of work, report of special inspections required.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

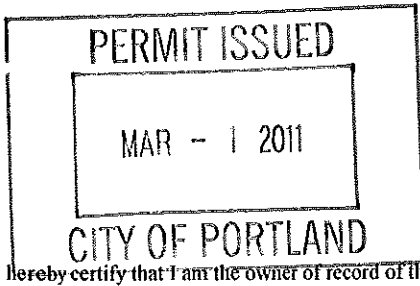
IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Permit No: 2011-01-208	Issue Date: 2/28/2011	CBL: 032 H022001
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Location of Construction: <b>193 Middle St.</b>	Owner Name: <b>Savi Realty, LLC</b>	Owner Address: <b>21 Lookout Dr., Freeport, ME</b>	Phone:
Business Name: <b>Akari</b>	Contractor Name: <b>Great Falls Construction</b>	Contractor Address: <b>20 Mechanic St., Gorham, ME</b>	Phone: <b>839-2744</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>Interior Demolition</b>	Zone: <b>B-3 Historic</b>
Past Use: <b>Mixed Use, Mercantile, Business, Salon</b>	Proposed Use: <b>Mixed Use, Mercantile, Business, Salon</b>	Cost of Work: <b>\$121,469</b>	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Inspection: Use Group: <b>M/B</b> Type: <b>2A/3A</b> <b>IBC 2009</b>
Proposed Project Description: <b>Install new steel exterior egress on rear of building</b>		Signature: <b>JMB 2/28/11</b>	
		Signature: <b>KG</b>	
		<b>Pedestrian Activities District (P.A.D.)</b>	

Permit Taken By: <b>Ld</b>	Date Applied For: <b>1/4/11</b>	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building Permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>MES</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in Dist or Landmark <input checked="" type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>DA</b>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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839-2944



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>193 MIDDLE ST. PORTLAND</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>032      H 022</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>SAVI REALTY INC</u> Address <u>193 MIDDLE ST</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>EMAIL</u> <u>ALLAN.LAZUS@</u> <u>GMAIL.COM</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>121,469<sup>00</sup></u> C of O Fee: \$ _____ Total Fee: \$ <u>1,340.00</u>
Current legal use (i.e. single family) <u>COMMERCIAL / RETAIL</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>EGRESS STAIR</u> <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INSTALL NEW EXTERIOR EGRESS STAIR SYSTEM PER PLANS/SPEC'S</u> <u>PROVIDE BY PDT ARCHITECTS.</u>		
<b>RECEIVED</b>		
Contractor's name: <u>Great Falls Construction</u>		
Address: <u>20 MECHANIC ST.</u>		
City, State & Zip: <u>Portland ME 04103</u>		
Who should we contact when the permit is ready: <u>Rick Gormie</u> <b>Dept. of Building Inspections</b> <b>City of Portland Maine</b>		
Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Rick Gormie      Date: 14 DEC 2010

This is not a permit; you may not commence ANY work until the permit is issue

**Jeanie Bourke - Re: Fwd: Attn- Jeanie Bourke (FW: Akari Egress Stair)**

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**From:** Jeanie Bourke  
**To:** casey@pdtarchs.com  
**Date:** 4/5/2011 1:37 PM  
**Subject:** Re: Fwd: Attn- Jeanie Bourke (FW: Akari Egress Stair)  
**CC:** Donald McPherson

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Hi Becca,

In response to your email, I have confirmed with Marge in zoning that there are no setback requirements, and as far a fire separation, I am not concerned about 1-1/2" toward the adjacent building in order to account for irregularities in the existing foundation wall.

As far as the completion date of the required egress, contact Keith on that.  
Jeanie

*Jeanie Bourke*  
*CEO/Plan Reviewer*

**City of Portland**  
**Planning & Urban Development Dept./ Inspections Division**  
**389 Congress St. Rm 315**  
**Portland, ME 04101**  
**jmb@portlandmaine.gov**  
**Direct: (207) 874-8715**  
**Office: (207) 874-8703**

>>> Tammy Munson 4/4/2011 10:16 AM >>>

>>> Becca Casey <casey@pdtarchs.com> 4/4/2011 10:09 AM >>>

Jeanie,

Per voicemail I left for you this morning, the two questions are described below in an email to Don. Please review and advise if you have concerns regarding these items.

Thanks!

Becca

**Rebecca S Casey**  
Maine Licensed Architect  
**PDT Architects**  
49 Darlmouth Street  
Portland, ME 04101

(207).775.1059 x 334  
<http://www.pdtarchs.com/>

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**From:** Donald McPherson [mailto:DMCPHERSON@portlandmaine.gov]  
**Sent:** Thursday, March 31, 2011 9:07 AM  
**To:** Becca Casey

**Subject:** RE: Akari Egress Stair

Hi Becca,

The quickest way to resolve this issue would be for you to discuss it with Jeanie Bourke at 874-8715. We have been missing each other the last couple days.

Don McPherson  
Code Enforcement Officer

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Office: 207.874.8702  
Support Staff: 207.874.8705  
[DMcPherson@portlandmaine.gov](mailto:DMcPherson@portlandmaine.gov)

>>> Becca Casey <[casey@pdtarchs.com](mailto:casey@pdtarchs.com)> 3/30/2011 9:56 AM >>>

Don,

I'd like to introduce myself, I am the architect for the Akari stair project. There are two things I wanted to check in with you on:

1. Aaron Bourassa (of Great Falls Construction) said you have been out to the site and he discussed with you the adjustments we are having to make based on final laser measurements in the field. We moved the stair about 1-1/2" from the location shown on the drawings to clear existing wall variations. This appears that it may result in the stair framing infringing on the 10' clear from the neighboring building by a couple of inches. My understanding is that the intent of the code is to keep occupants and their egress path clear of the openings in adjacent buildings, and as such the stair configuration would still meet the intent of the code. Aaron mentioned that you were planning to confirm that this would not be of great consequence. I appreciate you looking into this and wanted to check in to assure we can move ahead without fear of related issues at final inspection.

2. I wonder whether you have any directive regarding schedule on the project? There was discussion last year (with Keith Geatreau) about finishing the project by the end of this month. Clearly that is not going to be possible, but as you've seen, things are moving along. Allan, the owner has been not received word back in his attempts to inquire whether this is going to present a problem or not. I don't believe that there is any officially imposed "deadline" - but we would like to make sure that we are addressing it if there are concerns.

Please let me (or Aaron) know if you see a need to further address either of the issues.

Thanks so much!

Becca

**Rebecca S Casey**  
Maine Licensed Architect  
**PDT Architects**  
49 Dartmouth Street  
Portland, ME 04101

(207).775.1059 x 334





## Certificate of Design

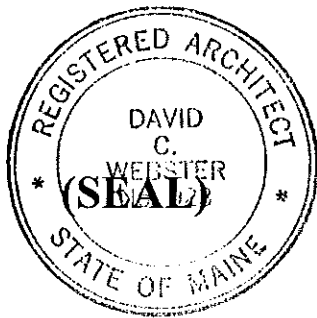
Date: Dec. 28, 2010

From: \_\_\_\_\_

These plans and / or specifications covering construction work on:

Akan - Exterior Egress Stair  
on the existing 193 Middle St. building.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: [Handwritten Signature]

Title: PRESIDENT

Firm: PDT ARCHITECTS

Address: 49 DARTMOUTH ST.

PORTLAND, ME. 04101

Phone: 207.775.1059

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Accessibility Building Code Certificate

Designer: \_\_\_\_\_

Address of Project: \_\_\_\_\_

Nature of Project: \_\_\_\_\_

*N/A - see Barner - Tree Permit / Approval from S.P.A.*

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

**(SEAL)**

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

1) Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207) 874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization

RECEIVED  
FEB 28 2011  
Dept. of Building Inspections  
City of Portland, Maine

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. The application must be accompanied by an application fee of \$50.
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.



# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- N/A  Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- N/A  Complete electrical and plumbing layout.
- N/A  Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- N/A  Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- N/A  Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- N/A  Per State Fire Marshall, all new bathrooms must be ADA compliant.

N/A Separate permits are required for internal and external plumbing, HVAC & electrical installations.

N/A For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

N/A A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

**Fire Department requirements. N/A**

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant and the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**



# Certificate of Design Application

From Designer: \_\_\_\_\_

Date: \_\_\_\_\_

Job Name: \_\_\_\_\_

Address of Construction: \_\_\_\_\_

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year \_\_\_\_\_ Use Group Classification (s) \_\_\_\_\_

Type of Construction \_\_\_\_\_

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC \_\_\_\_\_

Is the Structure mixed use? \_\_\_\_\_ If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? \_\_\_\_\_ Geotechnical/ Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown

### Wind loads (1603.1.4, 1609)

- \_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)
- \_\_\_\_\_ Basic wind speed (1809.3)
- \_\_\_\_\_ Building category and wind importance Factor,  $I_w$ , table 1604.5, 1609.5
- \_\_\_\_\_ Wind exposure category (1609.4)
- \_\_\_\_\_ Internal pressure coefficient (ASCE 7)
- \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

- \_\_\_\_\_ Design option utilized (1614.1)
- \_\_\_\_\_ Seismic use group ("Category")
- \_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)
- \_\_\_\_\_ Site class (1615.1.5)

- \_\_\_\_\_ Live load reduction
- \_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)
- \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)
- \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)
- \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$
- \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)
- \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)
- \_\_\_\_\_ Seismic design category (1616.3)
- \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)
- \_\_\_\_\_ Response modification coefficient,  $R_f$  and deflection amplification factor,  $C_d$  (1617.6.2)
- \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)
- \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

- \_\_\_\_\_ Flood Hazard area (1612.3)
- \_\_\_\_\_ Elevation of structure

### Other loads

- \_\_\_\_\_ Concentrated loads (1607.4)
- \_\_\_\_\_ Partition loads (1607.5)
- \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Building Inspections

# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

FEB 1 2011

PROJECT NAME: AKARI EGRESS STAND

PROJECT ADDRESS: 193 MIDDLE ST CHART/BLOCK/LOT: 32-14-22-11

APPLICATION FEE: \$50<sup>00</sup> (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

032 H 022 011

RECEIVED  
FEB 28 2011  
Dept. of Building Inspections  
City of Portland Maine

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Work #: \_\_\_\_\_

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### CONSULTANT/AGENT

Name: GREAT FALLS CONSTRUCTION

Address: 20 MECHANIC ST

FOULTON, ME 04008

Work #: 839-2744

Cell #: —

Fax #: 839-3737

Home #: —

E-mail: rick@greatfallsme.com

### Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg .2 of this appl.)

### Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Y(yes), N(no), N/A

a) Is the proposal within existing structures?	<u>Y</u>	<u>N</u>
b) Are there any new buildings, additions, or demolitions?	<u>Y</u>	<u>Y</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>Y</u>	<u>Y</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>N</u>
e) Are the curbs and sidewalks in sound condition?	<u>N/A</u>	<u>Y</u>
f) Do the curbs and sidewalks comply with ADA?	<u>N/A</u>	<u>Y</u>
g) Is there any additional parking?	<u>N/A</u>	<u>N</u>
h) Is there an increase in traffic?	<u>N</u>	<u>N</u>
i) Are there any known stormwater problems?	<u>N</u>	<u>N</u>
j) Does sufficient property screening exist?	<u>N/A</u>	<u>Y</u>
k) Are there adequate utilities?	<u>Y</u>	<u>Y</u>
l) Are there any zoning violations?	<u>N</u>	<u>Y</u>
m) Is an emergency generator located to minimize noise?	<u>N/A</u>	<u>N</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>N/A</u>	<u>N</u>

Signature of Applicant:

Rick

Date:

28 Jan 2010

**Benjamin Wallace - Re: Akari Fire Stair**

---

**From:** Benjamin Wallace  
**To:** Becca Casey  
**Date:** 2/16/2011 11:48 AM  
**Subject:** Re: Akari Fire Stair  
**CC:** Jeanie Bourke; Keith Gautreau; Peaslee, Ronald J; aaron@greatfallsinc...  
**Attachments:** Benjamin Wallace.vcf

---

The City of Portland will grant the waiver provided that SFMO approves. The solid risers will still be required.

Thanks,

Lt. Benjamin Wallace Jr.  
Fire Prevention Officer  
Portland Fire Department  
380 Congress Street  
Portland, Maine 04101  
(207)756-8096  
wallaceb@portlandmaine.gov

>>> Becca Casey <casey@pdtarchs.com> 2/14/2011 4:47 PM >>>

Lt. Wallace,

Thanks for getting back to me so quickly today. It sounds like the best solution here is to request a waiver for the tread depth to be 10" rather than 11". Please consider this and let me know at your earliest convenience what else you will need from me.

As discussed, this project is a very tight fit between existing structures, and has required greater engineering of the steel than typical (including moment connections and cantilevered landings) to make it work. Additionally, discussion of specific code requirements were carefully navigated to meet life safety requirements while squeaking the design into the limitations of existing construction. Attached find email from Ron Peaslee acknowledging meeting notes (also attached) and email with Cpt. Geatreau regarding reduction from "opaque" screening per historic request. (I've cc'd him as well, as you said you'll check in with him regarding the project).

Please reference section 2/A4 to see how tight the stair already comes to the existing stairway roof. This section also shows the proper depiction of the stair re: tread-riser continuum. I've also attached a pair of details that are typical (not yet revised to specifically coordinate with the project), but show the design intent there. Please also reference 2/S1.2 for the relationship of the column at NW corner of the stair to the adjacent historic structure. The stair structure cannot be moved East to clear this, as the required 10' clearance to the neighboring (unsprinklered) building to the East is within an inch +/- tolerance as shown.

I hope this helps to convey the hardship in providing an otherwise fully compliant stair. If you would grant the waiver on the tread depth, this project can be underway immediately, as the contractor is under contract with the owner and waiting only for the building permit.

Thank you so much for your consideration, and please contact me for any further information or with any questions.

Becca



**Rebecca S Casey**  
**PDT Architects**  
49 Dartmouth Street  
Portland, ME 04101

(207).775.1059 x 334  
<http://www.pdtarchs.com/>

# Fabricator's Certificate of Compliance

Each approved fabricator that is exempt from Special Inspection of shop fabrication and implementation procedures per section 1704.2 of the International Building Code must submit a *Fabricator's Certificate of Compliance* at the completion of fabrication.

Project: Akari Exterior Egress

Fabricator's Name: LMC LIGHT IRON, INC

Address: RANGE E ROAD LIMERICK ME

Certification or Approval Agency: AWS

Certification Number:

Date of Last Audit or Approval: SEE ATTACHED

Description of structural members and assemblies that have been fabricated:

STEEL STAIR SYSTEM

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FEB 28 2011  
Dept. of Building Inspections  
City of Portland Maine

I hereby certify that items described above were fabricated in strict accordance with the approved construction documents.

Steve Hamilton  
Signature

2-28-11  
Date

PRESIDENT  
Title

Attach copies of fabricator's certification or building code evaluation service report and fabricator's quality control manual

**WELDER, WELDING OPERATOR OR TACK WELDER QUALIFICATION TEST RECORD**

Type of Welder ESAB -250  
 Name RICHARD MANSON Identification No. 6296  
 Welding Procedure Specification No. Table 3.1 Rev AWS D1.1 Date 3-3-08

Variables	Record Actual Values Used in Qualification	Qualification Range
Process/Type [Table 4.10, Item (2)]	<u>ECAW</u>	<u>SAME</u>
Electrode (single or multiple) [Table 4.9, Item (9)]	<u>SINGLE</u>	
Current/Polarity	<u>DCEN</u>	
Position [Table 4.10, Item (5)]	<u>1F</u>	<u>1F</u>
Weld Progression [Table 4.10, Item (7)]	<u>FLAT</u>	<u>FLAT</u>
Backing (YES or NO) [Table 4.10, Item (8)]	<u>NO</u>	<u>N/A</u>
Material/Spec. [Table 4.10, Item (1)]	<u>A36 to A36</u>	
Base Metal		
Thickness: (Plate)	<u>N/A</u>	<u>N/A</u>
Groove	<u>SDO</u>	<u>.125-UNLIMITED</u>
Fillet		
Thickness: (Pipe/tuba)	<u>N/A</u>	<u>N/A</u>
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>N/A</u>	<u>N/A</u>
Diameter: (Pipe)	<u>N/A</u>	<u>N/A</u>
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>N/A</u>	<u>N/A</u>
Filler Metal [Table 4.10, Item (3)]		
Spec. No.	<u>A5.20</u>	<u>E6 AND LOWER</u>
Class	<u>E71T-1M</u>	
F-No.	<u>E6</u>	
Gas/Flux Type [Table 4.10, Item (4)]	<u>CO2</u>	
Other		

**VISUAL INSPECTION (4.8.1)**  
 Acceptable YES or NO YES

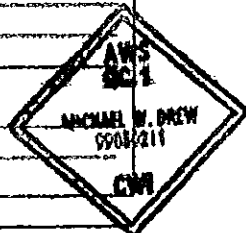
**Guided Bend Test Results (4.30.5)**

Type	Result	Type	Result
<u>N/A</u>		<u>N/A</u>	

**Fillet Test Results (4.30.2.3 and 4.30.4.1)**

Appearance Acceptable Fillet Size 5/16"  
 Fracture Test Root Penetration Acceptable Macroetch Acceptable  
 (Describe the location, nature, and size of any crack or tearing of the specimen.)

Inspected by M. DREW Test Number 99050211  
 Organization MDI Date 3-3-08



**RADIOGRAPHIC TEST RESULTS (4.30.3.1)**

Film Identification Number	Results	Remarks	Film Identification Number	Results	Remarks
<u>N/A</u>			<u>N/A</u>		

Interpreted by \_\_\_\_\_ Test Number \_\_\_\_\_  
 Organization \_\_\_\_\_ Date \_\_\_\_\_

We, the undersigned, certify that the statements in this record are correct and that the test welds were prepared, welded, and tested in accordance with the requirements of section 4 of ANS/AWS D1.1, (\_\_\_\_\_) Structural Welding Code—Steel.

Manufacturer or Contractor LMC LIGHT IRON Authorized By STEVE HAMILTON - PRESIDENT  
 Form E-4 Date 3-3-08

WELDER WELDING OPERATOR OR TACK WELDER QUALIFICATION TEST RECORD

Name of Welder **JODY NADEAU**  
 Name **LMC Light Iron, Inc** Identification No. **007-70-5910**  
 Welding Procedure Specification No **1** Rev **N/A** Date **2/03/05**

Variables	Record Actual Values Used in Qualifications	Qualification Range
Process/Type [Table 4.10, Item (1)]	FCM	
Electrode (single or multiple) [Table 4.10, Item (8)]	G45 E71T-1	ALL
Current Polarity	210 Amps DC+	
Position [Table 4.10, Item (5)]	1G	1G
Weld Progression [Table 4.10, Item (6)]	N/A	N/A
Backing (YES or NO) [Table 4.10, Item (7)]	YES	YES
Material/Spec.	Group 1 to Group 1	
Base Metal		
Thickness (Plate)		
Groove	3/8"	1/8-3/4
Fillet	N/A	F & H Unlimited
Thickness (Pipe/Tube)		
Groove	N/A	1/8-3/4
Fillet	N/A	F & H Unlimited
Diameter: (Pipe)		
Groove	N/A	OVER 24" DIA.
Fillet	N/A	OVER 24" DIA.
Filler Metal [Table 4.10, Item (9)]		
Spec. No.	A5.20	
Class	E71T-1	
F.No. [Table 4.10, Item (2)]	F6	F6
Gas/Flux Type [Table 4.10, Item (3)]	75% Argon/25% CO2	
Other	N/A	N/A

**VISUAL INSPECTION (4.8.1)**  
 Acceptable YES or NO YES

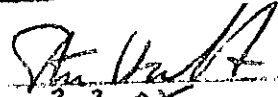
Type	Result	Type	Result
1G FACE BEND	ACCEPTABLE	1G ROOT BEND	ACCEPTABLE
Appearance	N/A	Fillet Size	N/A
Fracture Test Root Penetration	N/A	Macroetch	N/A
<b>Fillet Test Reports (4.30.2.3 and 4.30.4.1)</b>			
(Describe the location, nature and size of any crack or tearing of the specimen.)			
Inspected by:	Stephen D. Hamilton	Test Number	N/A
Organization	LMC Light Iron, Inc.	Date	2/03/05

**RADIOGRAPHIC TEST RESULTS (4.30.3.1)**

Film Identification Number	Results	Remarks	Film Identification Number	Results	Remarks
N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A
Interpreted by:	N/A	Test Number	N/A		
Organization	N/A	Date	N/A		

We, the undersigned, certify that the statements in this record are correct and that the test welds were prepared, welded, and tested in accordance with the requirements of section 4 of AWS d1.1 (2002) Structural Welding Code - Steel.

Manufacturer or Contractor **LMC Light Iron, Inc.**

Authorized By   
 Date **2-3-05**

**WELDER, WELDING OPERATOR OR TACK WELDER QUALIFICATION TEST RECORD**

Type of Welder ESAB - 250  
 Name JERRY ZARATE Identification No. 1403  
 Welding Procedure Specification No. Table 3.1 Rev AWSD1.1 Date 3-3-08

Variables	Record Actual Values Used in Qualification	Qualification Range
Process/Type [Table 4.10, Item (2)]	<u>ECAW</u>	<u>SAME</u>
Electrode (single or multiple) [Table 4.9, Item (9)]	<u>SINGLE</u>	
Current/Polarity	<u>DC EN</u>	
Position [Table 4.10, Item (5)]	<u>1F</u>	<u>1F</u>
Weld Progression [Table 4.10, Item (7)]	<u>ELAT</u>	<u>ELAT</u>
Backing (YES or NO) [Table 4.10, Item (8)]	<u>NO</u>	<u>N/A</u>
Material/Spec. [Table 4.10, Item (1)]	<u>A36 to A36</u>	
Base Metal		
Thickness: (Plate)		
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>500</u>	<u>125-UNLIMITED</u>
Thickness: (Pipe/tube)		
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>N/A</u>	<u>N/A</u>
Diameter: (Pipe)		
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>N/A</u>	<u>N/A</u>
Filler Metal [Table 4.10, Item (3)]		
Spec. No.	<u>A5.20</u>	<u>E6 AND LOWER</u>
Class	<u>ETIT-1M</u>	
F-No.	<u>E6</u>	
Gas/Flux Type [Table 4.10, Item (4)]	<u>CO2</u>	
Other		

**VISUAL INSPECTION (4.8.1)**  
 Acceptable YES or NO YES

**Guided Bend Test Results (4.30.5)**

Type	Result	Type	Result
<u>N/A</u>		<u>N/A</u>	

**Fillet Test Results (4.30.2.3 and 4.30.4.1)**

Appearance ACCEPTABLE Fillet Size 5/16"  
 Fracture Test Root Penetration ACCEPTABLE Macroetch ACCEPTABLE  
 (Describe the location, nature, and size of any crack or tearing of the specimen.)

Inspected by M. DREW Test Number 99050211  
 Organization MDI Date 3-3-08



**RADIOGRAPHIC TEST RESULTS (4.30.3.1)**

Film Identification Number	Results	Remarks	Film Identification Number	Results	Remarks
<u>N/A</u>			<u>N/A</u>		

Interpreted by \_\_\_\_\_ Test Number \_\_\_\_\_  
 Organization \_\_\_\_\_ Date \_\_\_\_\_

We, the undersigned, certify that the statements in this record are correct and that the test welds were prepared, welded, and tested in accordance with the requirements of section 4 of ANS/AWS D1.1, (\_\_\_\_\_) Structural Welding Code—Steel.

Manufacturer or Contractor LMC LIGHT IRON Authorized By STEVE HAMILTON - PRESIDENT  
 Form E-4 Date 3-3-08

WELDER, WELDING OPERATOR OR TACK WELDER QUALIFICATION TEST RECORD

Type of Welder ESAB - 250  
 Name BRUCE BRAGG Identification No. 3649  
 Welding Procedure Specification No. Table 3.1 Rev AWS D11 Date 3-3-08

Variables	Record Actual Values Used in Qualification	Qualification Range
Process/Type [Table 4.10, Item (2)]	<u>ECAW</u>	<u>SAME</u>
Electrode (single or multiple) [Table 4.9, Item (9)]	<u>SINGLE</u>	
Current/Polarity	<u>DCEN</u>	
Position [Table 4.10, Item (5)]	<u>1F</u>	<u>1F</u>
Weld Progression [Table 4.10, Item (7)]	<u>FLAT</u>	<u>FLAT</u>
Backing (YES or NO) [Table 4.10, Item (8)]	<u>NO</u>	<u>N/A</u>
Material/Spec. [Table 4.10, Item (1)]	<u>A36 to A36</u>	
Base Metal		
Thickness: (Plate)		
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>.500</u>	<u>.125-UNLIMITED</u>
Thickness: (Pipe/tube)		
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>N/A</u>	<u>N/A</u>
Diameter: (Pipe)		
Groove	<u>N/A</u>	<u>N/A</u>
Fillet	<u>N/A</u>	<u>N/A</u>
Filler Metal [Table 4.10, Item (3)]		
Spec. No.	<u>A5.20</u>	<u>E6 AND LOWER</u>
Class	<u>E61-1M</u>	
F-No.	<u>E6</u>	
Gas/Flux Type [Table 4.10, Item (4)]	<u>CO2</u>	
Other		

VISUAL INSPECTION (4.8.1)  
 Acceptable YES or NO YES

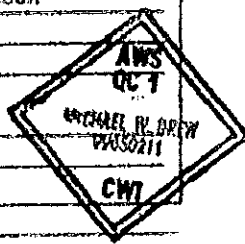
Guided Bend Test Results (4.30.5)

Type	Result	Type	Result
<u>N/A</u>		<u>N/A</u>	

Fillet Test Results (4.30.2.9 and 4.20.4.1)

Appearance Acceptable Fillet Size 5/16"  
 Fracture Test Root Penetration Acceptable Macroetch Acceptable  
 (Describe the location, nature, and size of any crack or tearing of the specimen.)

Inspected by M. DREW Test Number 99050211  
 Organization M. D. I. Date 3-3-08



RADIOGRAPHIC TEST RESULTS (4.30.3.1)

Film Identification Number	Results	Remarks	Film Identification Number	Results	Remarks
<u>N/A</u>			<u>N/A</u>		

Interpreted by \_\_\_\_\_ Test Number \_\_\_\_\_  
 Organization \_\_\_\_\_ Date \_\_\_\_\_

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Manufacturer or Contractor LMC LIGHT IRON Authorized By STEVE HAMILTON - PRESIDENT  
 Form E-4 Date 3-3-08

## Becca Casey

---

**From:** Benjamin Wallace [WALLACEB@portlandmaine.gov]  
**Sent:** Wednesday, February 16, 2011 11:49 AM  
**To:** Becca Casey  
**Cc:** aaron@greatfallsinc.com; RONALD.J.PEASLEE@maine.gov; Jeanie Bourke; Keith Gautreau  
**Subject:** Re: Akari Fire Stair  
**Attachments:** Benjamin Wallace.vcf

The City of Portland will grant the waiver provided that SFMO approves. The solid risers will still be required.

Thanks,

Lt. Benjamin Wallace Jr.  
Fire Prevention Officer  
Portland Fire Department  
380 Congress Street  
Portland, Maine 04101  
(207)756-8096  
[wallaceb@portlandmaine.gov](mailto:wallaceb@portlandmaine.gov)

>>> Becca Casey <[casey@pdtarchs.com](mailto:casey@pdtarchs.com)> 2/14/2011 4:47 PM >>>

Lt. Wallace,

Thanks for getting back to me so quickly today. It sounds like the best solution here is to request a waiver for the tread depth to be 10" rather than 11". Please consider this and let me know at your earliest convenience what else you will need from me.

As discussed, this project is a very tight fit between existing structures, and has required greater engineering of the steel than typical (including moment connections and cantilevered landings) to make it work. Additionally, discussion of specific code requirements were carefully navigated to meet life safety requirements while squeeking the design into the limitations of existing construction. Attached find email from Ron Peaslee acknowledging meeting notes (also attached) and email with Cpt. Geatreau regarding reduction from "opaque" screening per historic request. (I've cc'd him as well, as you said you'll check in with him regarding the project).

Please reference section 2/A4 to see how tight the stair already comes to the existing stairway roof. This section also shows the proper depiction of the stair re: tread-riser continuum. I've also attached a pair of details that are typical (not yet revised to specifically coordinate with the project), but show the design intent there. Please also reference 2/S1.2 for the relationship of the column at NW corner of the stair to the adjacent historic structure. The stair structure cannot be moved East to clear this, as the required 10' clearance to the neighboring (unsprinklered) building to the East is within an inch +/- tolerance as shown.

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Thank you so much for your consideration, and please contact me for any further information or with any questions.  
Becca

Rebecca S Casey  
PDT Architects  
49 Dartmouth Street  
Portland, ME 04101

(207).775.1059 x 334  
<http://www.pdtarchs.com/>

RECEIVED  
FEB 28 2011  
Dept. of Building Inspections  
City of Portland Maine

## Becca Casey

---

**From:** Peaslee, Ronald J [RONALD.J.PEASLEE@maine.gov]  
**Sent:** Thursday, February 24, 2011 10:48 AM  
**To:** Becca Casey

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Becca,  
I'm all set with the stair that we discussed and I believe I have permitted the project.

I will be out of the office until 3/3/2011 on vacation and I have conveyed this to Bob as well.

Hopefully we can meet in Portland the week of 3/7/2011.

Ronald Peaslee,CFI  
Maine State Fire Marshal's Office  
45 Commerce Dr.  
Suite #1  
Augusta, ME 04330  
207-626-3885



# Statement of Special Inspections

RECEIVED

FEB 28 2011

Dept. of Building Inspections  
City of Portland Maine

Project: *Akari - External Egress Stair*  
Location: *193 Middle Street, Portland, ME 04101*  
Owner: *Allan Labos*

Design Professional in Responsible Charge: *Carolyn C. Bird, PE*

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

- Structural       Mechanical/Electrical/Plumbing  
 Architectural       Other: \_\_\_\_\_

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *As Required*

or  per attached schedule.

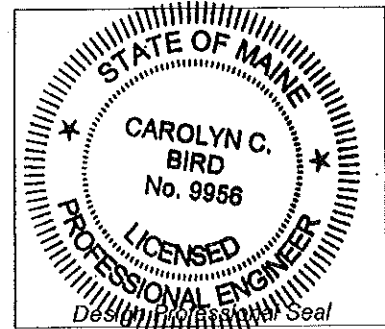
Prepared by:

Carolyn C. Bird, PE, Casco Bay Engineering  
(type or print name)

Signature

2/21/11

Date



Owner's Authorization:

  
02/25/11

Signature

Date

Building Official's Acceptance:

Signature

Date

## Quality Assurance Plan

---

### Quality Assurance for Seismic Resistance

Seismic Design Category	<i>C</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

Description of seismic force resisting system and designated seismic systems:  
*Steel frame of stair tower transfer lateral forces to the foundation.*

### Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)	<i>100mph</i>
Wind Exposure Category	<i>B</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

Description of wind force resisting system and designated wind resisting components:  
*Steel frame of stair tower transfer lateral forces to the foundation.*

### Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility.

# Cast-in-Place Concrete

Item	Agency # (Qualif.)	Scope
1. Mix Design	#2	<i>Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.</i>
2. Material Certification		n/a
3. Reinforcement Installation	#2	<i>Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters</i>
4. Post-Tensioning Operations		n/a
5. Welding of Reinforcing		n/a
6. Anchor Rods	#2	<i>Inspect size, positioning and embedment of anchor rods. Inspect concrete placement and consolidation around anchors.</i>
7. Concrete Placement	#2	<i>Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.</i>
8. Sampling and Testing of Concrete	#2	<i>Test concrete compressive strength (ASTM C31 &amp; C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).</i>
9. Curing and Protection	#2	<i>Inspect curing, cold weather protection and hot weather protection procedures.</i>
10. Other:		

# Wood Construction

Item	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures <input type="checkbox"/> Fabricator Exempt		n/a
2. Material Grading		n/a
3. Connections	#2	<i>Inspect connections to existing wood members.</i>
4. Framing and Details	#1 and #2	<i>Verify existing wood framing compared to details. Existing framing not known per 8/S2.1.</i>
5. Diaphragms and Shearwalls		n/a
6. Prefabricated Wood Trusses		n/a
7. Permanent Truss Bracing		n/a
8. Other:		

# Contractor's Statement of Responsibility

---

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility.

Project: Akari Exterior Egress

Contractor's Name: *Great Falls Construction*

Address: *20 Mechanic St Gorham ME 04035*

License No.:


Description of designated building systems and components included in the Statement of Responsibility:

*Steel Fire Escape, Concrete Piers.*

## Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

  
Signature

*2/28/11*  
Date

RECEIVED  
FEB 28 2011  
Dept. of Building Inspections  
City of Portland Maine

## Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement.



**PROJECT APPROVED FOR CONSTRUCTION**

DATE: 11/14/18  
 DRAWN: [Name]  
 CHECKED: [Name]  
 PROJECT NO: [Number]

**AKARI - EXTERIOR EGRESS STAIR**

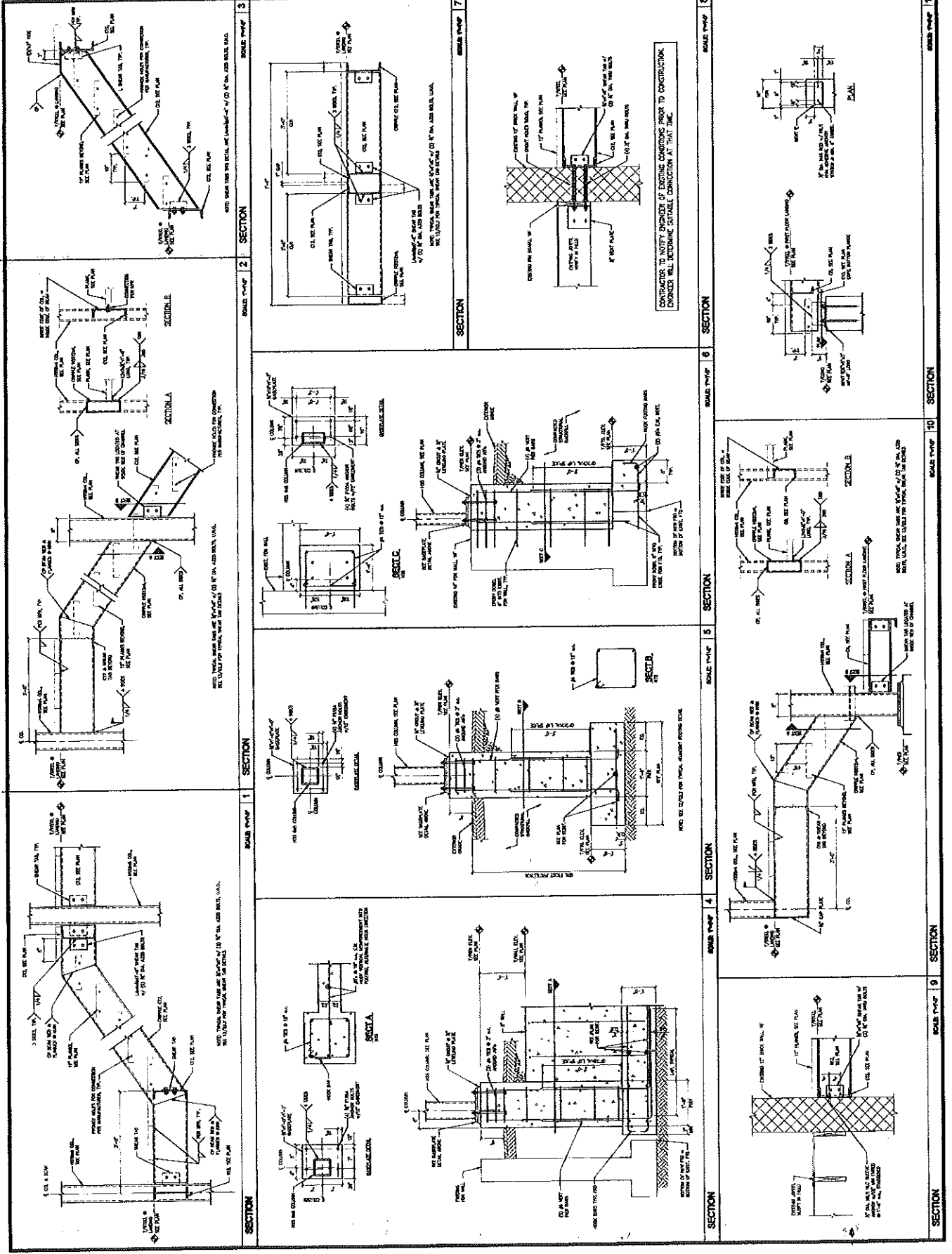
**183 MIDDLE STREET**

**PORTLAND, ME**

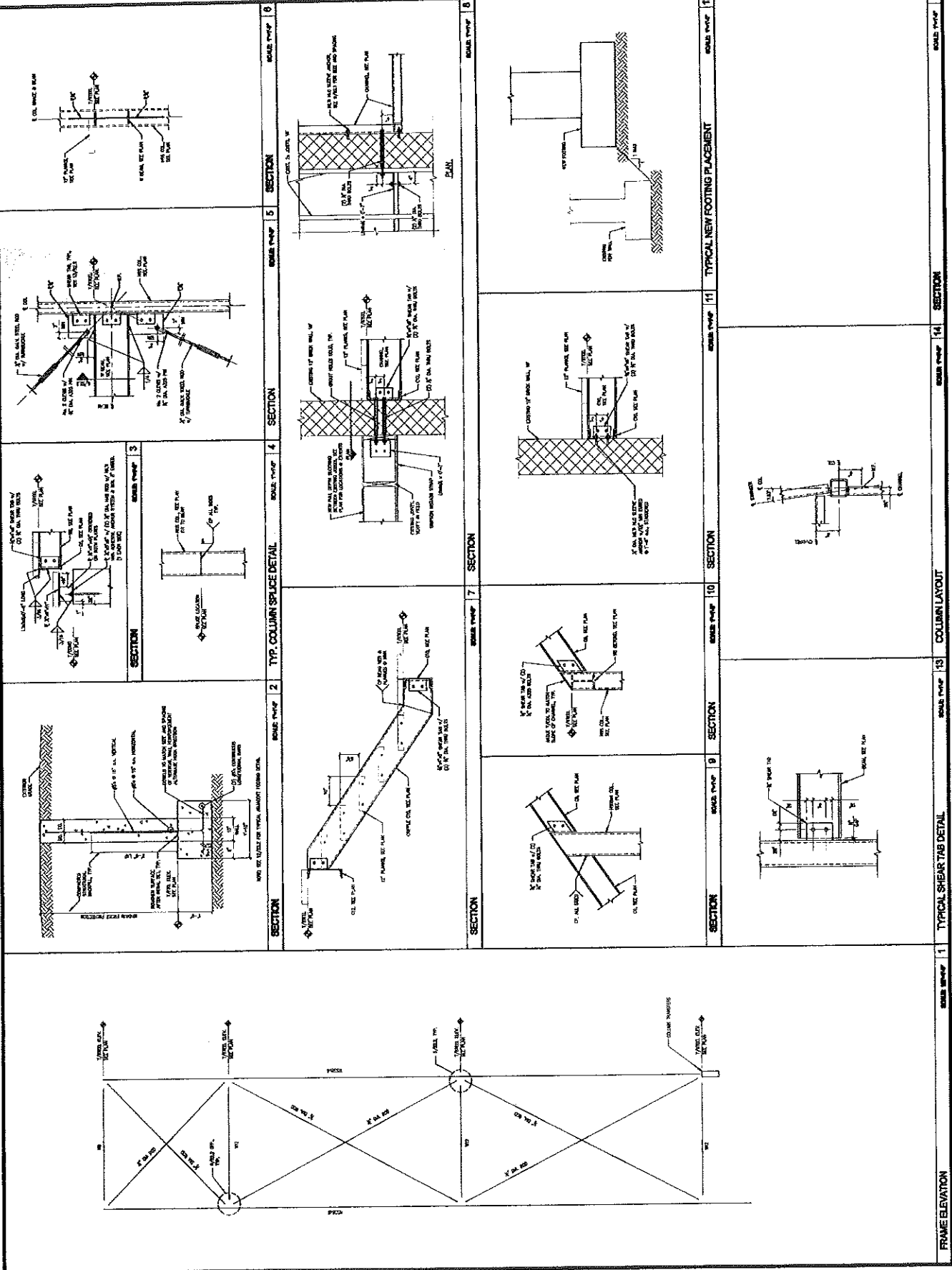
NO.	DATE	DESCRIPTION

**STRUCTURAL DETAILS**

**S2.1**



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/19
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
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8	REVISION	
9	REVISION	
10	REVISION	
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16	REVISION	
17	REVISION	
18	REVISION	
19	REVISION	
20	REVISION	



Called Rick Cormier at GF, reviewed list of code items. He confirmed any windows w/i two foot arc per code of the new door installation will be tempered. He will provide corrections as requested.

2/11/11 Returned Rick C. call from 2/10, left vcmmsg. Routed permit to Fire as it appears they have not reviewed this application.

2/14/11 Rick C. called back on 2/11, I left vcmmsg today and also spoke with Ben W. about the review. Need stamped plans, statement of special inspection, tread to be 11", solid risers. Rick said he received the Admn. Auth.

2/16/11 Email response about reducing the tread to 10" due to limitations:

I can use Sec. 3406.1.3 for existing buildings and new fire escapes. This basically allows new fire escapes where stairs cannot be utilized due to lot lines, alleys, roads, etc.

Since the proposed stair (not a fire escape) meets all other requirements for new construction, a reduction in the tread depth by 1" (1 & 2 family code) is acceptable. The addition of this egress is required.

Jeanie

>>> Benjamin Wallace 2/15/2011 4:20 PM >>>

Good evening,

The tread depth issue is driven by a physical limitation with regards to a stair and piping that they are already relocating to the most extent possible that goes to the Carriage House, and also its being within an inch of the required 10 foot set back from an unsprinklered building. As measured they will have 10 inches horizontally plus an 1 1/2" under the nosing above, and they will have solid risers. They would like a waiver on the permit to allow this and Keith and I are ok with that, but we also wanted you to have a say before we responded officially. They will also have to get Ron Peasley or Rich McCarthy to sign off on it, which I think they most likely will.  
Ben

2/18/11 Received plans back from fire, still waiting on stamped plans and statement of special inspection.

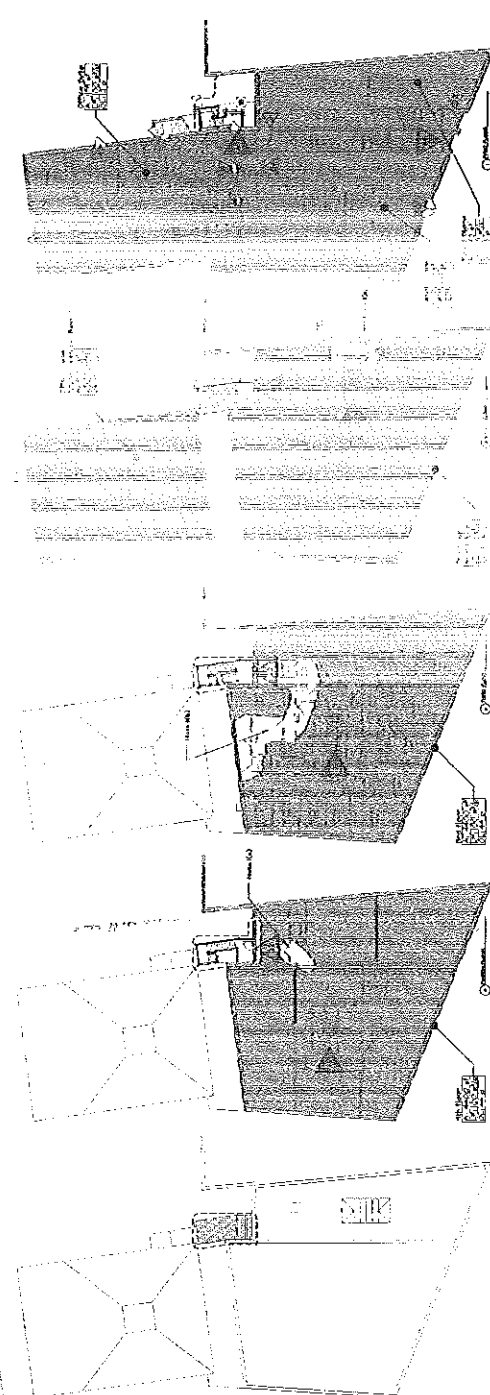
2/28/11 Aaron from GF submitted documents and disc, ok to issue.





Akari - Exterior Egress Stair

ARCHITECT  
 193 MIDDLE STREET  
 PORTLAND, MAINE 04101  
 TEL: 603.761.1111  
 WWW.AKARIARCHITECTURE.COM



**GENERAL NOTES:**

- The existing building at the rear facade, where all egress will be provided, is a 4-story building. The existing building at the rear facade, where all egress will be provided, is a 4-story building. The existing building at the rear facade, where all egress will be provided, is a 4-story building.
- The area currently has a wall-mounted air conditioner unit. The area currently has a wall-mounted air conditioner unit. The area currently has a wall-mounted air conditioner unit.
- The proposed stair will be a semi-enclosed stair with a glass railing system. The proposed stair will be a semi-enclosed stair with a glass railing system. The proposed stair will be a semi-enclosed stair with a glass railing system.
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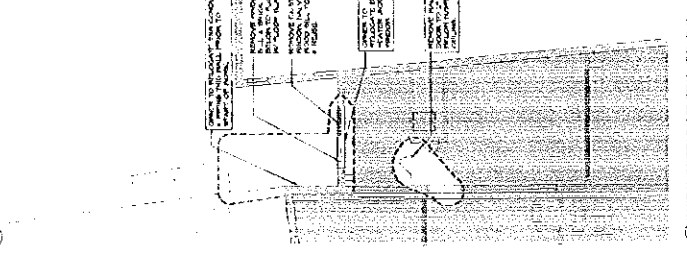
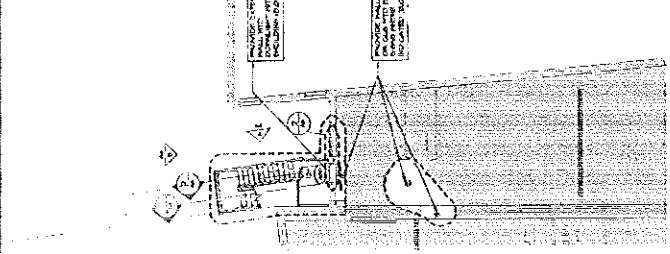
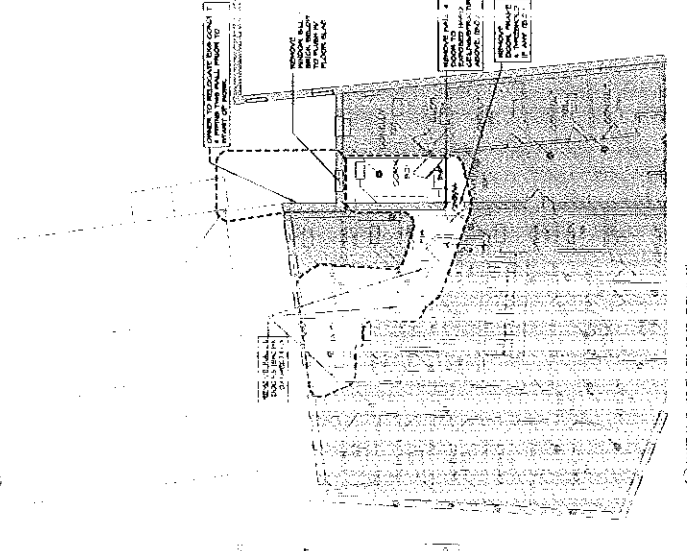
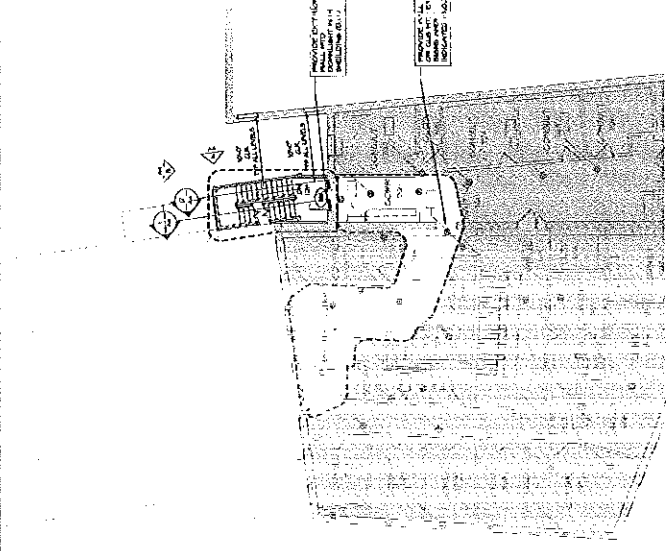
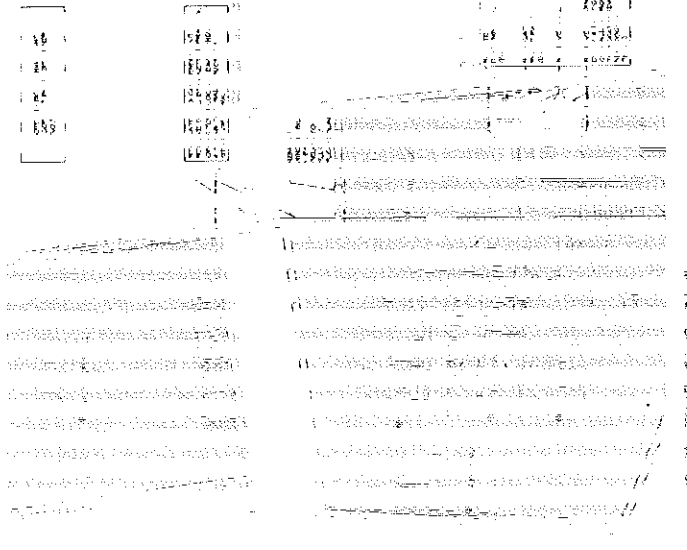
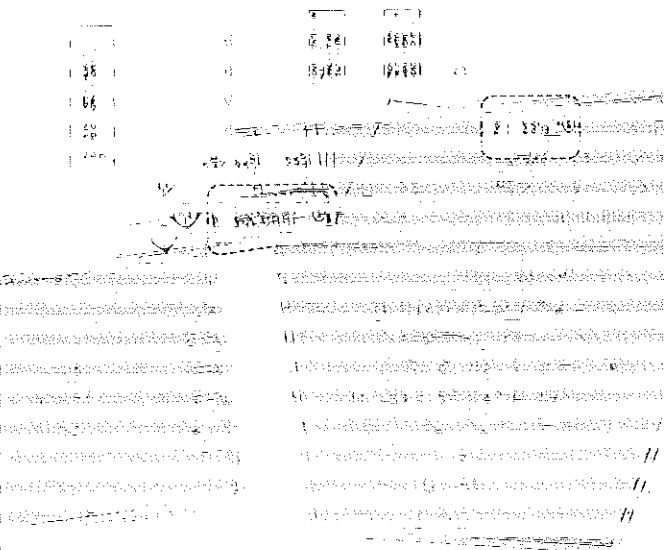
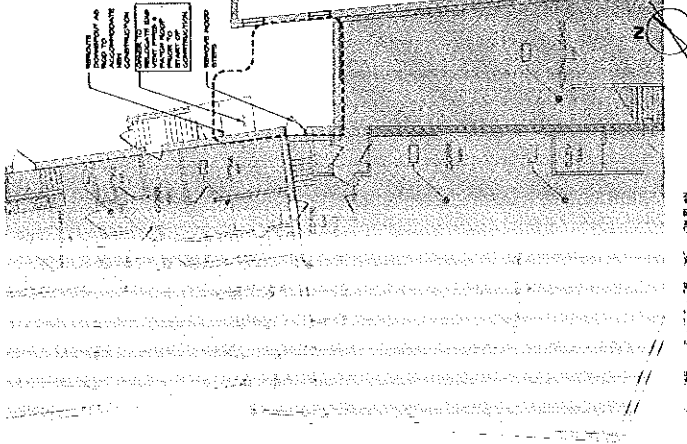
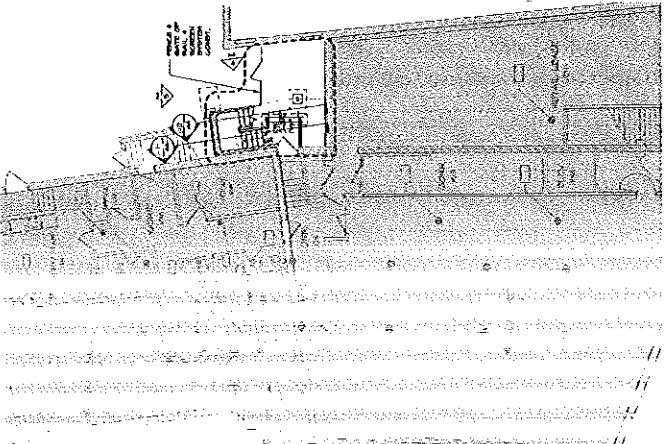
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<p>EXISTING FULL HEIGHT STAIR                  NON-RATED 2x4 STUD MALL                  1/2" EXPOSED NO. 10</p>	<p>NEW LVL                  2x4 STUD                  1/2" EXPOSED NO. 10</p>
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EXISTING FULL HEIGHT STAIR  
 NON-RATED 2x4 STUD MALL  
 1/2" EXPOSED NO. 10





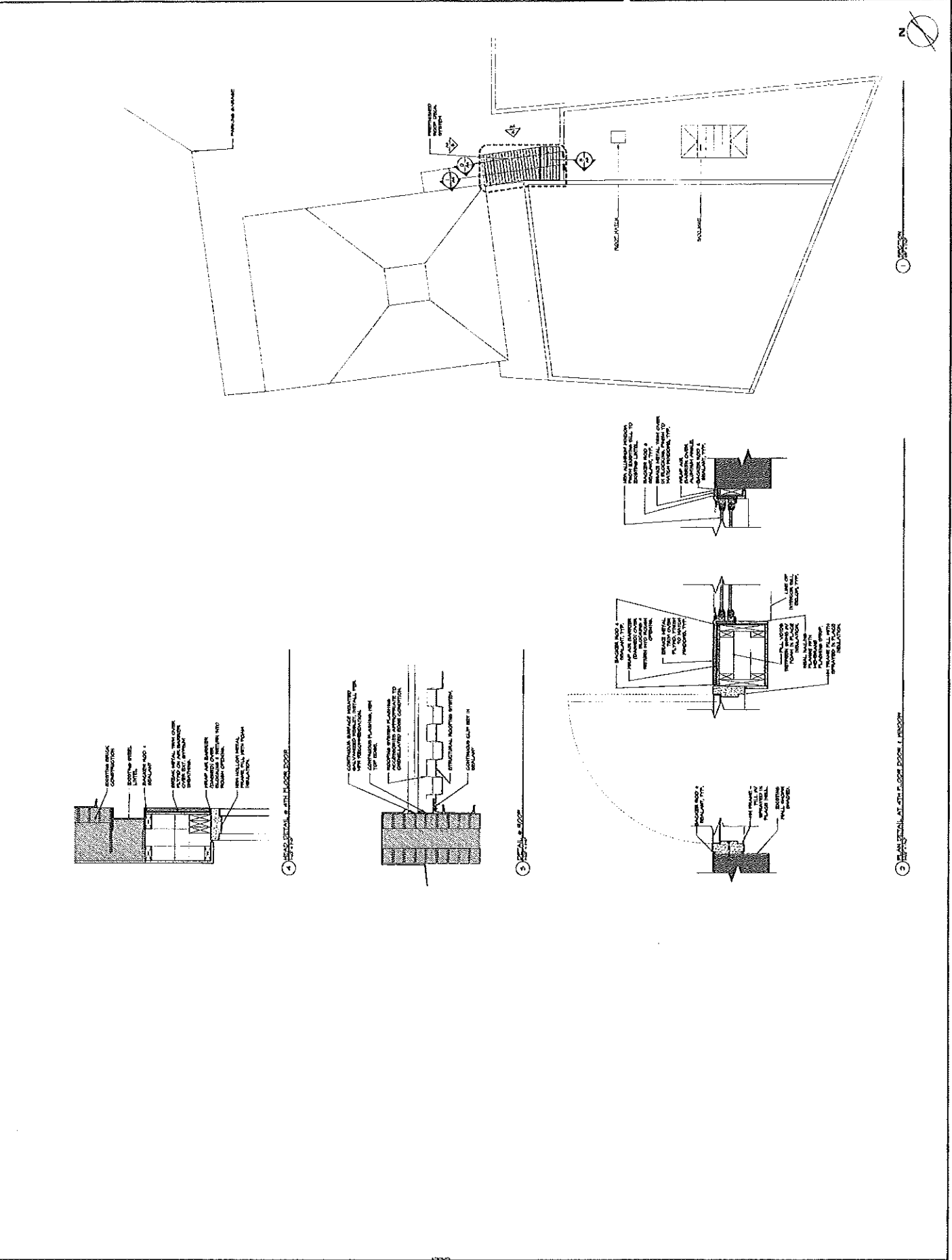


AKARI ARCHITECTS  
 ARCHITECTS  
 193 MIDDLE STREET, PORTLAND, MAINE  
 TEL: 603.733.1111  
 WWW.AKARIARCHITECTS.COM

AKARI - Exterior Egress Stair  
 193 MIDDLE STREET, PORTLAND, MAINE

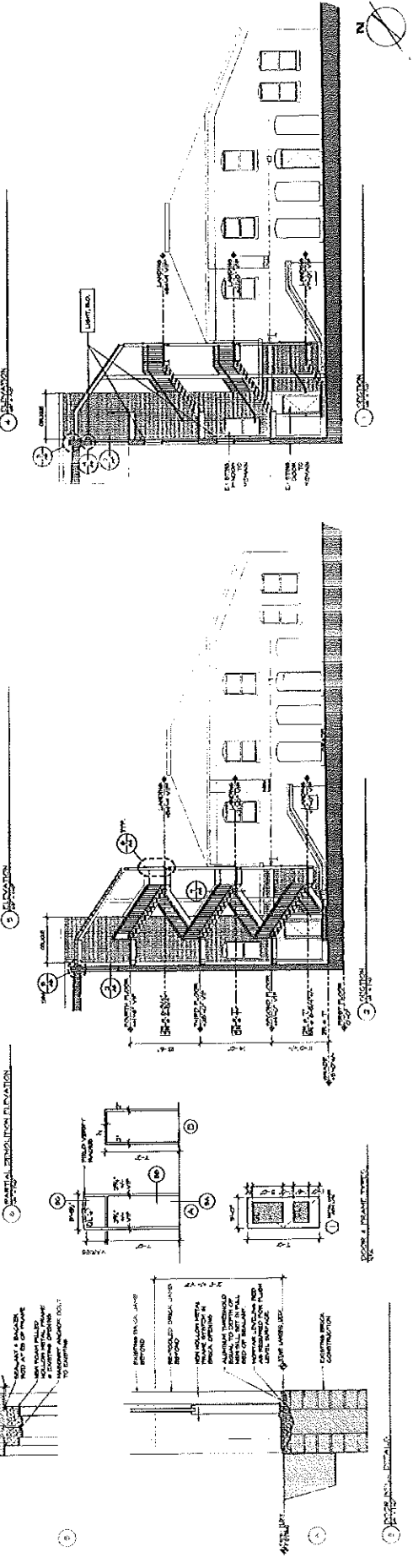
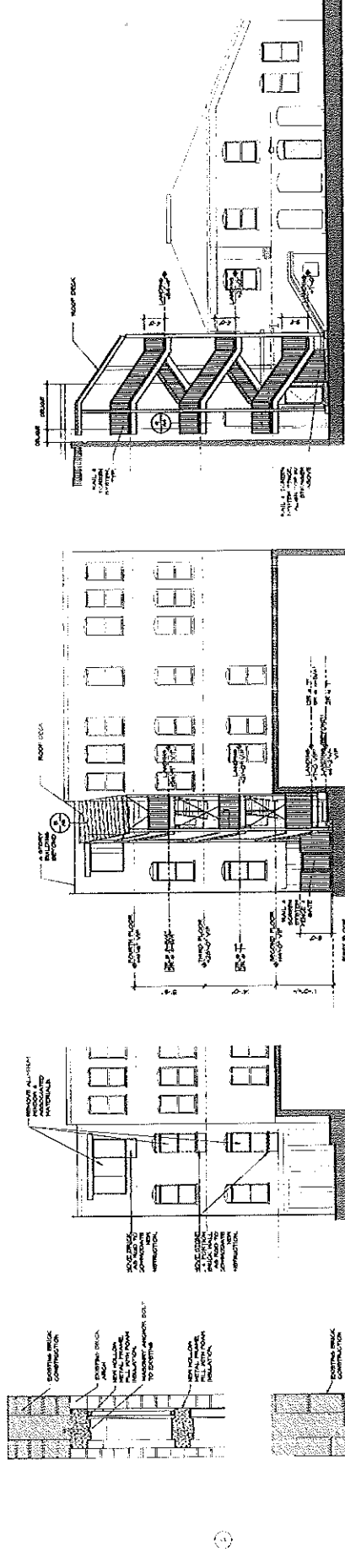
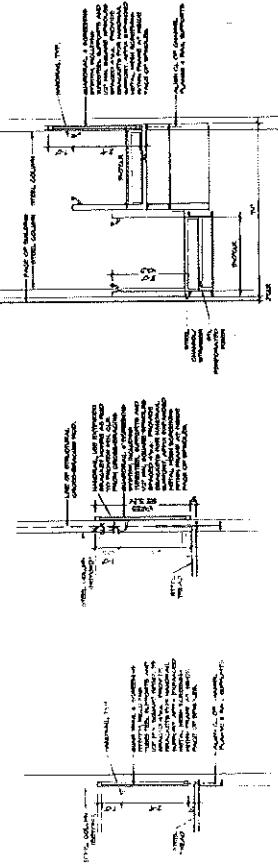
DATE	NOV 14 2013
DESIGNER	AKARI ARCHITECTS
PROJECT	AKARI - EXTERIOR EGRESS STAIR
SCALE	AS SHOWN
DATE	NOV 14 2013
PROJECT	AKARI - EXTERIOR EGRESS STAIR
SCALE	AS SHOWN
DATE	NOV 14 2013
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SCALE	AS SHOWN
DATE	NOV 14 2013
PROJECT	AKARI - EXTERIOR EGRESS STAIR
SCALE	AS SHOWN

AKARI  
 A3



DOOR SCHEDULE	LOCATION	MAT.	TYPE	FRAME TYPE	SIZE	HARDWARE I.F.R.	NOTES
100A	EXTERIOR BALCONY STAIR	ST70	A	A	3'0" X 6'0" PR	PANIC BAR LEVELS 3	GATE AND FENCE FRAMING & SCREENING TO BE SAME MATERIAL & FINISH AS STAIR BALUNES.
100B	EXTERIOR STAIR	ST70	A	A	3'0" X 6'0" PR	PANIC BAR LEVELS 3	
100C	EXTERIOR STAIR	ST70	A	A	3'0" X 6'0" PR	PANIC BAR LEVELS 3	
100D	EXTERIOR STAIR	ST70	A	A	3'0" X 6'0" PR	PANIC BAR LEVELS 3	

1) HARDWARE TO INCLUDE SINGLE ACTION LEVER RELEASE KEYS FROM EXTERIOR (LDR/FRE) AND PANIC BAR KEYS FROM EXTERIOR AT FENCE CONSTRUCTION; PROVIDE SLIDE LOCK WITH PADLOCK EYE AT INACTIVE ESB.









183 MIDDLE STREET  
PORTLAND, ME 04101  
TEL: 603.761.1111  
WWW.CARCOBAYENGINEERING.COM

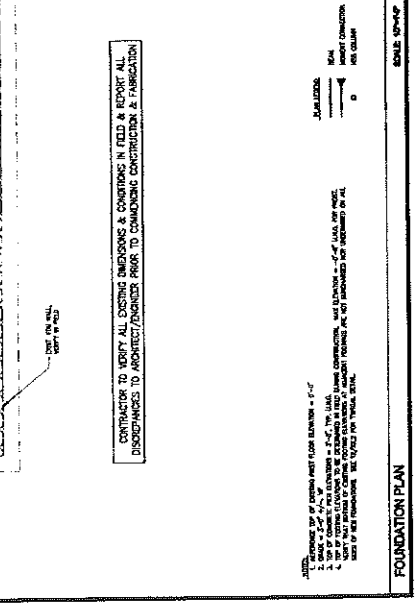
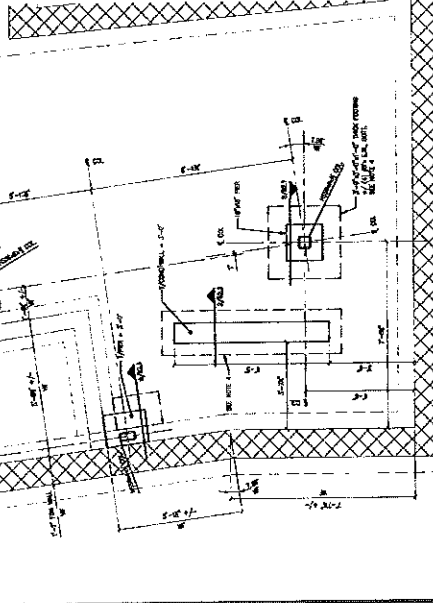
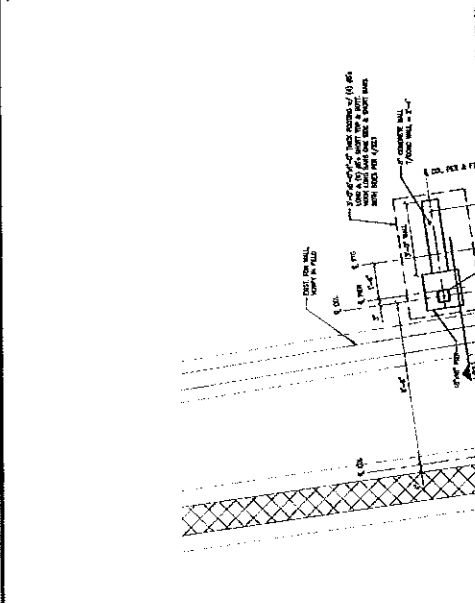
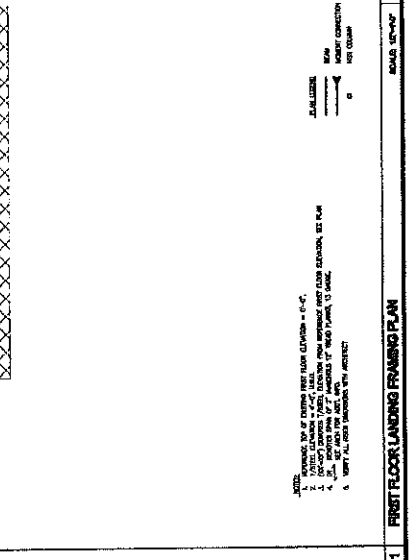
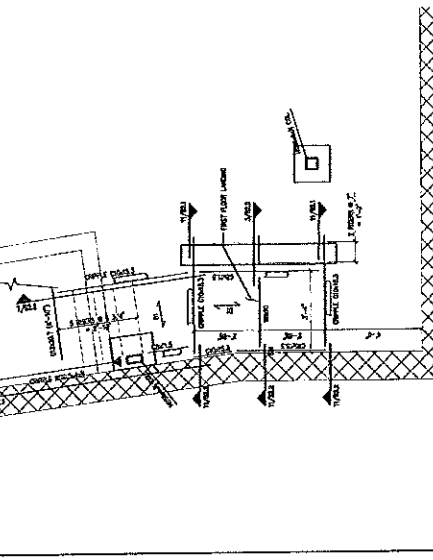
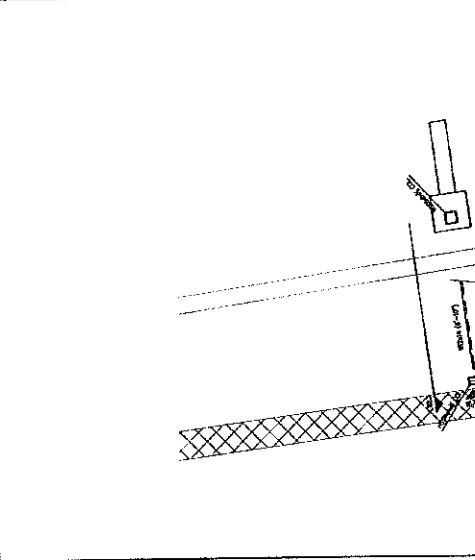
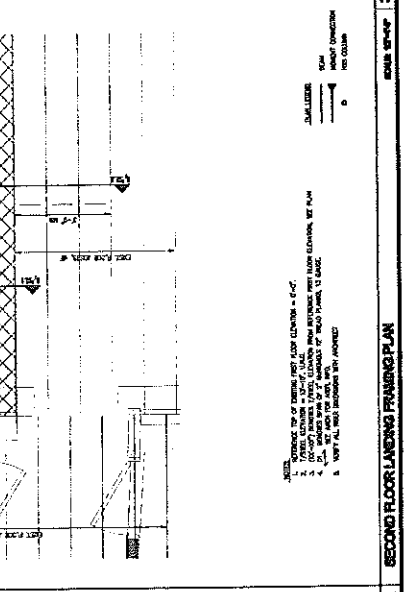
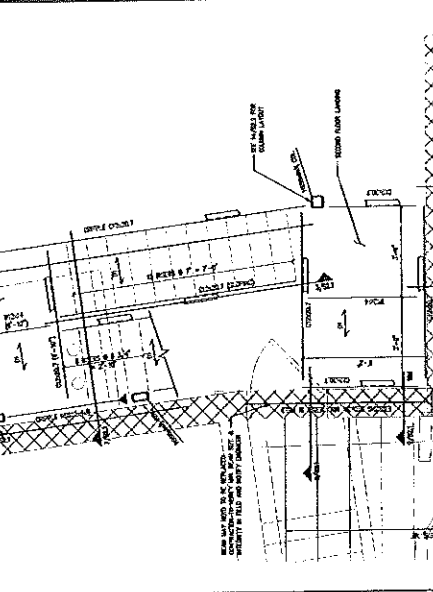
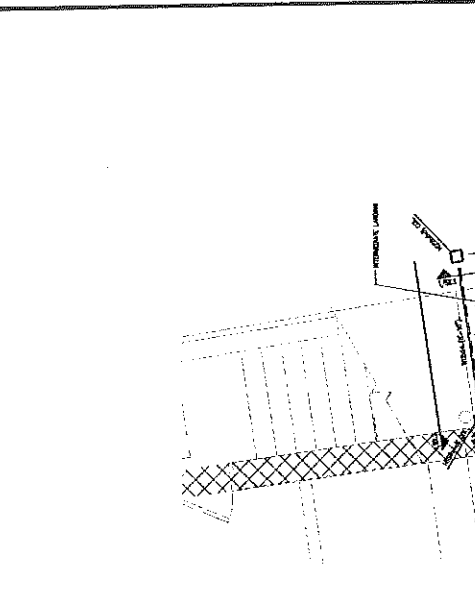
PRELIMINARY  
NOT FOR CONSTRUCTION

AKARI - EXTERIOR EGRESS STAIR  
183 MIDDLE STREET  
PORTLAND, ME

NO.	DATE	DESCRIPTION
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2	01/20/11	ISSUED FOR PERMITS
3	02/01/11	ISSUED FOR PERMITS
4	02/01/11	ISSUED FOR PERMITS
5	02/01/11	ISSUED FOR PERMITS
6	02/01/11	ISSUED FOR PERMITS
7	02/01/11	ISSUED FOR PERMITS
8	02/01/11	ISSUED FOR PERMITS
9	02/01/11	ISSUED FOR PERMITS
10	02/01/11	ISSUED FOR PERMITS

EXTERIOR STAIR  
FRAMING PLANS

S1.1



CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS IN FIELD & REPORT ALL DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO COMMENCING CONSTRUCTION & FABRICATION.

- NOTES:
1. FINISH TOP OF EXISTING FIRST FLOOR SLAB = 6'-0"
  2. FINISH TOP OF EXISTING SECOND FLOOR SLAB = 6'-0"
  3. EXISTING EXTERIOR FINISH GRADE = 6'-0"
  4. EXISTING EXTERIOR FINISH GRADE = 6'-0"
  5. EXISTING EXTERIOR FINISH GRADE = 6'-0"
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  6. EXISTING EXTERIOR FINISH GRADE = 6'-0"

FOUNDATION PLAN  
FIRST FLOOR LANDING FRAMING PLAN  
SECOND FLOOR LANDING FRAMING PLAN





CASCO BAY ENGINEERING  
 451 State Street  
 Portland, ME 04101  
 Tel: 603.761.1234  
 Fax: 603.761.1235  
 www.casco-bay.com

CLIENT  
 PPT ARCHITECTS  
 1000 Congress Street  
 Portland, ME 04101  
 Tel: 603.761.1234  
 Fax: 603.761.1235  
 www.ppt.com

PRELIMINARY  
 NOT FOR CONSTRUCTION

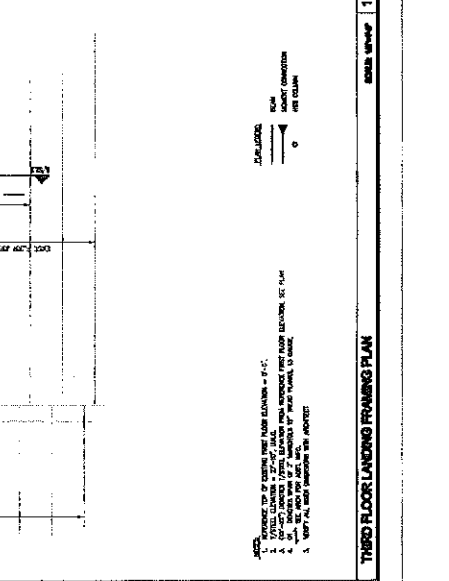
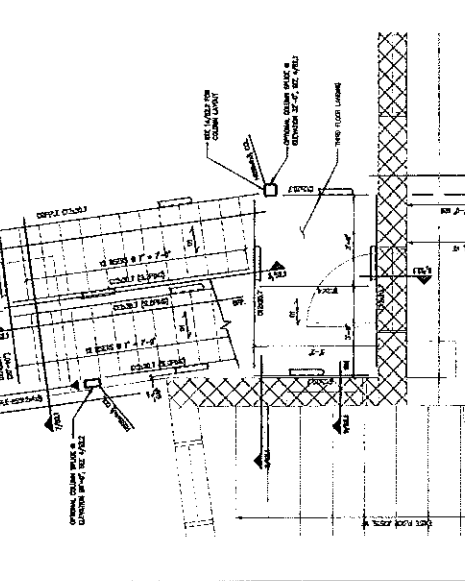
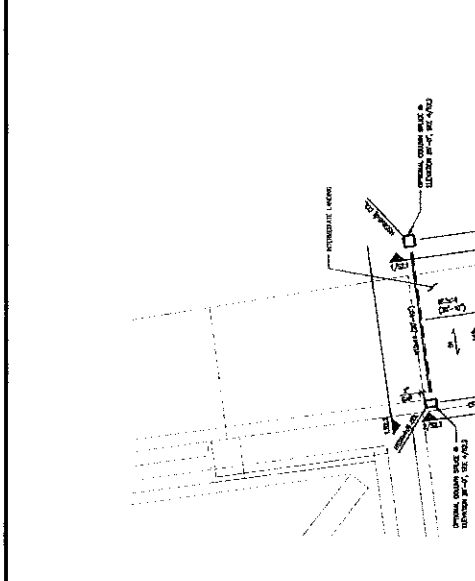
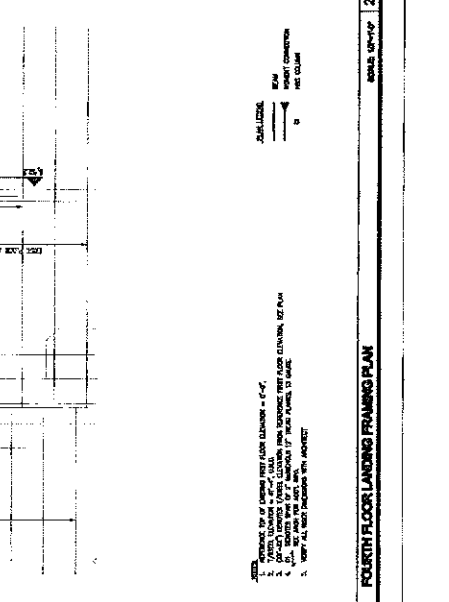
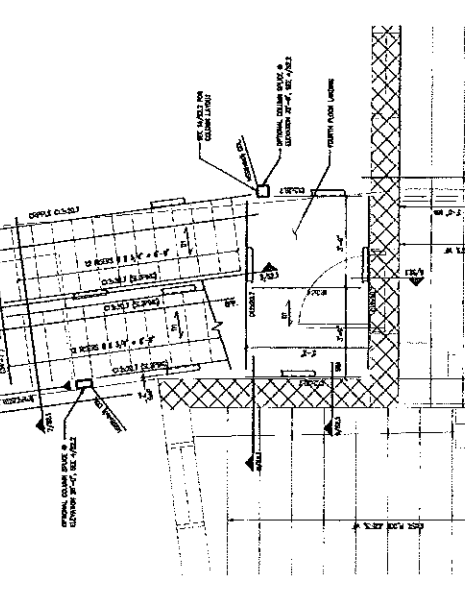
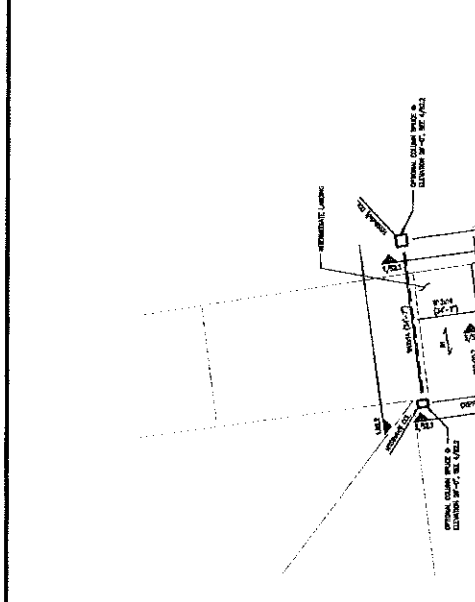
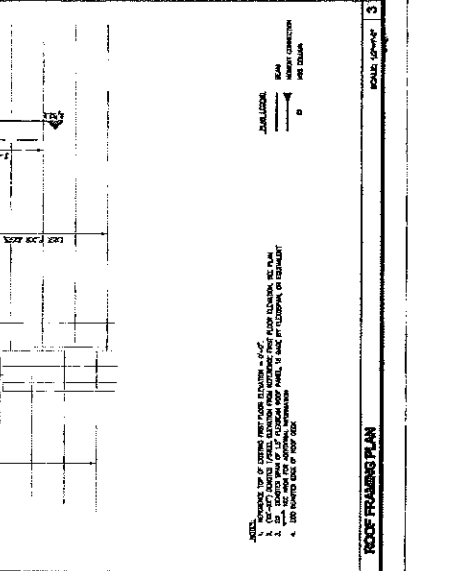
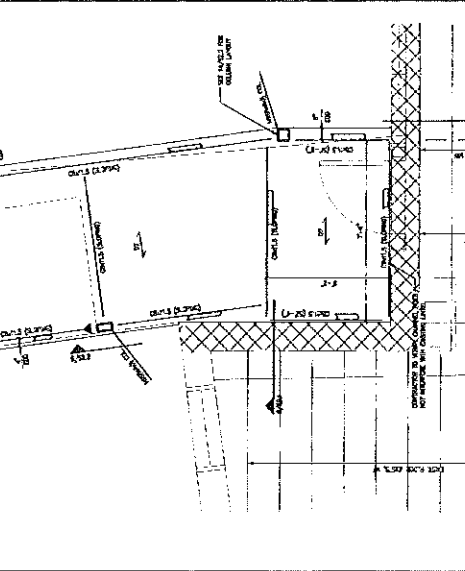
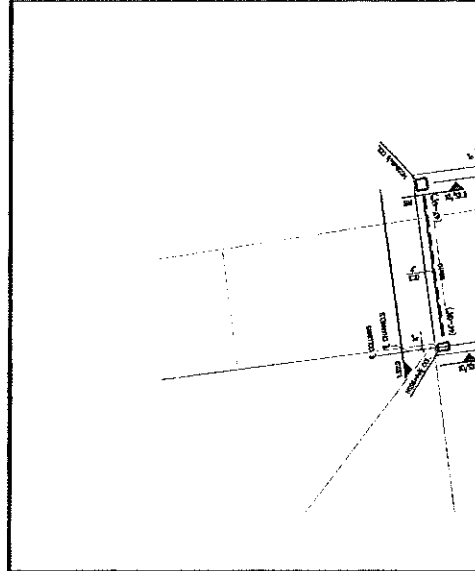
AKARI - EXTERIOR EGRESS STAIR  
 103 MIDDLE STREET  
 PORTLAND, ME

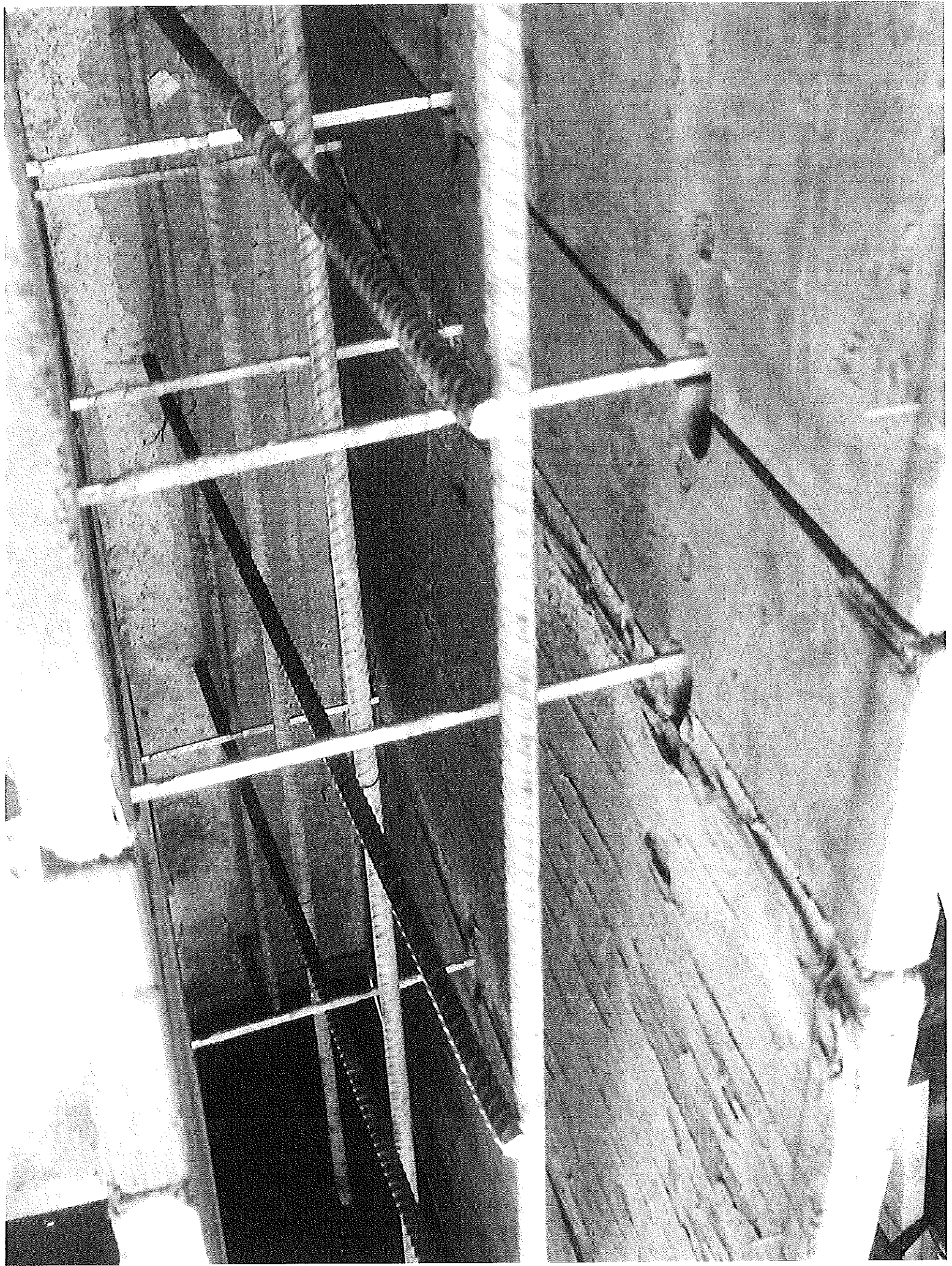
NO.	DATE	DESCRIPTION
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EXTERIOR STAIR  
 FRAMING PLANS

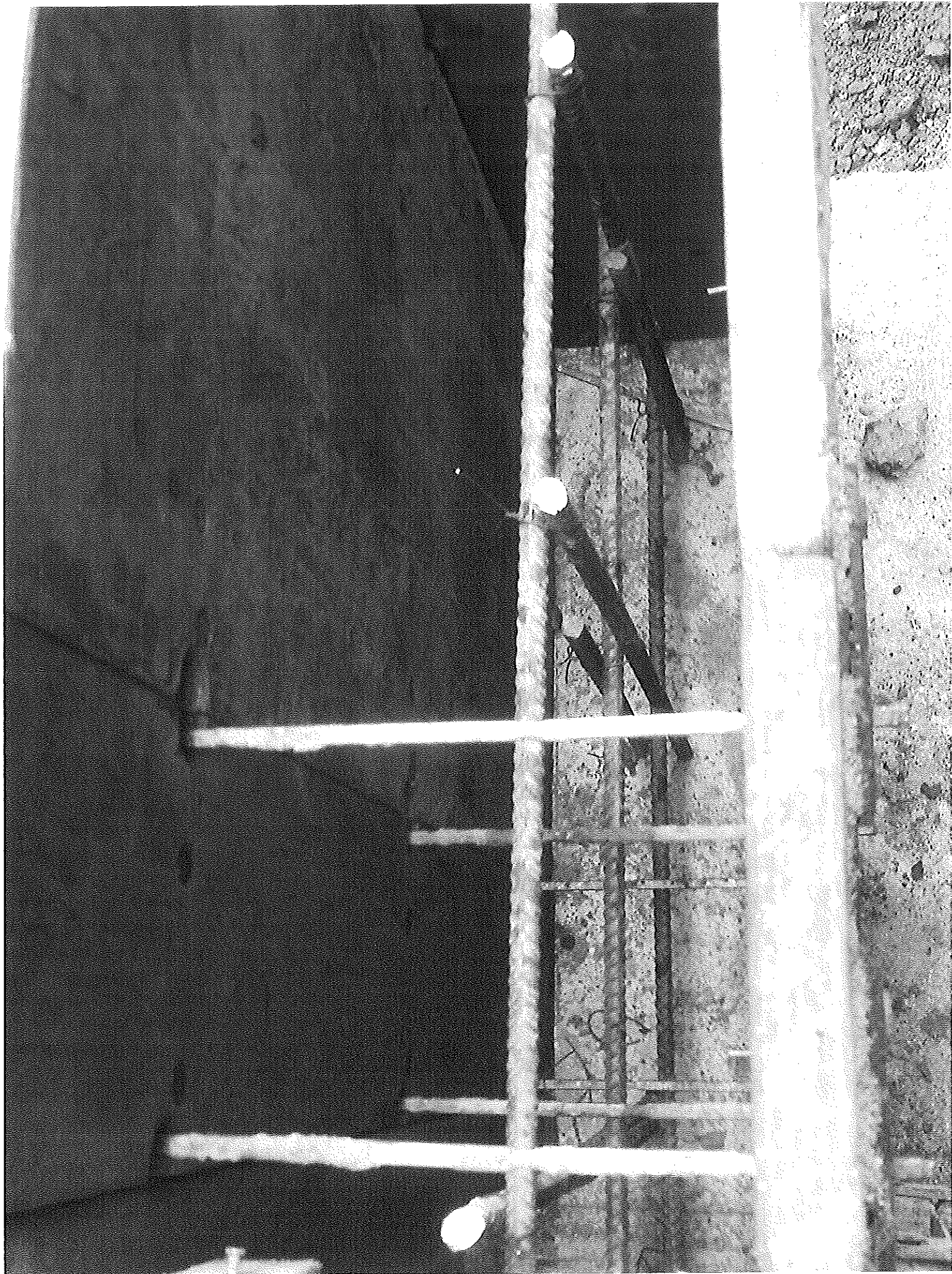
DATE: 02.15.2010  
 DRAWN BY: J. L. BROWN  
 CHECKED BY: J. L. BROWN  
 PROJECT NUMBER: 103M  
 SHEET NUMBER: 3

\$1.2























# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

*Applicant's copy*

PROJECT NAME: AKARI EGRESS STAND

PROJECT ADDRESS: 193 MIDDLE ST CHART/BLOCK/LOT: 32-14-22-11

APPLICATION FEE: \$50<sup>00</sup> (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

032 H 022 011

RECEIVED

FEB - 9 2011

Dept. of Building Inspection  
City of Portland Maine

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Work #: \_\_\_\_\_

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: \_\_\_\_\_

#### CONSULTANT/AGENT

Name: GREAT FALLS CONSTRUCTION

Address: 20 MECHANIC ST

FORTHAM, ME 04038

Work #: 839-2744

Cell #: —

Fax #: 839-3737

Home #: —

E-mail: rick@greatfallsme.com

**Criteria for an Administrative Authorizations:**  
(see section 14-523(4) on pg .2 of this appl.)

**Applicant's Assessment Planning Division**  
Y(yes), N(no), N/A Y(yes), N(no), N/A

a) Is the proposal within existing structures?	<u>Y</u>	<u>N</u>
b) Are there any new buildings, additions, or demolitions?	<u>Y</u>	<u>Y</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>Y</u>	<u>Y</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>N</u>
e) Are the curbs and sidewalks in sound condition?	<u>N/A</u>	<u>Y</u>
f) Do the curbs and sidewalks comply with ADA?	<u>N/A</u>	<u>Y</u>
g) Is there any additional parking?	<u>N/A</u>	<u>N</u>
h) Is there an increase in traffic?	<u>N</u>	<u>N</u>
i) Are there any known stormwater problems?	<u>N</u>	<u>N</u>
j) Does sufficient property screening exist?	<u>N/A</u>	<u>Y</u>
k) Are there adequate utilities?	<u>Y</u>	<u>Y</u>
l) Are there any zoning violations?	<u>N</u>	<u>Y</u>
m) Is an emergency generator located to minimize noise?	<u>N/A</u>	<u>N</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>N/A</u>	<u>N</u>

Signature of Applicant:

*Rick*

Date:

28 JAN 2010

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

1) **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

# AKARI - Exterior Egress Stair

## 193 MIDDLE STREET, PORTLAND, MAINE

PDT  
ARCHITECTS  
41 DARTMOUTH STREET  
PORTLAND, MAINE 04101  
207-775-1059  
www.pdtarch.com

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Akari - Exterior Egress Stair  
193 MIDDLE STREET, PORTLAND, MAINE

JOB NO.  
10-058

DRWN CHK  
RSC

SCALE:  
1/8"=1'-0"

ISSUE  
FOR BID  
12 NOVEMBER 2010

TITLE  
FIRST FLOOR PLAN

SHEET  
TO

### GENERAL NOTES:

- DEMOLITION GENERAL NOTES
  - THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. REMOVE ALL DOORS, AND MISCELLANEOUS HARDWARE, ELECTRICAL AND MECHANICAL ITEMS CONTAINED WITHIN EXISTING WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF OR PROHIBITS THE NEW CONSTRUCTION SHOWN BY THE ARCHITECTURAL FLOOR PLANS.
  - COORDINATE WITH STRUCTURAL ENGINEER FOR ALL TEMPORARY SUPPORT AS REQUIRED.
- PLAN GENERAL NOTES
  - INSTRUCTIONS FOR SPECIFIC COMPONENTS OF THE WORK ARE KEYS TO THE DRAWINGS. BUILDING SYSTEMS PARTITIONS ARE KEYS TO FLOOR PLANS, SECTIONS AND OTHER DETAILS AS APPROPRIATE.
  - WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
  - DIMENSIONAL CONTROL
    - DIMENSIONS AT EXTERIOR ARE FROM: CENTERLINE LINE OF COL TO OUTSIDE FACE OF MASONRY, FACE OF MASONRY TO FACE OF MASONRY, FACE OF CONCRETE TO FACE OF CONCRETE, MASONRY OPENING TO MASONRY OPENING
    - DIMENSIONS AT INTERIOR ARE FACE OF MASONRY OR GYW AND CLEAR DIMENSIONS
    - MASONRY OPENINGS OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS ONLY. COORDINATE ALL MASONRY OPENINGS OR ROUGH OPENINGS WITH ACTUAL, DOOR FRAME, OR CURTAIN WALL/STOREFRONT SIZES AND REQUIREMENTS.
    - FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/16" BETWEEN DISSIMILAR MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS.
- DETAIL & TYPICAL CONSTRUCTION NOTES
  - MAINTAIN A CLEAR DIMENSION OF 1'-6" FROM ALL ADJACENT CONSTRUCTION TO THE LATCH (PULL) SIDE OF THE DOOR.
  - MAINTAIN OTHER CLEAR DIMENSIONS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAA).
- OWNERS SEPARATE CONTRACTOR SHALL BE RESPONSIBLE FOR INTERIOR RENOVATION SCOPE OF WORK UNLESS OTHERWISE NOTED. COORDINATE ALL ALARM, LIGHTING, POWER AND SPRINKLER WORK WITH OWNERS SEPARATE CONTRACTOR.
- REFER TO SPECIFICATION SHEET FOR SUMMARY OF SCOPE OF WORK AND ADDITIONAL INFORMATION.

### BIDDING NOTES

- The BIDDER agrees, if this Bid is accepted, to enter into an agreement with OWNER to perform and furnish the Work as specified or indicated in the Bidding Documents for the Bid Price and within the Bid Times indicated in the Bid and in accordance with the other terms and conditions of the Contract Documents.
- In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:
  - This Bid will remain subject to acceptance for 60 days after the day of Bid opening.
  - The Owner has the right to reject this Bid.
  - BIDDER will sign and submit a standard form of Agreement and other documents required by the within 15 days after the date of OWNER'S Notice of Award.
  - BIDDER has examined copies of the Bidding Documents.
  - BIDDER has visited the site and become familiar with the general, local and site conditions.
  - BIDDER is familiar with federal, state, and local laws and regulations.
  - BIDDER has correlated the information known to BIDDER, information and observations obtained from visits to the site, reports and drawings identified in the Bidding Documents and additional examination, investigations, explorations, tests, studies and data with the Bidding Documents.
  - The Bid shall be genuine and not made in the interest of or on behalf of an undisclosed person, firm or corporation and is not submitted in conformity with an agreement or rules of a group, association, organization or corporations; BIDDER has not directly or indirectly induced or solicited another bidder to submit a false or sham Bid; BIDDER has not solicited or induced a person, firm or corporation to refrain from bidding; and BIDDER has not sought by collusion to obtain for itself an advantage over another BIDDER or over OWNER.
- Bidder agrees that the work will be substantially complete and ready for final payment and inspections and in accordance with the Contract Documents on or before March 31, 2011.
- All telephone calls and correspondence to be addressed to the office of the Architect. Submit all questions by email, Attn: Becca Casey, PDT Architects at: casey@pdtarch.com tel: 207-775-1059
- Bid bonds, contract performance bonds and contract payment bonds will not be required.
- Bids shall be submitted as LUMP SUM PRICE.
- The Owner reserves the right to waive all formalities, and reject any and all Proposals or to accept any Proposal.
- Bids are due to the Owner, Attn: Lebos, by 3:00pm on Thursday, December 2nd at the office of the Owner, 193 Middle Street, Portland, Maine 04101
- Notification of Bid Award by Owner shall be not later than December 15, 2010.

### ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
BRG.	BEARING
BLDG.	BUILDING
B.O.	BY OWNER
CG	CORNER GUARD
CJ	CONTROL JOINT
CLG.	CEILING
C.L.	CENTER LINE
CONST.	CONSTRUCTION
DIA.	DIAMETER
DIM.	DIMENSION
DN	DOWN
ELEV.	ELEVATOR
EJ	EXPANSION JOINT
EXIST.	EXISTING
FD	FIELD DETERMINED
FT.	FEET
FLUOR.	FLUORESCENT
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
G.W.B.	GYPSUM WALL BOARD
H, HGT.	HEIGHT
HOR.	HORIZONTAL
LAV.	LAVATORY
MFR.	MANUFACTURER
MAX.	MAXIMUM
MTL.	METAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N.J.C.	NOT IN CONTRACT
O.C.	ON CENTER
OPP.	OPPOSITE
OFS	OVERFLOW SCUPPER
PL	PLATE
RAD.	REFLECTED CEILING PLAN
R.C.P.	REQUIRED
REQ'D.	REVISION
REV.	ROOM
RM.	ROUGH OPENING
R.O.	SIMILAR
SIM.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL	STEEL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD.	WOOD

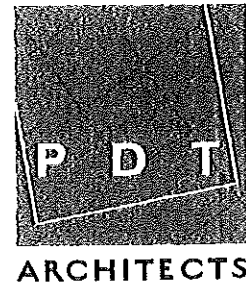
### LIST OF DRAWINGS

- T0 TITLE SHEET  
A0 CODE PLANS & BUILDING SYSTEMS  
A1 DEMOLITION FLOOR PLANS & FLOOR PLANS  
A3 ROOF PLAN & DETAILS  
A4 ELEVATIONS, SECTIONS & DETAILS  
A5 SPECIFICATIONS
- SO STRUCTURAL NOTES  
S1.1 EXTERIOR STAIR FRAMING PLANS  
S1.2 EXTERIOR STAIR FRAMING PLANS  
S2.1 STRUCTURAL DETAILS  
S2.2 STRUCTURAL DETAILS

### DRAWING LEGEND

- EXISTING PARTITIONS TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- ELEVATION NUMBER ELEVATION MARKER
- SHEET NUMBER
- SECTION NUMBER OPPOSITE SECTION MARKER SHEET NUMBER
- PARTITION TYPE
- EXISTING DOOR TO BE REMOVED
- DOOR NUMBER NEW DOOR AND FRAME
- ROOM NAME
- ROOM NUMBER
- DETAIL

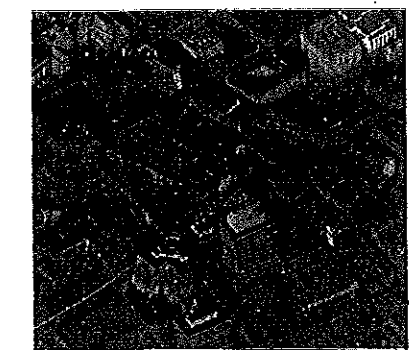
BID SET  
12 NOVEMBER 2010



ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

49 DARTMOUTH STREET  
PORTLAND, ME 04101  
207 775-1059  
207 775-2694 FAX

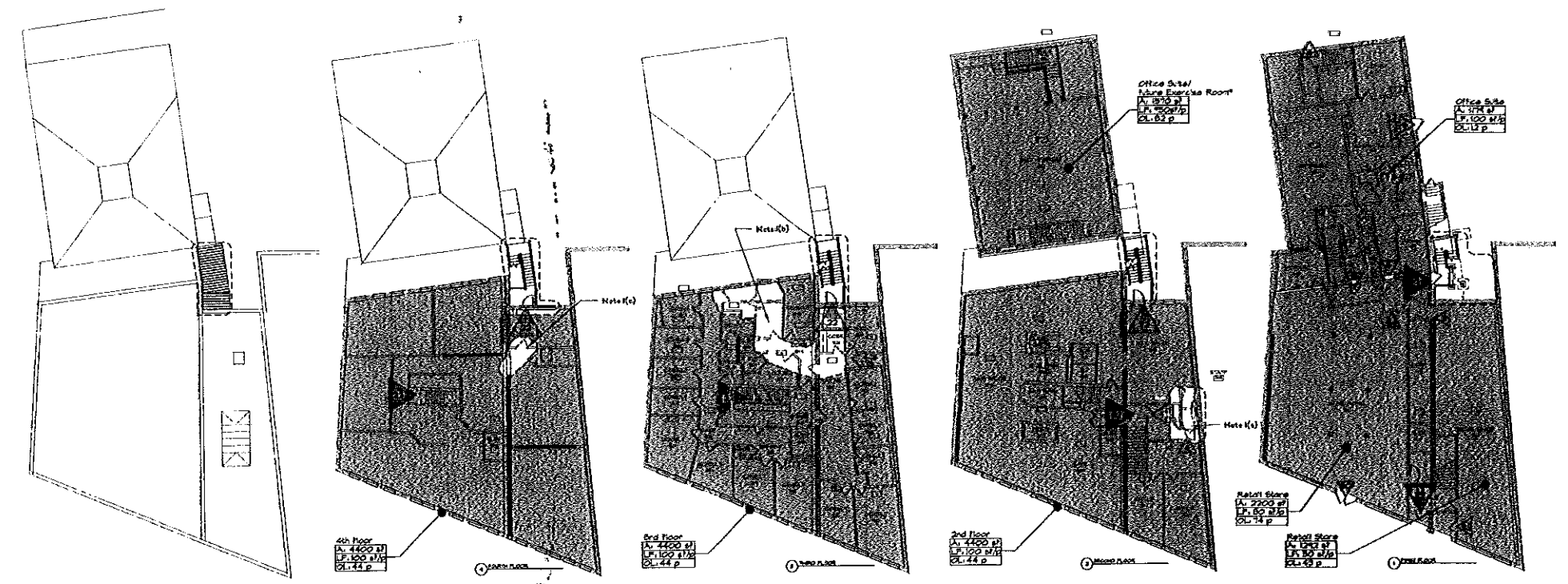
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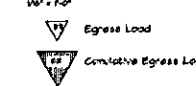
STRUCTURAL CONSULTANT:  
Casco Bay Engineering  
424 Fore Street  
Portland, Maine 04101  
207.842.2800  
www.cascobayengineering.com



H:\MASTER PROJ FILES\AKARI\EXTERIOR STAIR-ESCAPE\W\ADMIN\STAIR-CAD\STAIR BASE.DWG Friday, November 12, 2010 4:11:28 PM BRIDGSTON, BECCA CASEY



CODE PLAN DIAGRAMS



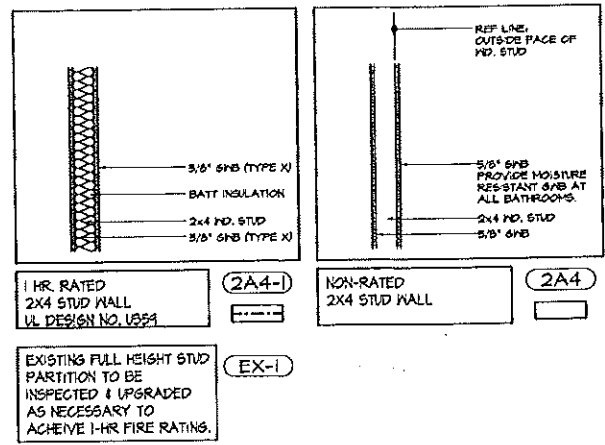
CODE SUMMARY

Existing Building  
Construction Type: II, Unprotected  
Fully Sprinklered & Supervised (including upgrade to Fire Alarm system per City request)  
First floor is Mercantile, all others are Business Use.

- For preliminary meeting with State Fire Marshal's office, the following renovations are proposed in conjunction with the addition of an exterior egress stair:
  - Provide a "horizontal exit" from the office suite of rooms 209-211 through the Nat Salon to new 2nd means of egress. This will require a 1-hr rated partition and 45 min. door between these spaces per NFPA 2006 7.2.4.1.2. Door to swing into the Assist/Meeting room to avoid possibility of objects blocking it from Staff 208. For 7.2.4.1.2, the minimum width in existing buildings shall be not less than 28". Drawings call for 36" per 7.2.4.1 (2).
  - At the third floor, to allow clear passage to exits, some interior renovations will have to be done to provide a continuous corridor so that both exits may be reached from both sides of the building. (This will cut through room 311 & 312) and the door between 320 and 314 should be removed, as well as the partition separating room 321 (it will become part of Waiting 320).
  - At the fourth floor, the door & wall to the conference room will have to be removed - either to open that space up entirely, or create a corridor through to the new exit.
  - We looked at remoteness at each floor and determined that they were generally acceptable (within 1/3 the diagonal; longest overall diagonal is 110'/3 = 36'). Given the existing central stair location - there is not a more remote option available for the new stair, so the shortest distance, which is 32' between exits at the 3rd floor would be acceptable.
- Proposed exit stair width  
NFPA 2006 7.2.2.2.2 Minimum New Stair Width (and NFPA 2009 - as adopted by City of Portland)  
"(A) Where the total occupant load of all stories served by the stair is fewer than 50, the minimum width shall be 36in."  
"(D) For downward egress travel, stair width shall be based on the total number of occupants from stories above the level where the width is measured."  
Building floor area = 4400sf/floor  
100 occupants/sf @ Business = 44 occupants/floor.  
2 stairs = 22 occupants per stair/floor  
Inquiry was as to whether the stair could remain 36" for all stories, as there is not enough space to fit the 44" stair and keep a 10' setback from the adjacent building openings.  
During meeting at SFM office, Ron & Rich agreed this was acceptable - though Ron cautioned that this will limit the future use of the building to Business, as that will not support a higher occupant load should the owner wish to change use in the future.
- Opening Protectives  
NFPA 2006 (and NFPA 2009 - as adopted by City of Portland) 7.2.2.6.3 Exception (5): "Outside stairs in existing buildings protected throughout by an approved, supervised automatic sprinkler system in accordance with Section 7.7 shall be permitted to be unprotected."
- Visual Protection  
NFPA 2006 (and NFPA 2009) 7.2.2.6.2 "stairs more than 36 feet above" ground require a 45 min. height "opaque visual obstruction". The top floor in this project is 38' above ground and as such, weighted with the request of Historic Preservation request for a balustrade look, emails with State Fire Marshal's office and City Fire Prevention Officer indicate acceptance of this screened balustrade alternative. Screening specified to line the balustrade is 62% open.

HISTORIC PRESERVATION CONSIDERATIONS

The existing building, at the rear facade, where all exterior work is proposed, is brick bearing wall with large (3'-4" wide x 7'-6" high) arched top windows. Some headers (at first floor doors and fourth floor windows) have painted steel plates on the exterior.  
The area currently has a wall mounted air condenser unit, gutters & downspouts, conduit, and vent pipes exposed. These items will be reconfigured or relocated to accommodate the stair tower. The owners dumpster has been parked in the alcove adjacent to the proposed stair.  
The proposed stair will be a torsor tower configuration constructed of custom colored dark gray galvanized steel framing, with perforated, galvanized steel treads, risers and landings, and will be screened with a metal mesh lined balustrade. All of those components will be the custom dark gray galvanized. The roof is proposed to be a matching steel deck. Additionally, at the ground, a fence is proposed by owner for security, which will also serve to screen a dumpster. The fence will use the same balustrade and screening assembly as the stair.  
By working with this constrained site to fit the stair in a lower configuration, we have significantly decreased the number of connections through the existing walls compared to a fire escape option which would have zig-zagged the width of the building. We believe that this design has less impact on the building, and will not compete with but stand simply in contrast to the existing structure. This stair does not engage the 2-story brick structure behind the main building.  
We are placing all new egress doors into existing window openings, disturbing only the sill and brick below, so as to leave all headers and fenestration pattern undisturbed. New door frames are called out to fit the arched top with transom lines, thus retaining the form and height of the existing openings.



WALL SYSTEMS

Monday, November 15, 2010 12:02:08 PM BRIDOTON BECCA

HWMASTER PROJ: FILESSANORREXTERIOR STAIR ESCAPEHARISTAIRS-CADISTAIR BASE.DWG

JOB NO.	10-068
DRWN	CHK
SCALE	RSC
SCALE	1/8"=1'-0"
ISSUE	
FOR BID	12 NOVEMBER 2010
TITLE	
FIRST FLOOR PLAN	
SHEET	
A0	

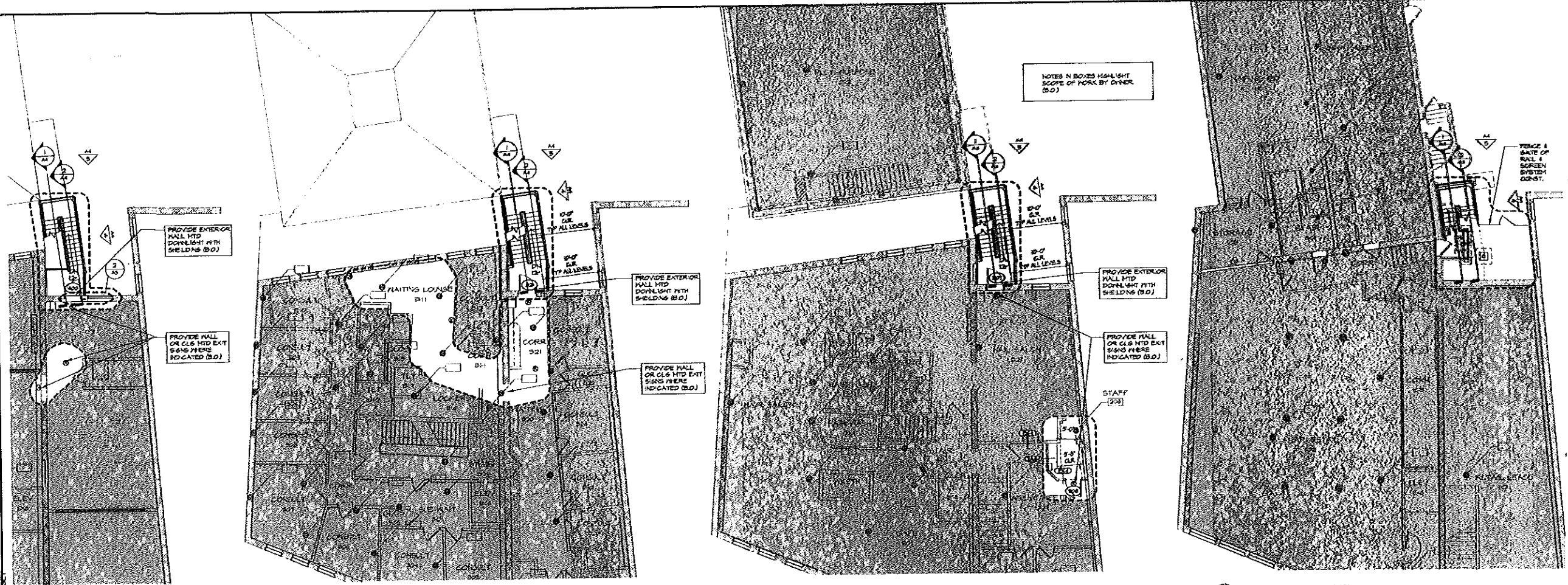


Monday, November 15, 2010 12:02:12 PM BRIDGTON BECCA

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Akari - Exterior Egress Stair  
193 MIDDLE STREET, PORTLAND, MAINE

JOB NO	10-058
DRWN	CHK RSC
SCALE	1/8"=1'-0"
ISSUE	FOR BD 12 NOVEMBER 2010
TITLE	FIRST FLOOR PLAN
SHEET	A1

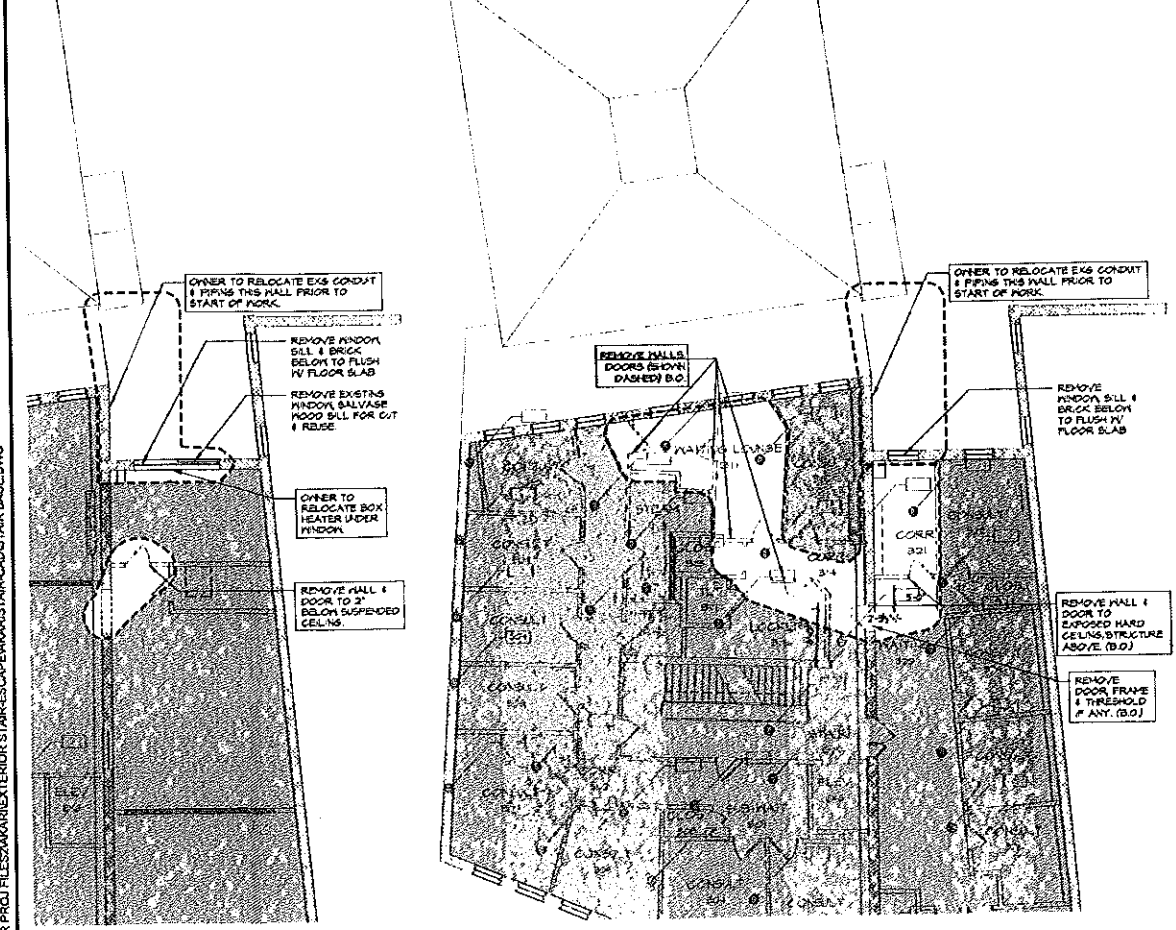


8 PARTIAL FOURTH FLOOR PLAN  
18'-11/2"

7 PARTIAL THIRD FLOOR PLAN  
18'-11/2"

6 PARTIAL SECOND FLOOR PLAN  
18'-11/2"

5 PARTIAL FIRST FLOOR PLAN  
18'-11/2"



4 PARTIAL FOURTH FLOOR DEMOLITION PLAN  
18'-11/2"

3 PARTIAL THIRD FLOOR DEMOLITION PLAN  
18'-11/2"

2 PARTIAL SECOND FLOOR DEMOLITION PLAN  
18'-11/2"

1 PARTIAL FIRST FLOOR DEMOLITION PLAN  
18'-11/2"

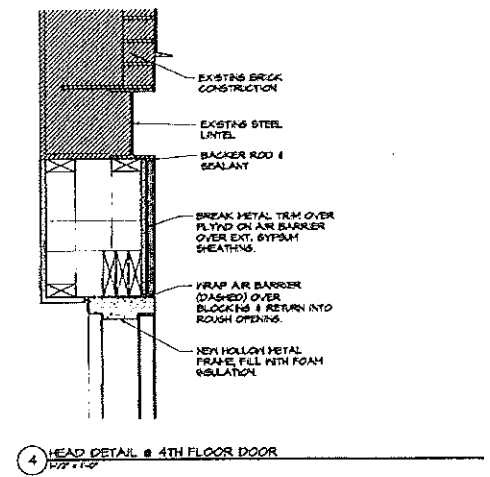
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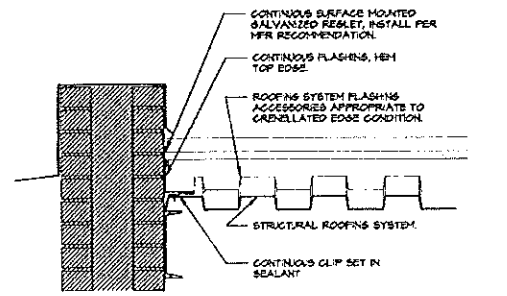
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43 DARTMOUTH STREET  
PORTLAND, MAINE 04101  
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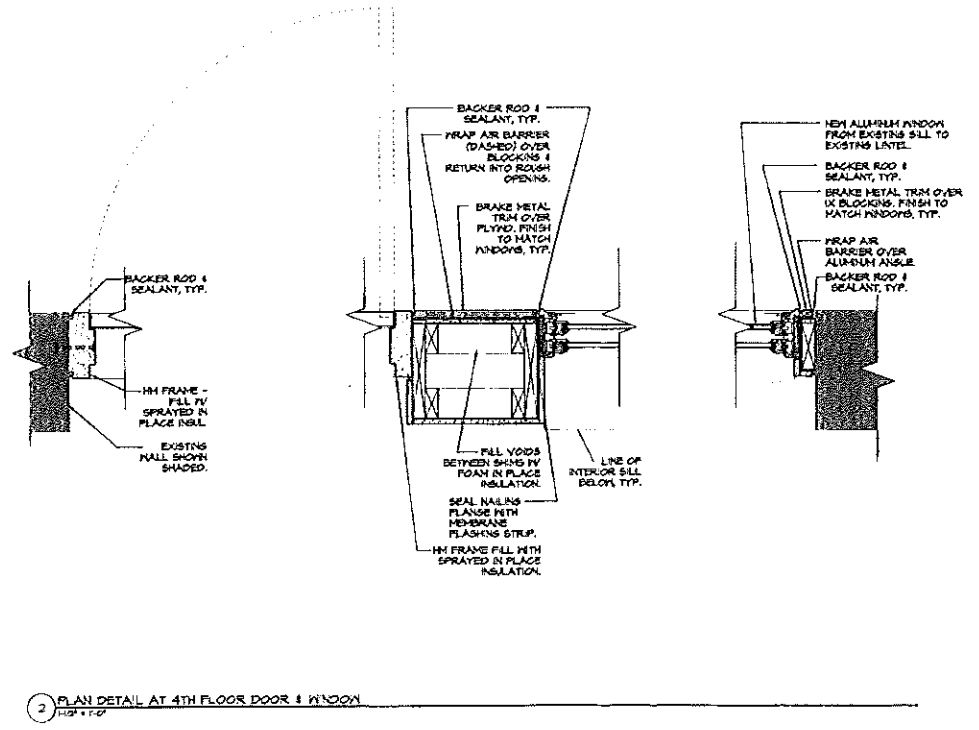
Akari - Exterior Egress Stair  
193 MIDDLE STREET, PORTLAND, MAINE



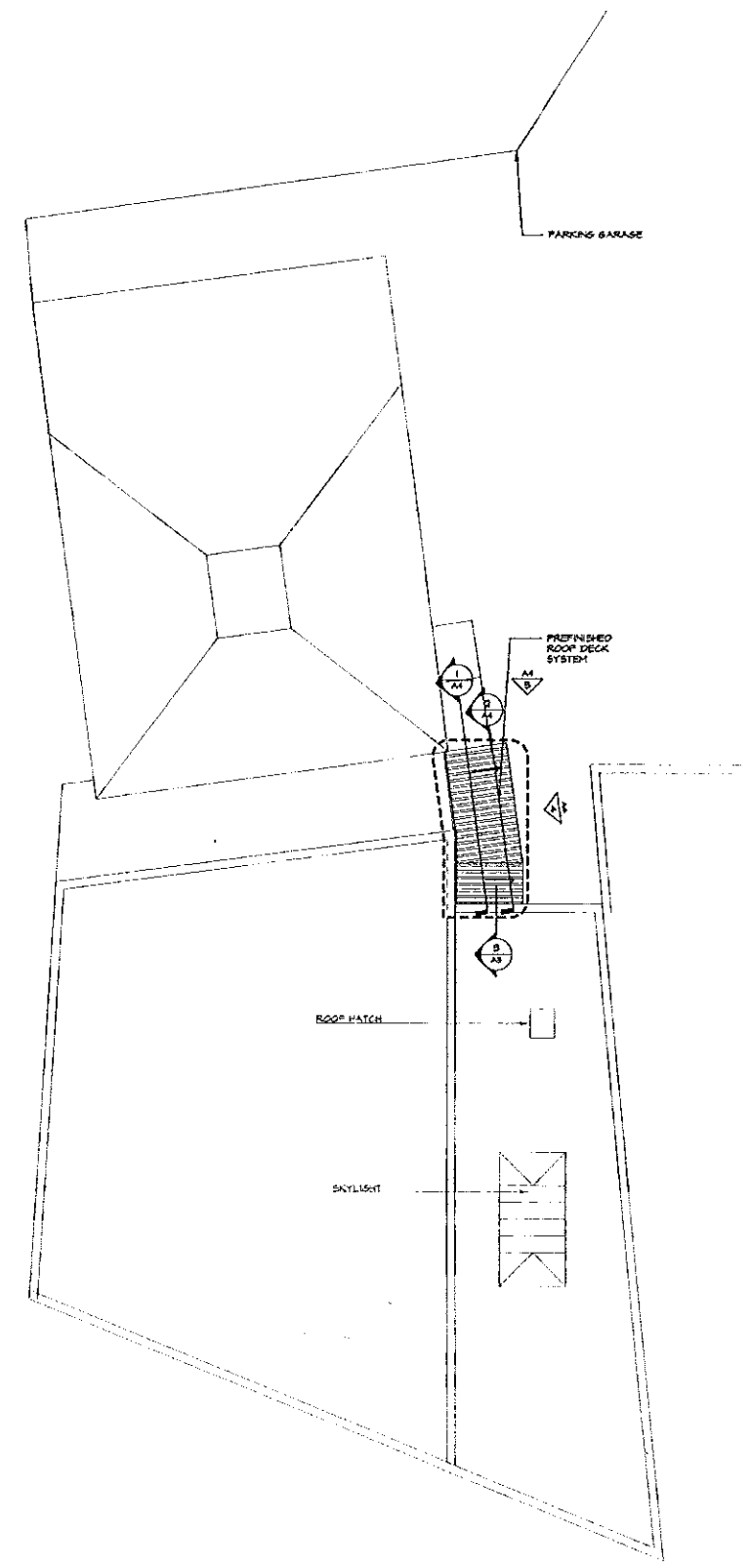
4 HEAD DETAIL # 4TH FLOOR DOOR  
1/8" = 1'-0"



5 DETAIL # ROOF  
1/8" = 1'-0"



3 PLAN DETAIL AT 4TH FLOOR DOOR & W/NOOK  
1/8" = 1'-0"

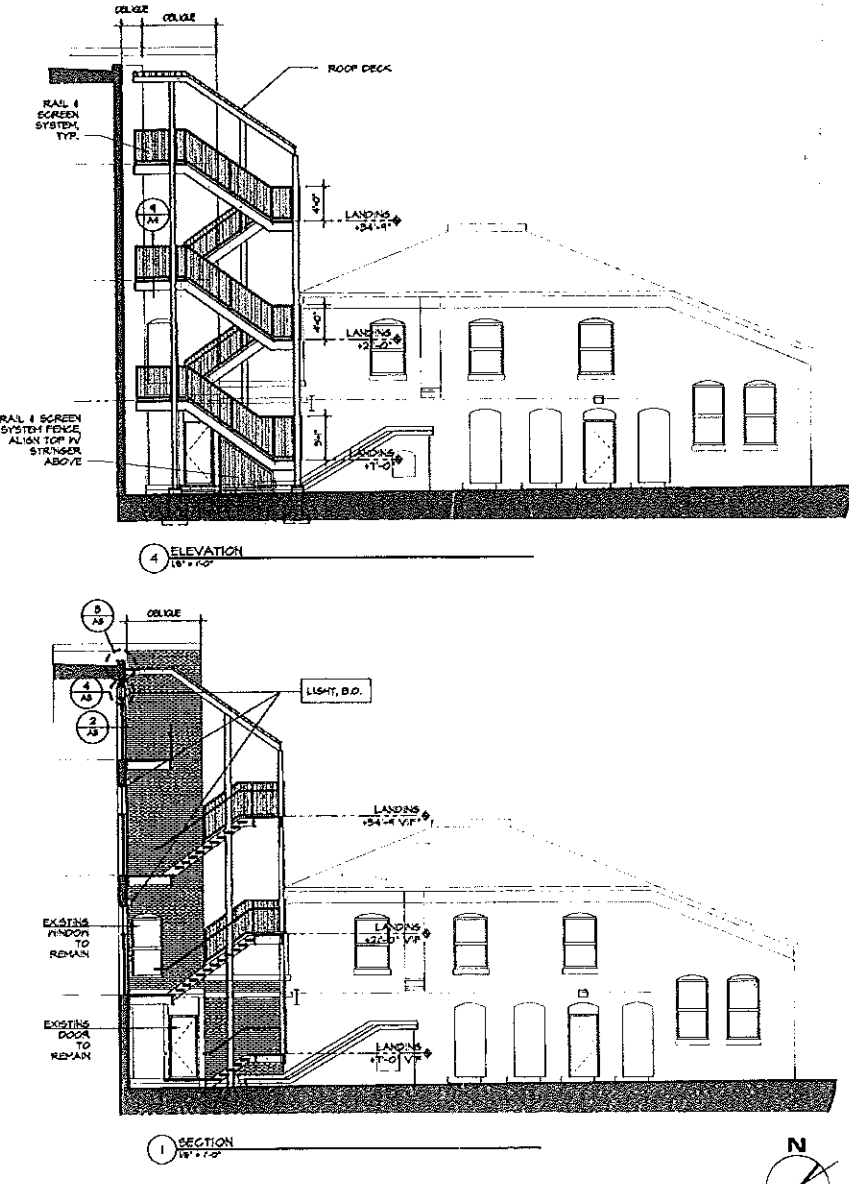
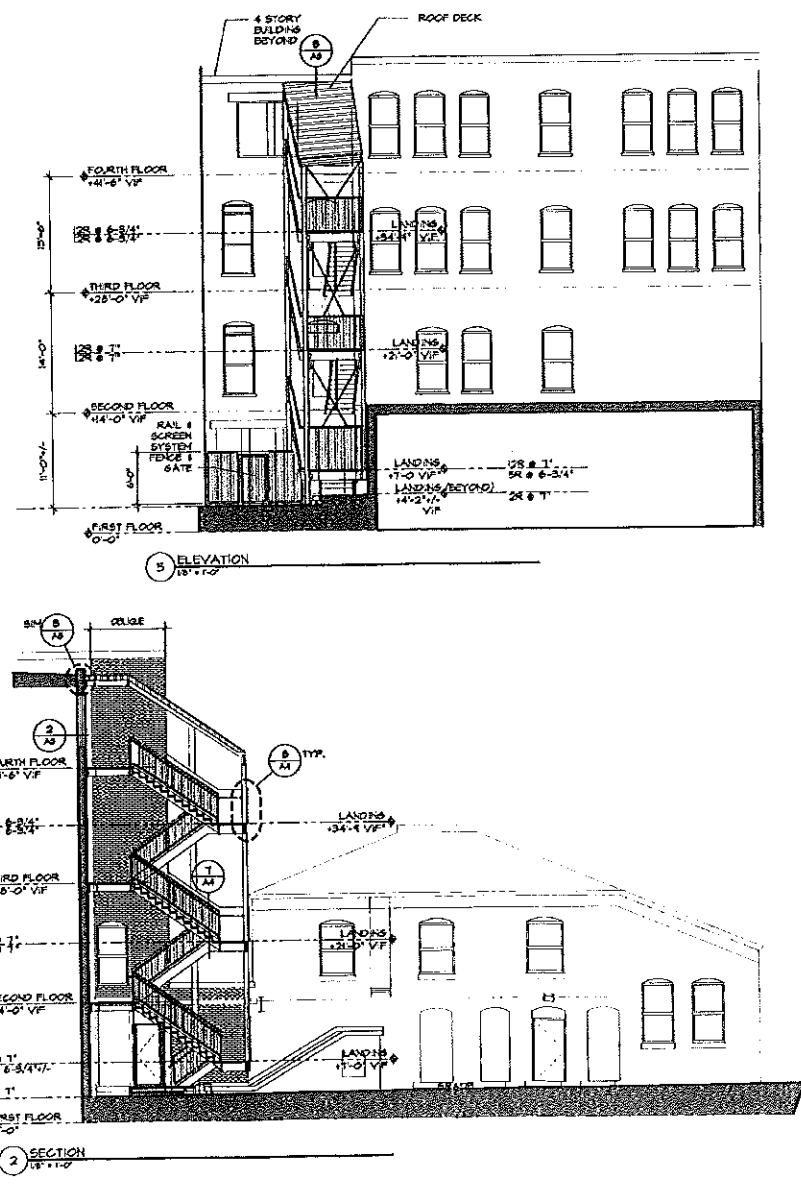
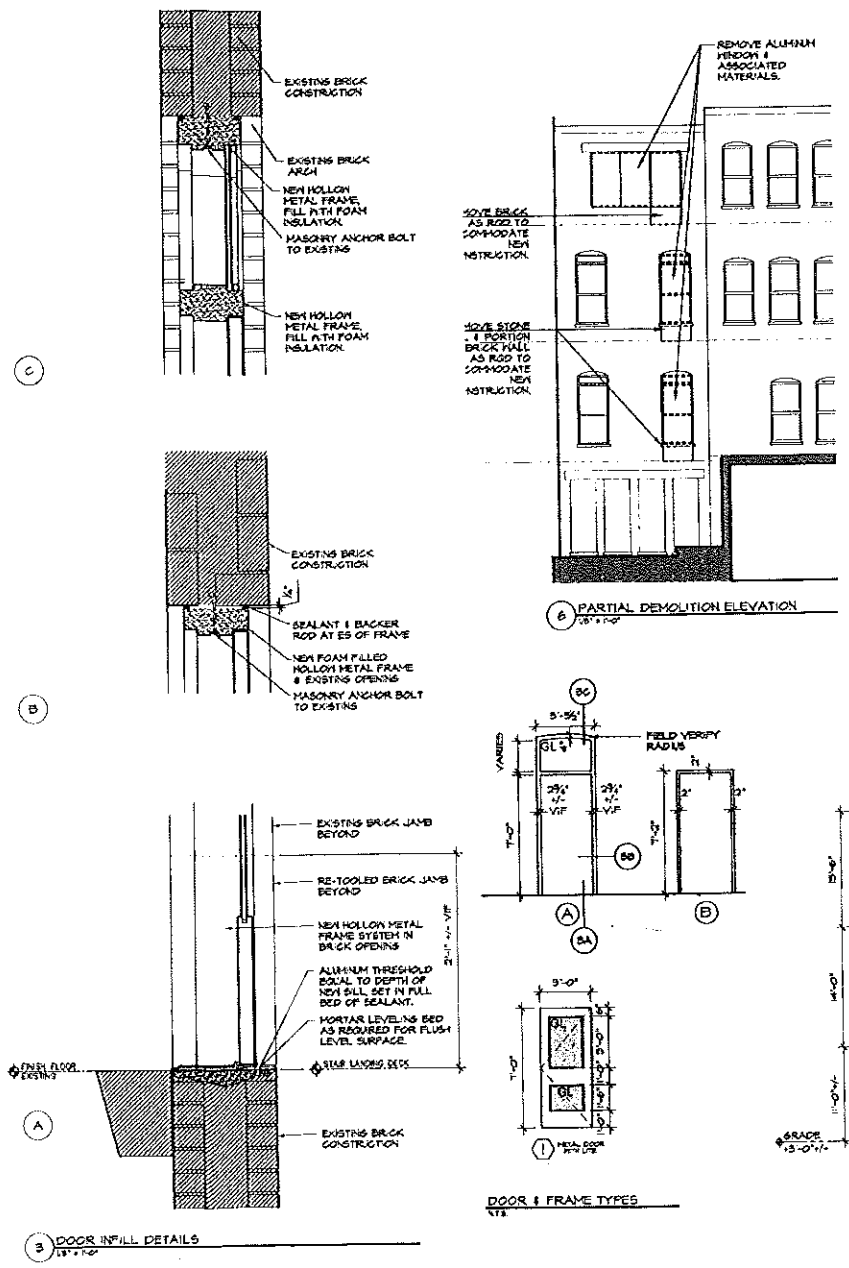
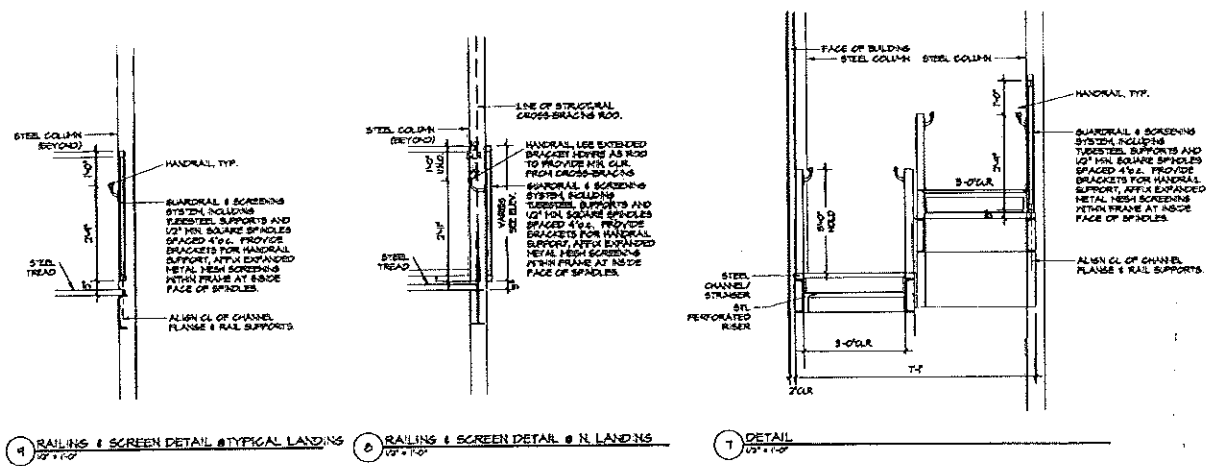


1 SECTION  
1/8" = 1'-0"



JOB NO 10-055
DRWING CRX RSC
SCALE 1/8"=1'-0"
ISSUE FOR BID 12 NOVEMBER 2010
TITLE FIRST FLOOR PLAN
SHEET A3

DR#	LOCATION	MAT.	TYPE	FRAME TYPE	SIZE	HARDWARE	F.R.	NOTES
104A	EXTERIOR / ALLEY	-	-	-	3'0" X 6'0" PR	PANIC BAR	-	GATE AND FENCE FRAMING & SCREENING TO BE SAME MATERIAL & FINISH AS STAIR RAILINGS.
207	EXTERIOR STAIR	PTD MTL	A	A	3'0" X 7'0"	LEVER 1	-	
321	EXTERIOR STAIR	PTD MTL	A	A	3'0" X 7'0"	LEVER 1	-	
400	EXTERIOR STAIR	PTD MTL	A	B	3'0" X 7'0"	LEVER 1	-	
1) HARDWARE TO INCLUDE SINGLE ACTION LEVER RELEASE KEYED FROM EXTERIOR (LEVER 1) AND PANIC BAR KEYED FROM EXTERIOR AT FENCE CONSTRUCTION; PROVIDE SLIDE LOCK WITH PADLOCK EYE AT INACTIVE LEAF.								



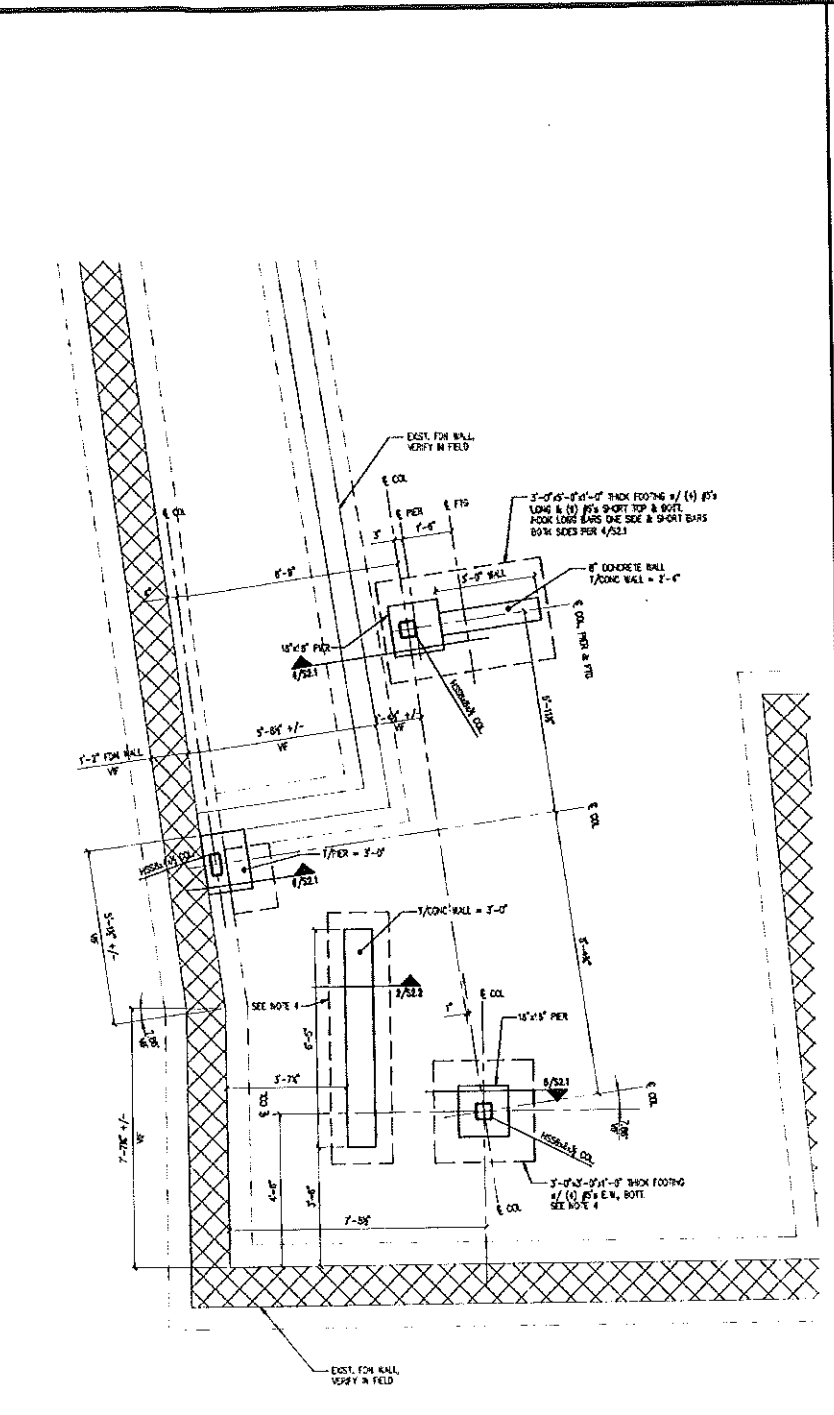
Monday, November 15, 2010 12:02:19 PM BRIDGTON BECCA  
 R:\MASTER PROJ FILES\AKARI\EXTERIOR STAIRS\CAD\AKARI-STAIR-CAD-STAIR BASEL.DWG



Nov 15, 2010

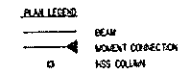
**PRELIMINARY  
 NOT FOR CONSTRUCTION**

**AKARI - EXTERIOR EGRESS STAIR**  
 PORTLAND, ME  
 193 MIDDLE STREET

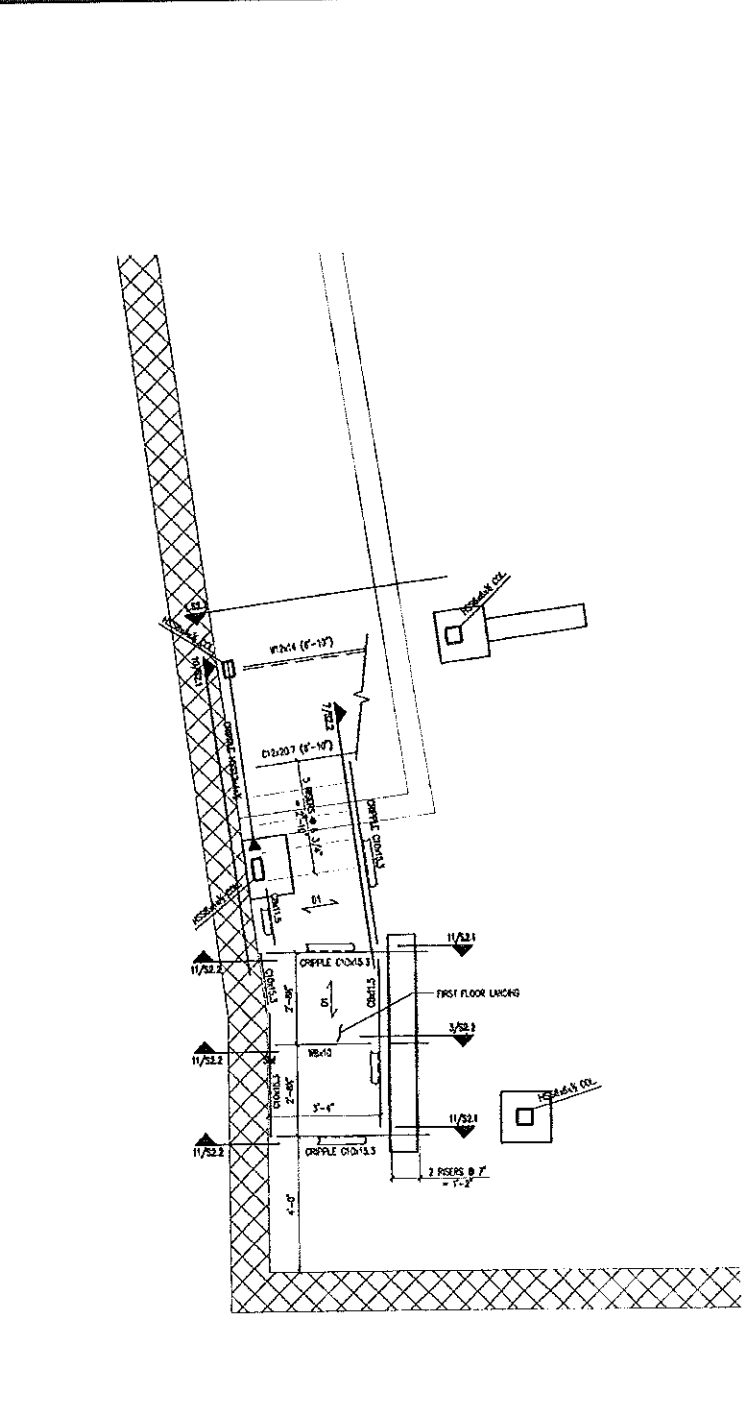


CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS IN FIELD & REPORT ALL DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO COMMENCING CONSTRUCTION & FABRICATION

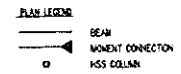
- NOTES**
1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0"
  2. GRADE = 3'-0" +/- W
  3. TOP OF CONCRETE PER ELEVATIONS = 3'-5" TYP. U.N.D.
  4. TOP OF FOOTING ELEVATIONS TO BE DETERMINED IN FIELD DURING CONSTRUCTION. ALL ELEVATION = -0'-1" U.N.D. FOR FIRST. VERIFY THAT BOTTOM OF EXISTING FOOTING ELEVATIONS AT ADJACENT FOOTINGS ARE NOT SACRIFICED NOR UNDERMINED ON ALL SIDES OF NEW FOUNDATIONS. SEE 11/22.1 FOR TYPICAL DETAIL.



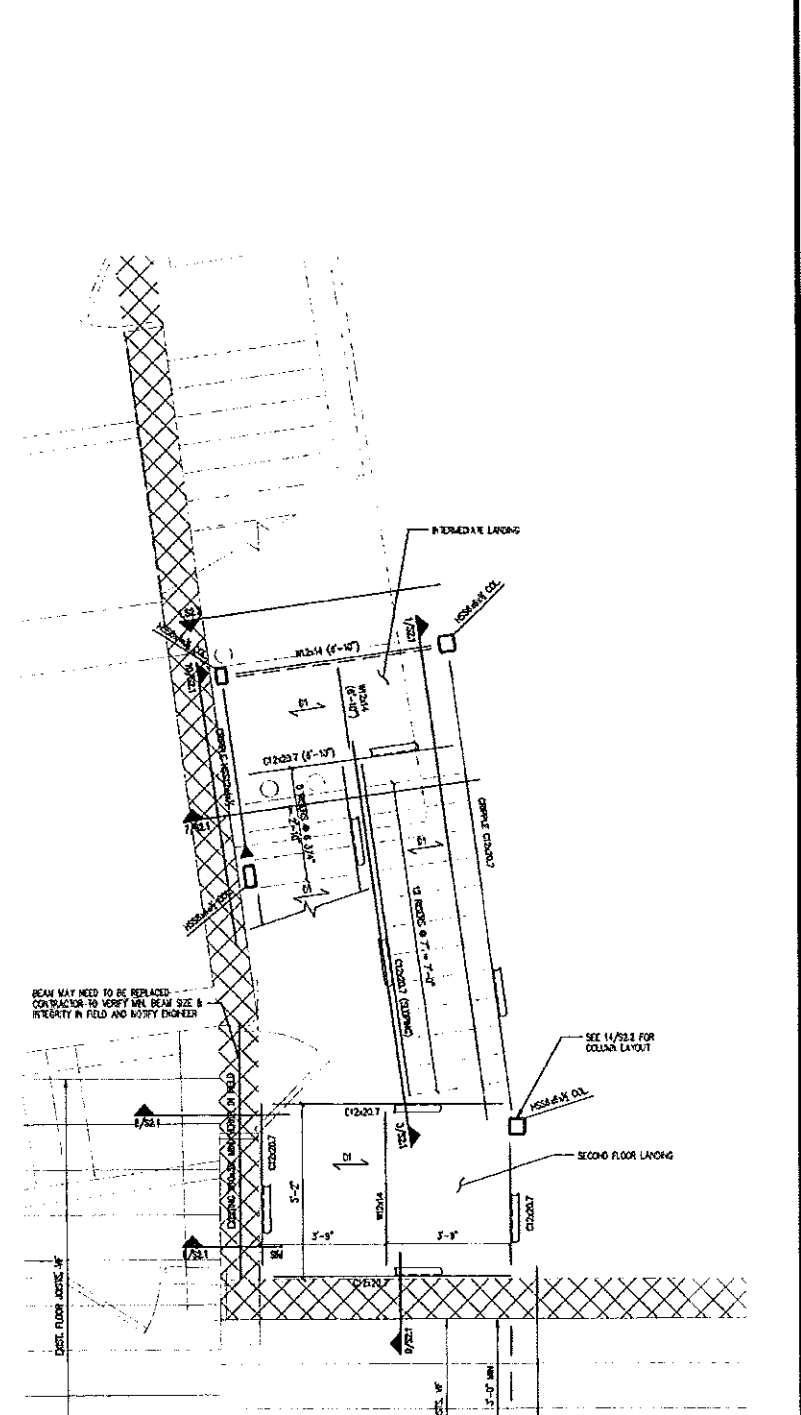
**FOUNDATION PLAN** SCALE: 1/2"=1'-0" 1



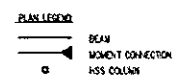
- NOTES**
1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0"
  2. 1/2" STEEL ELEVATION = 4'-0" U.N.D.
  3. (12"-10") DENOTES 1/2" STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION. SEE PLAN
  4. (12"-10") DENOTES SPAN OF 2" MANHOLE'S 12" TREAD PLANKS, 13 GAUGE. SEE ARCH FOR ADD. INFO.
  5. VERIFY ALL RISER DIMENSIONS WITH ARCHITECT



**FIRST FLOOR LANDING FRAMING PLAN** SCALE: 1/2"=1'-0" 2



- NOTES**
1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0"
  2. 1/2" STEEL ELEVATION = 4'-0" U.N.D.
  3. (12"-10") DENOTES 1/2" STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION. SEE PLAN
  4. (12"-10") DENOTES SPAN OF 2" MANHOLE'S 12" TREAD PLANKS, 13 GAUGE. SEE ARCH FOR ADD. INFO.
  5. VERIFY ALL RISER DIMENSIONS WITH ARCHITECT



**SECOND FLOOR LANDING FRAMING PLAN** SCALE: 1/2"=1'-0" 3

NO.	DATE	BY	CHKD.	DESC.

DESIGNED: TD  
 DRAWN: TD  
 DATE: 10-12-10  
 CADD FILE: 10-079-51.dwg  
 PROJECT NUMBER: 10-079

**S1.1**

**AKARI - EXTERIOR EGRESS STAIR**  
 193 MIDDLE STREET  
 PORTLAND, ME

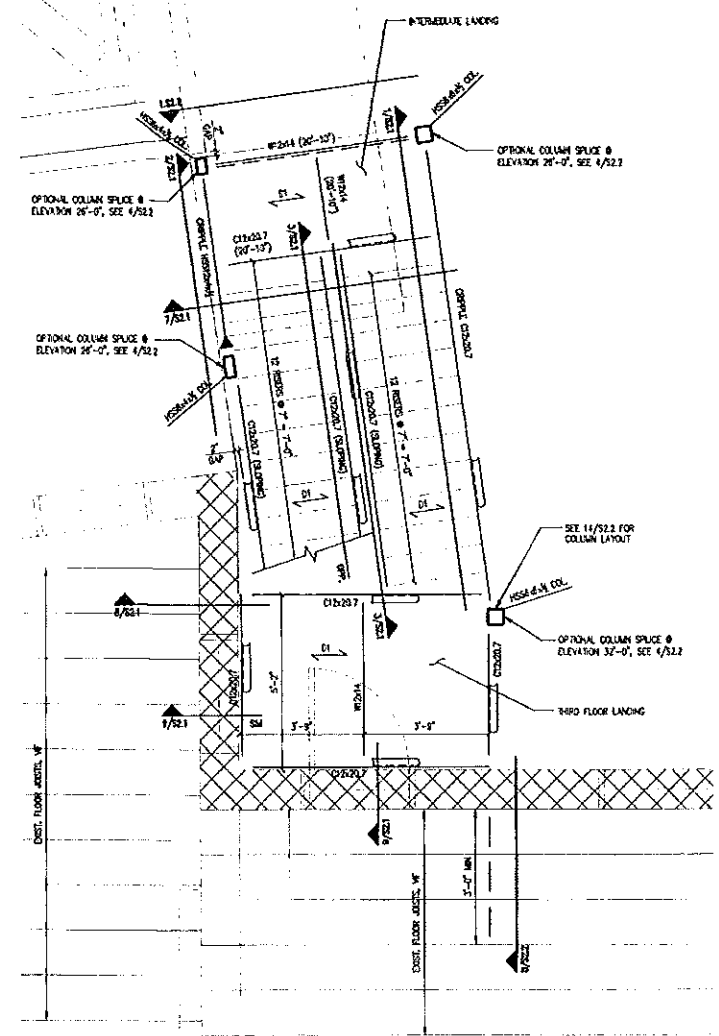
NO.	DATE	BY	CHKD.	REVISIONS

SHEET TITLE  
**EXTERIOR STAIR FRAMING PLANS**

DESIGNED: TD  
 DRAWN: TD  
 DATE: 10-12-10  
 CAD FILE: 10-012-01.dwg  
 PROJECT NUMBER: 12-079

**S1.2**

Nov 15, 2010



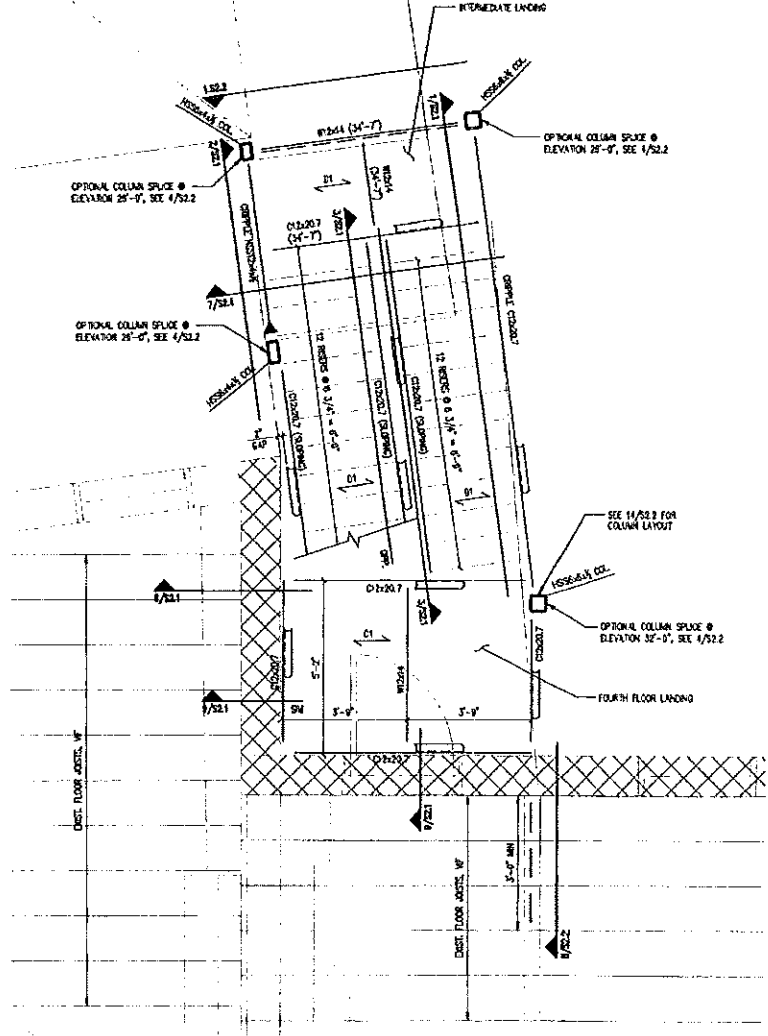
**NOTES**

1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0".
2. 1/8" REEL ELEVATION = 27'-0", U.M.G.
3. (11'-11") DENOTES 1/8" REEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN.
4. D1 DENOTES SPAN OF 2" WANCHOLS 12" TREAD PLANKS, 13 GAUGE.
5. SEE ARCH FOR ADD. INFO.
6. VERIFY ALL REAR DIMENSIONS WITH ARCHITECT.

**PLAN LEGEND**

BEAM  
 MOMENT CONNECTION  
 HSS COLUMN

**THIRD FLOOR LANDING FRAMING PLAN** SCALE: 1/2"=1'-0" 1



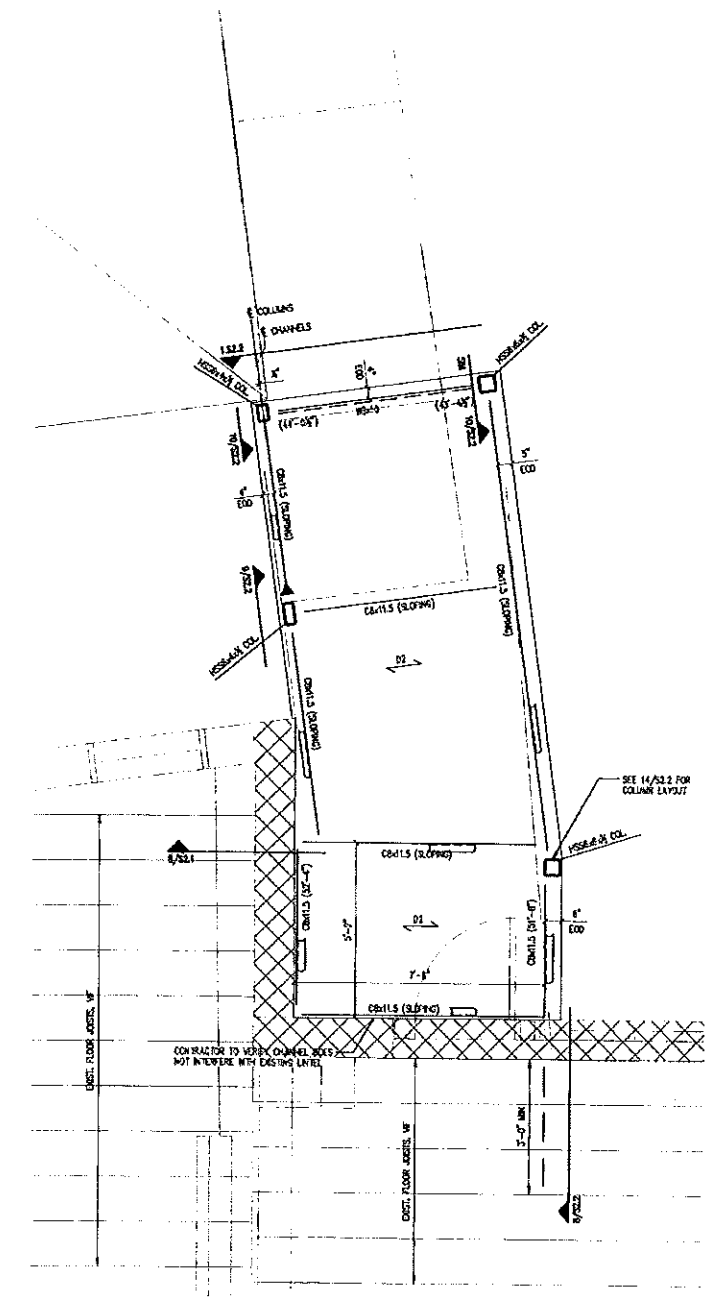
**NOTES**

1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0".
2. 1/8" REEL ELEVATION = 28'-0", U.M.G.
3. (11'-11") DENOTES 1/8" REEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN.
4. D1 DENOTES SPAN OF 2" WANCHOLS 12" TREAD PLANKS, 13 GAUGE.
5. SEE ARCH FOR ADD. INFO.
6. VERIFY ALL REAR DIMENSIONS WITH ARCHITECT.

**PLAN LEGEND**

BEAM  
 MOMENT CONNECTION  
 HSS COLUMN

**FOURTH FLOOR LANDING FRAMING PLAN** SCALE: 1/2"=1'-0" 2



**NOTES**

1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0".
2. (11'-11") DENOTES 1/8" REEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN.
3. D1 DENOTES SPAN OF 12" FLUORENE ROOF PANEL, 16 GAGE BY PLENSPAN, OR EQUIVALENT.
4. SEE ARCH FOR ADDITIONAL INFORMATION.
5. E10 DENOTES EDGE OF ROOF DECK.

**PLAN LEGEND**

BEAM  
 MOMENT CONNECTION  
 HSS COLUMN

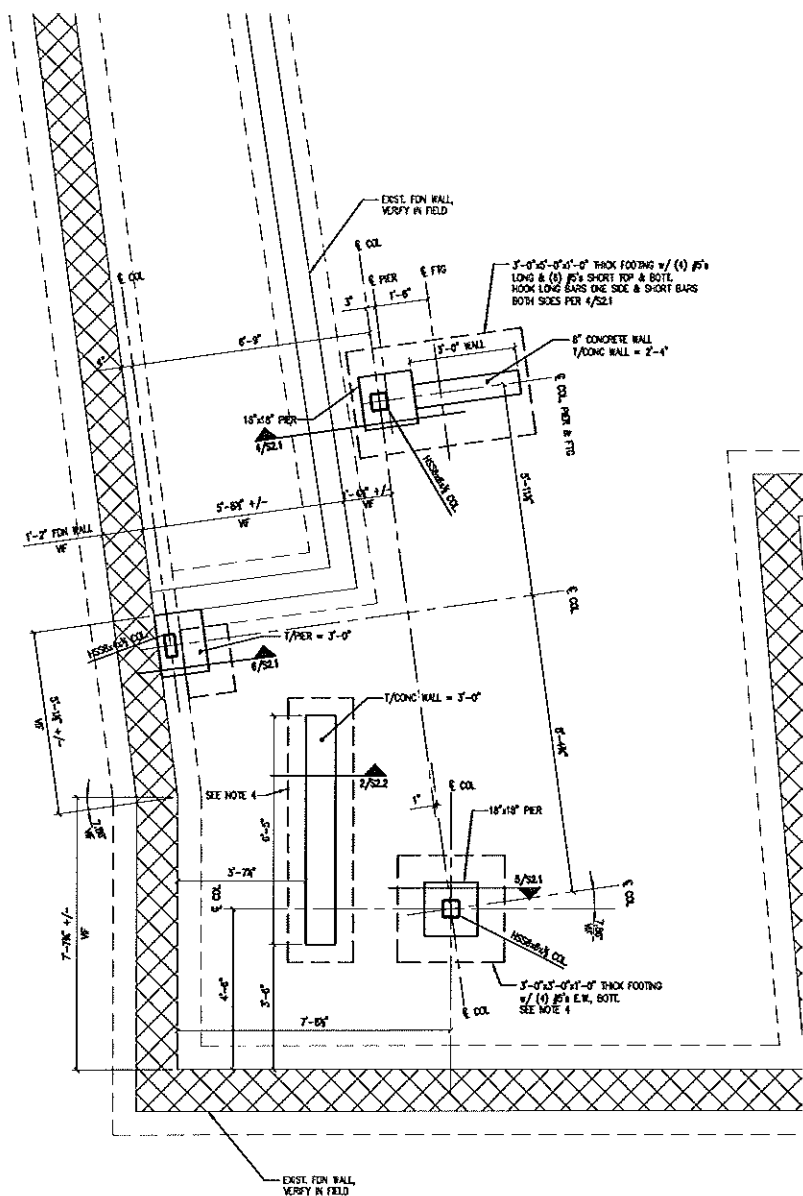
**ROOF FRAMING PLAN** SCALE: 1/2"=1'-0" 3





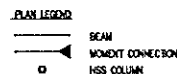
**AKARI - EXTERIOR EGRESS STAIR**  
 193 MIDDLE STREET  
 PORTLAND, ME

Feb 28, 2011



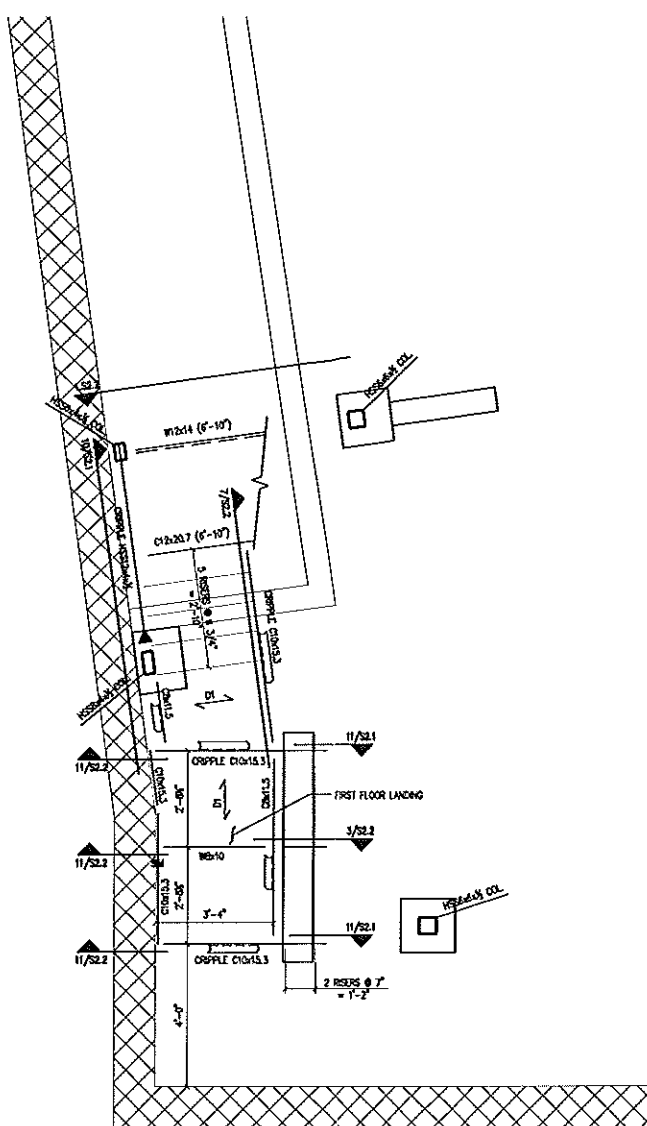
CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & CONDITIONS IN FIELD & REPORT ALL DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO COMMENCING CONSTRUCTION & FABRICATION

- NOTES:
1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0"
  2. GRADE = 3'-0" +/- WF
  3. TOP OF CONCRETE PER ELEVATIONS = 3'-0", TYP. U.N.G.
  4. TOP OF FOOTING ELEVATIONS TO BE DETERMINED IN FIELD DURING CONSTRUCTION. MAX ELEVATION = -0'-4" U.N.G. FOR FROST. VERIFY THAT BOTTOM OF EXISTING FOOTING ELEVATIONS AT ADJACENT FOOTINGS ARE NOT SURCHARGED NOR UNDERMINED ON ALL SIDES OF NEW FOUNDATIONS. SEE 12/S2.2 FOR TYPICAL DETAIL.

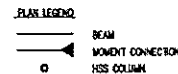


FOUNDATION PLAN

SCALE: 1/2"=1'-0" 1

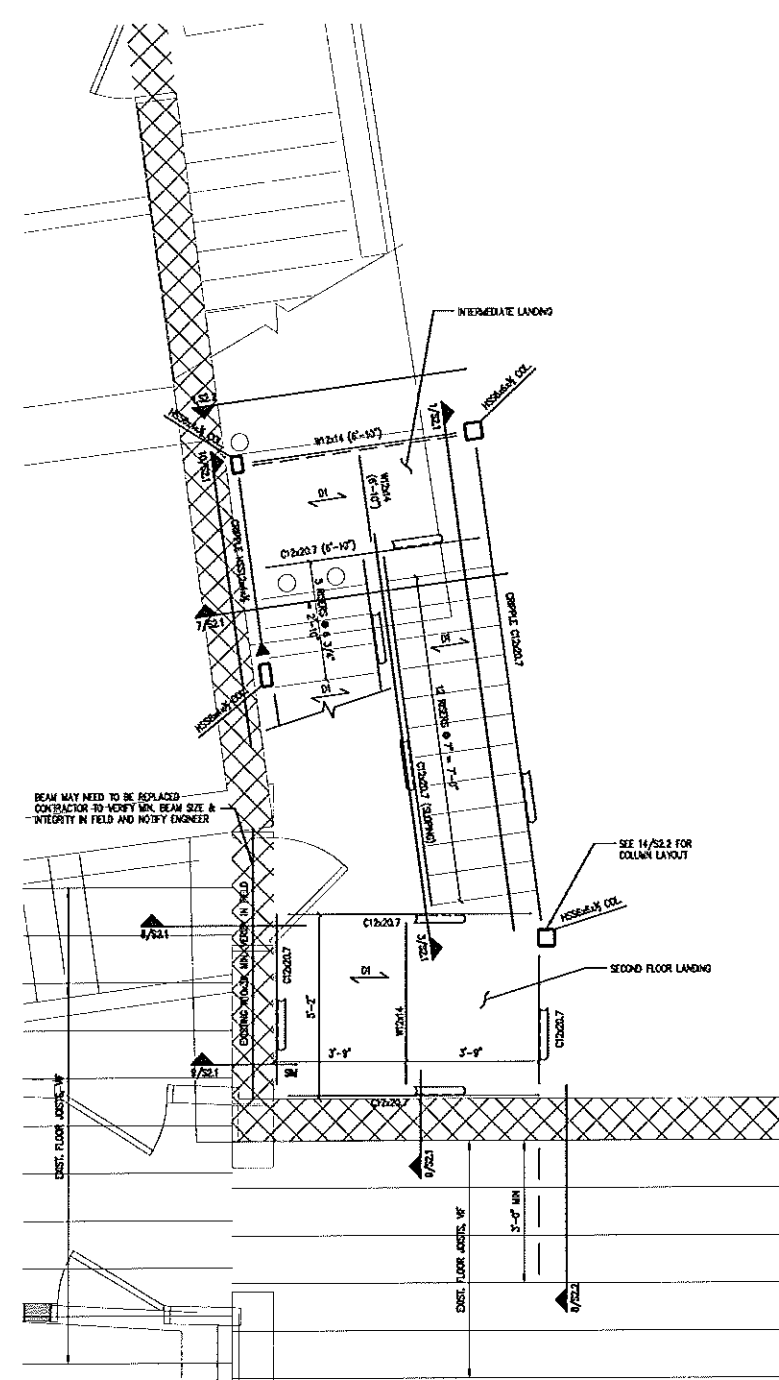


- NOTES:
1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0"
  2. 1/STEEL ELEVATION = 4'-0", U.N.G.
  3. (C12-20.7) DENOTES 1/STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN
  4. (WB-10) DENOTES SPAN OF 2' MINIMUMS 12" TREAD PLANKS, 13 GAUGE.
  5. SEE ARCH FOR ADJ. INFO.
  6. VERIFY ALL RISER DIMENSIONS WITH ARCHITECT

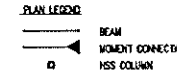


FIRST FLOOR LANDING FRAMING PLAN

SCALE: 1/2"=1'-0" 2



- NOTES:
1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0"
  2. 1/STEEL ELEVATION = 12'-10", U.N.G.
  3. (C12-15.3) DENOTES 1/STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN
  4. (WB-10) DENOTES SPAN OF 2' MINIMUMS 12" TREAD PLANKS, 13 GAUGE.
  5. SEE ARCH FOR ADJ. INFO.
  6. VERIFY ALL RISER DIMENSIONS WITH ARCHITECT



SECOND FLOOR LANDING FRAMING PLAN

SCALE: 1/2"=1'-0" 3

NO.	DATE	DESCRIPTION	ISSUE
1	11/25/10	ISSUE FOR PERMIT	

SHEET TITLE: **EXTERIOR STAIR FRAMING PLANS**

DESIGNED:	TO
DRAWN:	TO
DATE:	10-12-10
CADD FILE:	10-079-51.dwg
PROJECT NUMBER:	10-079

S1.1



**AKARI - EXTERIOR EGRESS STAIR**  
 193 MIDDLE STREET  
 PORTLAND, ME

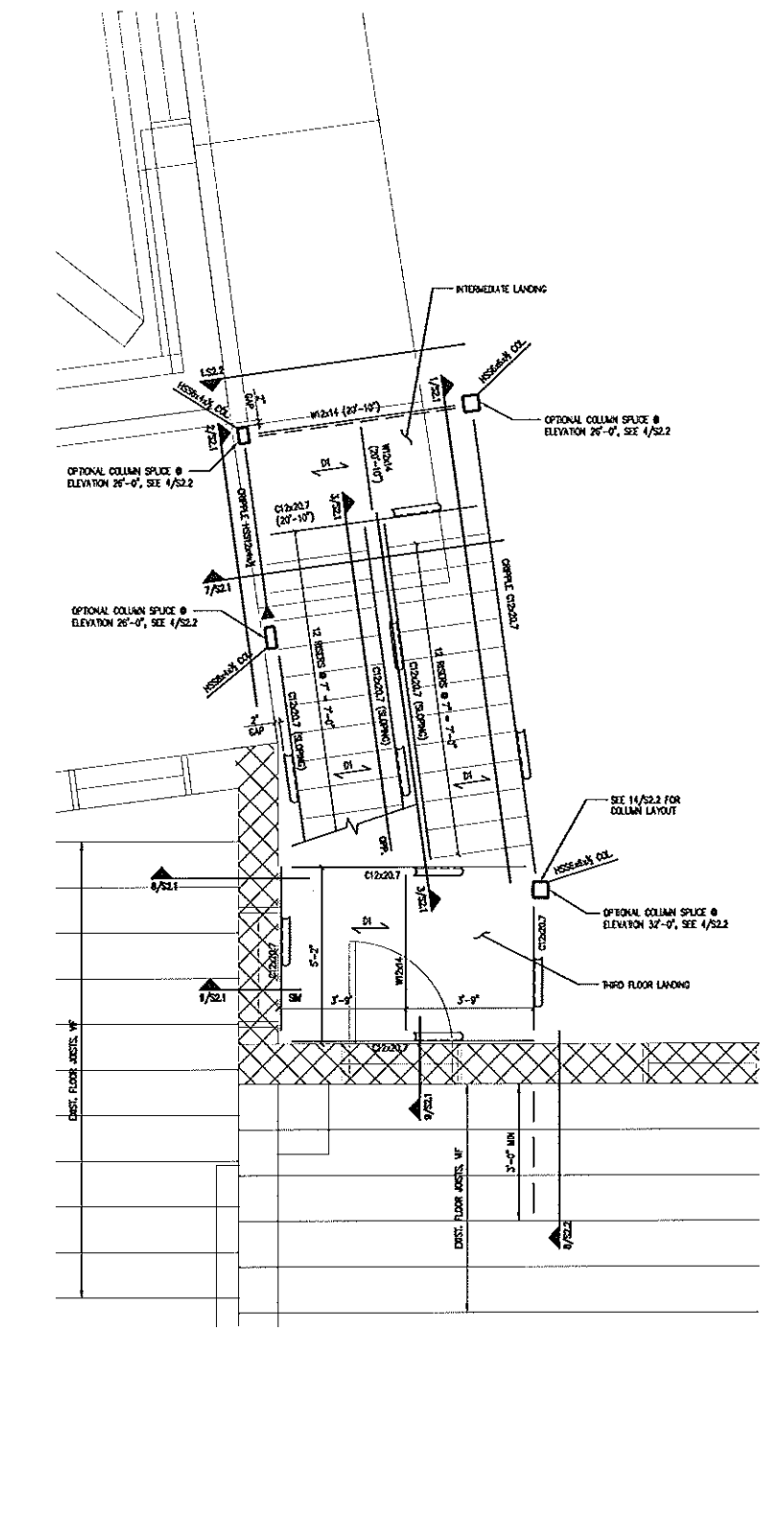
NO.	DATE	ISSUE
A	11-17-10	ISSUE FOR PERMITS
B	11-22-10	ISSUE FOR PERMITS

SHEET TITLE  
**EXTERIOR STAIR FRAMING PLANS**

DESIGNED	TD
DRAWN	TD
DATE	10-12-10
CASO FILE	10-078-S1.cwg
PROJECT NUMBER	10-078

**S1.2**

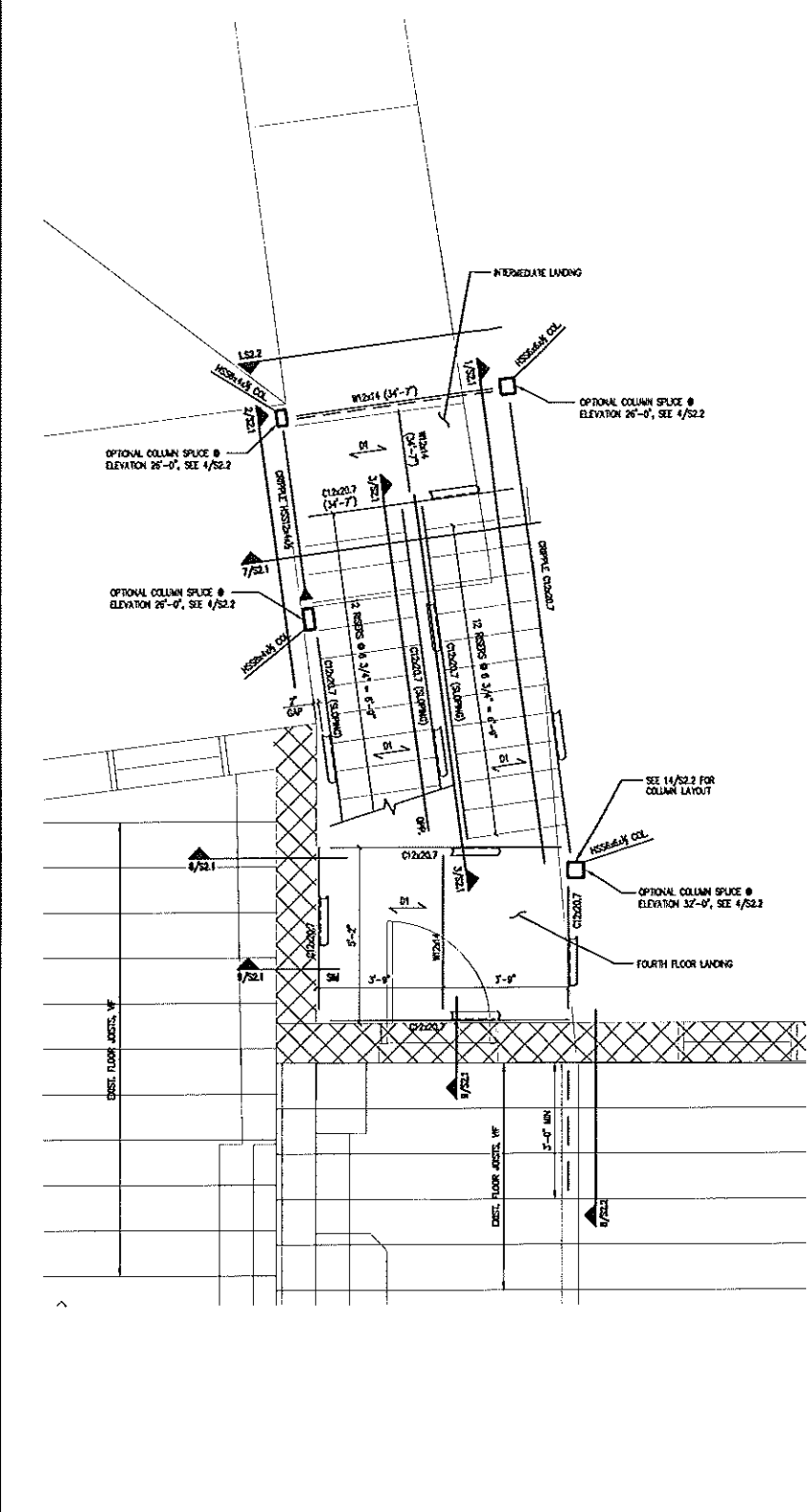
Feb 28, 2011



**NOTES**  
 1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0".  
 2. 1/8" STEEL ELEVATION = 27'-10", U.L.R.L.  
 3. (XX'-XX") DENOTES 1/8" STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN.  
 4. D1 DENOTES SPAN OF 2" MANHOLE'S 12" TREAD PLANKS, 13 GAUGE.  
 5. SEE ARCH FOR ADD. INFO.  
 6. VERIFY ALL RISER DIMENSIONS WITH ARCHITECT

**PLAN LEGEND**  
 — BEAM  
 — MOMENT CONNECTION  
 □ HSS COLUMN

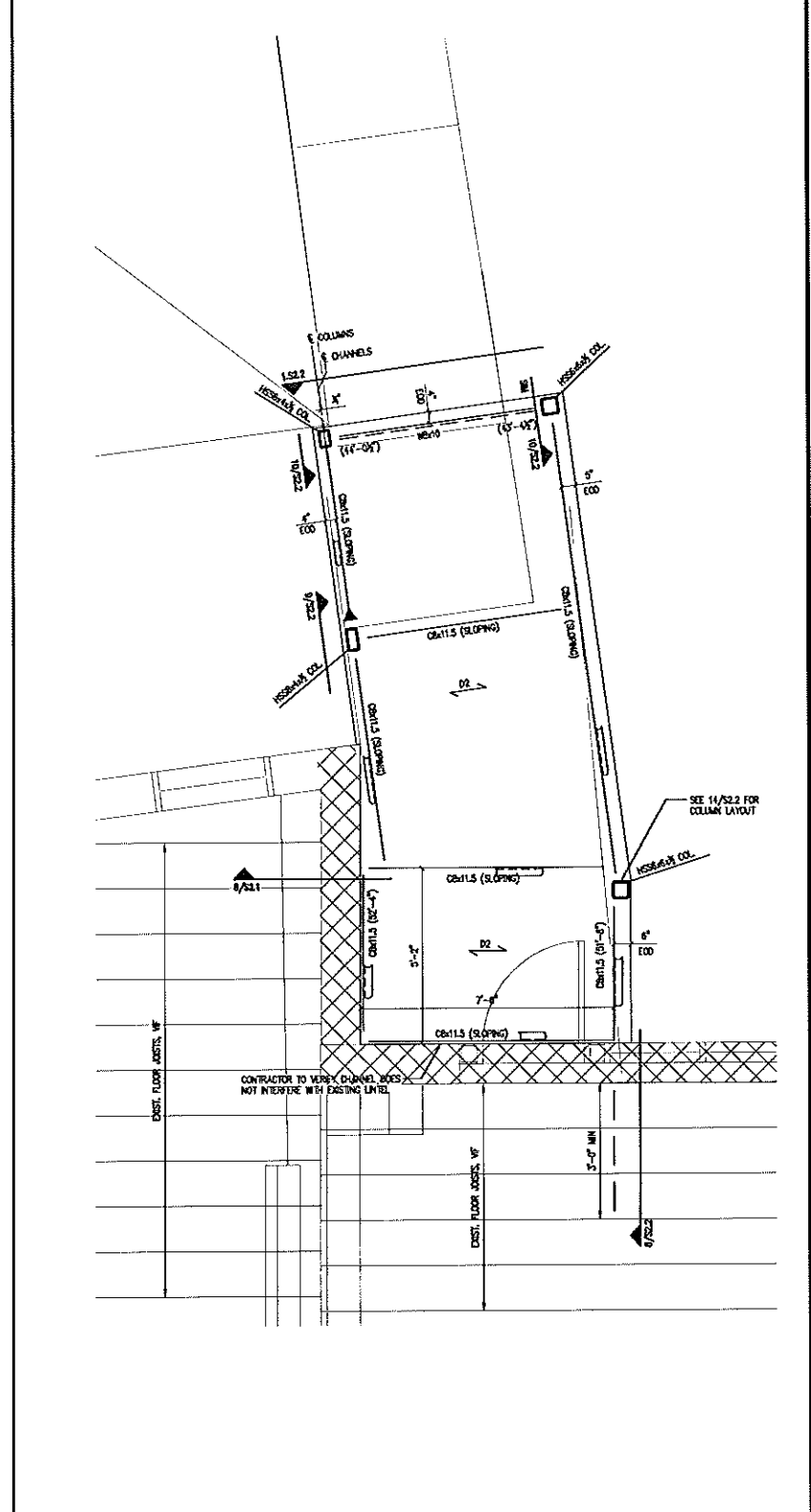
**THIRD FLOOR LANDING FRAMING PLAN**  
 SCALE: 1/2"=1'-0" 1



**NOTES**  
 1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0".  
 2. 1/8" STEEL ELEVATION = 41'-4", U.L.R.L.  
 3. (XX'-XX") DENOTES 1/8" STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN.  
 4. D1 DENOTES SPAN OF 2" MANHOLE'S 12" TREAD PLANKS, 13 GAUGE.  
 5. SEE ARCH FOR ADD. INFO.  
 6. VERIFY ALL RISER DIMENSIONS WITH ARCHITECT

**PLAN LEGEND**  
 — BEAM  
 — MOMENT CONNECTION  
 □ HSS COLUMN

**FOURTH FLOOR LANDING FRAMING PLAN**  
 SCALE: 1/2"=1'-0" 2



**NOTES**  
 1. REFERENCE TOP OF EXISTING FIRST FLOOR ELEVATION = 0'-0".  
 2. (XX'-XX") DENOTES 1/8" STEEL ELEVATION FROM REFERENCE FIRST FLOOR ELEVATION, SEE PLAN.  
 3. D2 DENOTES SPAN OF 1.5" FLEEGRAM ROOF PANEL, 18 GAGE BY FLEEGSPAN, OR EQUIVALENT.  
 4. SEE ARCH FOR ADDITIONAL INFORMATION.  
 5. EOD DENOTES EDGE OF ROOF DECK.

**PLAN LEGEND**  
 — BEAM  
 — MOMENT CONNECTION  
 □ HSS COLUMN

**ROOF FRAMING PLAN**  
 SCALE: 1/2"=1'-0" 3

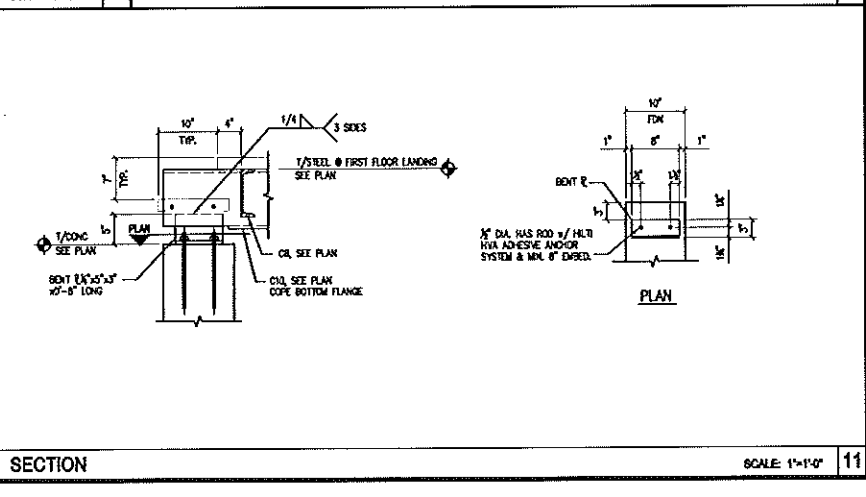
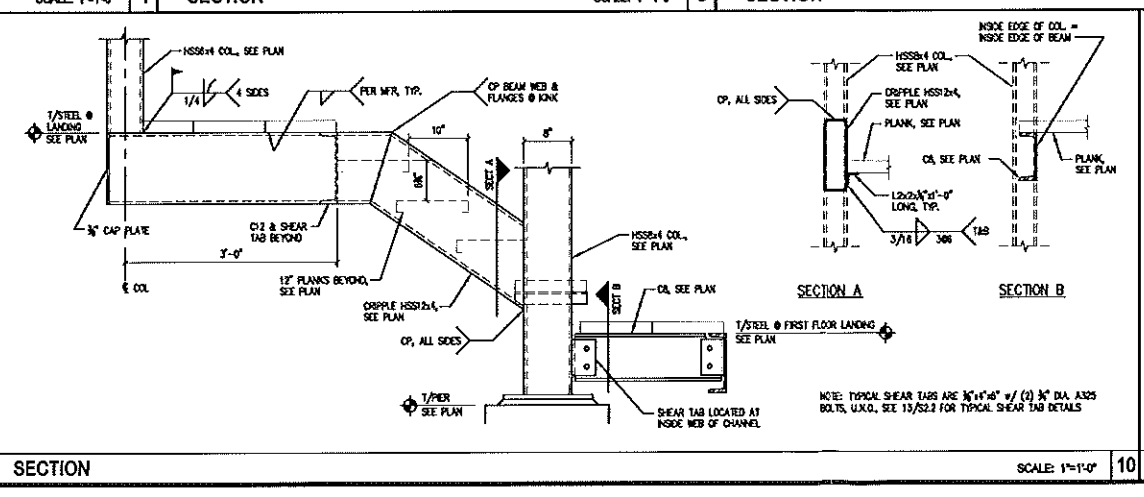
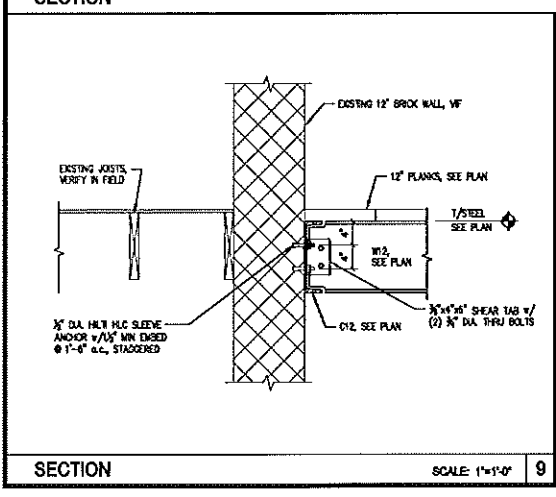
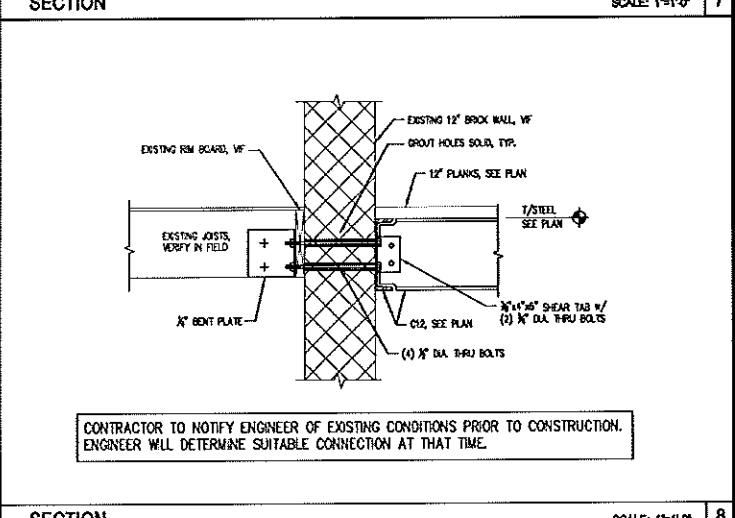
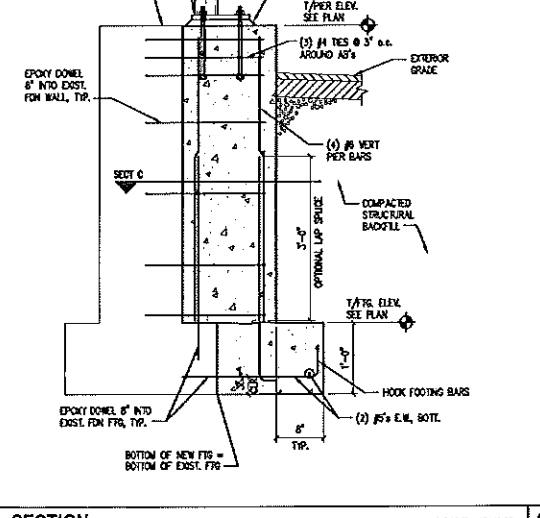
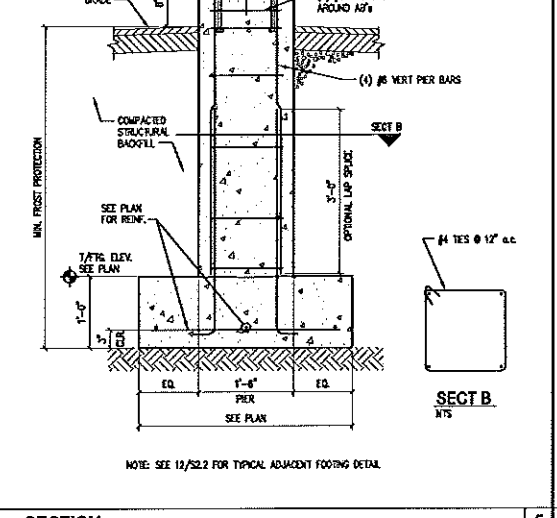
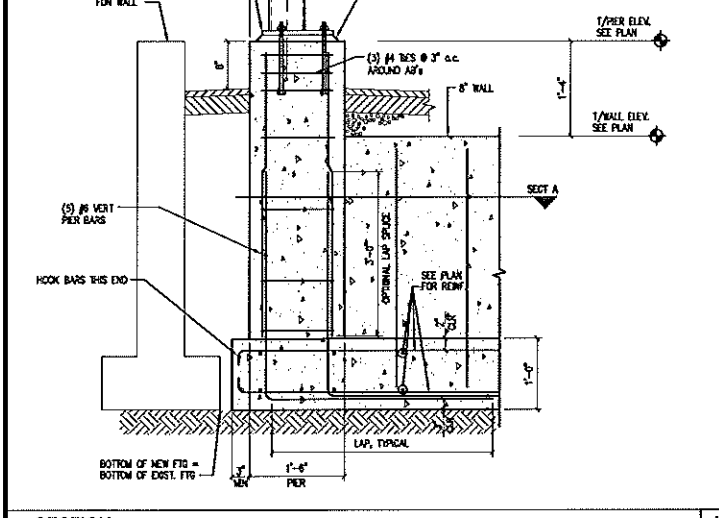
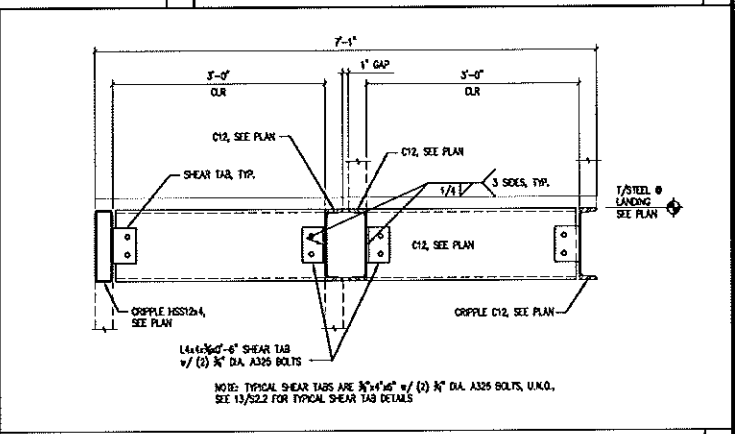
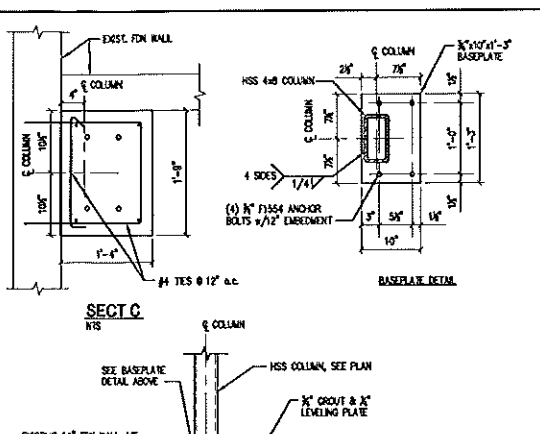
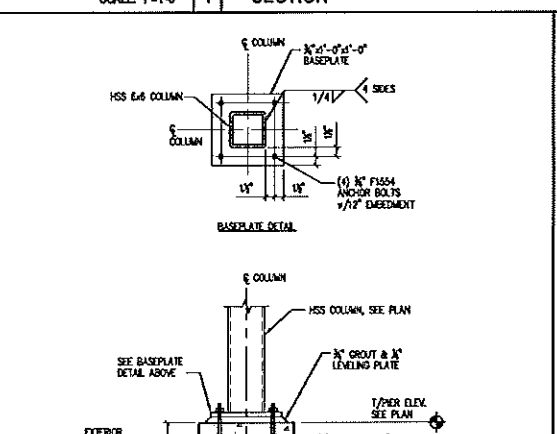
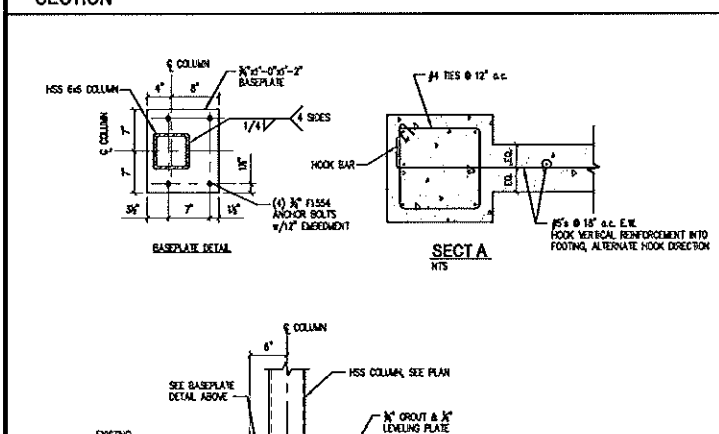
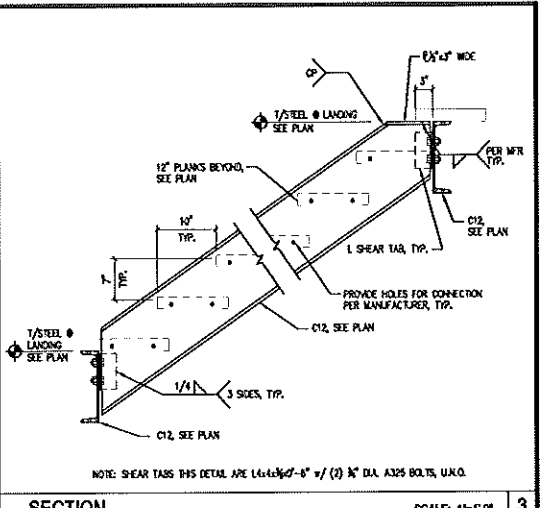
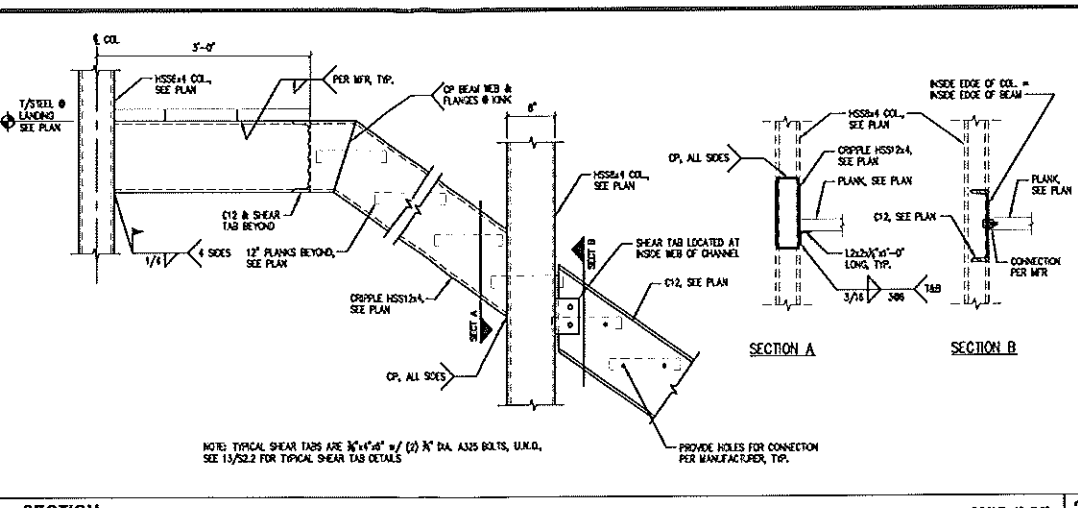
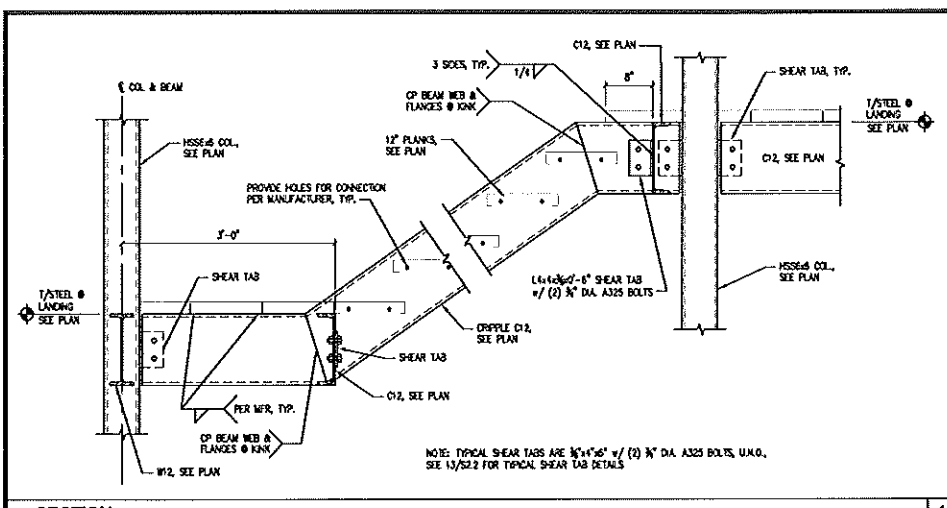


**AKARI - EXTERIOR EGRESS STAIR**  
 PORTLAND, ME  
 193 MIDDLE STREET

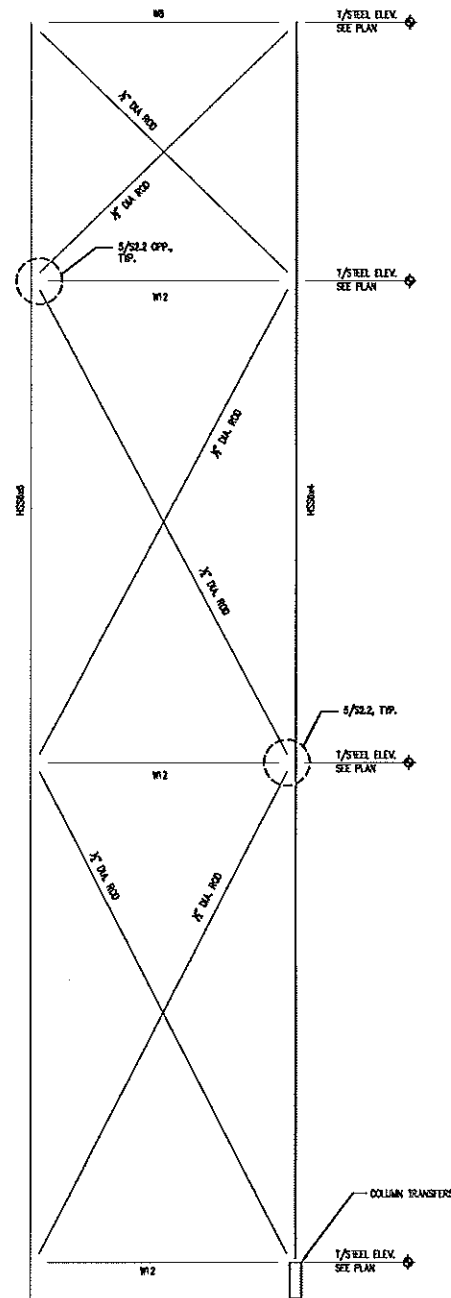
NO.	DATE	ISSUE
1	11-13-10	ISSUE FOR PERMIT
2	11-22-10	ISSUE FOR PERMIT

SHEET TITLE  
**STRUCTURAL DETAILS**  
 DESIGNED: TD  
 DRAWN: TD  
 DATE: 10-12-10  
 CAD FILE: 10-079-S1.dwg  
 PROJECT NUMBER: 10-079

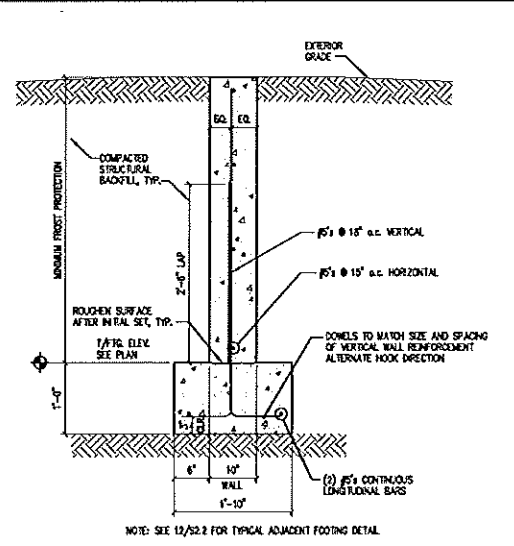
Feb 28, 2011



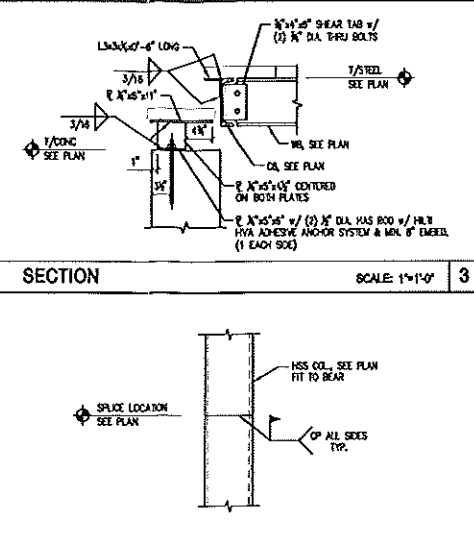
Feb 28, 2011



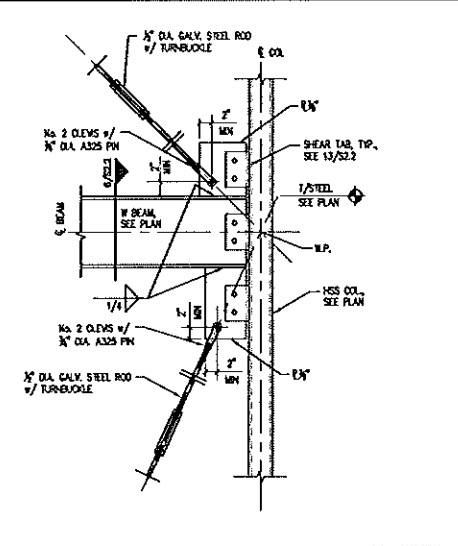
FRAME ELEVATION SCALE: 1/2"=1'-0" 1



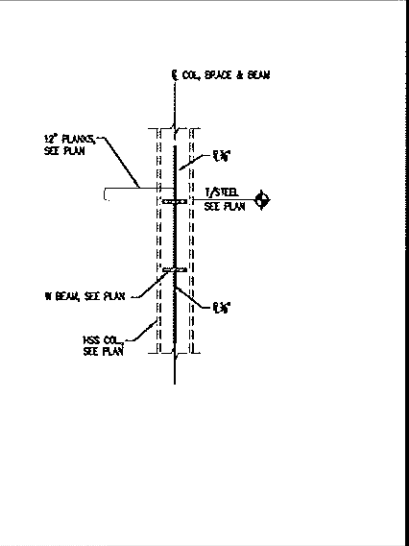
SECTION SCALE: 1"=1'-0" 2



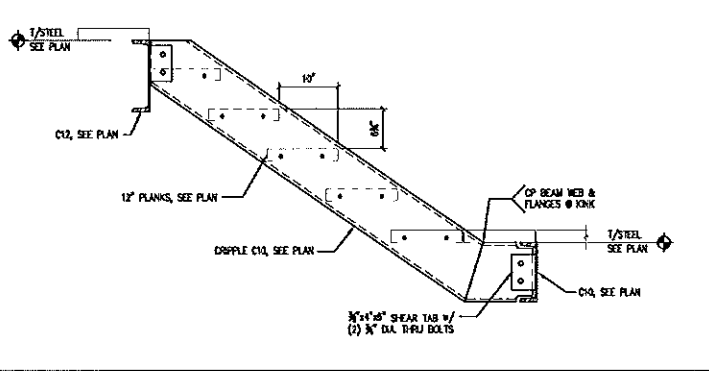
SECTION SCALE: 1"=1'-0" 3



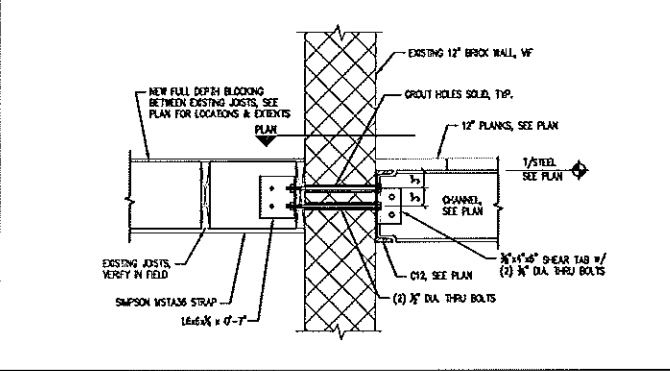
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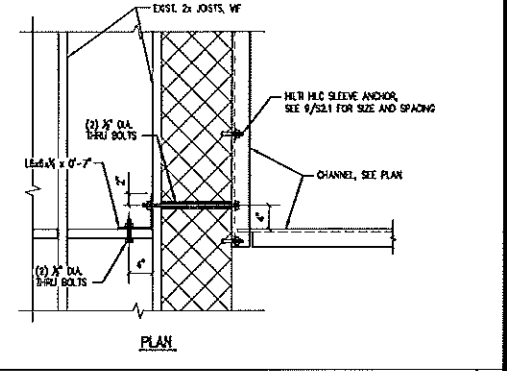
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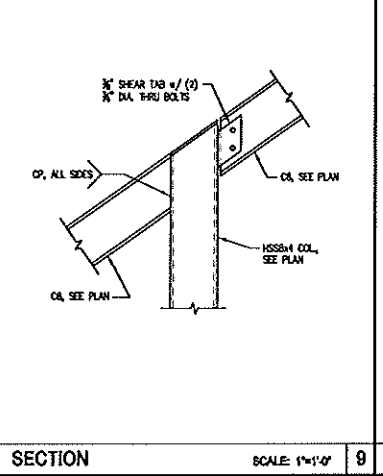
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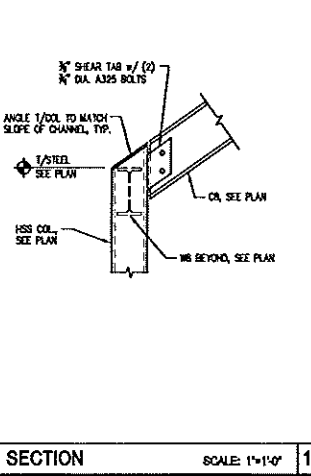
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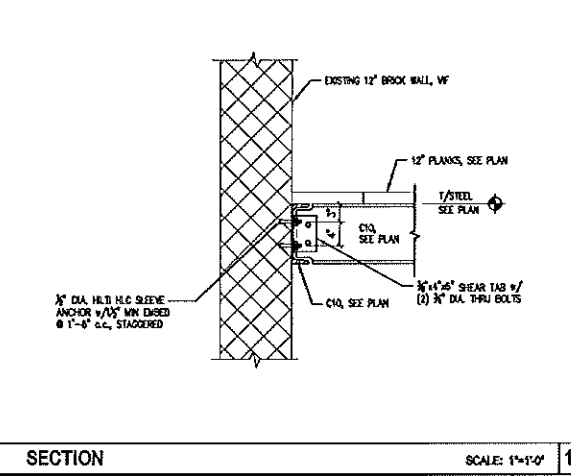
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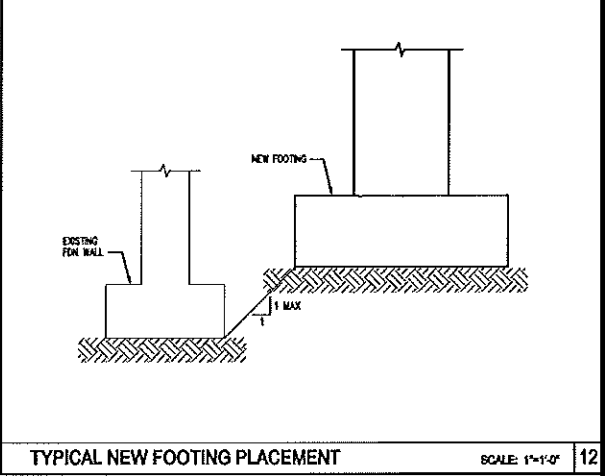
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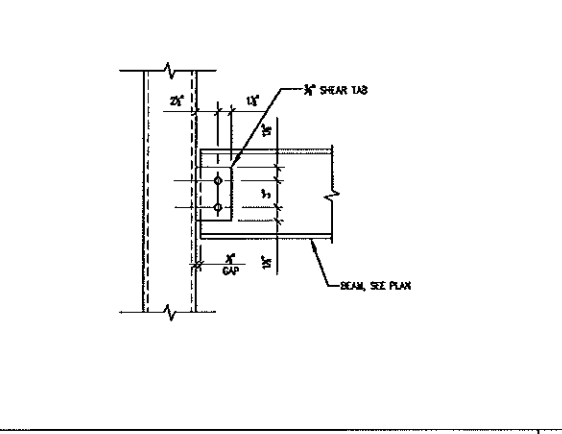
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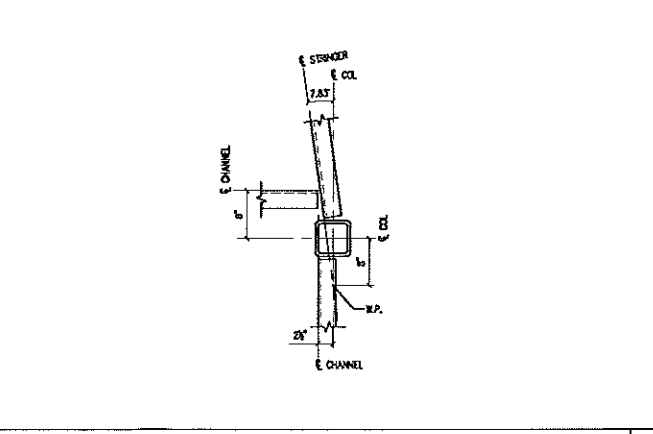
SECTION SCALE: 1"=1'-0" 11



SECTION SCALE: 1"=1'-0" 12



SECTION SCALE: 1"=1'-0" 13



SECTION SCALE: 1"=1'-0" 14



SECTION SCALE: 1"=1'-0" 15

**CASCO BAY ENGINEERING**  
 474 Fore Street  
 Portland, ME 04101  
 Phone 207.842.2300  
 Fax 207.842.2318  
 www.casco-bay-engineering.com

CLIENT:  
**POT ARCHITECTS**  
 43 DARTMOUTH STREET  
 PORTLAND, ME 04101

**AKARI - EXTERIOR EGRESS STAIR**  
 PORTLAND, ME  
 193 MIDDLE STREET

NO.	DATE	ISSUE

SHEET TITLE:  
**STRUCTURAL DETAILS**

DESIGNED: TD  
 DRAWN: TD  
 DATE: 10-12-10  
 CAD FILE: 10-079-SI.dwg  
 PROJECT NUMBER: 10-079

**S2.2**