

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BU...TION

PERMIT

Permit Number: 090725

Please Read
ication And
tes. If Any,
ttached

to certify that City Of Portland/N/A

ermission to Adding counters

6 Federal St

032 H004001

vided that the person or persons, firm or corporation accepting this permit shall comply with all
re provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating
construction, maintenance and use of buildings and structures, and of the application on file in
department.

ply to Public Works for street line
l grade if nature of work requires
h information.

Not...ation of...pection must be
give...nd writte...permissio...procured
befo...this buil...ng or part thereof is
lath...or other...sed-in. 2
HO...NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

ept. *CMT. N. Sartrean*

Dept.

I Board

Department Name

WITHDRAWN
7/31/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0725	Issue Date:	CBL: 032 H004001
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Location of Construction: 96 Federal St / 15 Temple St	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone:
Business Name: Your Grandma's	Contractor Name: N / A	Contractor Address: Portland	Phone:
Lessee/Buyer's Name: Pavlos Casvikes	Phone: 297-283-9091	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Restaurant / Morrison's Chowder House	Proposed Use: Restaurant / Your Grandma's; Adding counters	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 1
Proposed Project Description: Adding counters		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: A-2 MB 7/31/09	
		Signature: (Signature)	Signature: (Signature)	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 07/10/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Minor <input type="checkbox"/> MM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date: 7/14/09	Date:	Date:	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 15 Temple Street/92 Exchange/96 Federal		
Total Square Footage of Proposed Structure/Area 1885 SQ FT		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 032 H 004	Applicant * must be owner, Lessee or Buyer * Name Your Grandma's LLC Address 15 Temple Street City, State & Zip Portland, ME 04101	Telephone: 207-283-9091 cell: 516-395-6757
Lessee/DBA (If Applicable) Your Grandma's	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 5,000 C of O Fee: \$ Total Fee: \$ 70.00
Current legal use (i.e. single family) <u>Restaurant - Morrison's Chowder House</u> If vacant, what was the previous use? Proposed Specific use: <u>Restaurant</u> Is property part of a subdivision? <u>no</u> If yes, please name Project description: <u>Adding counters.</u>		
Contractor's name: <u>Your Grandma's</u> Address: <u>15 Temple Street</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>207-283-9091</u> Who should we contact when the permit is ready: <u>Pavlos Casvikes</u> Telephone: <u>516-395-6757</u> Mailing address: <u>17 Flag Pond Rd., Saco, ME 04072</u>		

received PDF

JUL 10 2009

call
call

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 7/10/09

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: John J. Ossie
 Date: July 6th, 2009
 Job Name: Your Grandma's
 Address of Construction: 15 Temple Street

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Restaurant
 Type of Construction Renovation
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? _____ If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? _____ Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance Factor, I_w ,
 table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D & S_{D1} (1615.1)
 _____ Site class (1615.1.5)

_____ Live load reduction
 _____ Roof *live* loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 10$ psf, flat-roof snow load P_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



Accessibility Building Code Certificate

Designer: John J. Ossie

Address of Project: 15 Temple Street, Portland, ME

Nature of Project: Renovation of existing restaurant

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: *John Ossie*

Title: _____

Firm: CAD-DE-TECH, LLC.

Address: 235 Riverside Industrial PKWY

Portland, ME 04103

Phone: 207-329-6499

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design


Date: July 6th, 2009

From: John J. Ossie

These plans and / or specifications covering construction work on:

15 Temple Street, Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: 

Title: Designer

(SEAL)

Firm: CAD-DE_Tech, LLC

Address: 235 Riverside Industrial PKWY
Portland, ME 04103

Phone: 207-329-6499

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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0725	Date Applied For: 07/10/2009	CBL: 032 H004001
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Location of Construction: 96 Federal St	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone:
Business Name: Your Grandma's	Contractor Name: N / A	Contractor Address: Portland	Phone:
Lessee/Buyer's Name: Pavlos Casvikis	Phone: 297-283-9091	Permit Type: Alterations - Commercial	

Proposed Use: Restaurant / Your Grandma's; Adding counters	Proposed Project Description: Adding counters
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/14/2009

Note:**Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/31/2009

Note:**Ok to Issue:**

- 1) Approval of City license is subject to health inspections per the Food Code.
- 2) New cafe, restaurant, lounge, bar or retail establishment where food or drink is prepared shall meet the requirements of the City and State Food Codes
- 3) Equipment must be installed in compliance per the manufacturer's specifications
- 4) Graspable rails must be installed on both sides of the stair guard at 34" to 38".
- 5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 6) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 07/20/2009

Note:**Ok to Issue:**

- 1) All means of egress to remain accessible at all times
- 2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 3) All construction shall comply with NFPA 101

Comments:

7/24/2009-jmb: Left vcmg with Pavlos C. For details, size of DW(are they serving on dinnerware?), what is the 2 bay for, may be able to use one bay for HW, handrails on both walls at exit, does cost of work include plumbing and electrical.

7/30/2009-jmb: Pavlos called back on 7/29 and I returned a msg on 7/30

7/31/2009-jmb: Spoke to John O. About handrails, handwash at the prep area and cost of work. Need to include plumbing and electrical work. Ok to issue

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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

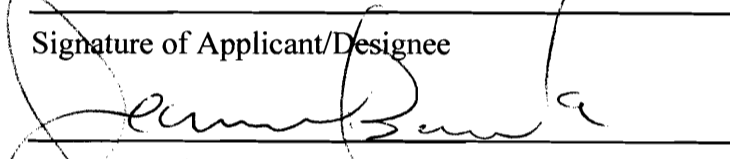
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work which includes the health inspection.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee


Signature of Inspections Official

Date
7/3/09

Date

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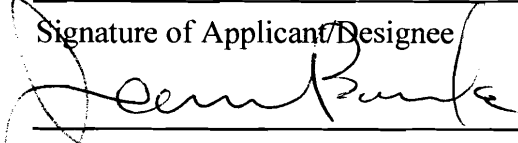
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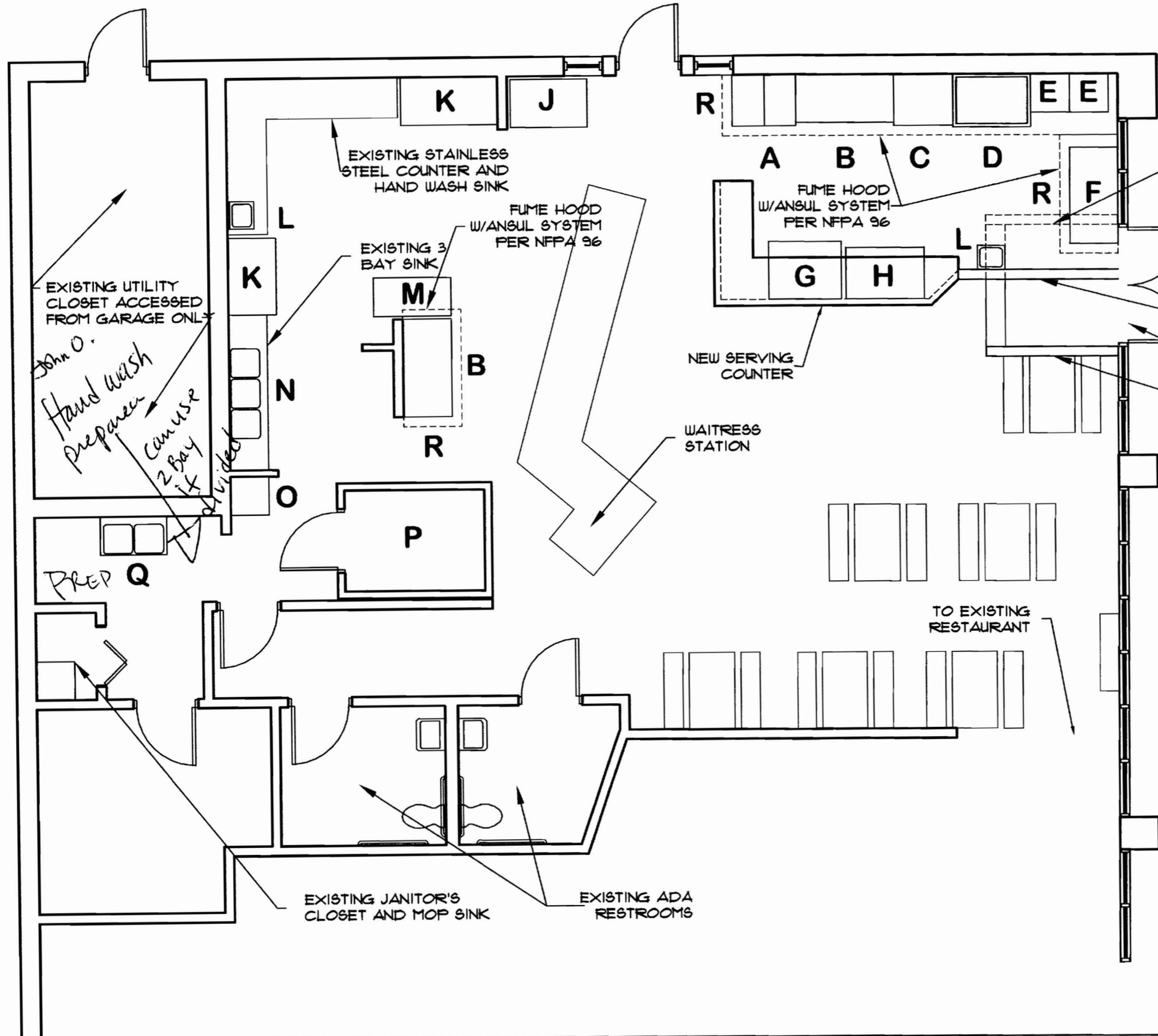
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Signature of Applicant/Designee

Signature of Inspections Official

Date
7/31/09
Date



REMOVE EXISTING HALF WALL, DECK OVER STAIR, LEAVE MIN. 42' CLEAR AISLE IN FRONT OF OPERATING DOOR

7/31/09
Per John O.

Handrails Both sides 34"-38" returned JMB

DOOR TO BE MADE INACTIVE LEAF

NEW 42' WALL

EXISTING MAIN ENTRANCE

EXISTING 42' WALL

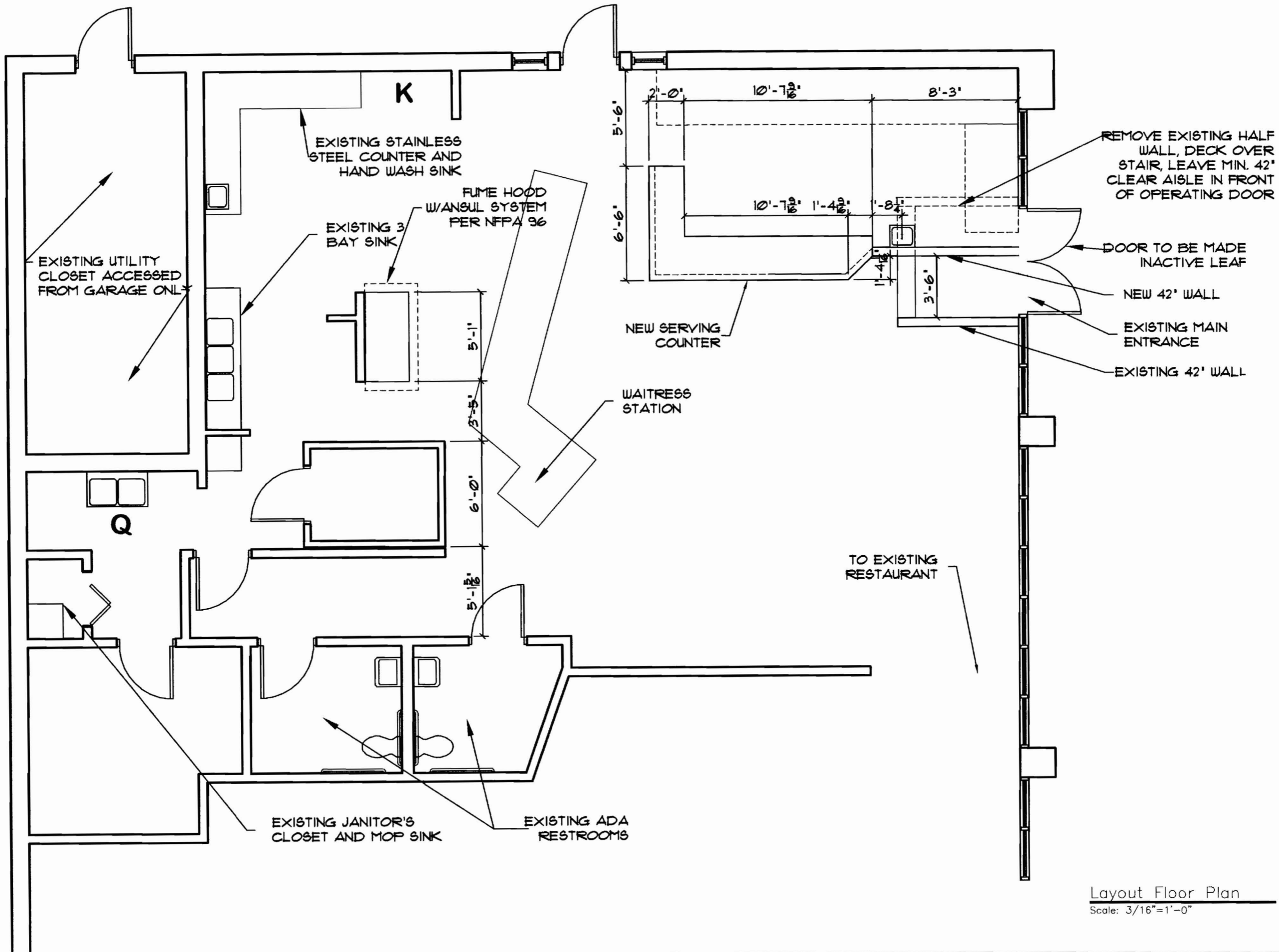
Equipment List

A	Fryers
B	10 Burner Stove
C	Char Broiler
D	Flattop Grille
E	Gyro Machines
F	Rotisserie
G	Steam Table
H	Sandwich Prep.
J	Beverage Cooler
K	Portable Freezer Unit
L	Hand Wash Sink
M	Stainless Steel Table
N	3 Bay Wash Sink
O	Dish Washer
P	Walk-in Cooler
Q	2 Bay Sink
R	NFPA 96 Compliant fume Hood

Remodeled Floor Plan
Scale: 3/16"=1'-0"

DATE	NO.	REMARKS	BY
07-06-09	A	Issued for permitting	JJO

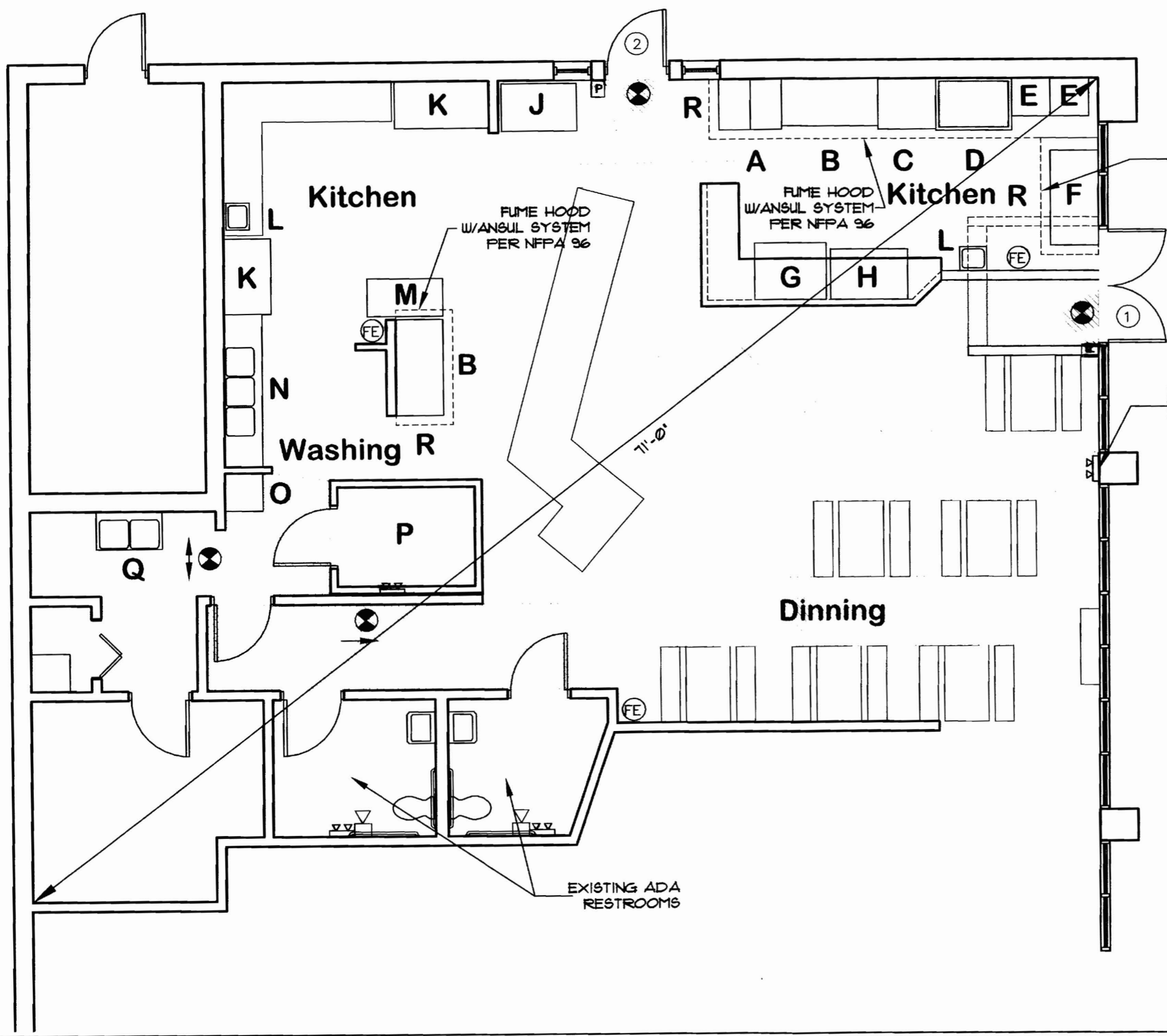
CODE: IBC 2003
TOWN: Portland
DATE: 07-06-09
SCALE: As Noted
DRAWN: JJO
TITLE:
Remodeled Floor Plan
FILE: 000-00-09
SHEET:
A-2



Layout Floor Plan
Scale: 3/16"=1'-0"

DATE	NO	REMARKS	BY
07-06-09	A	Issued for permitting	JJO

CODE: IBC 2003
TOWN: Portland
DATE: 07-06-09
SCALE: As Noted
DRAWN: JJO
TITLE:
Layout Floor Plan
FILE: 000-00-09
SHEET:



FUME HOOD
 W/ANSUL SYSTEM
 PER NFPA 96

FUME HOOD
 W/ANSUL SYSTEM
 PER NFPA 96

FUME HOOD
 W/ANSUL SYSTEM
 PER NFPA 96

RE-LOCATE
 FIRE PANEL
 TO THIS WALL

- Exit Sign
- Exit Sign w/Direction
- Fire Extinguisher
- Fire Alarm Pull Station
- Strobe
- Emergency Light Pack

Minimum 42' Wide Egress
 Path to be Kept Clear

- ① Existing Egress Door with Panic Hardware and Closer
- ② Existing Egress Door with Panic Hardware and Closer

EXISTING ADA
 RESTROOMS

Life Safety Floor Plan
 Scale: 3/16"=1'-0"

NO	REMARKS	DATE	BY
A	Issued for permitting	07-06-09	JJO

CODE: IBC 2003
 TOWN: Portland
 DATE: 07-06-09
 SCALE: As Noted
 DRAWN: JJO
 TITLE:
 Life-Safety
 Floor Plan
 FILE: 000-00-09
 SHEET:
 A-4