



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 30 MARKET ST CBL 032 F003001

Issued to E L C Inc/Tyill Christopher Date of Issue 04/21/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 10-0102, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire
Temporary Certificate of Occupancy

APPROVED OCCUPANCY

Restaurant (Occ Load 175)
Use Group A-2
Type 5B
IBC 2003

Limiting Conditions:

1. Rear 1st floor exterior egress stairs will be constructed to City Code by 4/23/10
2. Rear 2nd set of exterior egress stairs shall have 2x4's at the rise and graspable handrails by 4/23/10
3. A complete plumbing permit for an additional bathroom on the 2nd floor servicing the public shall be applied for by 6/30/10 and installed to City Code by 7/30/10

This certificate supersedes tempered glass or physical barrier per City Code shall be installed at the window adjacent to the 2nd set of rear egress stairs by 5/30/10

Approved: 04/21/10 [Signature] Inspector of Buildings

(Date) [Signature] Inspector

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100102

Please Read Application And Notes, If Any, Attached

This is to certify that E.L.C. INC./Tyll Christopher

has permission to Tenant fit-up for establishment of restaurant, structural wall on previous permits

AT 30 MARKET ST CBL 032 F003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. J. Goulet

Health Dept. APR 22 2010

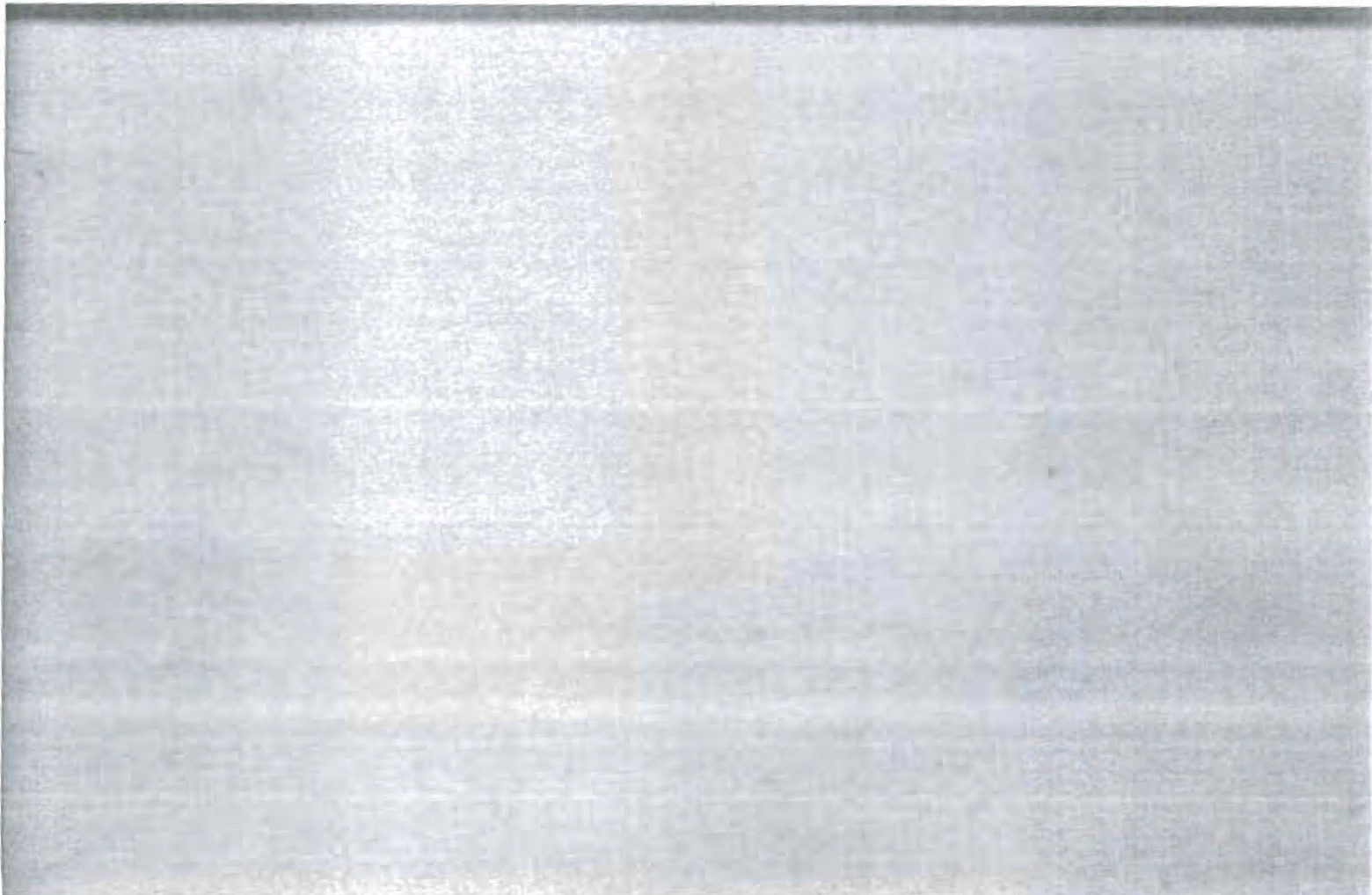
Appeal Board

Other

CITY OF PORTLAND
Department Name

James Burke 4/21/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0102	Issue Date:	CBL: 032 F003001
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Location of Construction: 30 MARKET ST	Owner Name: E L C INC	Owner Address: 42 MARKET ST	Phone:
Business Name: Pat's Pizza - Old Port	Contractor Name: Tyll Christopher	Contractor Address: 165 Walnut Hill North Yarmouth	Phone 2077763831
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-3

Past Use: Commercial - Vacant Space	Proposed Use: Commercial - Restaurant - "Pat's Pizza - Old Port" -Tenant fit-up for establishment of restaurant, structural ^{work} wall on previous permits	Permit Fee: \$105.00	Cost of Work: \$105.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Condition</i>	INSPECTION: Use Group: A-2 Type SB FBL-2003 reclassified	

Proposed Project Description: Tenant fit-up for establishment of restaurant, structural ^{work} wall on previous permits	Signature: <i>(KG)</i>	Signature: <i>AMB 4/21/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature		Date

Permit Taken By: Idobson	Date Applied For: 02/05/2010	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ condition</i> Date: <i>2/5/10</i> <i>AMB</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <i>yo</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Any exterior work requires a separate</i> Date: <i>renew approval thru Historic Preservation.</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0102	Date Applied For: 02/05/2010	CBL: 032 F003001
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Location of Construction: 30 MARKET ST	Owner Name: E L C INC	Owner Address: 42 MARKET ST	Phone:
Business Name: Pat's Pizza - Old Port	Contractor Name: Tyll Christopher	Contractor Address: 165 Walnut Hill North Yarmouth	Phone (207) 776-3831
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - Restaurant - "Pat's Pizza - Old Port" -Tenant fit-up for establishment of restaurant, structural work done on previous permits	Proposed Project Description: Tenant fit-up for establishment of restaurant, structural work done on previous permits
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 02/05/2010
Note: Interior work done under permits - #08-0211, #08-1186 & #09-0253. **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) With the issuance of this permit and the certificate of occupancy, this property shall remain a restaurant [basement - kitchen & carry out; first floor - dining area; second floor - multi-use (dining, office, storage)]. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 04/21/2010
Note: **Ok to Issue:**

- 1) Approval based on compliance with the conditions of the Temporary Certificate of Occupancy
- 2) Approval of City license is subject to health inspections per the Food Code.
- 3) New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 02/12/2010
Note: **Ok to Issue:**

- 1) This permit is for change of use only, any construction shall require additional permits. The occupancy shall meet NFPA 101 code requirements upon inspection.

Comments:
 2/22/2010-jmb: Left vcmg for Christopher T. For kitchen fit up/layout, what the multi-use is on the 2nd floor and if the work on permit #09-0253 is the same. Need cost of work on the kitchen fit up and any other work. Chris called, essentially all the floor plans have changed, a new stair was installed to the 2nd floor as there will be seating, the bathrooms were changed, no public in the basement. He will submit all the changes and cost of work, also a separate permit is needed for the hood system. Have had several meetings with Nelle about what information is required for review. She compiled a memo of this information for a meeting with Joe G. And Greg and Eric C. On March 1, 2010
 4/9/2010-jmb: Jon R. Did a pre final walk thru, the review requirements have not been met for the hood and use permits

Location of Construction: 30 MARKET ST	Owner Name: E L C INC	Owner Address: 42 MARKET ST	Phone:
Business Name: Pat's Pizza - Old Port	Contractor Name: Tyll Christopher	Contractor Address: 165 Walnut Hill North Yarmouth	Phone (207) 776-3831
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

4/13/2010-jmb: Met with Chris T. And Nelle, he submitted detailed floor plans for each floor. One of the bathrooms has been removed from the amended permit #09-0253, from 4 to 3. The occupant load has increased in the assembly use from 104 to 162. The plumbing code requires 3 fixtures each up to an occupant load of 300. These are all single use bathrooms and I agreed to allow a minimum of 2 fixtures each, for a total of 4.

4/21/2010-jmb: Penny, Jon and Keith inspected on 4/20 and a temporary CO will be issued with conditions. A bathroom will be added on the 2nd floor by 7/30/10 with a toilet and urinal. Ok to issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Inspections as required per the Temporary Certificate of Occupancy**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>30 MARKET ST PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>4500</u>	Square Footage of Lot <u>.04 ACRES</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>032 F-003 001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>CHRISTOPHER H. TYCC</u> Address <u>165 WALNUT HILL</u> City, State & Zip <u>NORTH YARMOUTH, ME 04097</u>	Telephone: <u>207-776-3831</u>
Lessee/DBA (If Applicable) <u>JP PIZZA, LLC</u> <u>DBA</u> <u>PAT'S PIZZA - OLD PORT</u>	Owner (if different from Applicant) Name <u>ELC, INC</u> Address <u>42 MARKET ST</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>30</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>105</u>
Current legal use (i.e. single family) <u>RETAIL</u> Number of Residential Units <u>0</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>FAMILY STYLE RESTAURANT</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>Tenant FIT-UP FOR ESTABLISHMENT OF RESTAURANT, STRUCTURAL WORK ON PREVIOUS PERMITS</u>		
Contractor's name: <u>CHRISTOPHER TYCC</u>		
Address: <u>165 WALNUT HILL</u>		
City, State & Zip <u>NORTH YARMOUTH ME 04097</u>		Telephone: <u>207-776-3831</u>
Who should we contact when the permit is ready: <u>CHRISTOPHER TYCC</u>		Telephone: <u>207-776-3831</u>
Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
FEB - 5 2010
Dept. of Building Inspections
City of Portland, Maine

Signature: [Signature] Date: 4 FEB 10

This is not a permit; you may not commence ANY work until the permit is issued

ELC, Inc.
42 Market St.
Portland, ME 04101
207 774 1000

February 4, 2010

City of Portland Maine
380 Congress Street
Portland ME 04101

Dear Sir/Madam:

This letter is to confirm that Christopher Tyll, owner, JP Pizza, LLC d/b/a Pat's Pizza Old Port, will be a tenant in the property that we own at 30 Market Street. The family style restaurant will occupy all three floors of the building (approx 4500sq.ft.). Terms and conditions of the lease are currently under negotiation.

Enclosed is copy of our latest tax bill to confirm that ELC, Inc. is still the owner of record of the property.

If you require additional information, please do not hesitate to contact my assistant, Deborah Vargo, at the above number.

Sincerely,



Eric L. Cranchette
President
ELC, Inc.

ELC/dv

enclosure

Jeanie Bourke - Meeting on Cianchette building

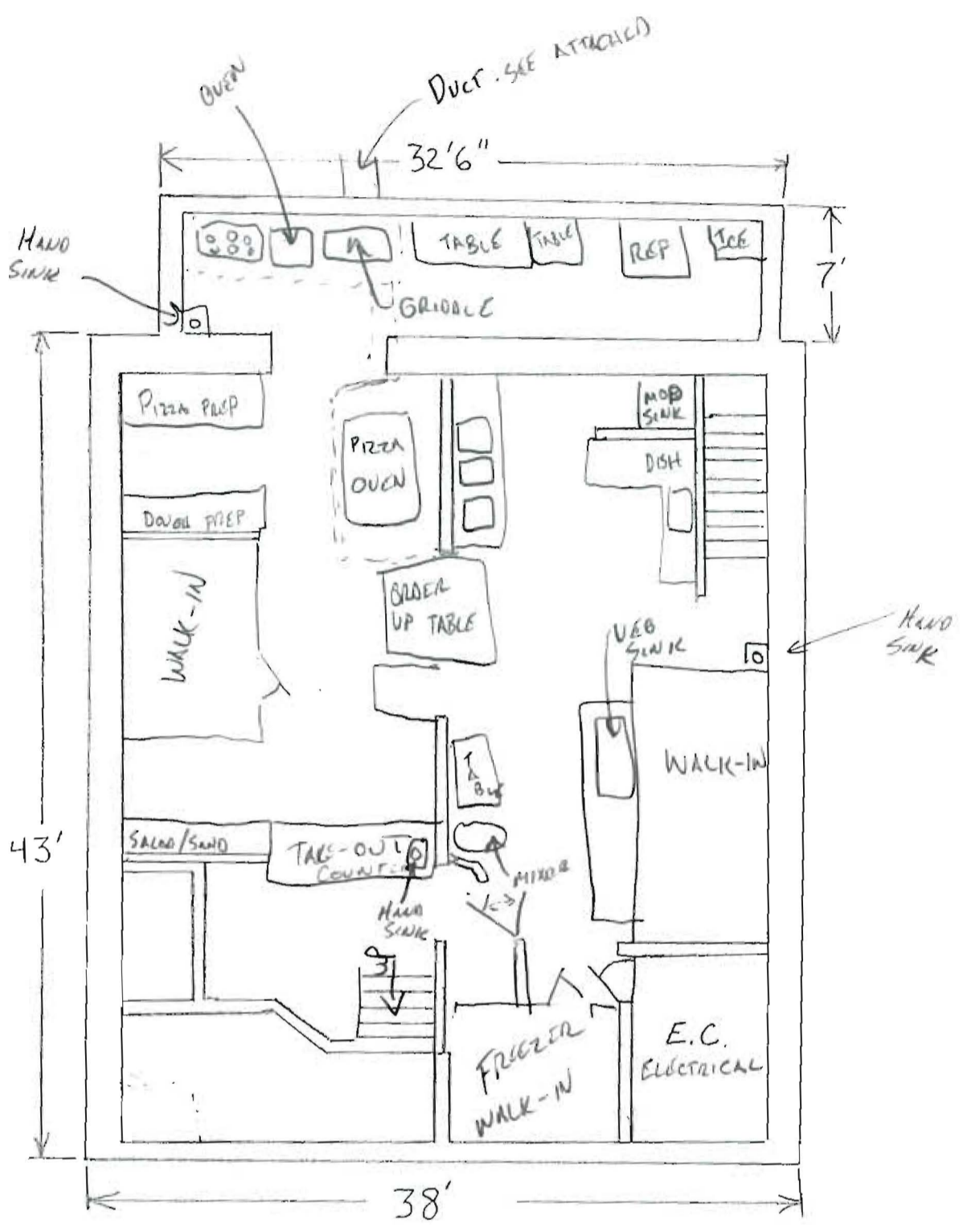
From: Nelle Hanig
To: Greg Mitchell
Date: 3/1/2010 11:24 AM
Subject: Meeting on Cianchette building
CC: Jeanie Bourke

Greg,

Here is what Jeanie Bourke and I planned to discuss with Chris Tyll today. Since that meeting has been canceled perhaps the information below will be helpful to you in your meeting with Eric and Joe. This is my understanding of what Chris would need to provide:

- Hand sketched (as opposed to architect prepared) floor plans for B, 1 and 2 floors showing changes from the original and amended plans that were provided to the Inspections Division. These would need to include all points of access/egress to the outside as well as from one floor to another, layout of the kitchen, including appliances) now that it is taking up most of the basement, locations of tables (for circulations purposes) including on the second floor which in previous drawings was shown as a residential space;
- Architect or engineer stamped plan for the exterior staircase; a plot plan showing the lot, the alley and how the stairway will lead to the public way.

There is a good chance that the pending permit application could be modified to include all of the above information. Whether or not there are any additional costs would be based on the cost of construction, including the exterior staircase. It's my understanding that the original permit estimated \$325,000 for construction. If the cost has not exceeded that then cost might be minimal, if anything, for the modified pending permit.....Nelle



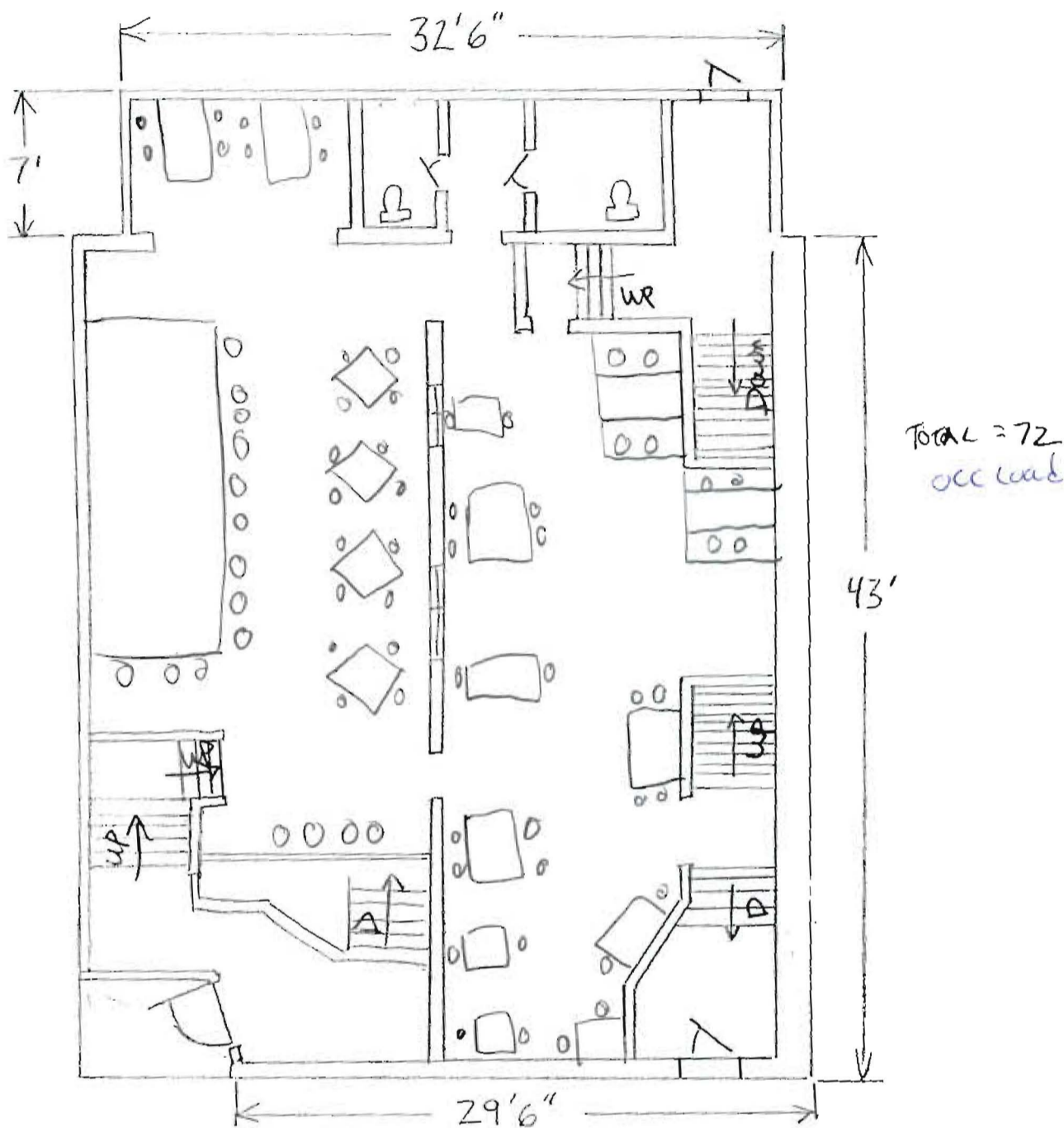
BASEMENT - KITCHEN/CARRY-OUT
 SCALE $\frac{3}{8}'' = 1'$

EQUIPMENT NOT TO
 SCALE

RECEIVED

APR 13 2010

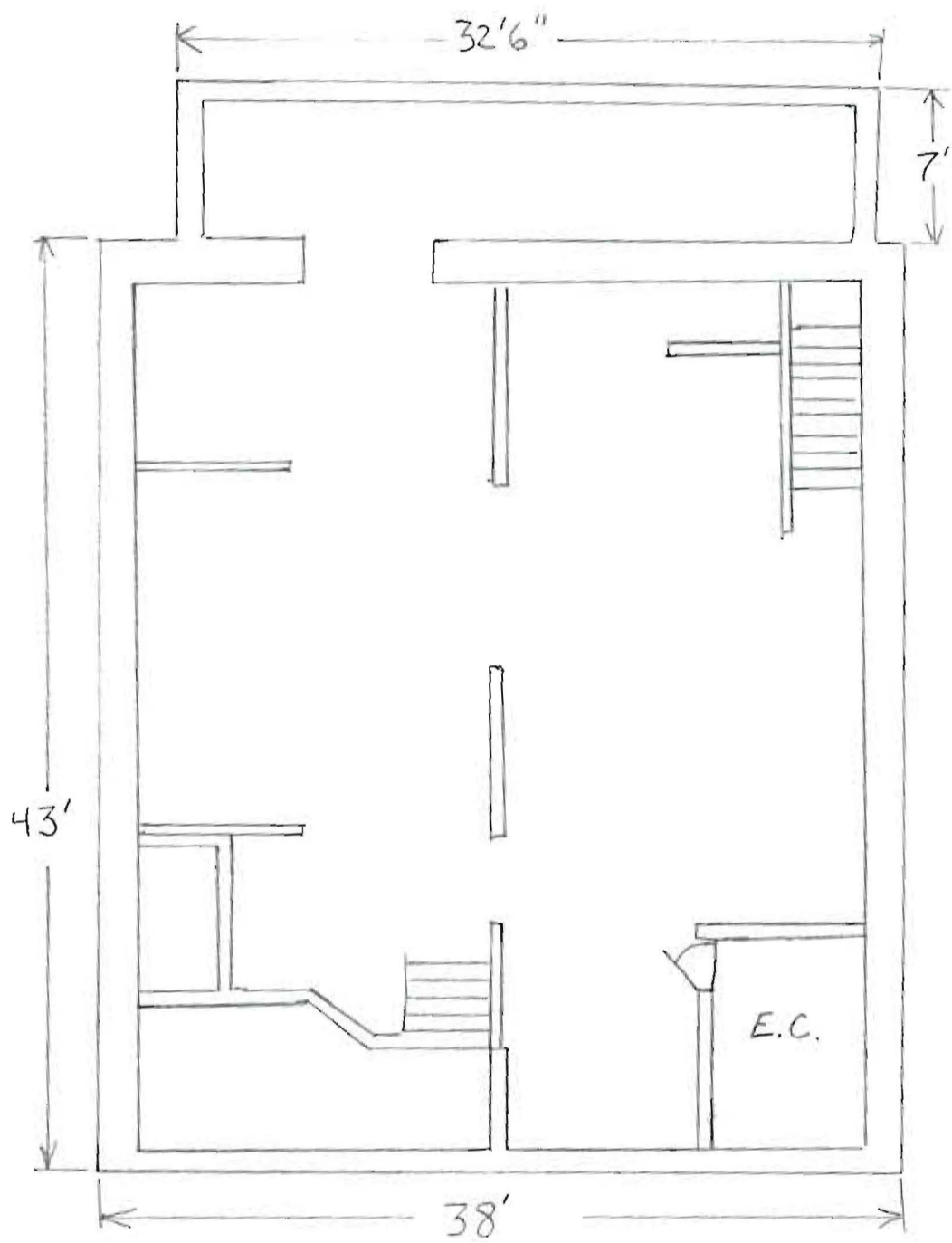
Dept. of Building Inspections
 City of Portland Maine



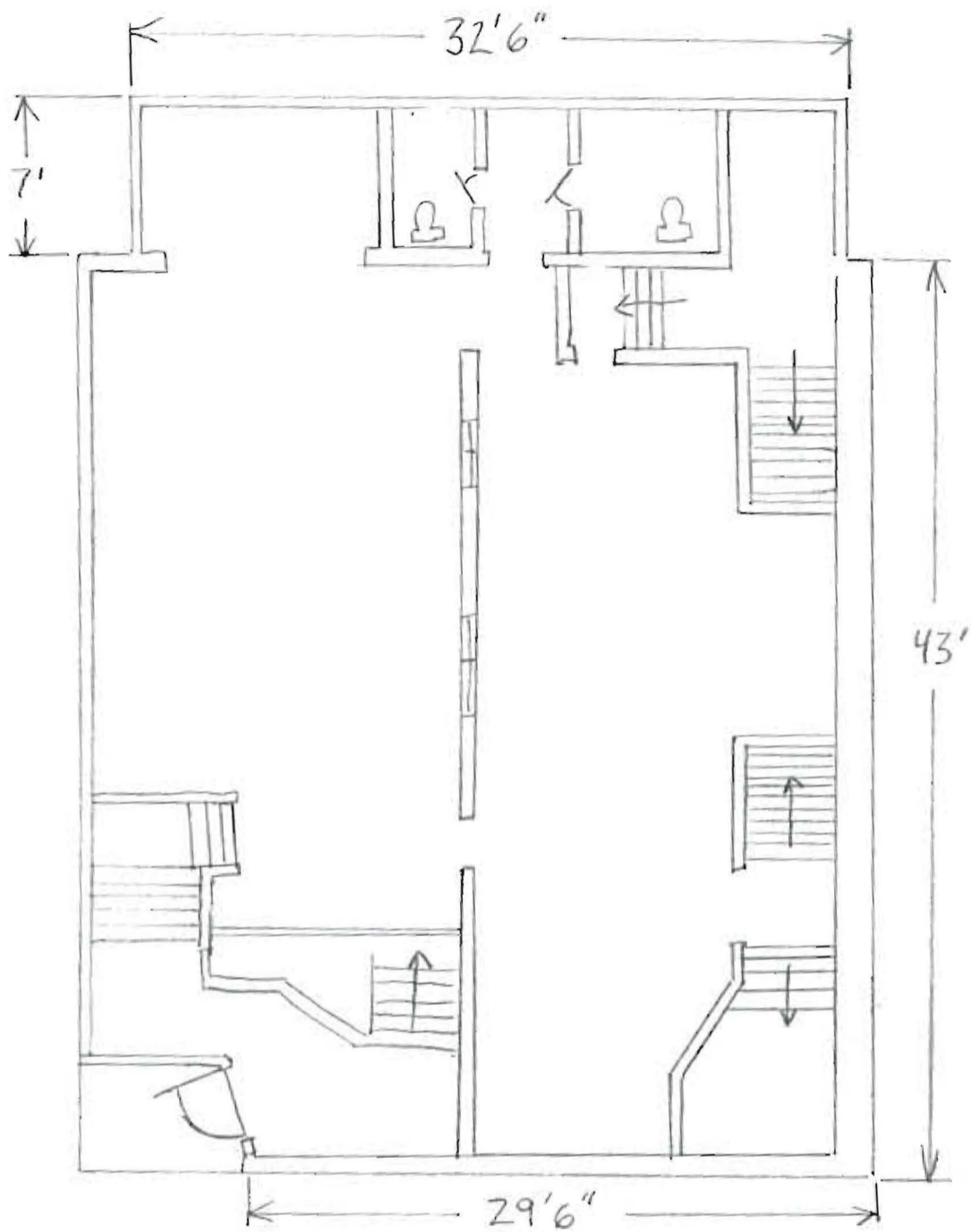
MAIN LEVEL - RESTAURANT

SCALE 1/8" = 1'

EQUIPMENT NOT TO
SCALE

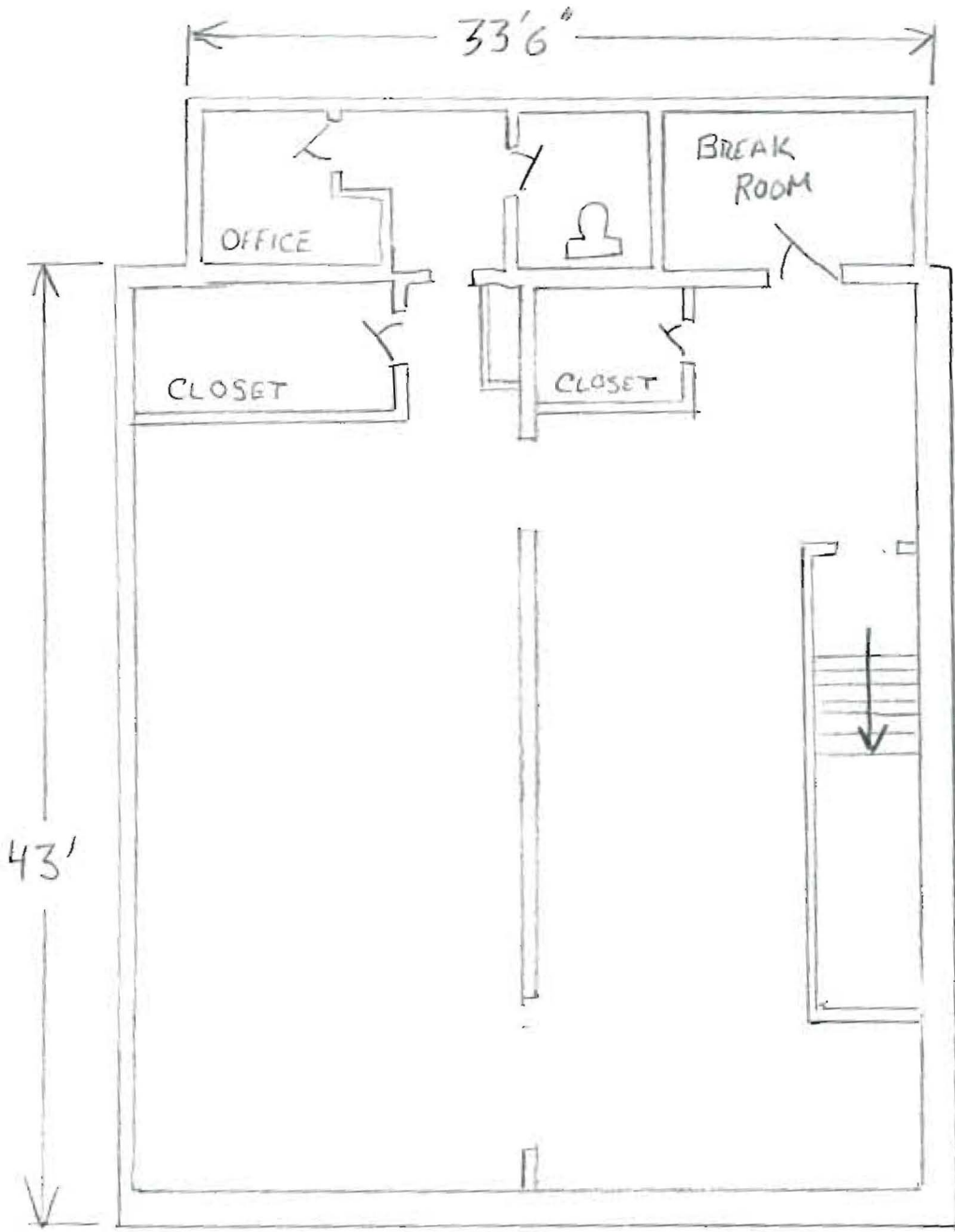


BASEMENT - KITCHEN/CARRY-OUT
SCALE 1/8" = 1'



MAIN LEVEL - RESTAURANT

SCALE $\frac{1}{8}'' = 1'$



2ND FLOOR - STORAGE/MULTI-USE SPACE

SCALE = 1/8" = 1'