

NOTE: NO DEMO REQUIRED IN NEW ADDITIONAL SPACE, THE WHOLE SPACE WAS A PREVIOUS BUSINESS OCCUPANCY NOW BECOMING PART OF HIGHROLLER, THEREFORE THE EXIT AND EXISTING TOILET BEING ABSORBED BY HIGHROLLER ARE NOT BEING ELIMINATED FROM ANOTHER TENANT SPACE.

CODE ANALYSIS

IBC 2015

CONSTRUCTION TYPE 3B, UN-SPRINKLERED, 2-STORY

OCCUPANCY TYPE: A-2 (CHANGE OF USE FROM B)  
CONSTRUCTION TYPE 3B

SQUARE FOOTAGE:  
INTERIOR - 1,930 S.F.  
EXTERIOR - 1,776 S.F.

A-2  
INTERIOR BY SEATING - 34 + 65 OCCUPANTS (EXISTING SEATING LAYOUT FROM PREVIOUS OWNER) = 99  
EXTERIOR - 646 S.F. + 650 S.F. = 1,296 S.F./15 = 97 OCCUPANTS  
TOTAL = 196

OCCUPANTS (98 MEN, 98 WOMEN)

UNIFORM PLUMBING CODE A-2:  
MEN - 2 TOILETS, 1 URINAL, 1 LAV  
WOMEN - 3 TOILETS, 1 LAV

NO SPRINKLER NEEDED IF OCCUPANCY <300 MUBEC CH. 3 SEC. 5 #28

NO ALARM NEEDED IF OCCUPANCY <300 IBC 2015 907.2.1

NO GUARDRAIL NEEDED @ NEW EXTERIOR STAIR IF TOTAL RISE <30" IBC 2015 1015.2

EXIT ACCESS <200' (UN-SPRINKLERED) IBC 2015 TABLE 1017.2

2 HR SEPARATION BETWEEN A-2 & B OCCUPANCIES IF NON-SPRINKLERED IBC 2015 TABLE 508.4

NFPA 101 2015

NO ALARM IF OCCUPANCY <300 NFPA 101 12.2.4.1.1

NO SPRINKLER REQUIRED IF OCCUPANCY <300 NFPA 101 13.3.4.2.3

ADA 2010 states that Accessible means of Egress shall comply with IBC 2003, Section 1007.

The State of Maine has adopted IBC 2015. IBC 2015 Section 1009, Accessible Means of Egress, contains the same provisions as IBC 2003, but is more detailed and specific, and is therefore the more restrictive code, and is the code we will comply with.

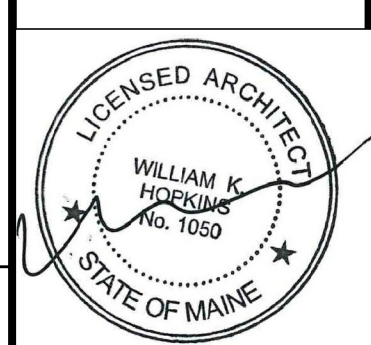
NO SEPARATION REQUIRED BETWEEN OCCUPANCIES PER TABLE 504.4 IN IBC 2015 - 3B, 2 STORIES, UN-SPRINKLERED

1 FLOOR PLAN  
A1.01 1/4" = 1'-0"

**IBC 2015, Section 1009, Accessible Means of Egress.**

Where more than one means of egress is required from any accessible space, each accessible space shall be served by not less than two accessible means of egress. (1009.1)  
The restaurant requires two means of egress, therefore two accessible means of egress are required.  
The exit at front door discharges directly outside at the level of the public way. The rear exit discharges to an outside space that is 4 steps below the level of the public way. This outside space can be used as an Exterior Area for Assisted Rescue. An Exterior Area for Assisted Rescue is allowed to be a component in an Accessible Means of Egress leading to a Public Way (1009.2.10, Continuity and Components of an Accessible Means of Egress).  
The Exterior Area for Assisted Rescue will meet the requirements of 1009.7 (Size 1009.7.1, Separation 1009.7.2, Openness 1009.7.3, & Stairways 1009.7.4)

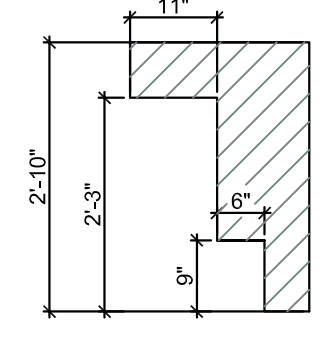
<b>A1.01</b>	Date: 5-15-18	Scale: AS NOTED	Revisions:	Project:	Architect:	Consultant:	Prepared For:
	<b>FLOOR &amp; COURTYARD PLAN</b>			6-22-18 RESPONSE TO BLDG INSPECTIONS 7-6-18 RESPONSE TO BLDG INSPECTIONS 7-10-18 RESPONSE TO BLDG INSPECTIONS 8-18-18 RESPONSE TO BLDG INSPECTIONS 8-22-18 RESPONSE TO BLDG INSPECTIONS	<b>HIGHROLLER LOBSTER CO</b>  104 EXCHANGE ST, PORTLAND ME	<b>ARCHETYPE</b>  48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	



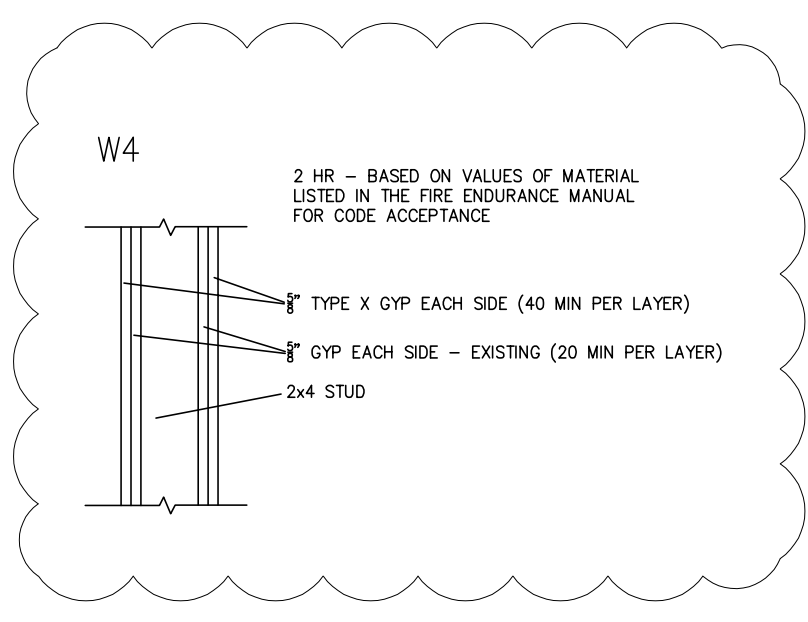
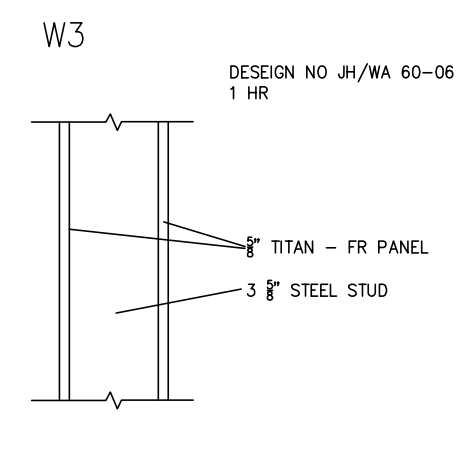
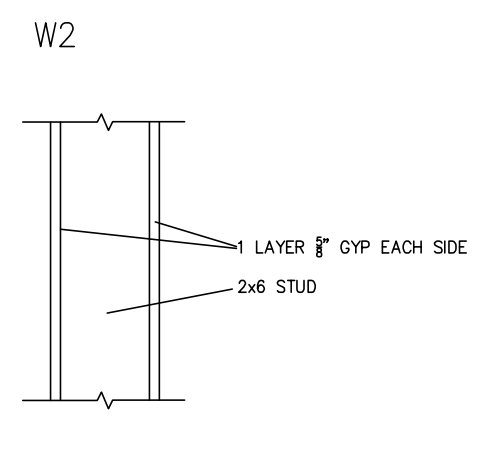
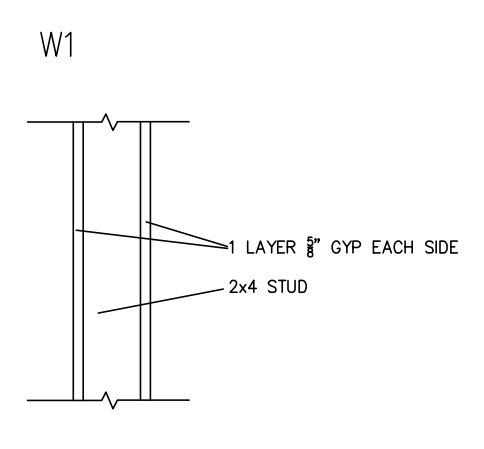
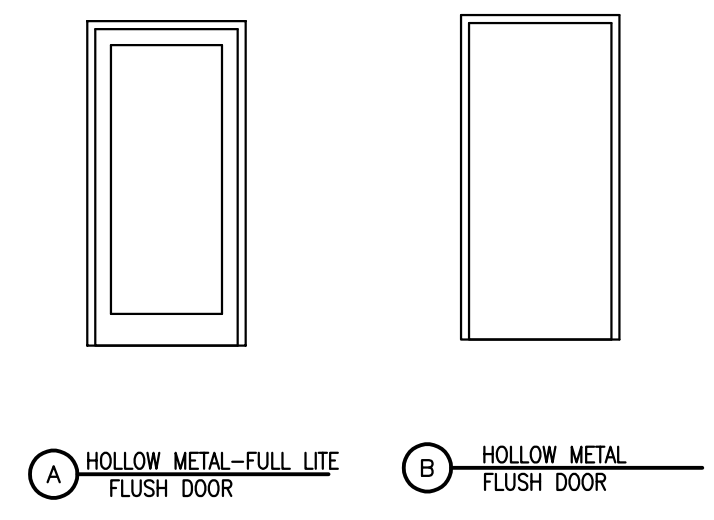


# DOOR SCHEDULE

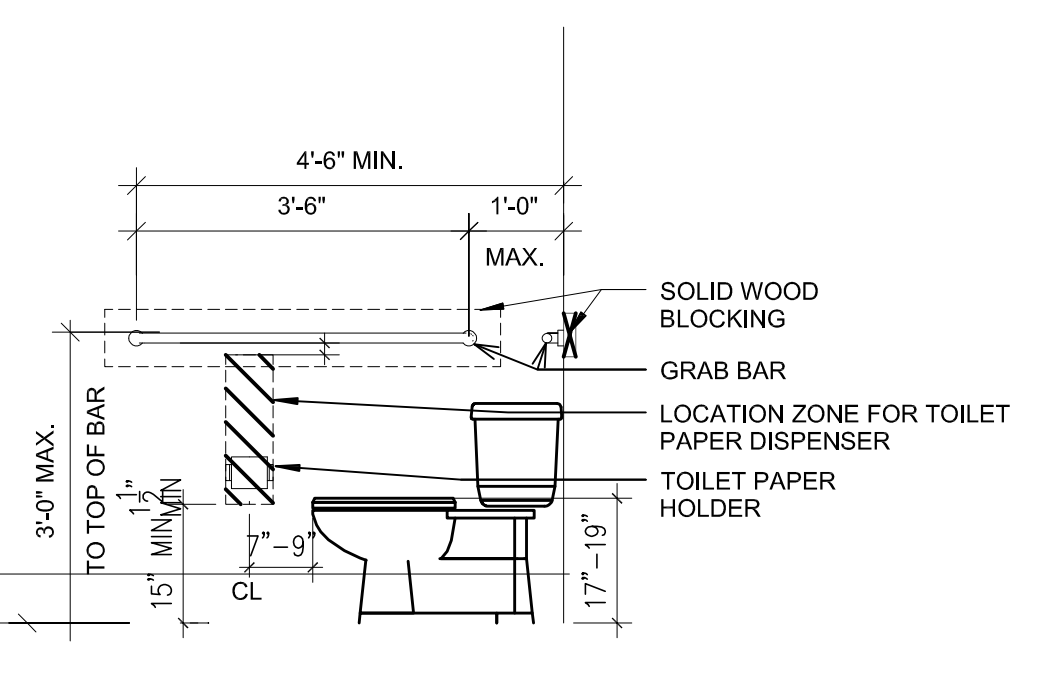
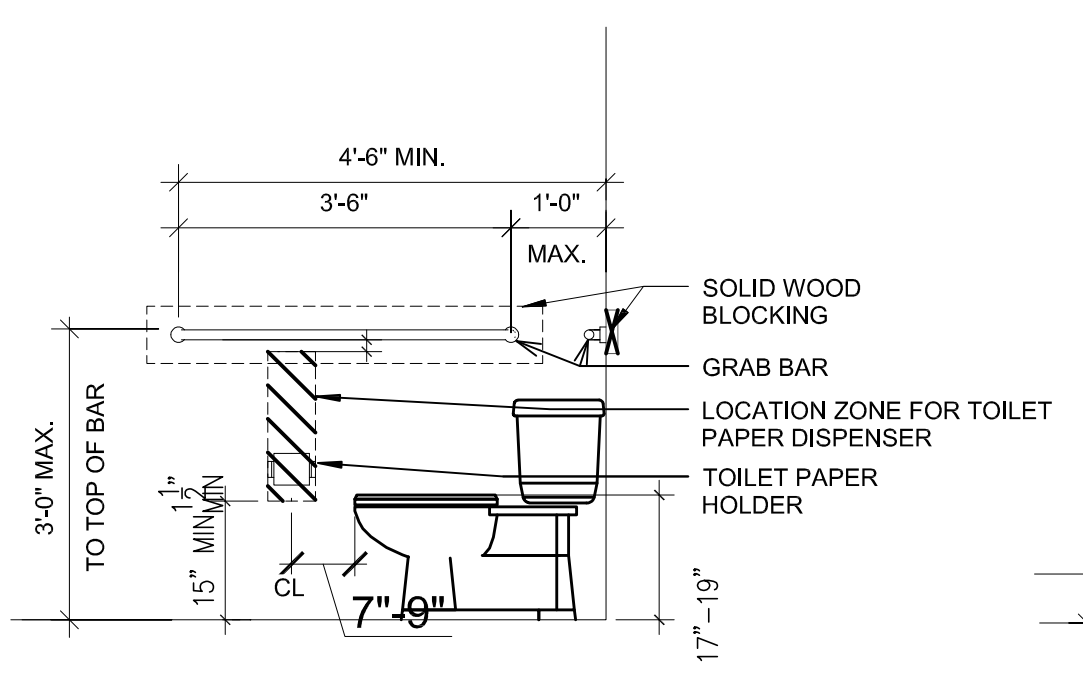
DOORS						
MARK	TYPE	SIZE	F.R.	HARDWARE SET	MAT.	REMARKS
101	A	3'-0" x 7'-0"	1 HR	PUSH/PULL CLOSER	HM	EXIT LOCKSET, VISION PANEL
102	B	3'-0" x 7'-0"		PRIVACY SET	HM	
103	B	3'-0" x 7'-0"		PASSAGE SET	HM	CLOSER
104		4'-0" x 7'-0"		PASSAGE SET		PANIC HARDWARE, METAL GATE



1 ADA BAR SECTION  
A1.02 1/2" = 1'-0"

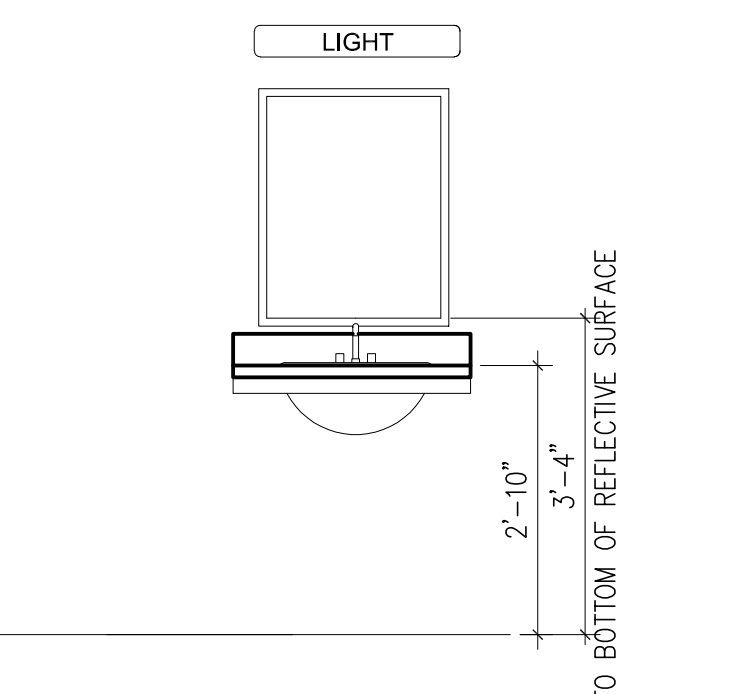
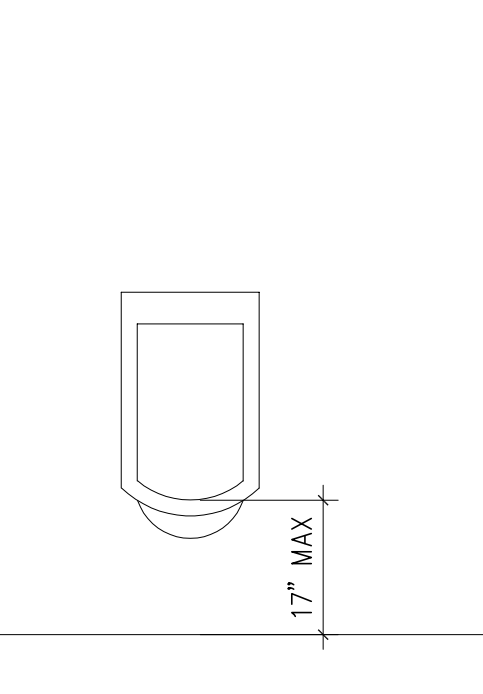
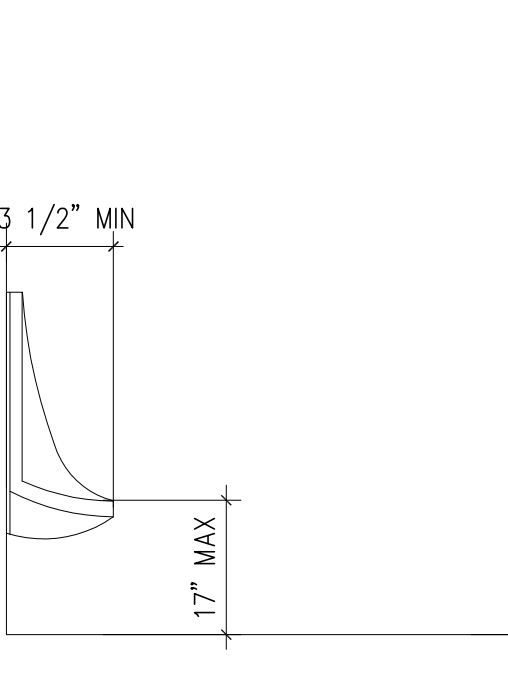
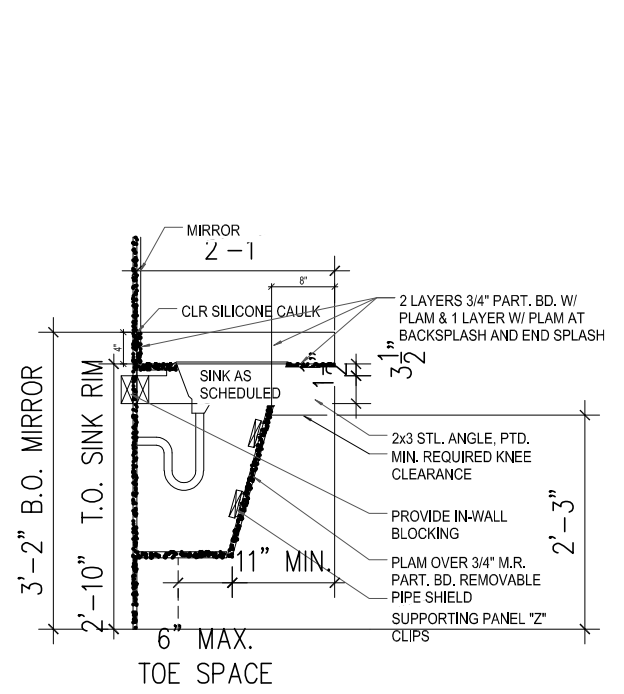


2 WALL TYPES  
A1.02 1" = 1'-0"



ADA WC SIDE WALL ELEVATION

ADA WC SIDE WALL ELEVATION



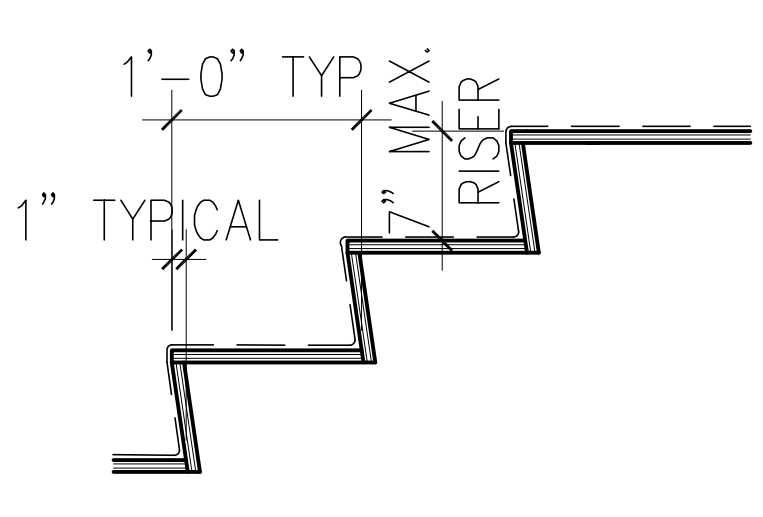
ADA LAV SECTION

ADA URINAL SECTION

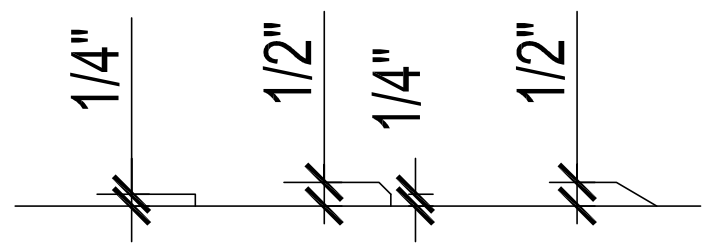
ADA URINAL FRONT ELEVATION

ADA LAV FRONT ELEVATION

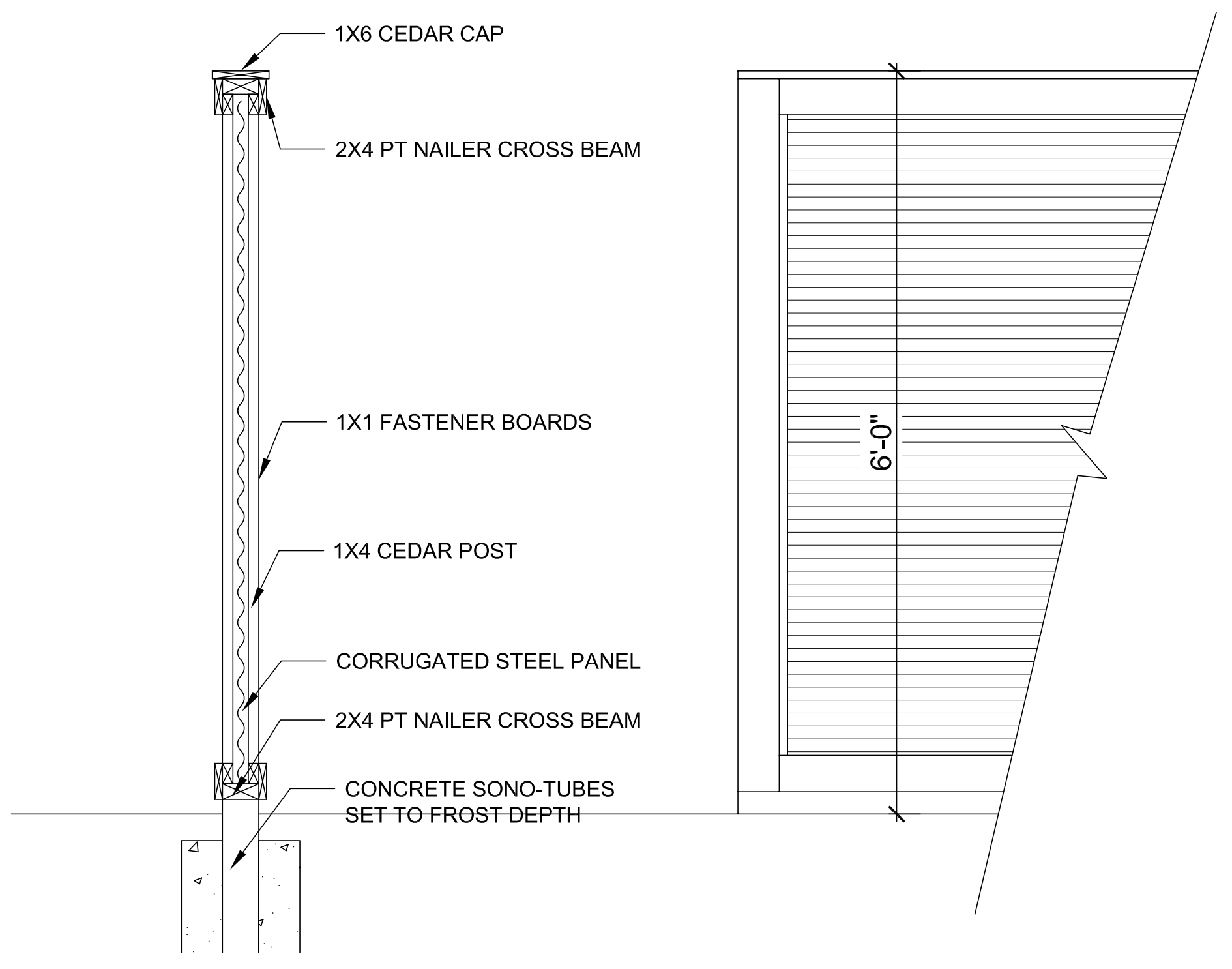
3 ADA FIXTURE REQUIREMENTS  
A1.02 1/2" = 1'-0"



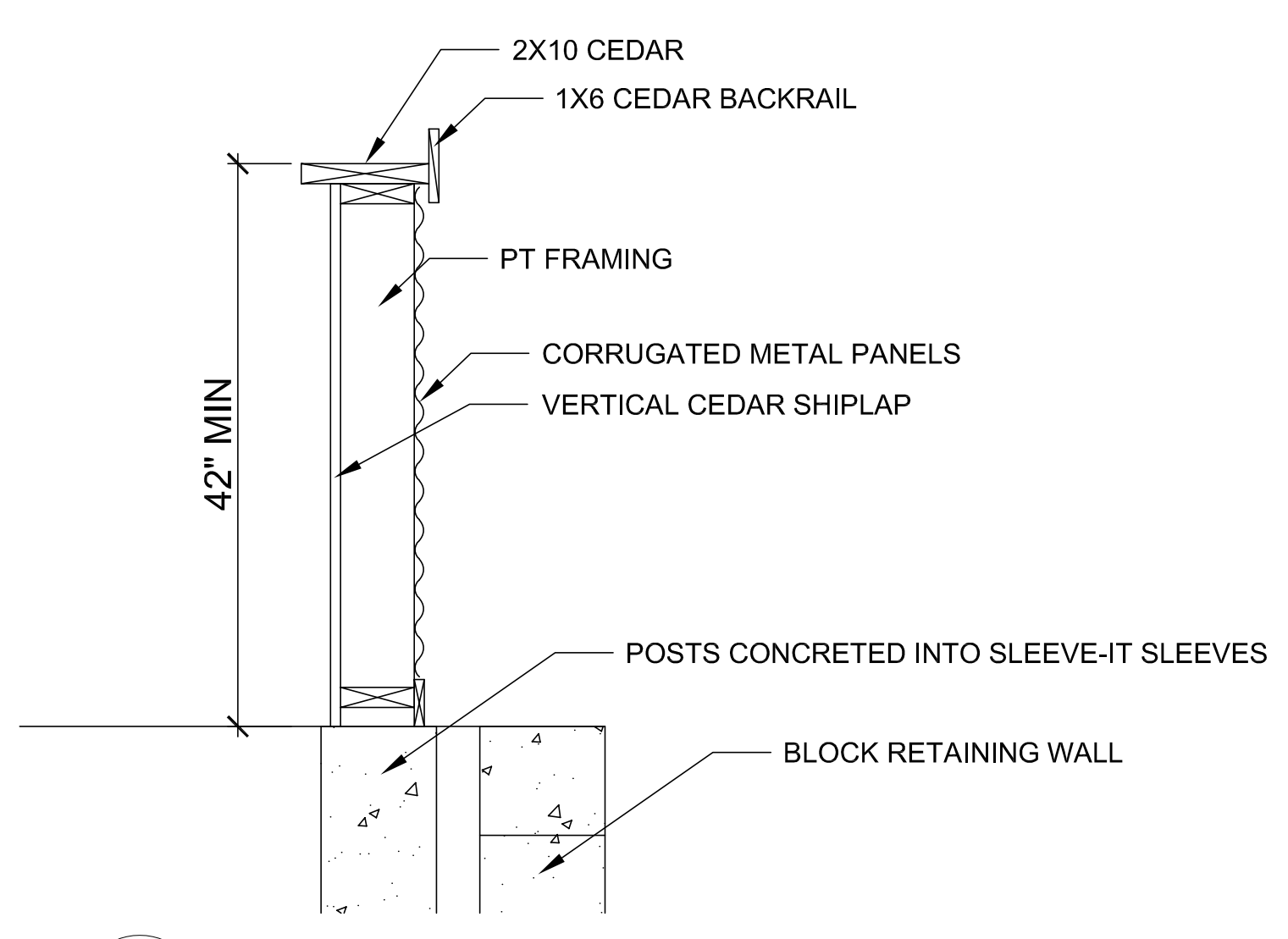
4 NEW STAIR DIMENSIONAL REQUIREMENTS  
A1.02 1" = 1'-0"



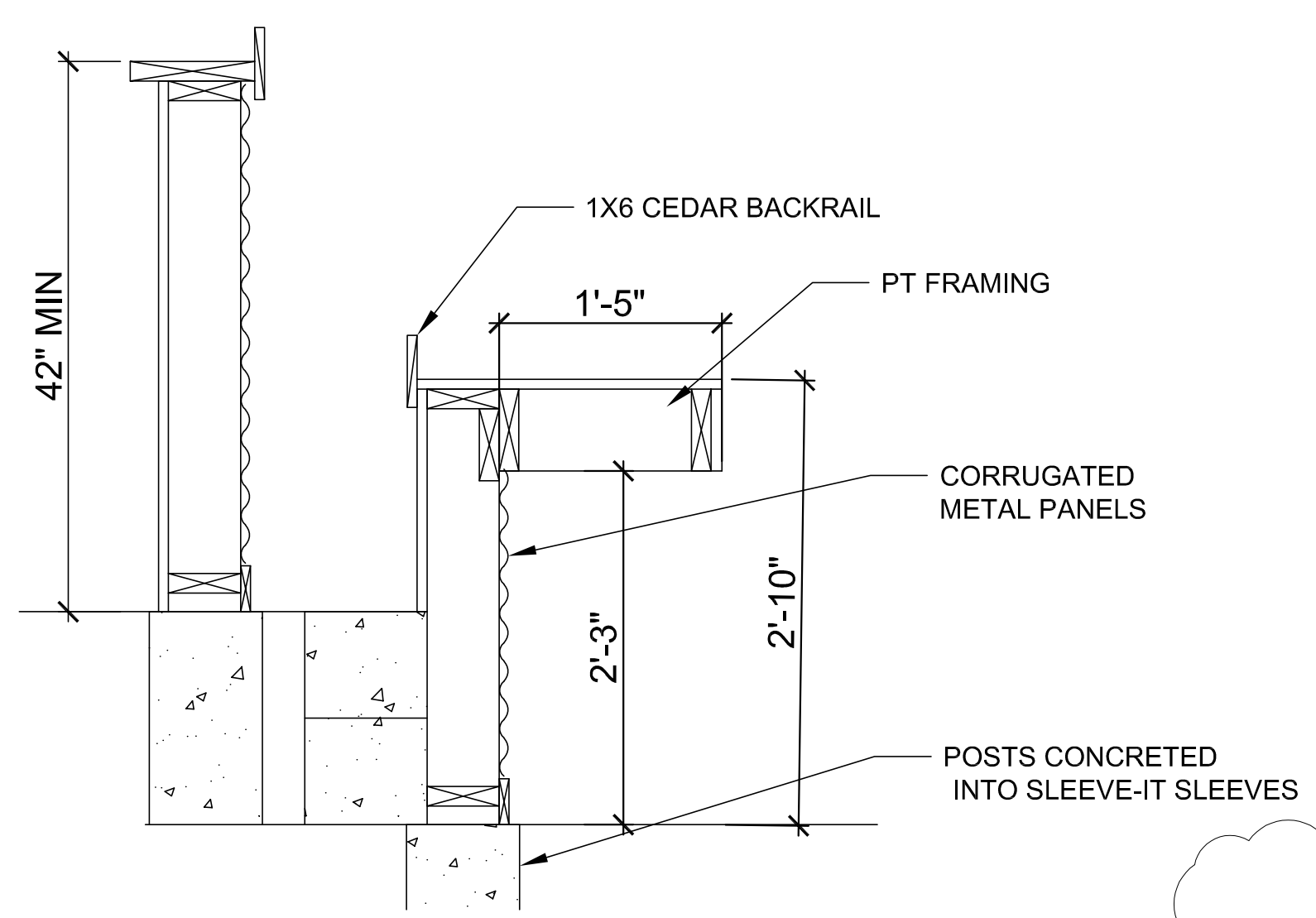
5 ALLOWABLE ADA THRESHOLDS  
A1.02 3" = 1'-0"



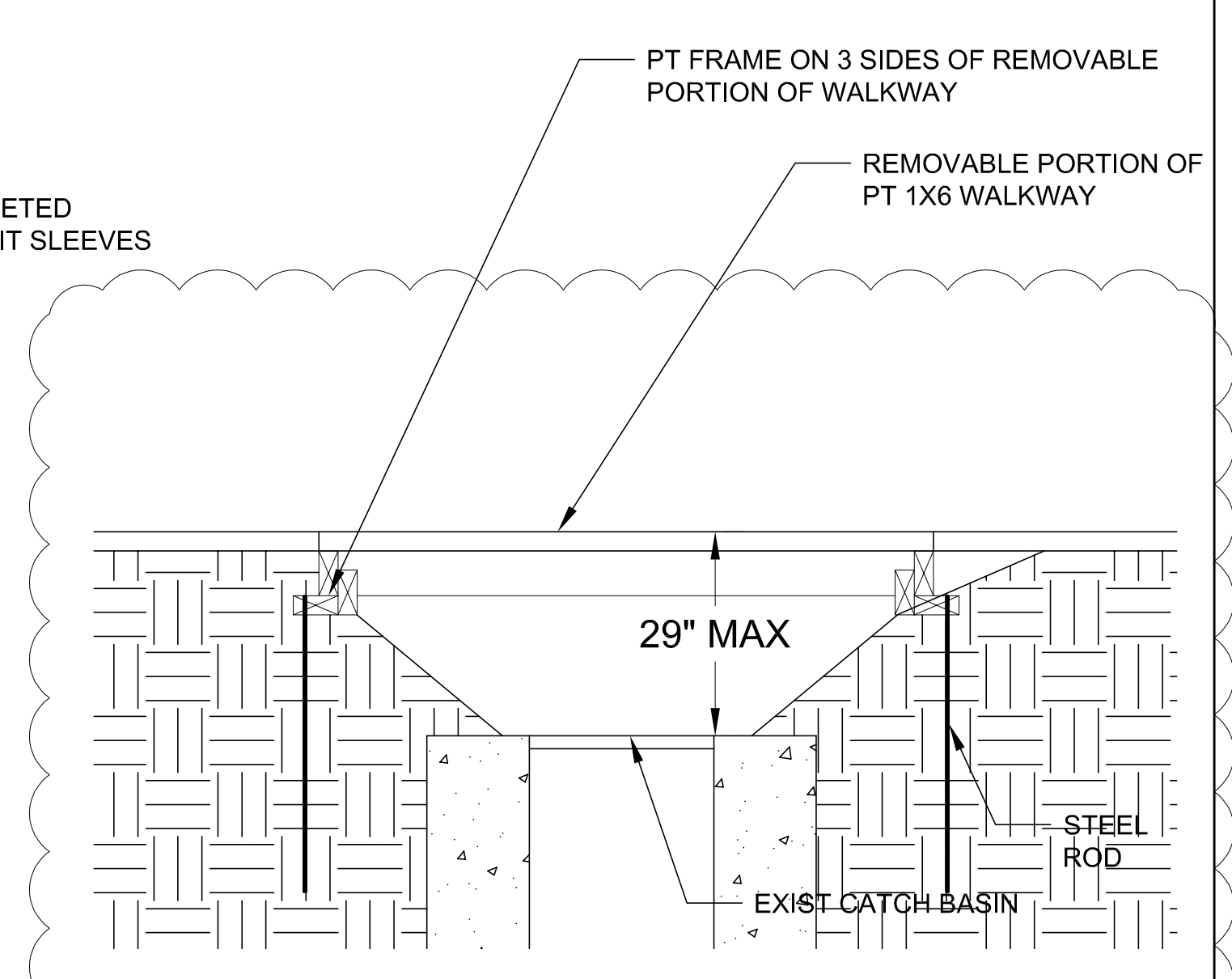
6 TRASH ENCLOSURE FENCE SECTION  
A1.02 1" = 1'-0"



7 STANDING COUNTER SECTION  
A1.02 1" = 1'-0"



8 ADA COUNTER SECTION  
A1.02 1" = 1'-0"



9 REMOVABLE PORTION OF WALKWAY  
A1.02 1" = 1'-0"

A1.02

Date: 5-15-18  
Scale: AS NOTED  
WALL TYPES, DOORS & DETAILS

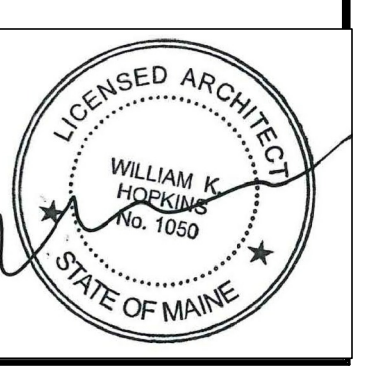
Revisions:  
6-22-18 RESPONSE TO BLDG INSPECTIONS  
7-6-18 RESPONSE TO BLDG INSPECTIONS  
7-10-18 RESPONSE TO BLDG INSPECTIONS  
8-22-18 RESPONSE TO BLDG INSPECTIONS

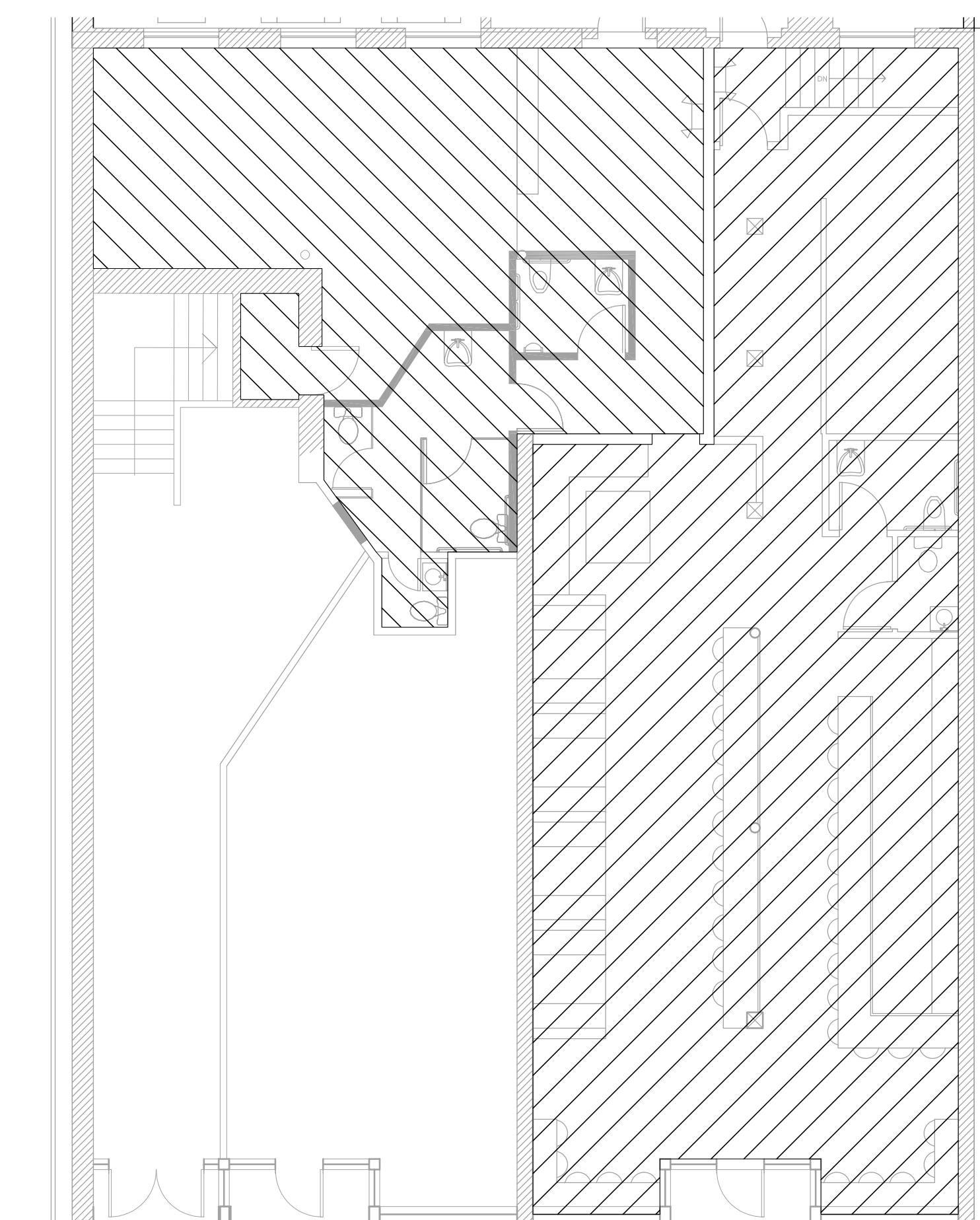
Project: HIGHROLLER LOBSTER CO  
104 EXCHANGE ST, PORTLAND ME

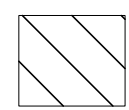
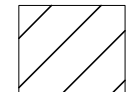
Architect: ARCHETYPE  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

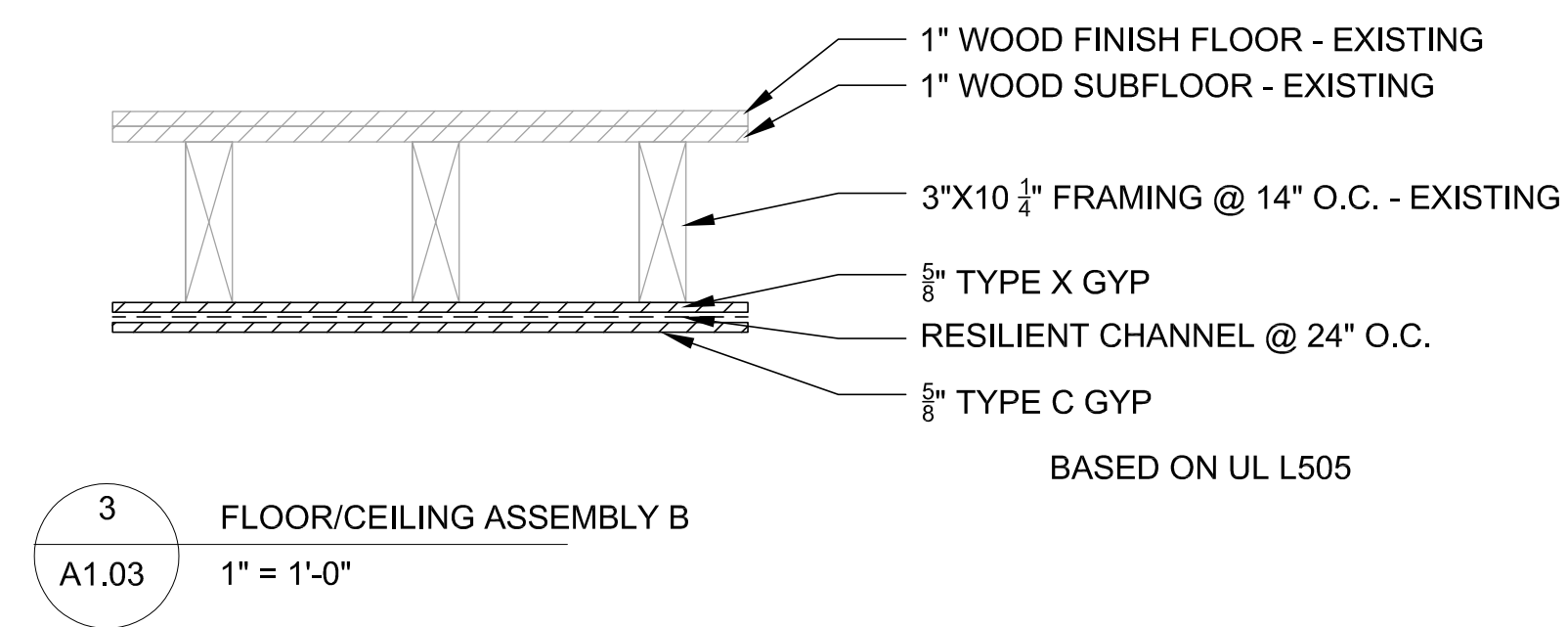
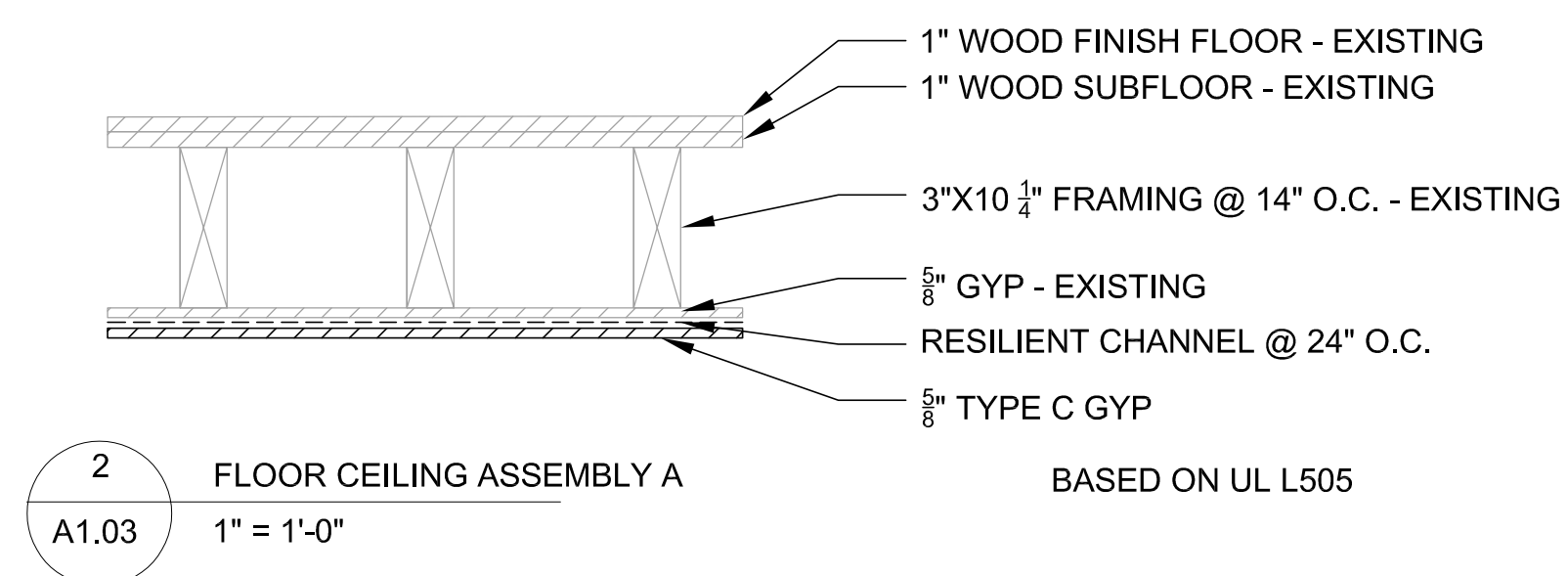
Consultant:

Prepared For:





 FLOOR/CEILING A  
 CEILING B



1 CEILING PLAN  
A1.03 1/8" = 1'-0"

A1.03

Date: 5-15-18  
Scale: AS NOTED  
CEILING PLAN &  
FLOOR-CEILING  
ASSEMBLY

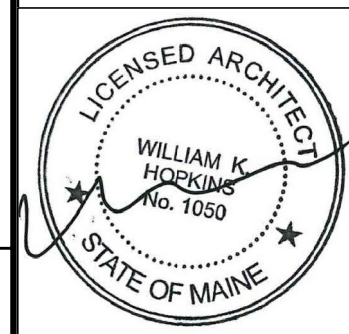
Revisions:	
7-6-18	RESPONSE TO BLDG INSPECTIONS
7-10-18	RESPONSE TO BLDG INSPECTIONS

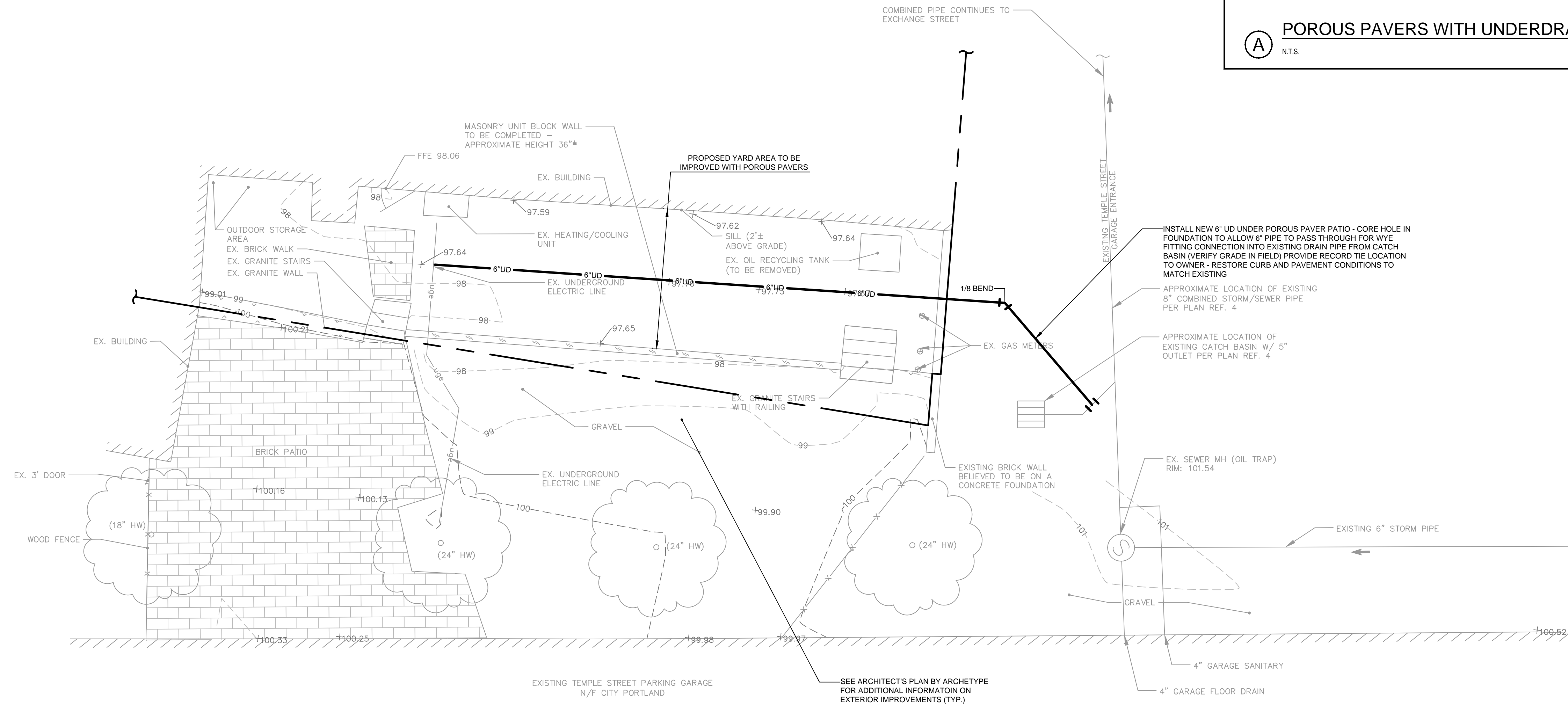
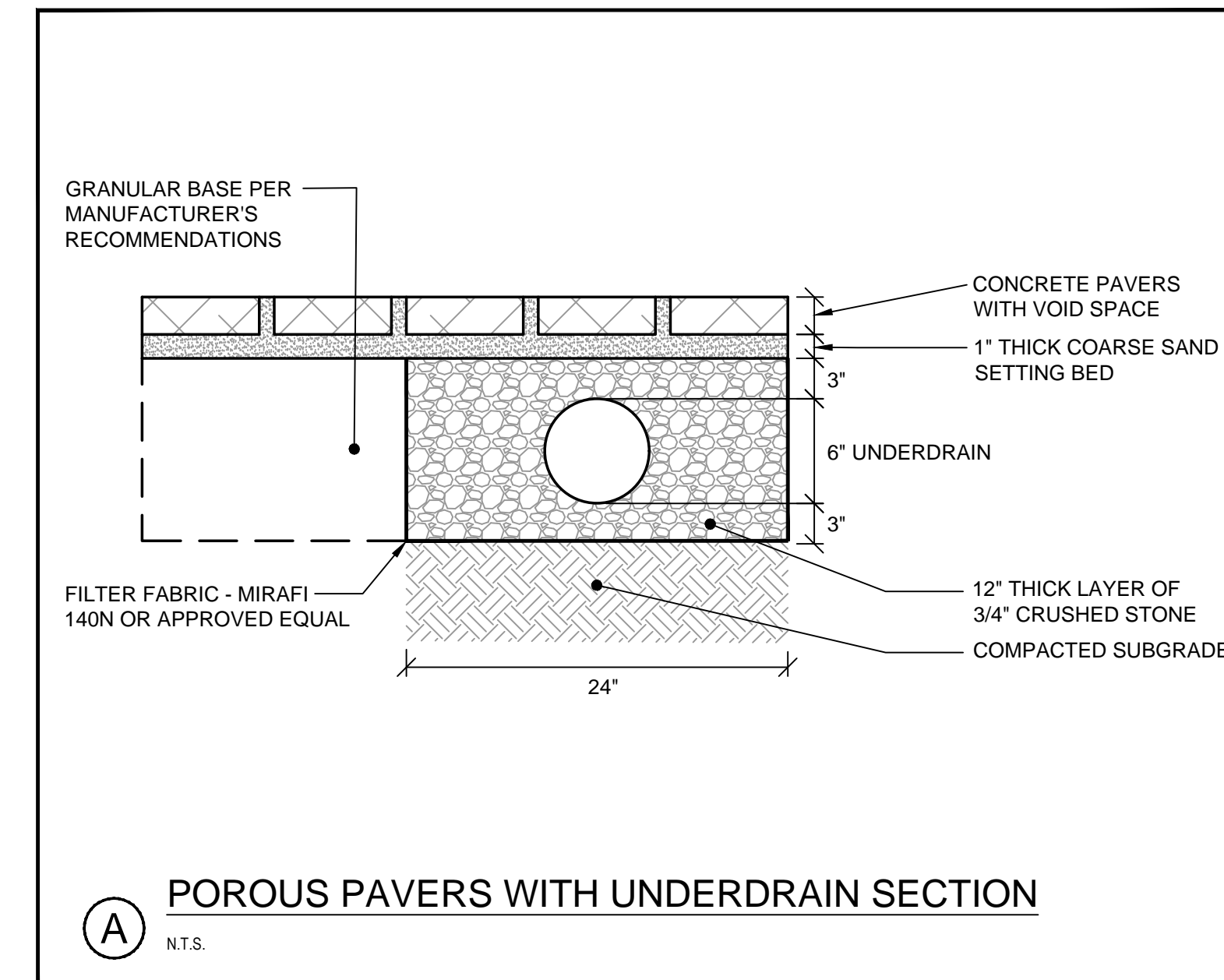
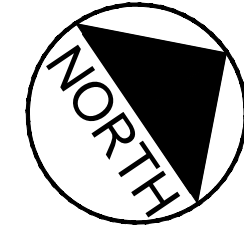
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PORTLAND ME

Architect: ARCHETYPE  
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Consultant:

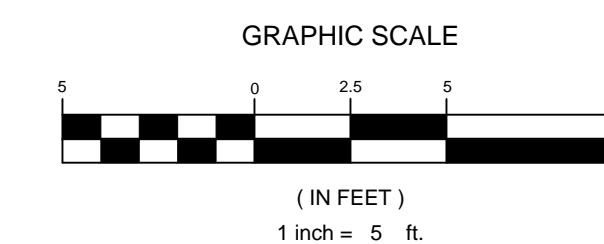
Prepared For:





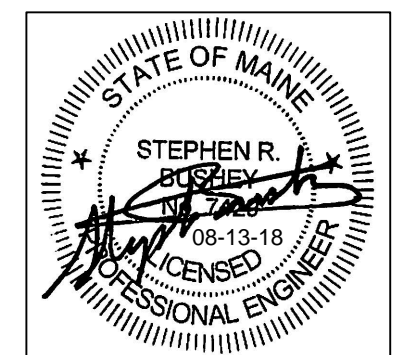
**PLAN REFERENCES:**

1. SITE INVESTIGATION AND TOPOGRAPHIC SURVEY PERFORMED BY STANTEC PERSONNEL ON AUG. 6, 2018
2. PLAN SHEET TITLED 'FLOOR AND COURTYARD PLAN' BY ARCHETYPE DATED MAY 15, 2018
3. SURVEY TITLED 'ALTA/ACSM LAND TITLE SURVEY' BY OWEN HASKELL, INC. DATED MAR. 14, 2008
4. PLAN SHEET TITLED 'SITE PLAN' DRAWING P-1 BY DESMAN PARKING ASSOCIATES DATED SEPT. 1, 1976.  
CITY OF PORTLAND RECORDS 76/944, 11 TEMPLE STREET, TEMPLE STREET GARAGE
5. SURVEY TITLED 'MAINE WAY R-28' BY OWEN HASKELL, INC. DATED OCT. 29, 1974
6. PLAN SHEET TITLED 'GENERAL PLAN - PART 5' BY FAY, SPOFFORD, AND THORNDIKE, INC. DATED MAY, 1973



File Name: 01628_sp	KAB	SR8	SR8	08.16.18
	DWN.	CHKD.	DSGN.	DATE

Permit-Seal



Client/Project  
HIGH ROLLER LOBSTER COMPANY

104 EXCHANGE STREET  
PORTLAND, MAINE

Title  
DRAINAGE PLAN

Project No. 210801628  
Scale 1" = 5'

Sheet  
C-3.0