

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 78 Temple Street		Owner: Bissagalli City of Portland		Phone:		Permit No: 990328
Owner Address:		Lessee/Buyer's Name: ADECHO		Phone:		
Contractor Name: * Empire Development		Address: P.O. Box W Old Orchard Beach, ME		Phone: 04064 934-7622		Permit Issued: APR 14 1999 CITY OF PORTLAND
Past Use: Retail		Proposed Use: Office		COST OF WORK: \$ 20,000		
				PERMIT FEE: \$ 120.00		Zone: CBL 032-R-004
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		
				INSPECTION: Use Group: Type:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
				Signature: [Signature]		
Proposed Project Description: Interior Renovations				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
				Signature: [Signature] Date: [Date]		
Permit Taken By: NG		Date Applied For: 4-1-99				Historic Preservation: <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT



COMMENTS

4/26/99 Framing Closing with J. Panetti OK (DC)

5/21/99 Ins Visit with SH front step

6/29 step corrected OK for C.O.D.

For copy of DO to Mike Tamborez 802 651 1307

Inspection Record	
Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 13/04/99 ADDRESS: 25 Temple St. CBL: 032-H-085

REASON FOR PERMIT: Interior Renovations

BUILDING OWNER: Pizzagalli

PERMIT APPLICANT: _____

USE GROUP B BOCA 1996 CONSTRUCTION TYPE 2A

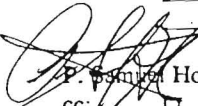
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

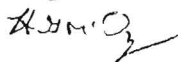
Approved with the following conditions: *1, *11, *12, *13, *14, *20, *21, *22, *23, *27, *29, *30, *31, *32, *34

- ☒ 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- ☒ 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- ☒ 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- ☒ 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- ☒ 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self-closing devices. (Section 710.0)

18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
- X 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- X 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- X 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- X 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- X 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
- X 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- X 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- X 31. Please read and implement the attached Land Use Zoning report requirements.
- X 32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- X 34. _____
35. _____
36. _____

 P. Hoffman, Building Inspector
cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator

PSH 12-14-98



**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

LAND USE - ZONING REPORT

ADDRESS: 25 Temple St DATE: 4/6/99
REASON FOR PERMIT: interior renovations for an Employment Agency
BUILDING OWNER: Pizzagalli C-B-L: 32-H-5
PERMIT APPLICANT: Empire Dev
APPROVED: with conditions DENIED: _____

#8, #11

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
3. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
4. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
5. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will **not** be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the _____ in place and in phases.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any signage. under PAD guidelines
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is **not** an approval for an additional dwelling unit. You **shall not** add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.

11

Other requirements of condition shall maintain the PAD
district requirements

Marge Schmuckal, Zoning Administrator

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>221 HAWK STREET</u>			
Total Square Footage of Proposed Structure <u>540</u>		Square Footage of Lot <u>N/A</u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>032</u> Block# <u>H</u> Lot# <u>5</u>		Owner: <u>PIZZAGALLI</u>	Telephone#:
Owner's Address:		Lessee/Buyer's Name (If Applicable) <u>PIZZAGALLI</u>	Cost Of Work: <u>\$ 27,100</u> Fee <u>\$ 120</u>
Proposed Project Description: (Please be as specific as possible) <u>INTERIOR RENOV</u> <u>Employment Agency</u>			
Contractor's Name, Address & Telephone <u>* FRANK J. LEE 221 ST HAWK RD BOX W 00B 04064</u> Rec'd By <u>AG</u>			
Current Use: <u>OFFICE SPACE</u>		Proposed Use: <u>OFFICE - MEET</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

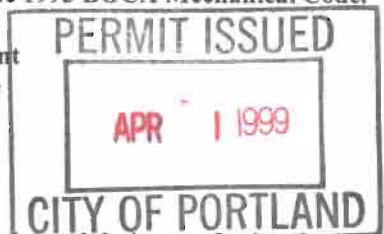
Certification

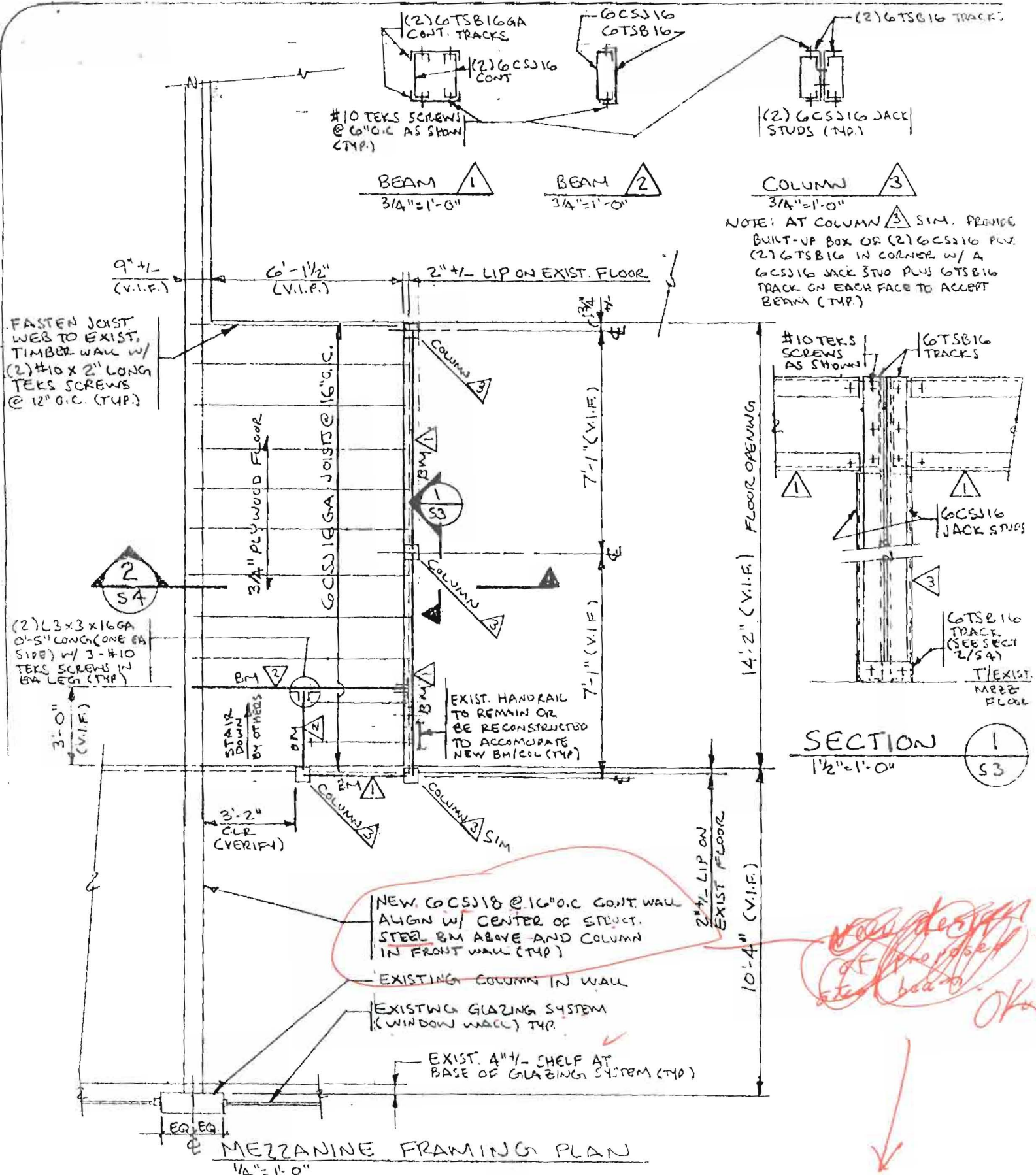
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3/29/99</u>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

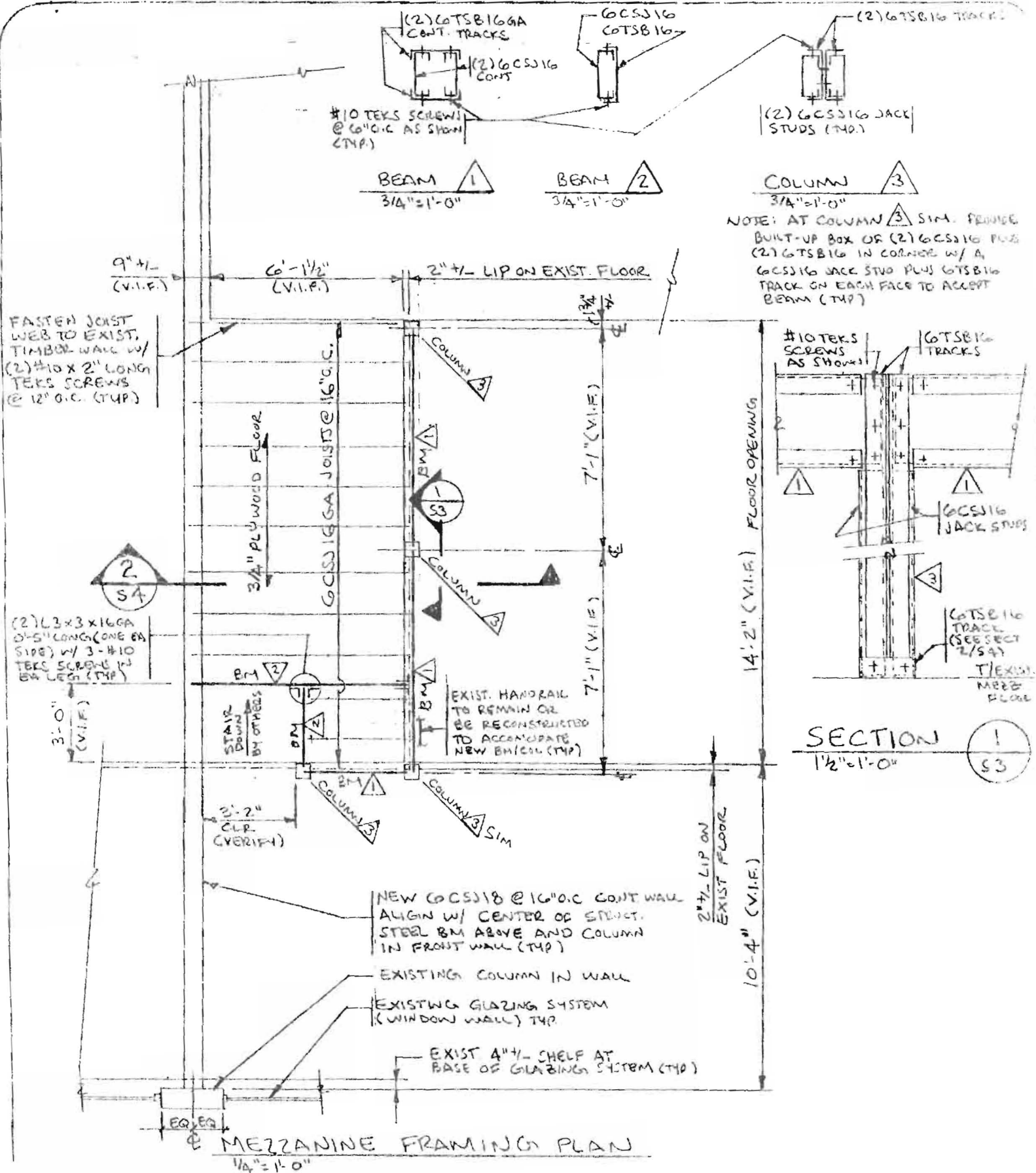




designed by: JHL
 drawn by: JHL
 checked by: MFL
 scale: AS INDICATED

ADECCO
 25 TEMPLE STREET
 PORTLAND, MAINE

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 Six O Street
 South Portland, ME 04106
 Phone: (207) 767-0050



designed by: JHL

drawn by: JHL

checked by: MFL

scale: AS INDICATED

ADECCO

25 TEMPLE STREET

PORTLAND, MAINE

L & L STRUCTURAL
ENGINEERING SERVICES, INC.Six O Street
South Portland, ME 04106
Phone: (207) 767-1150

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1996)
2. Design Live Loads:
 Floor (Retail).....100 PSF
 Internal Pressure.....5 PSF

designed by:	JHL	ADECCO 25 TEMPLE STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 788-5432 EMAIL: LLEN@AOL.COM	S1
drawn by:	JHL			
checked by:	MFL			
scale:	NOTED			
date:	MARCH 24, 1999	GENERAL NOTES		

LIGHT GAGE METAL FRAMING:

1. Acceptable light gage Manufacturers: Dietrich Ind., Marino/Ware, or approved equal.
2. The extent of the work for the exterior metal stud wall system is detailed on the drawings. These notes shall be worked in conjunction with those drawings and the specifications.
3. The following specifications and publications shall be followed:
 - a. American Iron and steel Institute cold form design manual, specification for the design of cold form steel structural members—Latest edition.
 - b. American society for testing and materials (ASTM).
 - c. American Institute of steel construction Manual of Steel Construction — ninth edition.
4. Fabrication of light gage steel shall conform with requirements of ASTM A446 with the following minimum yield points (Fy):
 - a. 16 gage and heavier — Fy = 50000 PSI (Grade D).
 - b. 18 gage — Fy = 33000 PSI (Grade A).
 - c. 20 gage — Fy = 33000 PSI (Grade A).
5. Manufacturer of studs, runners, tracks and other framing members shall apply with ASTM C955.
6. Framing components and accessories shall be galvanized per ASTM A525 minimum G60 coating.
7. Screws and other attachment devices shall have a protective coating equivalent to cadmium or zinc plating and shall comply with ASTM A165 Type NS, self tapping screws shall be of the minimum diameter as indicated on the design drawings for each specific attachment detail. Penetration through joined materials shall not be less than three exposed threads.
8. Provide channel shaped studs, joists, runners, tracks, blocking, clip angles, shoes, reinforcements, fasteners and other accessories recommended by the manufacturer for a complete framing system.
9. Securely anchor studs in track to floor construction and overhead structure. Provide slip joints where nonbearing vertical studs meet floor or roof structural members allow for 1/2" of vertical live load deflection at slip joints. Do not install steel studs until all dead load has been applied to the structure.
10. Frame all openings larger than two feet with a minimum of double studs or as determined by the design submitted.
11. Welding of framing components will be permitted only where indicated on structural drawings or as approved by the Engineer of Record.
12. Field cutting of holes in steel framing members shall not be permitted.
13. Touch up all steel bared by welding with zinc rich paint.
14. Splices of axially loaded members shall not be permitted.
15. Wire tying of members is not permitted.
16. Complete bearing on supports shall be maintained for studs in axially loaded assemblies.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) —Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWWA C-18.
4. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Provide 23/32" thick APA rated sheathing on floor framing.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	MARCH 24, 1999

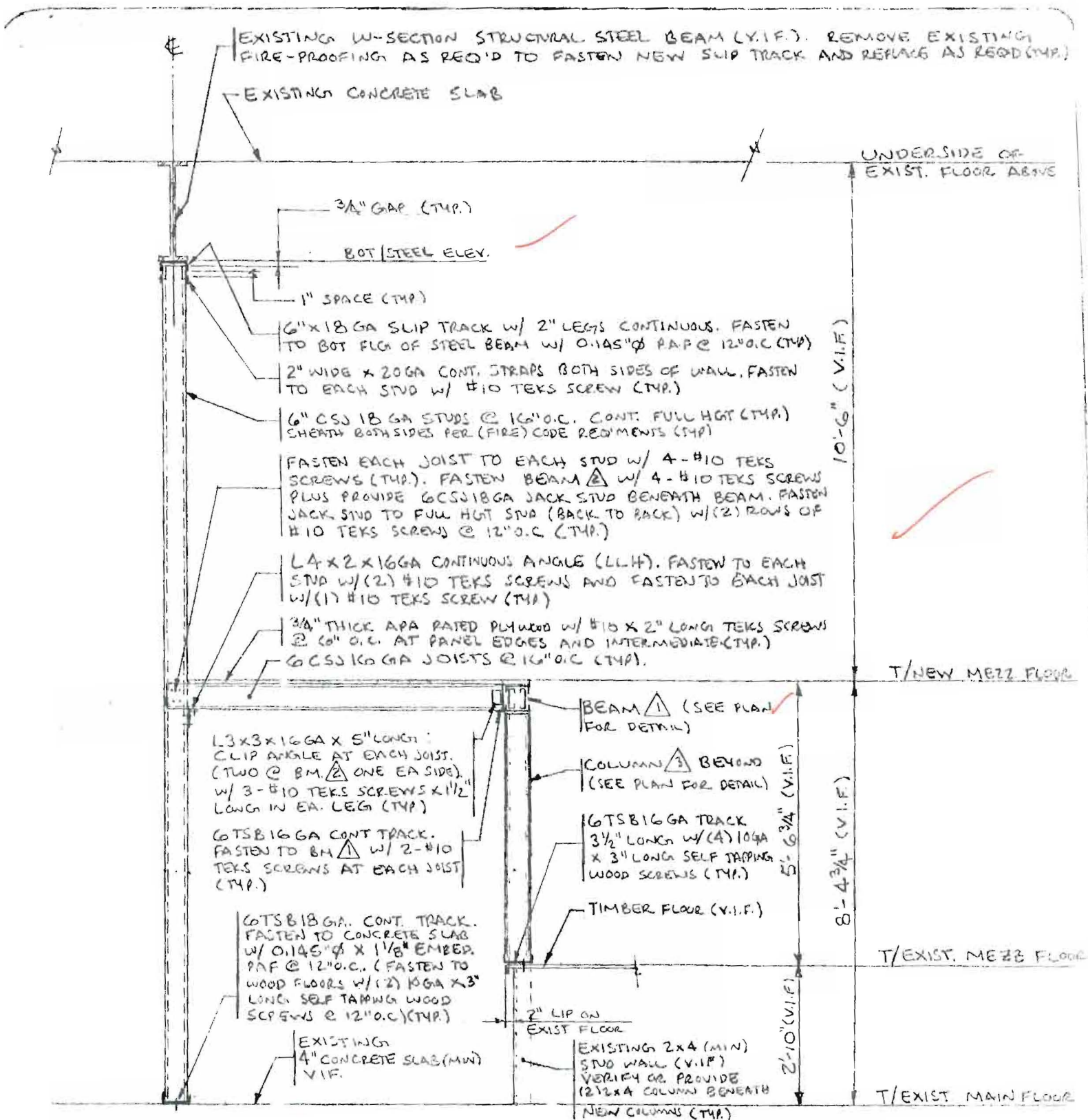
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GENERAL NOTES

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
FAX: (207) 788-5432
EMAIL: LLENG@AOL.COM

S2





Residential/Commercial Construction, Development & Acquisitions

John Ponzetti

Project Manager

P.O. Box W, Old Orchard Beach, Maine 04064

(207) 934-7622
(207) 883-4270

Home Office: (207) 934-4611
Fax: (207) 934-1566

Project Number

Date

Page of



TO DEAWA SILVERMAN

From John Ponzetti

DATE 3/31/99

REG Project 9821.42
Abeco Portland



Residential/Commercial Construction, Development & Acquisitions

John Ponzetti

Project Manager

P.O. Box W, Old Orchard Beach, Maine 04064

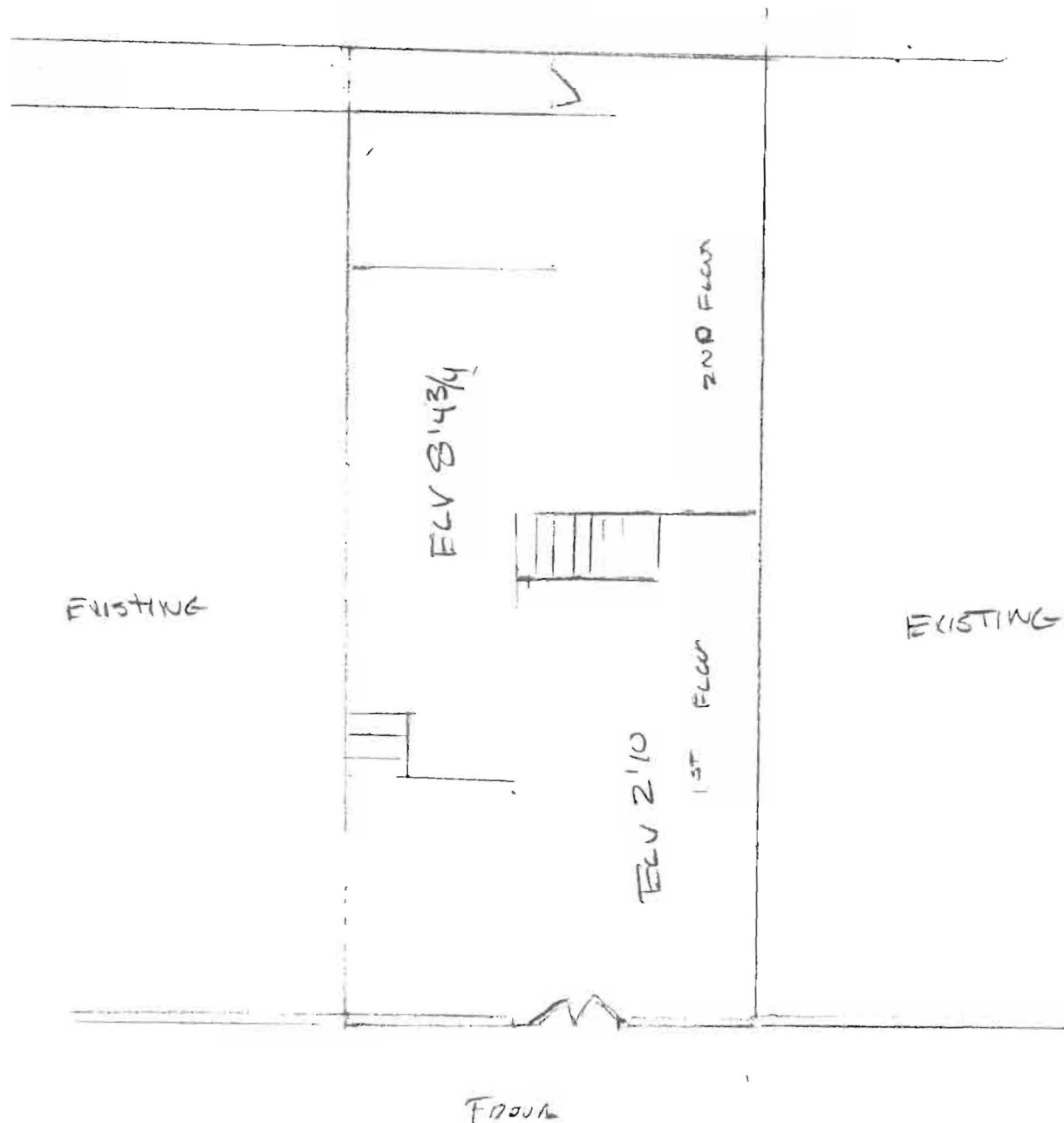
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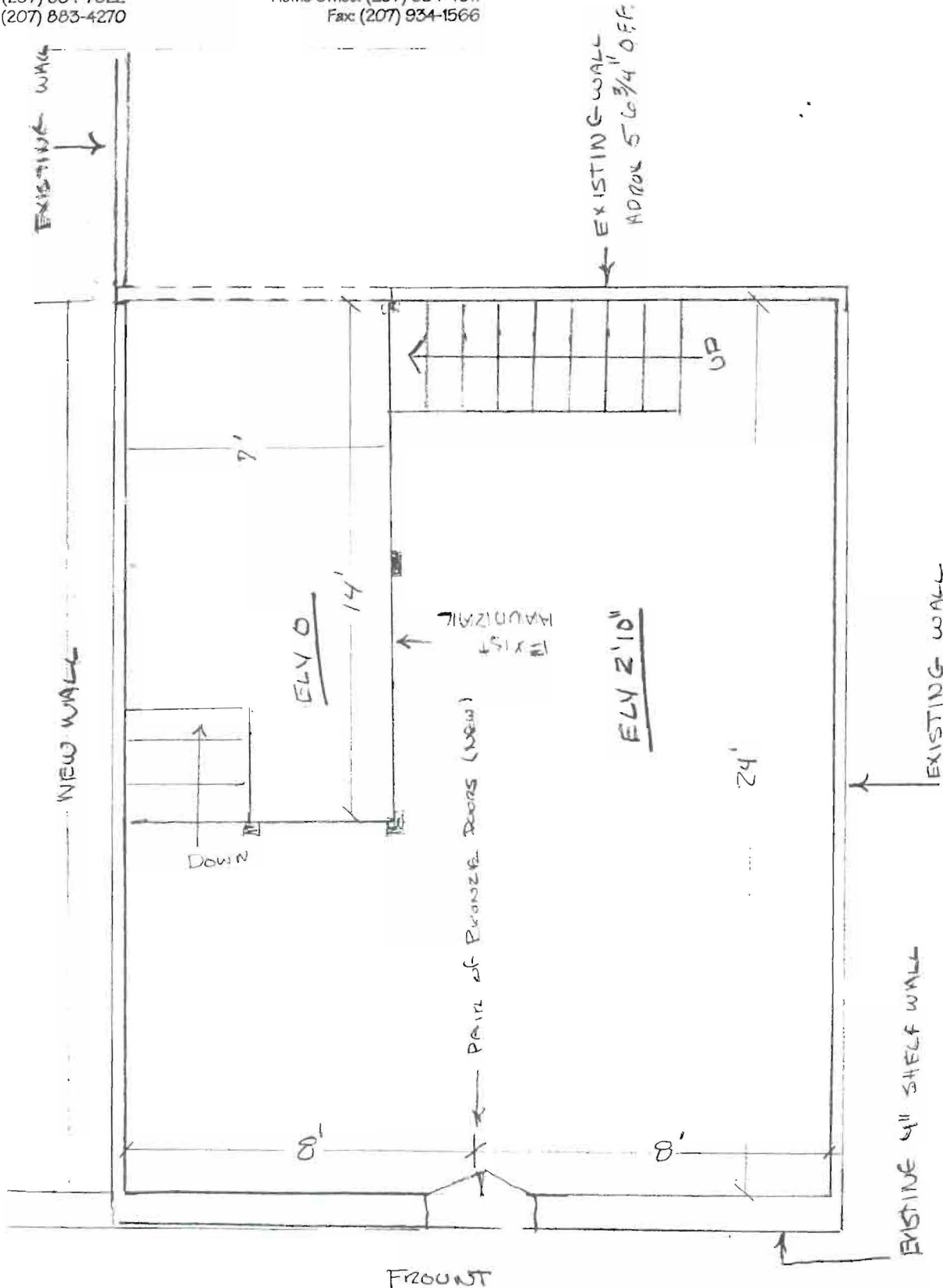
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Project Number:

Date:

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of



1ST FLOOR



Residential/Commercial Construction, Development & Acquisitions

John Ponzetti

Project Manager

P.O. Box W, Old Orchard Beach, Maine 04064

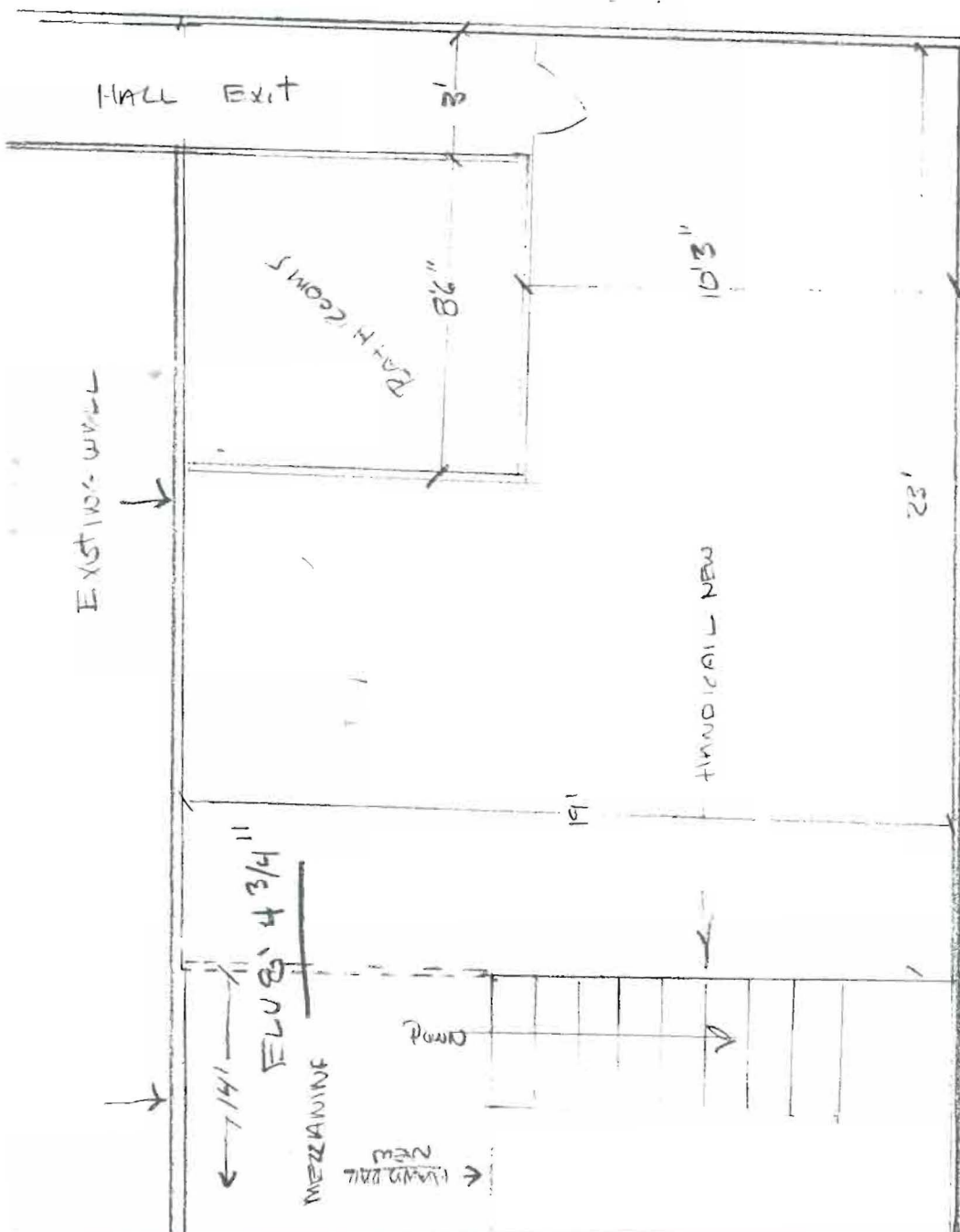
(207) 934-7622
(207) 883-4270

Home Office: (207) 934-4611
Fax: (207) 934-1566

Project Number

Date

Page



2ND FLOOR



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 25 Temple Street 032-H-004

Issued to City of Portland

Date of Issue August 23, 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 990328, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Office

Office Use Group B
Type 2A B&C96

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.