

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 110 Exchange St		Owner: Dayton Properties		Phone:	Permit No: 980101	
Owner Address:		Lessee/Buyer's Name:		Phone:	Business Name:	
Contractor Name: Keeley Construction		Address: P.O. Box 1974 Pld, ME 04104		Phone: 773-8499		
Past Use: Office/Min Use		Proposed Use: Same		COST OF WORK: \$ 25,000.00	PERMIT FEE: \$ 145.00	
Proposed Project Description: Install elevator shaft		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: B Type: 3B DOCA96		
		Signature: [Signature]		Signature: [Signature]		
Permit Taken By: Mary Grewik		Date Applied For: 05 February 1998				Zone: CBL: 032-B-001

PERMIT ISSUED
 Permit Issued:
FEB 17 1998
CITY OF PORTLAND

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval:
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: _____

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

05 February 1998

SIGNATURE OF APPLICANT: Edward Gatchell ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:


CEO DISTRICT 2

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- 2. THE CONTRACTOR SHALL CONFIRM ELEVATOR SHAFT DIMENSIONS AND DETAILS WITH ELEVATOR SUPPLIER BEFORE CONSTRUCTION.
- 3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, TEMPORARY BRACING, GUYS, OR TIE DOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- 3. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.


TIMBER FRAMING NOTES:

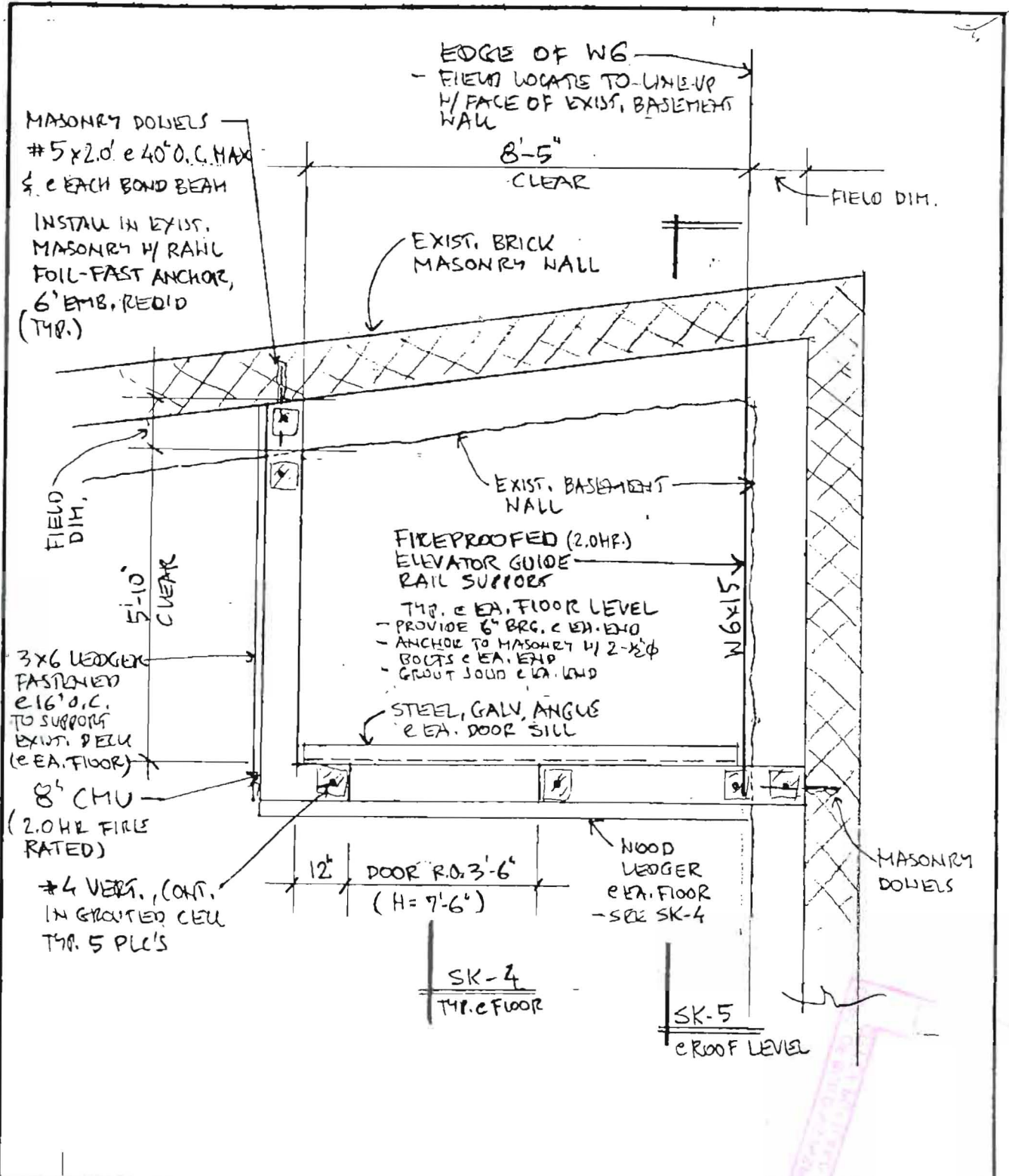
- 1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL - LATEST EDITION.
- 2. INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE #2 SPRUCE-PINE-FIR. SILL PLATES SHALL BE SOUTHERN YELLOW PINE #2 TIMBER PRESSURE TREATED WITH CCA TO 0.4#/CF IN ACCORDANCE WITH AWWA C1. ALL TIMBER SHALL BE KILN DRIED TO 19% MAXIMUM MOISTURE CONTENT.
- 3. ROOF SHEATHING SHALL BE 5/8" APA RATED SHEATHING, PANEL SPAN RATING 24/0, EXPOSURE 1, NAILED WITH MINIMUM OF 8d NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- 4. THE QUANTITY AND SIZE OF FASTENERS CONNECTING WOOD FRAME MEMBERS SHALL BE NOT LESS THAN SPECIFIED IN THE BOCA NATIONAL CODE, 1996 - TABLE 2305.2 FASTENING SCHEDULE, UNLESS SHOWN ON THE DRAWING. ALL NAILS SHALL BE COMMON TYPE NAILS.
- 5. ALL MISCELLANEOUS METAL HARDWARE (JOIST HANGERS, STRAPS, FRAMING ANCHORS, ETC.) SHALL BE MANUFACTURED BY SIMPSON STRONG TIE OR APPROVED EQUAL.

	SMRT Inc. <i>Architecture Engineering Planning</i>	PROJECT No.: 98003
	144 Fore Street/P.O.Box 618 PORTLAND, MAINE 04104 tel. (207) 772-3848 / fax. (207) 772-1070	REF. SHEET:
PROJECT: 110 EXCHANGE ST. BLDG.		SCALE:
SUBJECT: ELEVATOR SHAFT - NOTES		DATE: 01.09.98
		SK# 1A

CONCRETE SLAB AND STRUCTURAL MASONRY NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318-95 AND ACI 301-96.
2. SLAB ON GRADE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 28 DAYS.
3. MORTAR SHALL BE TYPE S AND CONFORM TO ASTM C 270.
4. CONCRETE GROUT SHALL BE A HIGH SLUMP, (8 INCH +/-), CONCRETE WITH PEA SIZE AGGREGATE AND SHALL CONFORM TO ASTM C 476.
5. CONCRETE MASONRY UNITS (CMU) SHALL BE NORMAL WEIGHT CELLULAR UNITS CONFORMING TO ASTM C 90, GRADE N, TYPE 1. CMU SHALL BE 2 HR FIRE RATED UNITS IN ACCORDANCE WITH ASTM E 119. CONCRETE MASONRY NET AREA UNIT STRENGTH SHALL BE NOT LESS THAN 1900 PSI IN ACCORDANCE WITH ASTM C 140, WITH A UNIT WEIGHT NOT EXCEEDING 135 PCF.
6. CONTRACTOR SHALL SUBMIT FOR APPROVAL TEST REPORTS ON MASONRY UNITS SHOWING UNIT WEIGHT, COMPRESSIVE STRENGTH, FIRE RATING, ABSORPTION, VOLUME CHANGE AND SHRINKAGE NO LATER THAN 15 WORKING DAYS PRIOR TO THE COMMENCEMENT OF MASONRY CONSTRUCTION.
7. REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 DEFORMED BARS AND SHALL BE FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315-LATEST EDITION. SPLICED VERTICAL AND BOND BEAM REINFORCEMENT SHALL BE LAPPED 48 BAR DIAMETERS.
8. HORIZONTAL JOINT REINFORCING SHALL BE GALVANIZED STANDARD TRUSS TYPE WITH #9 WIRE, AND SHALL BE LOCATED EVERY 16" VERTICALLY. TRUSS SHALL BE CONTINUOUS, LAPPED NO LESS THAN 12" AT ALL SPLICES, INCLUDING CORNERS.
9. GROUTING:
 - A. METAL LATH SHALL BE USED UNDER BOND BEAM BLOCKS TO CONFINE GROUT. AS AN ALTERNATE LINTEL BLOCKS MAY USED FOR BOND BEAMS.
 - B. GROUT LIFT HEIGHT SHALL NOT EXCEED 5 FEET. GROUT POUR HEIGHT SHALL NOT EXCEED FLOOR HEIGHT. PROVIDE CLEANOUTS IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR, WHEN GROUT POUR EXCEEDS 5 FEET.
 - C. GROUTING SHALL BE STOPPED 1-1/2" BELOW THE TOP OF A COURSE TO FORM A KEY AT THE JOINT.
 - D. GROUTING OF MASONRY LINTELS SHALL BE DONE IN ONE CONTINUOUS OPERATION.
10. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.

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		SCALE:
		DATE: 01.09.98
PROJECT: 110 EXCHANGE ST, BLDG.		SK# 1B
SUBJECT: ELEVATOR SHAFT - NOTES		



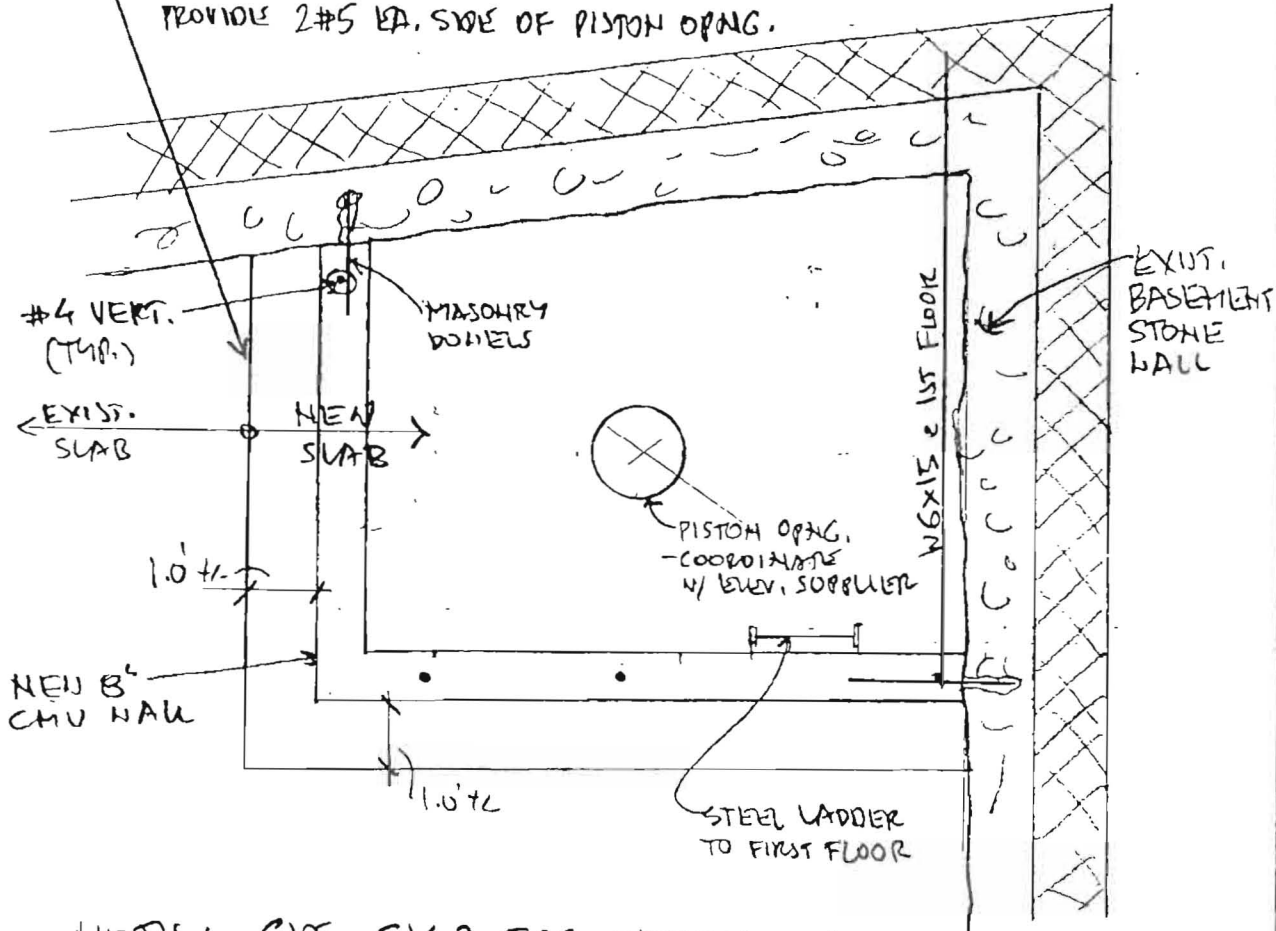
SMRT Inc.
Architecture Engineering Planning
144 Fore Street/P.O.Box 818 PORTLAND, MAINE 04104
tel. (207) 772-3848 / fax. (207) 772-1070

PROJECT No.: 98003
REF. SHEET:
SCALE: 3/8" = 1'-0"
DATE: 01.09.98

PROJECT: 110 EXCHANGE ST. BUDG.
SUBJECT: ELEVATOR SHAFT - TYP. PLAN e FLOOR LEVEL

SK#
2

- SAW-CUT TOP OF EXIST. SLAB BEFORE REMOVAL.
- TOP OF NEW SLAB TO MATCH T.O. EXIST. SLAB.
- VISUALLY INSPECT EXISTING SOIL BEFORE SLAB INSTALLATION.
- NEW SLAB SHALL BE 12" THICK CONCRETE SLAB W/ #5 @ 14" O.C., EA. WAY @ BOTTOM. PROVIDE 3" CONC. COVER MIN. PROVIDE 2#5 EA. SIDE OF PISTON OPNG.



NOTE: SEE SK-2 FOR DIMENSIONS & ADD'L INFORMATION.



SMRT Inc.
 Architecture Engineering Planning
 144 Fore Street/P.O.Box 618 PORTLAND, MAINE 04104
 tel. (207) 772-3846 / fax. (207) 772-1070

PROJECT No.: 98003
 REF. SHEET:
 SCALE: 3/8" = 1'-0"
 DATE: 6.09.98

PROJECT: 110 EXCHANGE ST. BLDG.
 SUBJECT: ELEVATOR SHAFT - PLAN & BASEMENT LEVEL

SK#
 3

BUILDING PERMIT REPORT

DATE: 12 - Feb. - 98 ADDRESS: 110 Exchange ST. (032-H-001)
REASON FOR PERMIT: To construct attic fire rated elevator shaft.
BUILDING OWNER: Dayton Properties
CONTRACTOR: Keeley Construction
PERMIT APPLICANT: Howard Mitchell
USE GROUP B BOCA 1996 CONSTRUCTION TYPE 3/B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1 *29 *30

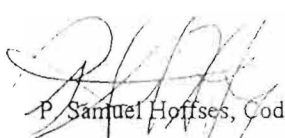
1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36" In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect (Handrails shall be a minimum of 34" but not more than 38" Use Group R-3 shall not be less than 30", but not more than 38") Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2"
9. Headroom in habitable space is a minimum of 7'6"
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year"
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code.
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
28. Please read and implement the attached Land Use-Zoning report requirements.
- X 29. Foundation For proposed Shaft must be design by a
Professional Engineer
- X 30. Roof Structures shall be constructed as per Chapter 15 Section
1510, of The City building code
31. _____
32. _____


P. Samuel Hoffses, Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal