

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

Please Read
Application And
Notes, If Any,
Attached

PERMIT

Permit Number: 090253

This is to certify that E L C INC / Monaghan Woodworks Inc.
has permission to Amend permit #08-1186 to keep existing floor levels, change egress configuration and sprinkler the building. No a
AT 30 MARKET ST CL 032 F003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other is used-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. 3/25/09 202
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Chris L. Hill 4/27/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

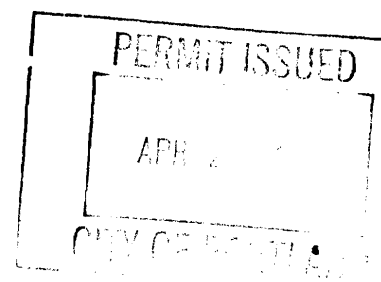
Permit No: 09-0253	Issue Date: 4/27/09	CBL: 032 F003001
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Location of Construction: 30 MARKET ST	Owner Name: E L C INC	Owner Address: 42 MARKET ST	Phone:
Business Name:	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 100 Commercial St. Portland	Phone 2077752683
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B-3

Past Use: Commercial - lower level - bar ("Alehouse"); 1st floor - restaurant on left (Market Street Eats) & hair salon on right; 2nd floor - personal service - "Portland Hot Tub"	Proposed Use: Commercial amend permit #08-1186 to keep existing floor levels, change egress configuration and sprinkler the building. No approved occupancy	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
Proposed Project Description: Amend permit #08-1186 to keep existing floor levels, change egress configuration and sprinkler the building. No approved occupancy		FIRE DEPT: w/conditions 4/21/09 Signature: <i>B. J. White</i>	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: <i>A2/B/R</i> Type: <i>3B</i> <i>IBC-2003</i> Signature: <i>CL</i> 4/27	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 03/31/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <i>Y2</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: 4/1/09 <i>AKM</i>	Date: _____	Date: 4/1/09 <i>SEW</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0253	Date Applied For: 03/31/2009	CBL: 032 F003001
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Location of Construction: 30 MARKET ST	Owner Name: E L C INC	Owner Address: 42 MARKET ST	Phone:
Business Name:	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 100 Commercial St. Portland	Phone (207) 775-2683
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commercial amend permit #08-1186 to keep existing floor levels, change egress configuration and sprinkler the building. No approved occupancy	Proposed Project Description: Amend permit #08-1186 to keep existing floor levels, change egress configuration and sprinkler the building. No approved occupancy
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 04/01/2009

Note:**Ok to Issue:**

- 1) Window "E" details to come back to staff for approval.
- 2) All conditions of approval from original approval are still to be met.
- 3) Final signage design to be submitted to staff for approval.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/01/2009

Note:**Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This property is located within the Pedestrian Activities District (PAD) which limits first floor uses along the pedestrian way to be retail-like. Any change of use shall comply with all the B-3 PAD requirements
- 4) This permit does not establish the use of the building. Change of use permits must be applied for when tenants occupy the building.
- 5) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 04/27/2009

Note:**Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) ANY exterior work requires separate review and approval thru Historic Preservation
- 3) Separate Permits shall be required for any new signage.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 5) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 6) An inspection of the installation of the steel and concrete and structural bracing shall be conducted by a licensed engineer and his/her certification shall be submitted to this office stating compliance with the approved plans.
- 7) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 8) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 9) This permit is approved under IBC Sec. 3403.4, Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails must comply with new codes to the fullest extent possible

Location of Construction: 30 MARKET ST	Owner Name: E L C INC	Owner Address: 42 MARKET ST	Phone:
Business Name:	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 100 Commercial St. Portland	Phone (207) 775-2683
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

- 10 All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 11 Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 12 All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 04/21/2009

Note:

Ok to Issue:

- 1) All construction shall comply with NFPA 101
- 2) A separate permit shall be submitted for occupancy and tenant fit up on the second floor.
- 3) A separate permit shall be required for the following:
Fire Alarm System;
Sprinkler System;
Hood System;
Electrical.
- 4) Verify party walls are intact.
- 5) Emergency lights are required to be tested at the electrical panel.
- 6) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 7) Fire extinguishers required. Installation per NFPA 10
- 8) A single source supplier should be used for all through penetrations.
- 9) Application requires State Fire Marshal approval.

Comments:

4/1/2009-wallaceb: E-mailed architect (mark@muellerarchitects.com) the following on 4/1/09:

Second floor not reviewed for use or tenant fit up. No occupancy defined.

Firelite glass at stair A, first floor must meet NFPA 251. NFPA 257 listing not permitted in vertical openings. See 101-8.3.4.2 and 101-8.3.2.1.1

Return all handrails. 101-7.2.2.4.4.9

Separate permits are required for fire alarm, sprinkler, and hood systems.

Detail A-3.2 See 101-7.1.6.3.1(3)

Door numbers 001, 006, 102, and 105 require fire exit hardware in lieu of panic hardware. Fire doors must be listed for use with fire exit hardware.

4/14/2009-wallaceb: The architect has address all fire issues except the 1:12 slope perpendicular to the front exit.

4/21/2009-wallaceb: All fire issues have been addressed and revised plans submitted.



General Building Permit Application

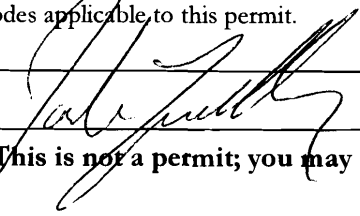
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>50 MARKET STREET</u>		
Total Square Footage of Proposed Structure/Area <u>3000 SF (EXISTING APPROX)</u>	Square Footage of Lot <u>SAME</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>32</u> Block# <u>F</u> Lot# <u>3</u>	Applicant * must be owner, Lessee or Buyer * Name <u>MARK MUELLER ARCHITECTS</u> Address <u>100 COMMERCIAL ST.</u> City, State & Zip <u>PORTLAND</u>	Telephone: <u>774-9057</u>
Lessee/DBA (If Applicable) <u>NOTE: ADDENDA TO CURRENT PERMIT</u>	Owner (if different from Applicant) Name <u>ELC REALTY</u> Address <u>42 MARKET ST.</u> City, State & Zip <u>PORTLAND</u>	Cost Of Work: \$ <u>150,000.00</u> <u>SHIMMS</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>MERCANTILE</u>	Number of Residential Units <u>0</u>	
If vacant, what was the previous use? <u>MERCANTILE</u>		
Proposed Specific use: <u>ASSEMBLY / SINGLE FAMILY</u>		<u>Changed Egress configuration + sprinklered</u>
Is property part of a subdivision? <u>NO</u>	If yes, please name _____	
Project description: <u>Amend: 08-1186 REUSED DRAWINGS REFLECT THE EXISTING PLAN & FLOOR LEVEL REMAINING INTACT. PREVIOUSLY IT</u>		
Contractor's name: <u>MONSIEUR WORKSHOPS</u>		<u>WAS TO BE LOWERED.</u>
Address: <u>100 COMMERCIAL ST. EX105</u>		Telephone: <u>715-2683</u>
City, State & Zip: <u>PORTLAND</u>		Telephone: <u>EXT. 32</u>
Who should we contact when the permit is ready: <u>BRAD FINLEY</u>		
Mailing address: <u>SEE ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: MARCH 31, 2008

This is not a permit; you may not commence ANY work until the permit is issue



Pilkington Pyrostop™



FIRE-RATED



HOSE STREAM TESTED



IMPACT-RATED



HEAT BARRIER



FIRE-RATED, SAFETY-RATED GLASS FIRE WALLS

Pilkington Pyrostop™ is a fire-rated and impact safety-rated glazing material. Pyrostop also blocks radiant heat, protecting people and valuables on the non-fire side of the glass where radiant heat transfer might be a concern. It is listed for use in doors, sidelites, transoms, borrowed lites and wall applications with a fire rating of up to 2 hours.

FEATURES

- Protection against radiant and conductive heat transfer
- Barrier to fire and smoke
- Fire-rated for up to 2 hours with required hose stream test
- Impact safety-rated – meets ANSI Z97.1 and CPSC 16CFR1201 (Cat. I and/or II)
- Wireless with nearly the same clarity as ordinary float glass
- For use in interior and/or exterior applications
- May be lightly sandblasted or etched on one side without affecting fire rating
- Available in insulated units with other glass products including (but not limited to):
 - Tinted
 - Low-E
 - Art Glass
 - Reflective
 - One-way Mirror
 - Security Glass
- Fits in Fireframes® Heat Barrier Series and Fireframes® Curtainwall Series from TGP
- Available with bullet resistance to UL Level III
- Multi-laminate, not a sensitive polymer gel unit

Pyrostop sales are a cooperative effort between Technical Glass Products and Pilkington North America.

LISTINGS

Listed with Underwriters Laboratories, Inc.® Test report is UL R16644. Tests performed in accordance with ASTM E-119, ASTM E2074, ASTM E2010, ULL 263, UL 9, UL 10B, UL 10C, CSFM 43.7, NFPA 80, NFPA 251, NFPA 252, NFPA 257, UBC 43.2, UBC 43.4, UBC 7-2, UBC 7-4, CAN4 S-104, CAN4 S-106. Approved for use in New York City: MEA 241-00-M.

LABELING

Each piece of Pyrostop shall be permanently labeled with the Pyrostop logo, UL logo and fire rating.

NO MARKET

STORAGE & HANDLING

Pyrostop must be handled with care during transportation, storage, inspection and installation. It should be stored in dry conditions, stocked vertically and fully supported in a manner which prevents the glass from sagging. During storage and transportation, the temperature of Pyrostop should not exceed 122°F. Do not expose the "non-PVB" side of the glass to UV light. Do not remove the protective edge tape. See manufacturer's installation and warranty information for further details.

FAMILY OF PRODUCTS

TGP offers a complete family of products for all your fire-rated glazing needs, ranging from 20 minute to 3 hour applications. More information is available online at fireglass.com, or by calling 800.426.0279.

Pilkington Pyrostop[®] PRODUCT DATA

30 MARKET

FIRE RATING	MANUFACTURER'S DESIGNATION	GLAZING TYPE	GLAZING THICKNESS	U-VALUE	G-VALUE	WIND LOAD CLASSIFICATION	WIND SPEED CATEGORY	ASSEMBLY	MAX. EXPOSED AREA (sq. ft.)	MAX. WIDTH OF EXPOSED GLAZING (in.)		MAX. HEIGHT OF EXPOSED GLAZING (in.)	
										OR	OR	OR	OR
INTERIOR USE	45 min.	45-200	Single Glazing	3/4 (19 mm)	9.22	.86	84	40	OTHER THAN DOORS DOOR	4,500 3,724	95-1/4 41-5/8	95-1/4 89-3/4	
	60 min.	60-101	Single Glazing	7/8 (23 mm)	10.85	.83	80	41	OTHER THAN DOORS DOOR	5,605 3,724	96 41-5/8	96 89-3/4	
	90 min.	90-102	Single Glazing	1-7/16 (37 mm)	17.61	.74	85	45	OTHER THAN DOORS DOOR	3,724 3,724	96 41-5/8	96 88-3/4	
	2 hours	120-104	I.G. Units	2-1/8 (54 mm)	21.71	.44	78	46	OTHER THAN DOORS	3,724	111	111	
EXTERIOR USE	45 min.	45-200	Single Glazing	3/4 (19 mm)	9.22	.86	84	40	OTHER THAN DOORS DOOR	4,500 3,724	95-1/4 41-5/8	95-1/4 89-3/4	
	45 min.	45-250	I.G. Units	1-5/16 (33 mm)	12.48	.49	75	40	OTHER THAN DOORS DOOR	4,500 3,724	96 41-5/8	96 89-3/4	
	45 min.	45-360*	I.G. Units	1-5/16 (33 mm)	12.48	.37-.39	59-71	40	OTHER THAN DOORS DOOR	4,500 3,724	96 41-5/8	96 89-3/4	
	60 min.	60-201	Single Glazing	1-1/16 (27 mm)	12.90	.83	86	44	OTHER THAN DOORS DOOR	5,605 3,724	96 41-5/8	96 89-3/4	
	60 min.	60-251	I.G. Units	1-5/8 (41 mm)	15.77	.48	78	44	OTHER THAN DOORS DOOR	5,605 3,724	96 41-5/8	96 89-3/4	
	60 min.	60-361*	I.G. Units	1-5/8 (41 mm)	15.77	.37-.39	59-70	44	OTHER THAN DOORS DOOR	5,605 3,724	96 41-5/8	96 89-3/4	
	90 min.-2 hrs	120-202	Single Glazing	1-9/16 (40 mm)	19.45	.72	85	46	OTHER THAN DOORS	3,724 3,724	111 41-5/8	111 89-3/4	
	90 min.-2 hrs	120-262	I.G. Units	2-1/8 (54 mm)	22.12	.44	75	46	OTHER THAN DOORS	3,724	111	111	
	90 min.-2 hrs	120-352*	I.G. Units	2-3/8 (54 mm)	22.12	.35	33-68	46	OTHER THAN DOORS	3,724	111	111	

*Performance values vary for exterior I.G. units based upon the coating on face 2. Coatings available are Eclipse Advantage Clear, Solar E Solar Control Low-E and Energy Advantage Low-E.

APPROVED FRAMING SYSTEMS FOR USE WITH PYROSTOP

Hollow Metal Steel (HMS) supplied locally/Designer Series Frame System by TGP—Rated 45-90 minutes. Tested in accordance with ASTM E2010, ASTM E2074, NFPA 252, NFPA 257, UBC 7-2, UBC 7-4, UL 9, UL 10B and UL 10C.

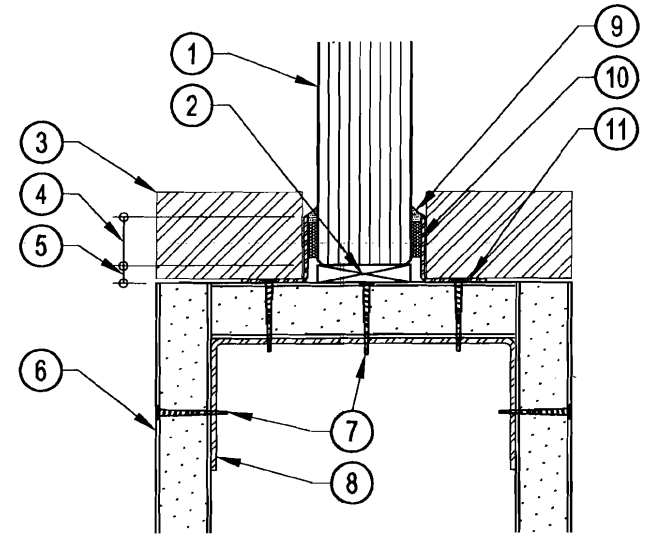
Heat Barrier Series and Curtainwall Series Frame Systems** by TGP/L* Angle Steel Framing supplied locally**—Rated 60-120 minutes. Tested in accordance with ASTM E119, ASTM E2074 NFPA 251, NFPA 252, UL 263, UL 9, UL 10B, UL 10C, UBC 7-2 and UBC 7-4.

—System is classified as a Fire Resistant Assembly that does not block the transfer of radiant heat during a fire.
 —System is classified as a Fire Resistant Assembly that blocks the transfer of radiant heat during a fire.

800.426.0279
fireglass.com

TECHNICAL GLASS PRODUCTS
one source many solutions
TGP

- ① PYROSTOP GLAZING: 60 MINUTE - 7/8" (23mm) OR
PYROSTOP GLAZING: 60 MINUTE - 1-1/16" (27mm)
- ② 1-1/16" x 4" x 1/4" HARDWOOD SETTING BLOCK
- ③ STEEL ANGLES CAN BE COVERED WITH
WOOD, ALUMINUM OR OTHER TYPES OF
NON-COMBUSTIBLE TRIM
- ④ BITE: 3/8" MINIMUM
- ⑤ EDGE CLEARANCE: 1/4" AT PERIMETER
- ⑥ 5/8" TYPE 'X' GYPSUM BOARD (ONE LAYER)
- ⑦ #12 x 1-1/2" PHILLIPS FLAT HEAD SCREW
10" - 12" ON CENTER
- ⑧ 18 GAUGE X 2-1/2" MINIMUM STEEL
RUNNER CONTINUOUS LENGTHS
- ⑨ SILICONE SEALANT (CONTINUOUS)
- ⑩ 1/8" x 3/8" CLOSED CELL PVC TAPE
- ⑪ .040" X 5/8" MINIMUM X 5/8" MINIMUM
CONTINUOUS STEEL ANGLE



GENERAL INFORMATION

1. FOR INTERIOR USE IN SINGLE OPENINGS IN 60 MINUTE RATED WOOD/STEEL/STUD/GYPSUM BOARD OR MASONRY ASSEMBLIES.
2. **MAX. EXPOSED AREA PER
PIECE (Sq. In. / Sq. Ft.)**
5,605 / 38.92 **MAX. WIDTH OF EXPOSED
GLAZING PER PIECE (In.)**
95" **OR** **MAX. HEIGHT OF EXPOSED
GLAZING PER PIECE (In.)**
95"
3. TESTED PER THE FOLLOWING STANDARDS: **ASTM E-119 AND UL263**
5. ADDITIONAL INFORMATION REGARDING **PYROSTOP** CAN BE OBTAINED AT **WWW.FIREGLASS.COM** UNDER THE **GLASS** SECTION OF THE **PRODUCTS MENU** LOCATED AT THE TOP OF THE PAGE.

From: "Mark Mueller" <mark@muellerarchitects.com>
To: "Benjamin Wallace" <wallaceb@portlandmaine.gov>
Date: 4/14/2009 2:11:56 PM
Subject: 30 MARKET STREET

Ben,

I have attached PDF files of the revisions per your comments.

1. We have revised the handrails to show continuity and locations on both sides of the stair.
2. We revised the hardware schedule to read "fire exit hardware".
3. Manufacture details are included for the fire rated glass.
4. The front entry landing. I realize the section you have quoted about 1: 48 entry pads.

There are two items here of difficulty. One, is renovation of an existing building where the side walk is sloping.

No matter how you "cut-it" there is cross slope to deal with. We had to go through great measures just to get the landing down to side walk level.

The other is the fact there is heated space under our recessed entry, sound construction detailing mandates some pitch to drain this alcove.

I realize in a completely new building this situation is not perfect and would not occur.

I hope I have answered your concerns.

If I can be of further assistance, let us know.

Thank you,

mark

Mark Mueller, AIA

Mark Mueller Architects
100 Commercial Street
Suite 205
Portland, Maine 04101
mark@muellerarchitects.com
Tele: 207.774.9057
Fax: 207.773.3851

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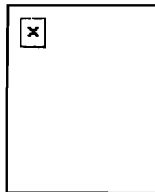
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Thank you,

mark

Mark Mueller, AIA



Mark Mueller Architects
100 Commercial Street
Suite 205
Portland, Maine 04101
mark@muellerarchitects.com
Tele: 207.774.9057
Fax: 207.773.3851

#09-0253



MARK
MUELLER
ARCHITECTS
A.I.A.

100 Commercial Street
Suite 205
Portland, Maine 04101
Phone: 207.774.9057
Fax: 207.773.9851
Email: mark@muellerarchitects.com
Web: www.muellerarchitects.com

COPYRIGHT
MUELLER ARCHITECTS, LLC

STRUCTURAL ENGINEER:

ASSOCIATED
DESIGN
PARTNERS, INC.

80 LEIGHTON RD.
FALMOUTH, MAINE 04105

GENERAL CONTRACTOR:

Monaghan
Woodworks, Inc.

100 Commercial Street
Box 105
Portland, Maine 04101

A Historic Renovation at:

30 MARKET STREET

Portland, Maine

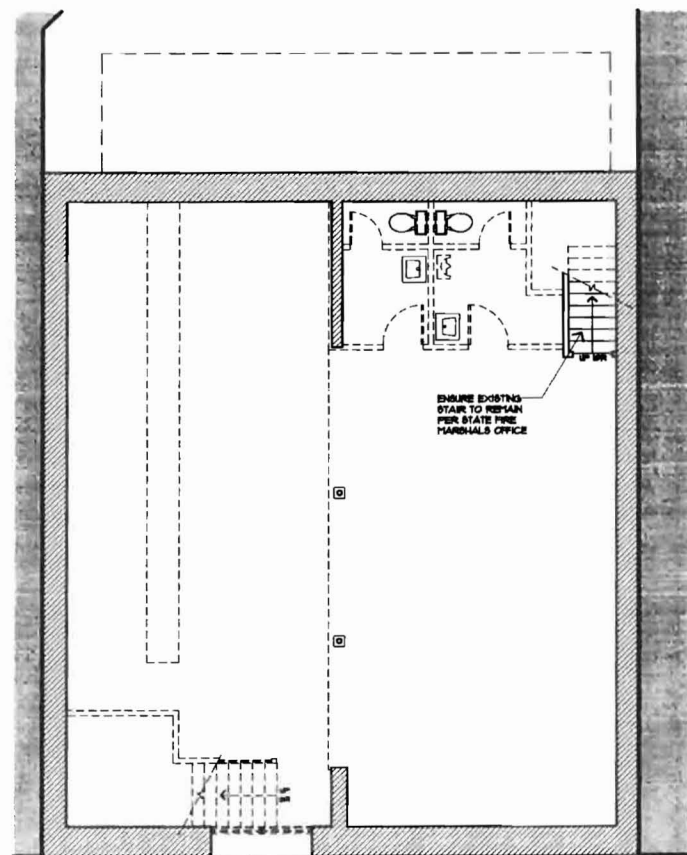
ELC, INC.
42 Market Street
Portland, Maine



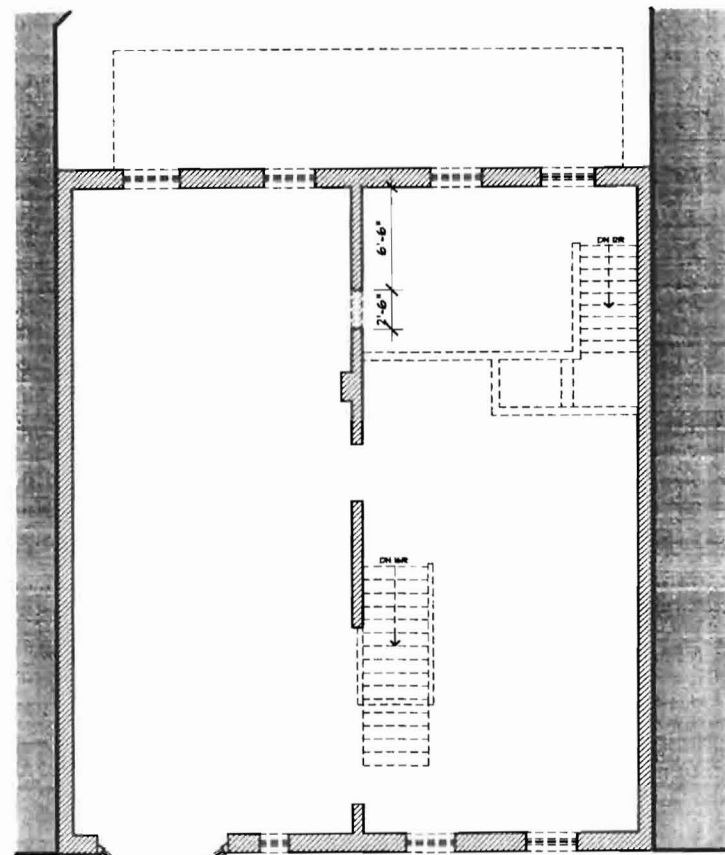
WALL LEGEND

EXISTING WALL	—————
NEW WALL	—————
FIRE RATED WALL	—————
EXISTING WALL TO BE REMOVED	- - - - -

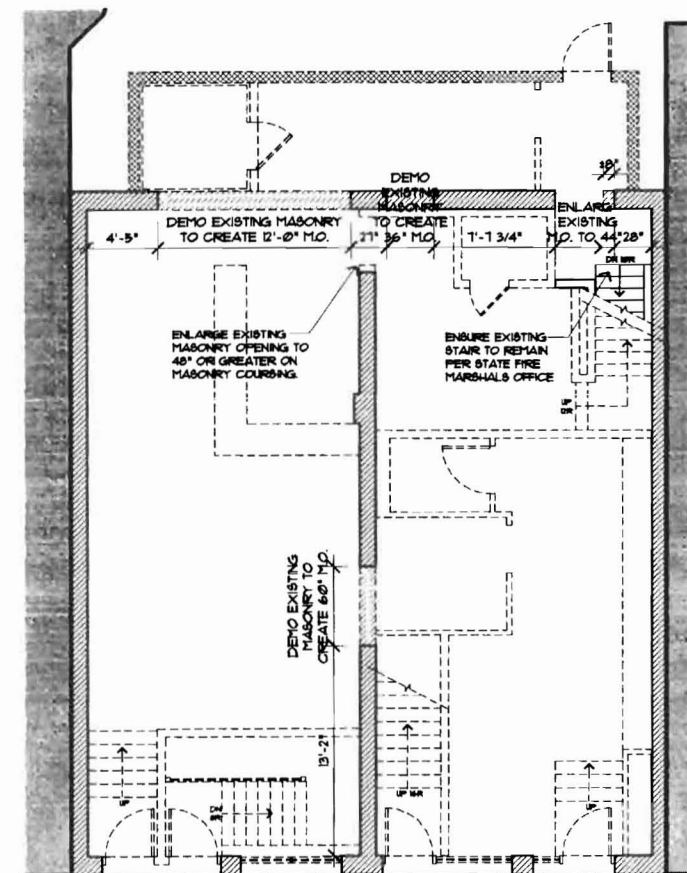
EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LOWER FLOOR DEMO
SCALE: 3/16" = 1'-0"



2ND FLOOR DEMO
SCALE: 3/16" = 1'-0"



1ST FLOOR DEMO
SCALE: 3/16" = 1'-0"

**MARK
MUELLER
ARCHITECTS**
A.I.A.

100 Commercial Street
Suite 205
Portland, Maine 04101
Phone: 207 774 9057
Fax: 207 773 3951
Email: mark@muel-
architects.com

RENOVATION OF:
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

DEMO PLANS

DATE: _____
DEC 18 2007

PROJECT: _____
DRAWN BY: _____
SCALE: _____
CHECK BY: _____
MUM

FOR CONSTRUCTION: MARCH 30, 2009

EC-1.1

GENERAL NOTES:

1. THE SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, NFPA 99, ANSI, UFAS, HUD/VG, ADA/VG, NFPA.
2. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
3. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
4. ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
5. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN RECYCLE/TRASH, JANITOR CLOSETS, AND ALL OTHER HIGH HUMIDITY AREAS, INCLUDING UNIT BATHROOMS.
6. ALL CALKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
7. INSTALL UL FIRE-STOPPING SEALANT/SYSTEM EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
8. FIRESTOP VERTICAL MECHANICAL CHANGES = FLOOR & CEILING PENETRATIONS, CALK JOINTS.
9. CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, ELEVATOR, STAIRWELL WALLS, ETC.

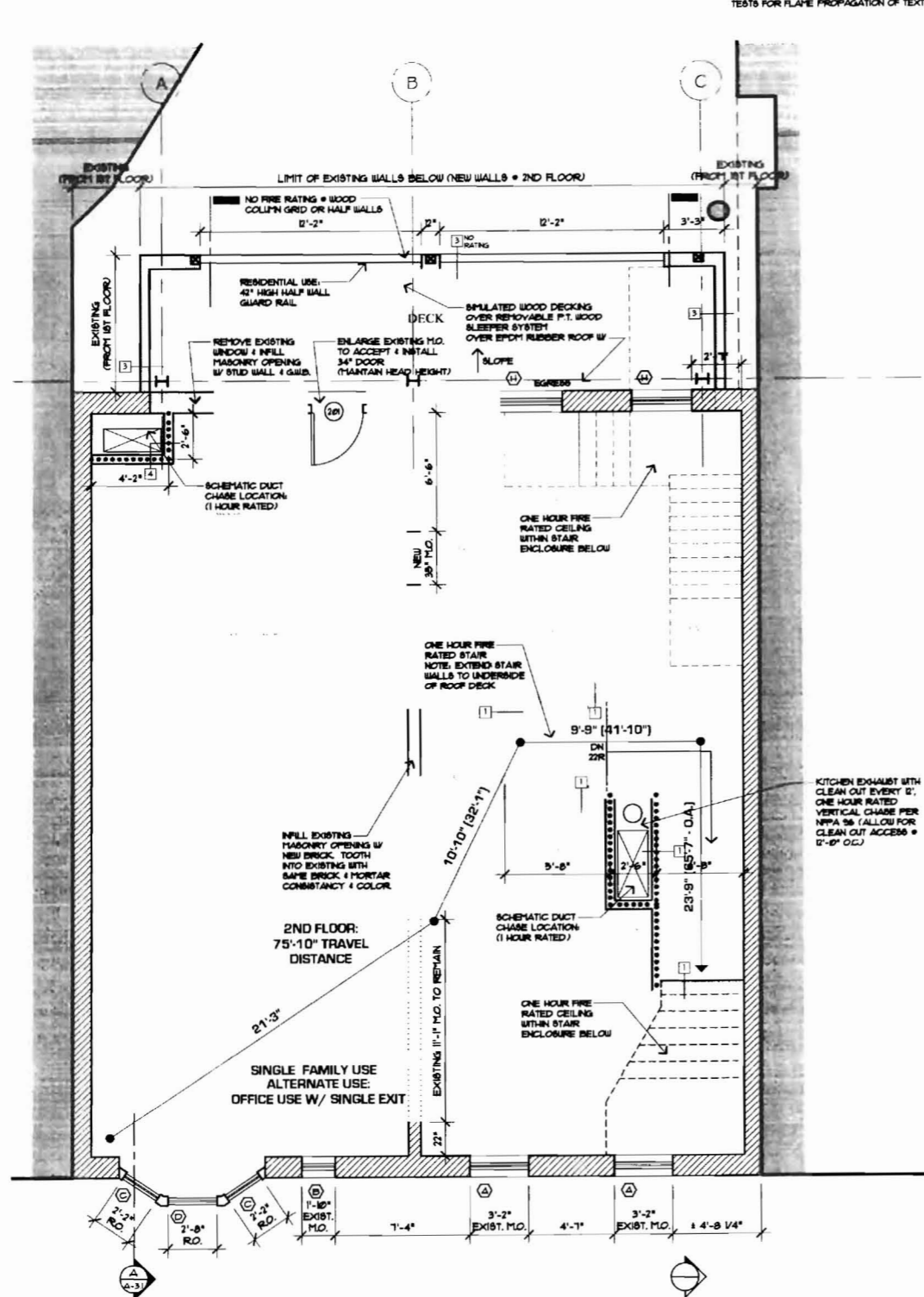
PROJECT NOTES:

1. SCOPE OF WORK: THE PROJECT INCLUDES THE INTERIOR FIT-UP & FACADE RENOVATION FOR 30 MARKET STREET
2. ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70. ALL LIFE SAFETY INTEGRATION W/ THE EXISTING SHALL MEET NFPA 72.
3. ALL NEW INTERIOR FINISHES SHALL MEET: WALLS & CEILING: CLASS A OR B FLOOR FINISHES: NOT LESS THAN CLASS II. FURNITURE, FIXTURES AND EQUIPMENT: SHALL BE FLAME RESISTANT AND MEET NFPA 703, STANDARD METHODS OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES AND FILMS.

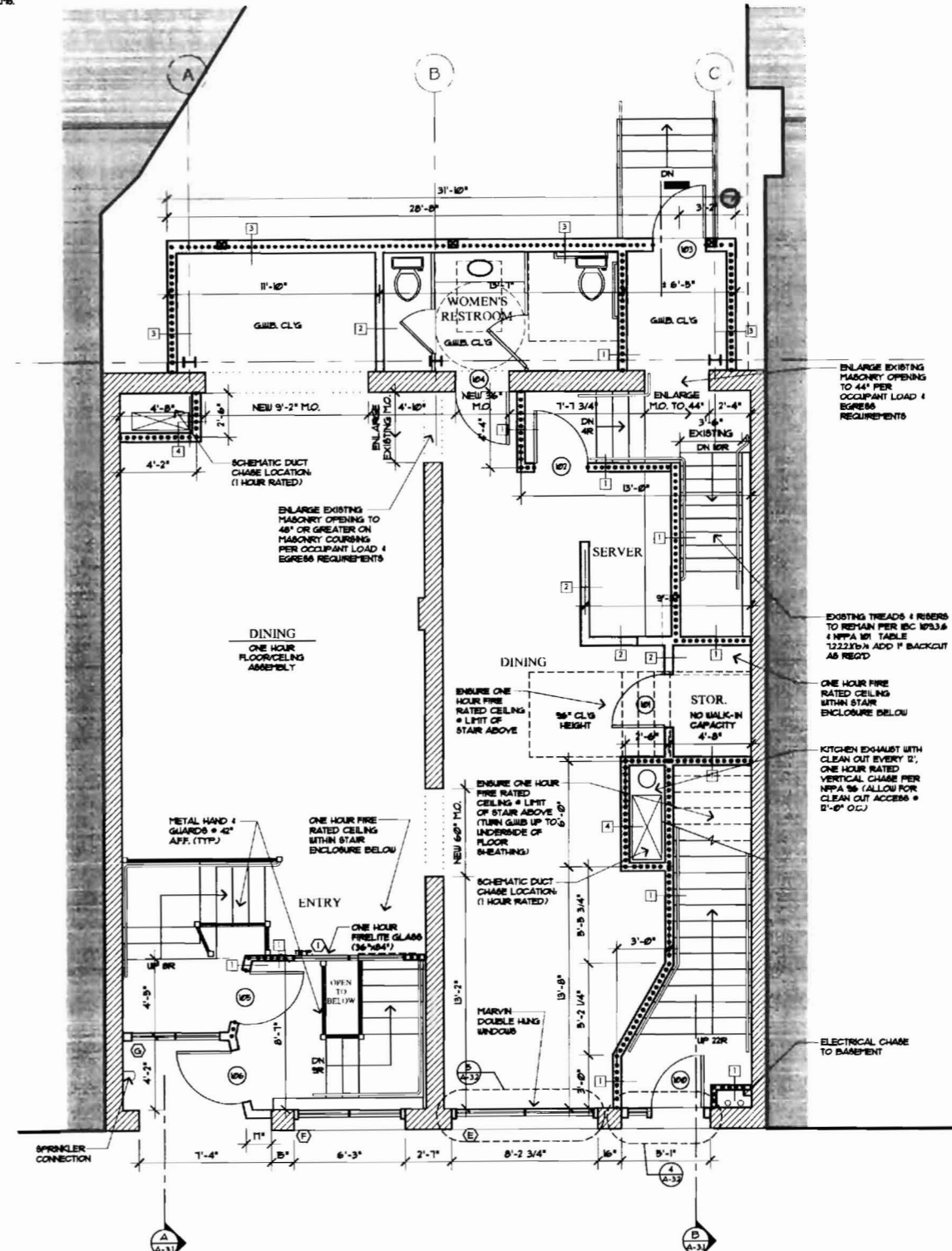
NOTE:
 NEW MECHANICAL SYSTEM - YES
 NEW ELECTRICAL SYSTEM - YES
 NEW SPRINKLER SYSTEM - YES, NFPA 13
 NEW PLUMBING SYSTEM - YES

WALL LEGEND

EXISTING WALL	=====
NEW WALL	=====
FIRE RATED WALL	=====
EXISTING WALL TO BE REMOVED	-----



PROPOSED 2ND FLOOR
 SCALE: 1/4" = 1'-0"



PROPOSED 1ST FLOOR
 SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION: MARCH 30, 2009



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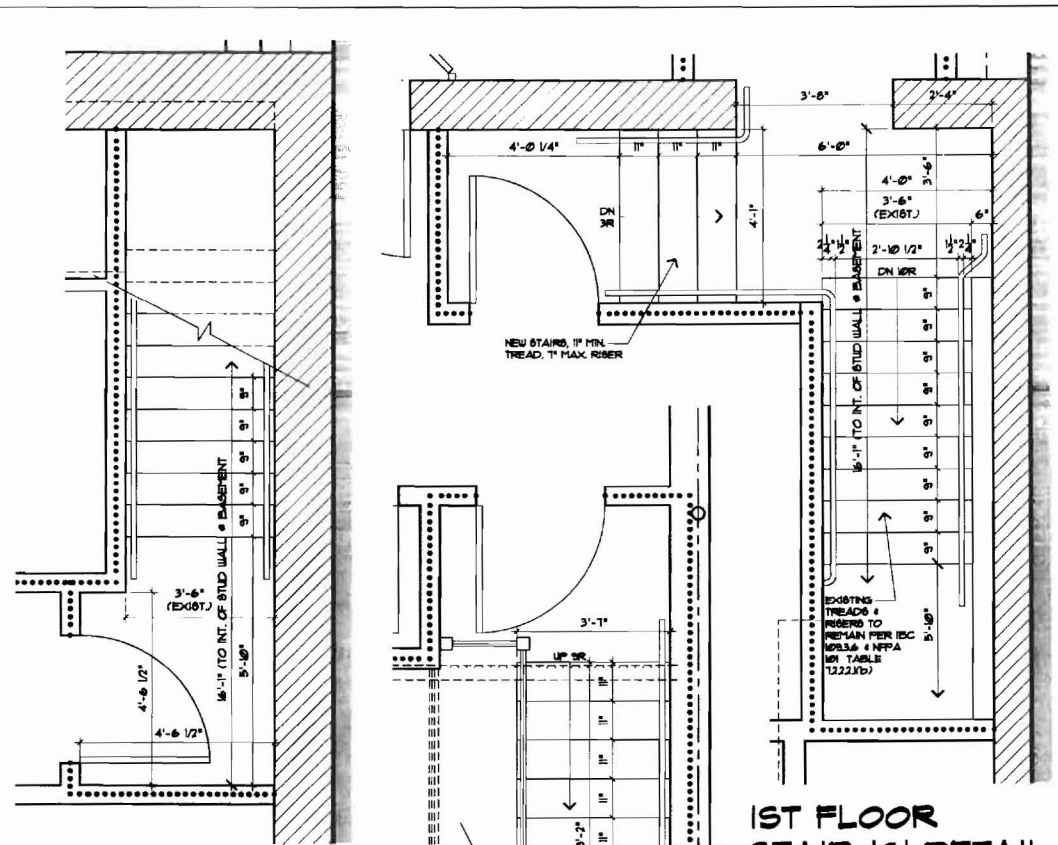
30 MARKET STREET
 30 MARKET ST.
 PORTLAND, MAINE

RENOVATION OF:

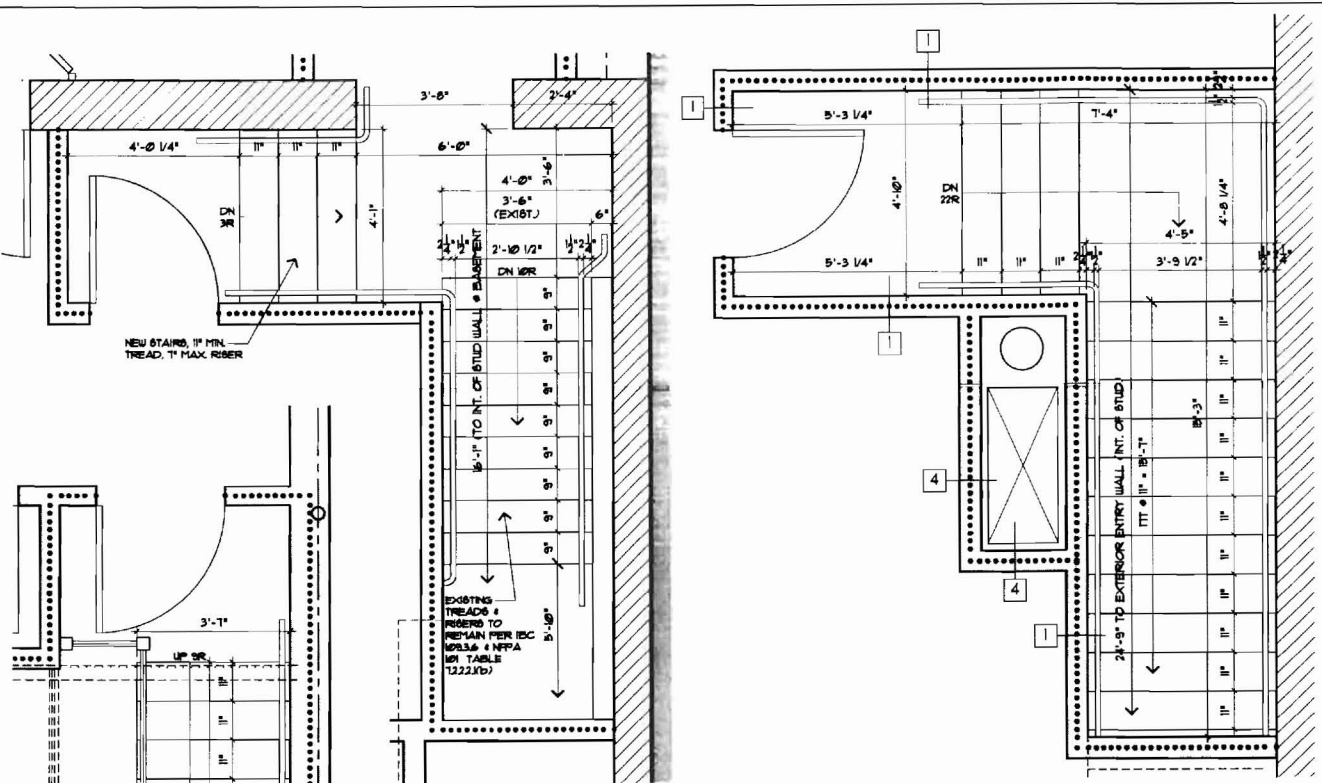
FLOOR PLANS

DATE: DEC 19 2007
 PROJECT: 30 MARKET
 DRAWN BY: MUM

A-1.1

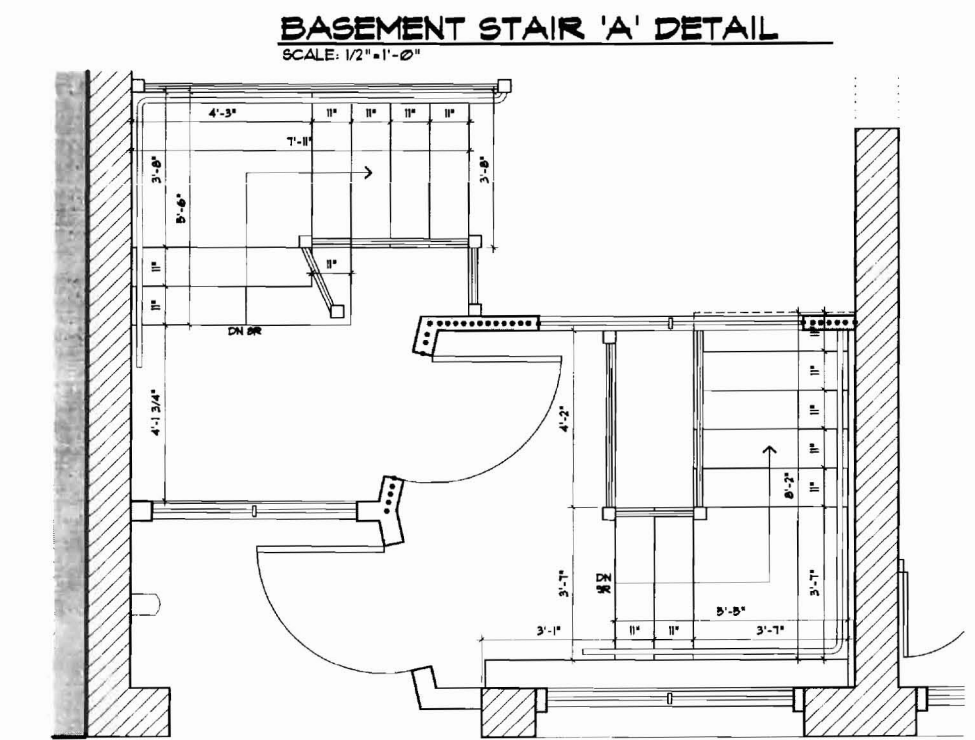


BASEMENT STAIR 'C' DETAIL
SCALE: 1/2" = 1'-0"



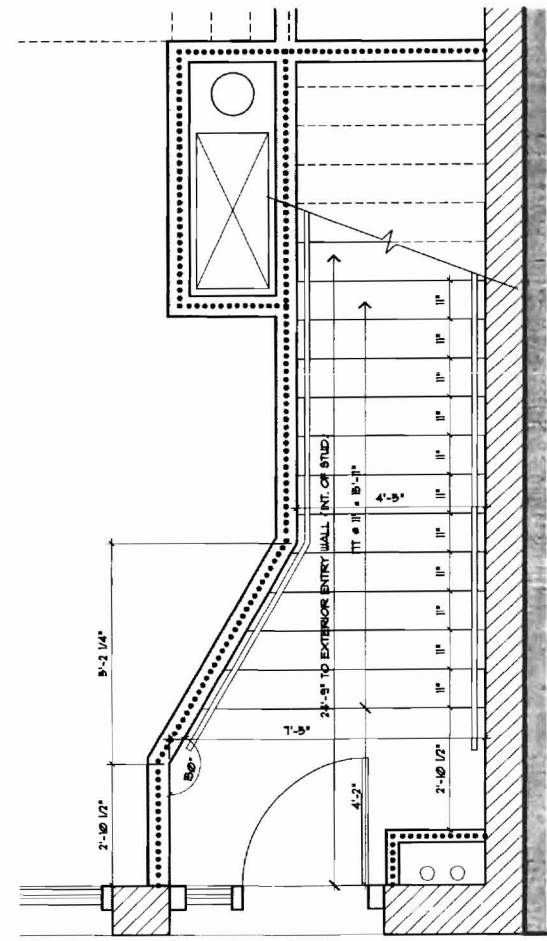
1ST FLOOR STAIR 'C' DETAIL
SCALE: 1/2" = 1'-0"

2ND FLOOR STAIR 'B' DETAIL
SCALE: 1/2" = 1'-0"



BASEMENT STAIR 'A' DETAIL
SCALE: 1/2" = 1'-0"

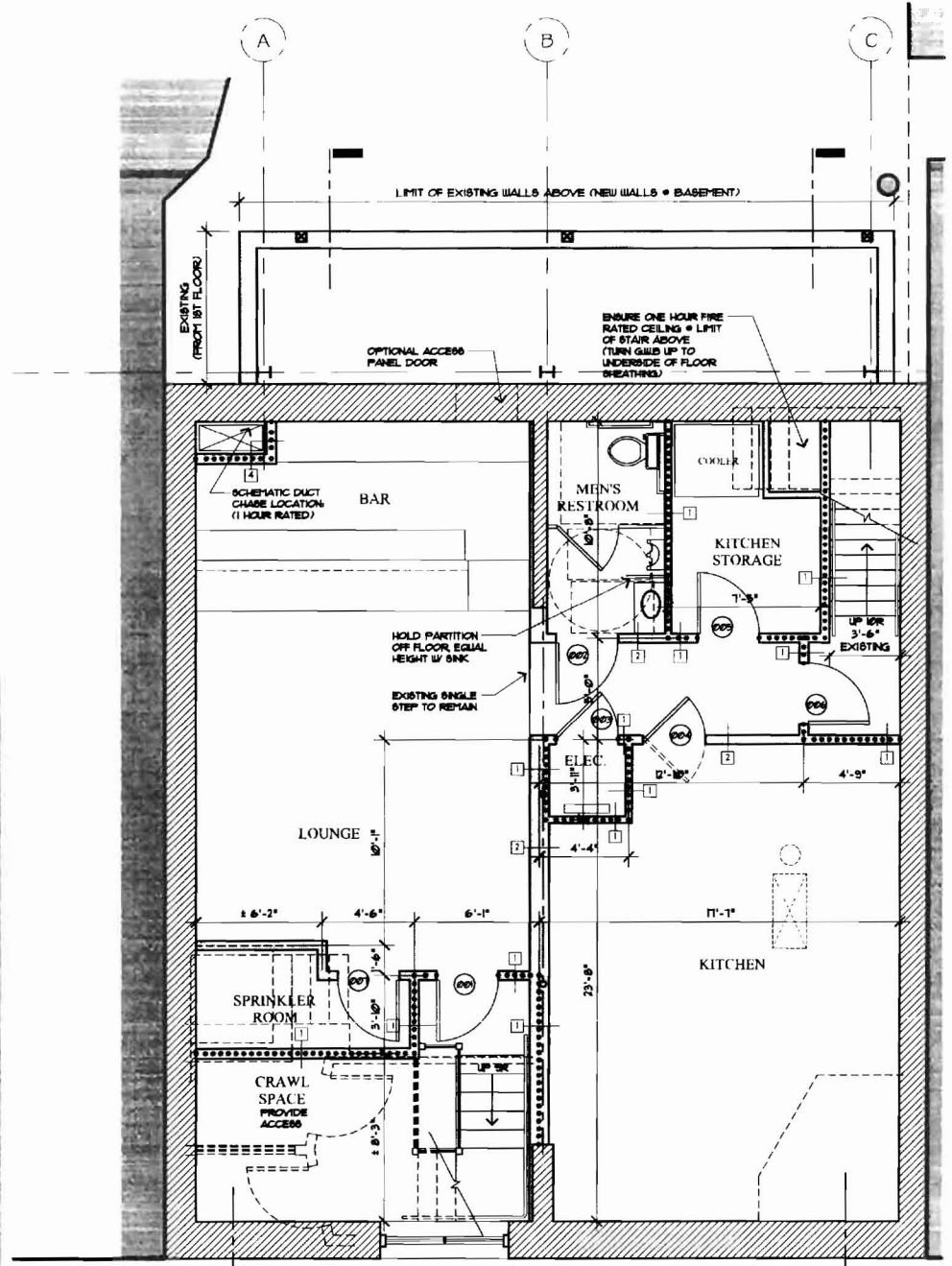
1ST FLOOR STAIR 'A' DETAIL
SCALE: 1/2" = 1'-0"



1ST FLOOR STAIR 'B' DETAIL
SCALE: 1/2" = 1'-0"

WALL LEGEND

EXISTING WALL	---
NEW WALL	=====
FIRE RATED WALL	-----
EXISTING WALL TO BE REMOVED	----



PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION: MARCH 30, 2009



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



30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

RENOVATION OF:

FLOOR PLANS





REVISIONS	
DATE	DEC 10 2007
PROJECT	30 MARKET
DESIGNED BY	MM
CHECKED BY	MM

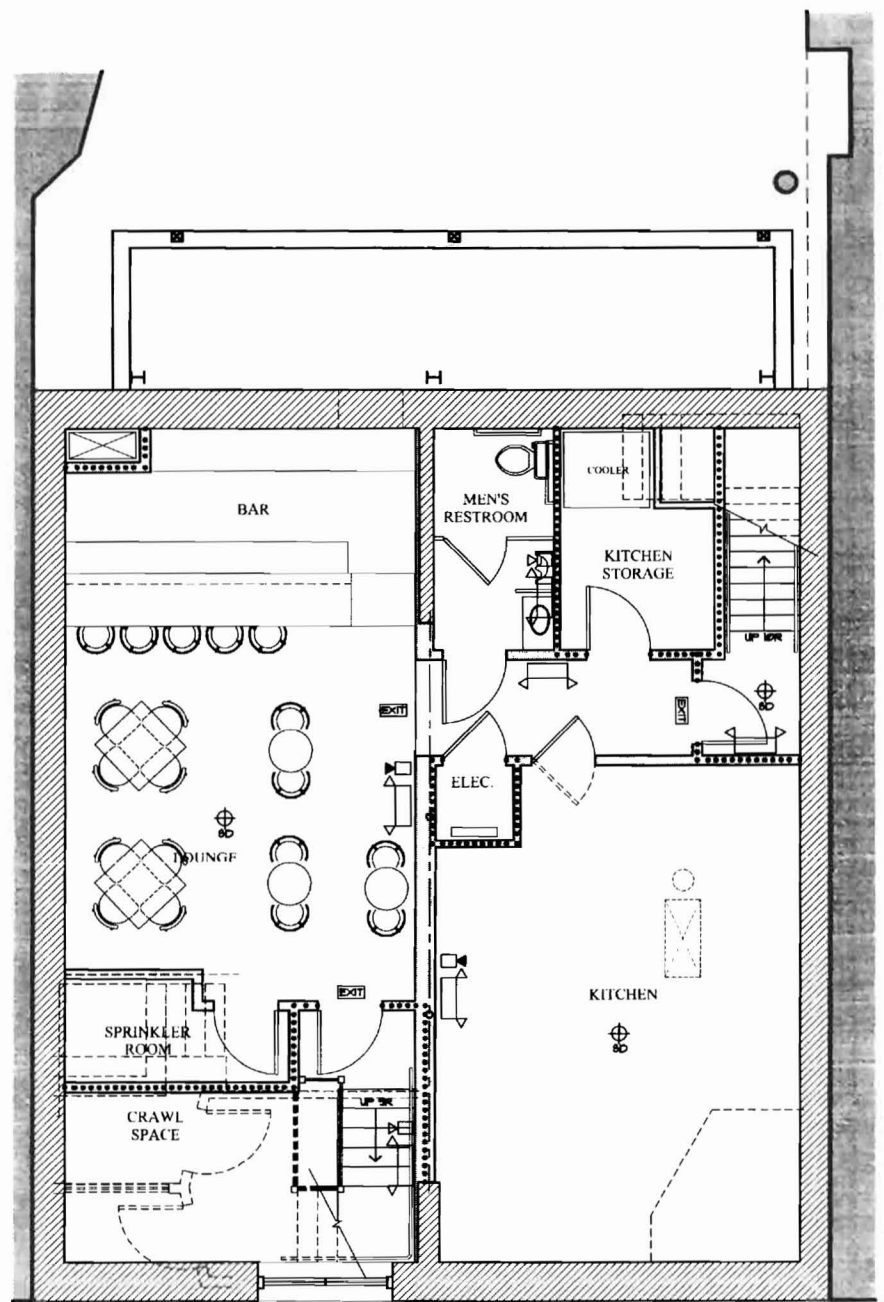
LIFE SAFETY LEGEND:

-  EMERGENCY BACKUP LIGHT
-  DATAPHONE OUTLET
-  ELECTRICAL OUTLET
-  EXIT LIGHT
-  SMOKE DETECTOR
-  HORN/STRIKER
-  STRIKER
-  FIRE EXTINGUISHER IN REQUIRED CABINET
-  PULL STATION
-  FIRE ALARM CONTROL PANEL

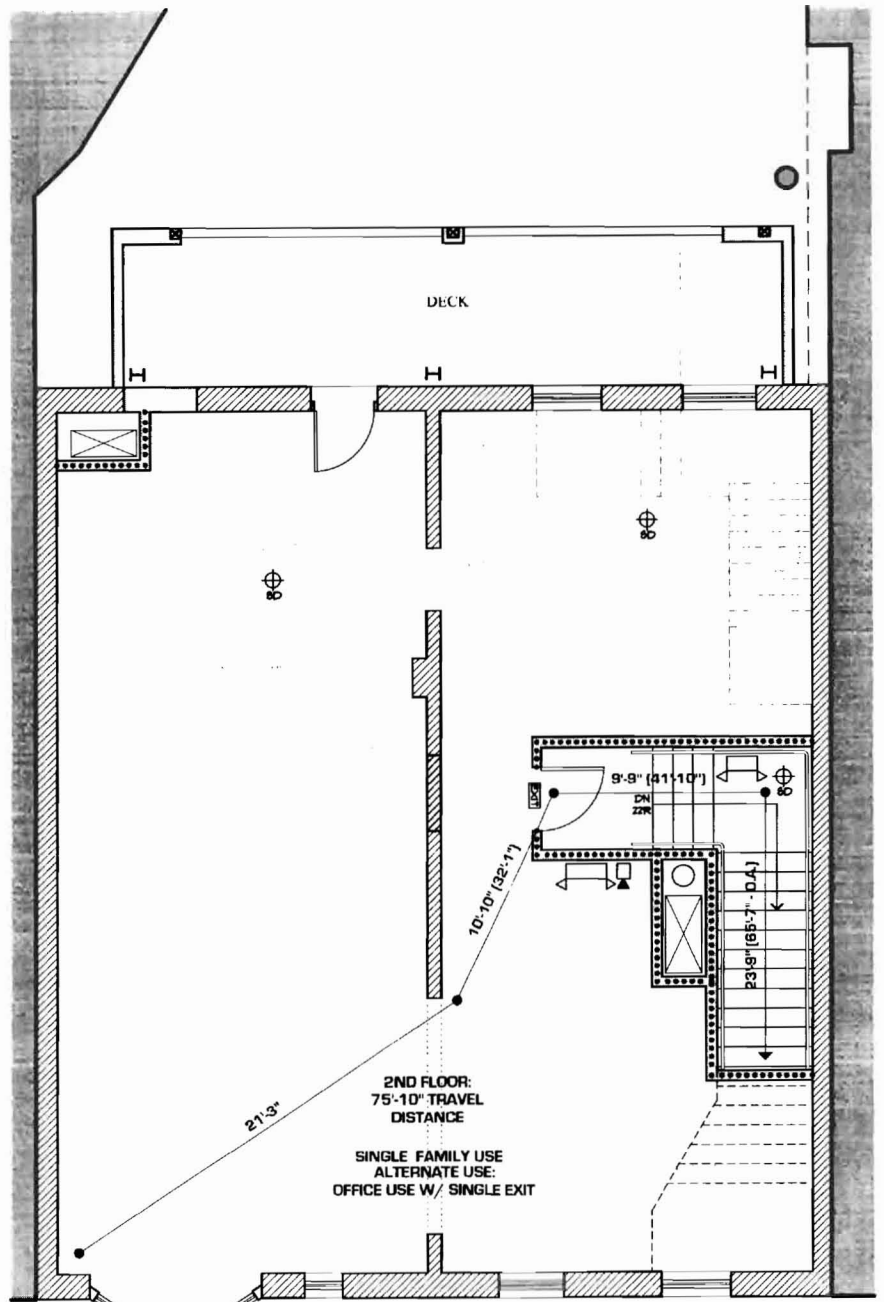
-LIFE SAFETY AND FIRE ALARM SYSTEMS SHALL BE INSTALLED PER NFPA 72
 -ALL STROKES TO BE 3/8" CIRCULAR UNLESS OTHERWISE NOTED

WALL LEGEND

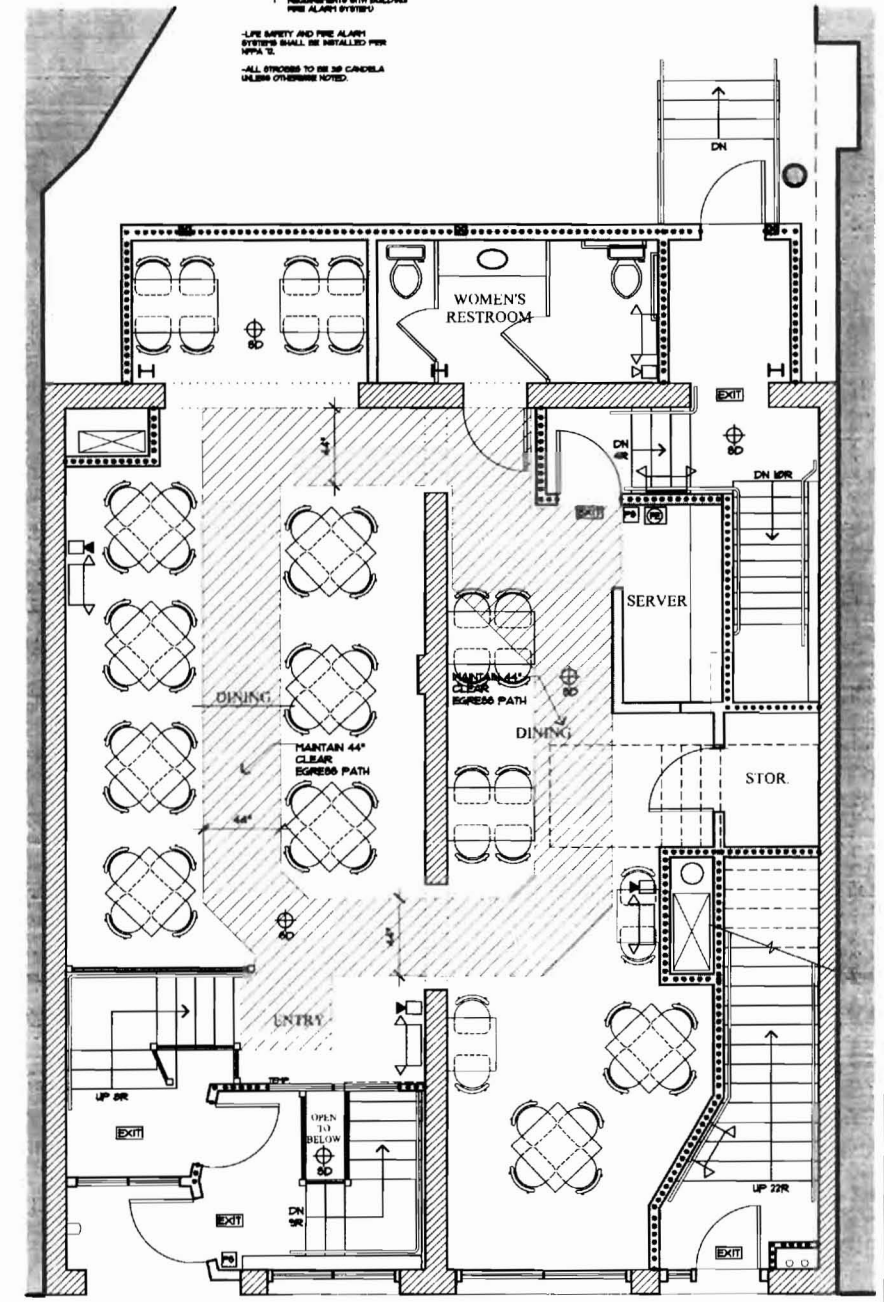
- EXISTING WALL 
- NEW WALL 
- FIRE RATED WALL 
- EXISTING WALL TO BE REMOVED 



BASEMENT LIFE SAFETY
 SCALE: 1/4"=1'-0"



2ND FLOOR LIFE SAFETY
 SCALE: 1/4"=1'-0"



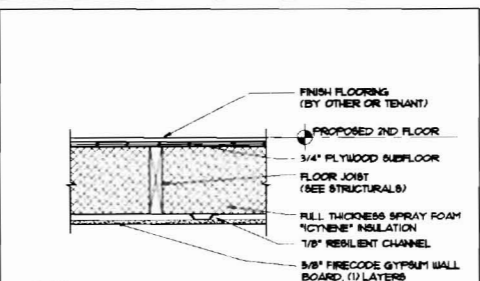
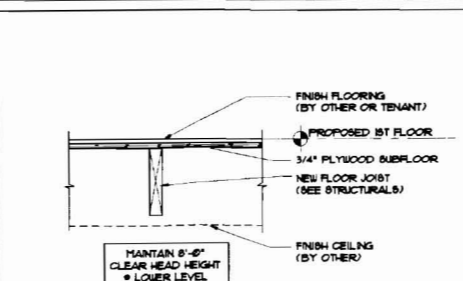
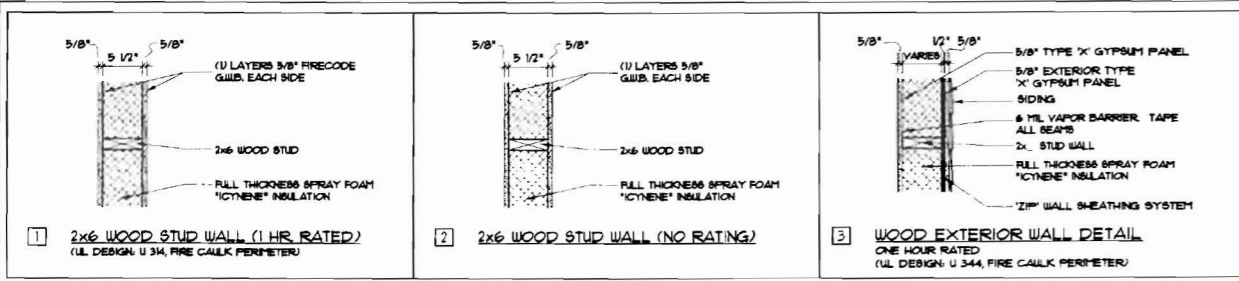
1ST FLOOR LIFE SAFETY
 SCALE: 1/4"=1'-0"

FOR CONSTRUCTION: MARCH 30, 2009

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RENOVATION OF:
30 MARKET STREET
 30 MARKET ST.
 PORTLAND, MAINE

LIFE SAFETY / EGRESS
 PREPARED BY: [Signature]
 CHECKED BY: [Signature]



IBC 2003: CODE DATA

OCCUPANT LOAD	124 PEOPLE
USE GROUP CLASSIFICATION	ASSEMBLY (A-2), R-3 or B
TYPE OF CONSTRUCTION	3B
TENANT SPACE AREA	4,318 SF.
BUILDING AREA LIMITATION - SQ. FT.	N/A
STREET FRONTAGE INCREASE (150%) - SQ. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM (INCREASE 200%) - SQ. FT.	SPRINKLERED
ALLOWABLE BUILDING AREA - SQ. FT.	N/A
BUILDING HEIGHT	28'
FIRE SUPPRESSION:	SPRINKLERED
FIRE WALLS & PARTY WALLS	EXISTING TO REMAIN
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR
EXIT ACCESS CORRIDORS	0 HOUR
INTERIOR LOAD BEARING WALLS	0 HR
STRUCTURAL MEMBER SUPPORTING WALL	0 HR
FLOOR CONSTRUCTION	1 HOUR BETWEEN A-2 & B/R
ROOF CONSTRUCTION	0 HR

GENERAL NOTES:
NFPA 101 SEC. 382.4.2.3
ALLOWS ONE EGRESS
STAIR FROM 'B' & 'R' USE

OCCUPANT LOADS:

1ST FLOOR:
OCCUPANT LOAD FOR ASSEMBLY USE - 80 PEOPLE
GROSS FLOOR = 1564 SF.
TABLE 1024.1.2 - 100 GROSS (8 PEOPLE)

2ND FLOOR:
OCCUPANT LOAD FOR RESIDENTIAL USE - 8 PEOPLE
GROSS FLOOR = 1564 SF.
TABLE 1024.1.2 - 200 GROSS (8 PEOPLE)

2ND FLOOR, OPTIONAL:
OCCUPANT LOAD FOR BUSINESS USE - 16 PEOPLE
GROSS FLOOR = 1564 SF.
TABLE 1024.1.2 - 100 GROSS (16 PEOPLE)

BASEMENT:
OCCUPANT LOAD FOR ASSEMBLY USE - 24 PEOPLE
GROSS FLOOR = 384 SF. (KIT.) + 327 SF. (REST.)
TABLE 1024.1.2 - KITCHEN - 200 GROSS (2 PEOPLE)
TABLE 1024.1.2 - RESTAURANT - 10 NET (2 PEOPLE)

NFPA 101: CODE DATA

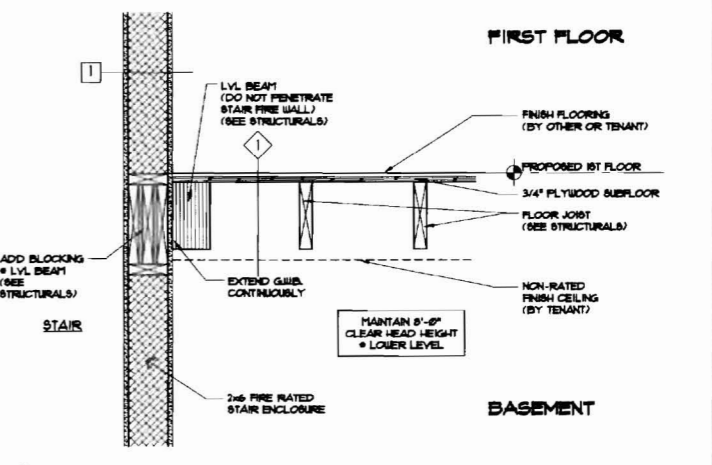
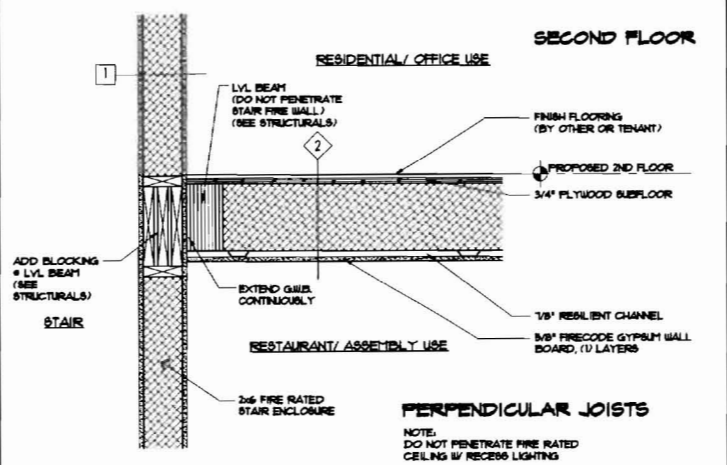
OCCUPANT LOAD	124 PEOPLE
USE GROUP CLASSIFICATION	ASSEMBLY (A-2), R or B
TYPE OF CONSTRUCTION	TYPE 3 (020)
ACTUAL BUILDING AREA	4,318 SF.
BUILDING HEIGHT	28'
FIRE SUPPRESSION:	SPRINKLERED
FIRE WALLS & PARTY WALLS	EXISTING TO REMAIN
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR
EXIT ACCESS CORRIDORS	0 HOUR
INTERIOR LOAD BEARING WALLS	0 HOUR
STRUCTURAL MEMBER SUPPORTING WALL	0 HOUR
FLOOR CONSTRUCTION	1 HOUR BETWEEN A-2 & B/R
ROOF CONSTRUCTION	0 HOUR

GENERAL NOTES:
USE GROUP 'R' TO BE ONE/ TWO FAMILY
DUELLING UNIT

NFPA 101 SEC. 382.4.2.3
ALLOWS ONE EGRESS
STAIR FROM 'B' & 'R' USE

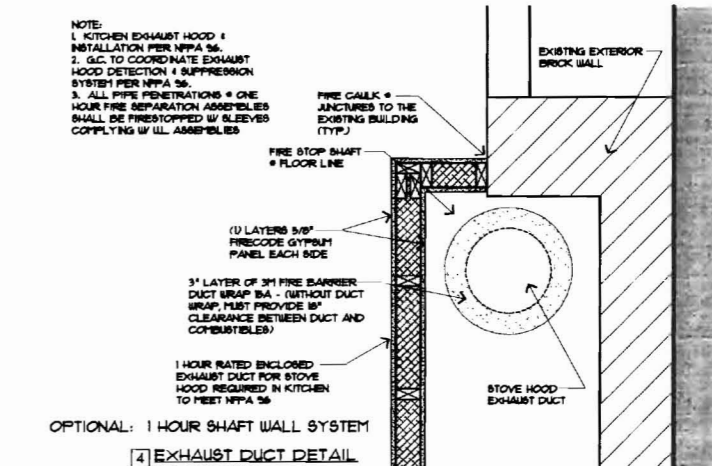
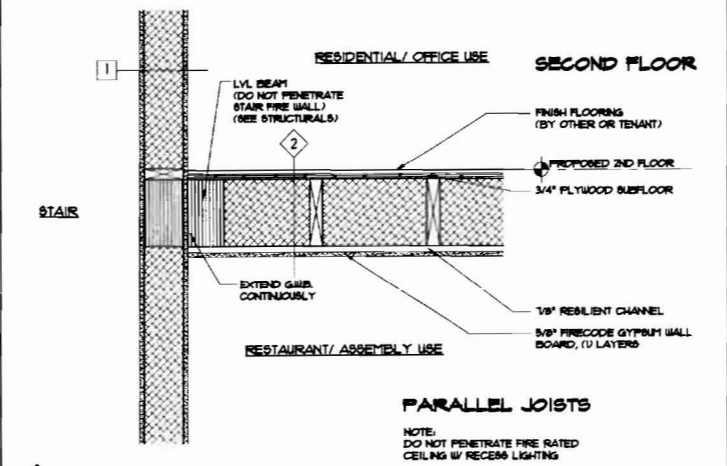
1 FLOOR/CEILING ASSEMBLY
NON RATED

2 FLOOR/CEILING ASSEMBLY
ONE HOUR RATED: U.L. L909



3 FLOOR/CEILING ASSEMBLY
ONE HOUR RATED - BOTH NEW & EXIST - U.L. L502 (TYP. - SHAFT WALL/CEILING)

3 FLOOR/CEILING ASSEMBLY
NON-RATED



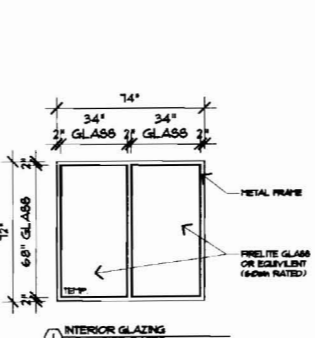
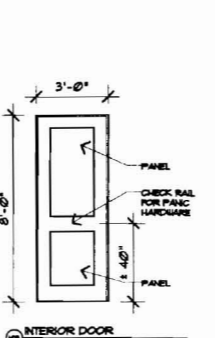
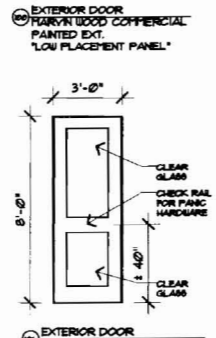
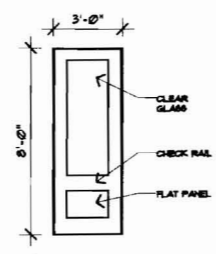
4 FLOOR/CEILING ASSEMBLY
ONE HOUR RATED - BOTH NEW & EXIST - U.L. L902 (TYP. - SHAFT WALL/CEILING)

4 EXHAUST DUCT DETAIL
ONE HOUR RATED

DOOR SCHEDULE

DOOR SCHEDULE ABBREVIATIONS:
NC - SOLID CORE
NL - METAL
DM.T. - DIVIDED LITE
SHR. - SHUTTER DOOR
FLUSH - FLUSH
HPL - HOLLOW METAL

NO.	TYPE	DOORS			FRAMES			THRESHOLD		REMARKS
		SIZE	THK.	FR.	MAT.	TYPE	MAT.	FR.	DETAILS	
001		3'-0" x 6'-0"	1 1/4"	1 HR	WOOD	HPL	1 HR			CLOSER W/ MAGNETIC HOLD BACK, PANIC HARDWARE
002		3'-0" x 6'-0"	1 1/4"		WOOD	HPL				LEVER HARDWARE, CLOSER
003		3'-0" x 6'-0"	1 1/4"	48 MIN.	WOOD	HPL	48 MIN.			LEVER HARDWARE, CLOSER
004		3'-0" x 6'-0"	1 1/4"		HPL	HPL				DOUBLE ACTING 2 1/4" KICKPLATE BOTH SIDES, 5"x8" VISION PANEL
005		3'-0" x 6'-0"	1 1/4"	48 MIN.	HPL	HPL	48 MIN.			LEVER HARDWARE, KICKPLATE (HALL SIDE), CLOSER
006		3'-0" x 6'-0"	1 1/4"	1 HR	HPL	HPL	1 HR			CLOSER W/ OPTIONAL HOLD BACK, PANIC HARDWARE, KICK PLATE, 1 1/2" x 8" VISION PANEL
007		3'-0" x 6'-0"	1 1/4"		HPL	WOOD				CLOSER LEVER HARDWARE, KICK PLATE & LOCKSET
100		3'-0" x 8'-0"	1 1/4"		WOOD	HPL				LEVER HARDWARE (MARVIN COMMERCIAL DOOR)
101		3'-0" x 8'-0"	1 1/4"		WOOD	HPL				LEVER HARDWARE, CLOSER
102		3'-0" x 6'-0"	1 1/4"	1 HR	WOOD	HPL	1 HR			PANIC HARDWARE, CLOSER, OPTIONAL MAGNETIC HOLDBACK, KICKPLATE, 1 1/2" VISION PANEL
103		3'-0" x 6'-0"	1 1/4"		HPL	HPL				PANIC HARDWARE, CLOSER, KICKPLATE
104		3'-0" x 6'-0"	1 1/4"		WOOD	HPL				LEVER HARDWARE (NO CLOSER)
105		3'-0" x 8'-0"	1 1/4"	1 HR	WOOD	HPL	1 HR			PANIC HARDWARE, CLOSER, MAGNETIC HOLDBACK
106		3'-0" x 8'-0"	1 1/4"		WOOD	HPL				CLOSER AND PANIC HARDWARE (MARVIN COMMERCIAL DOOR)
200		3'-0" x 6'-0"	1 1/4"	1 HR	WOOD	HPL	1 HR			LEVER HARDWARE, CLOSER
201		2'-0" x 6'-0"	1 1/4"		WOOD	WOOD				FRENCH INSULATED PATIO DOOR



WINDOW SCHEDULE

NO.	TYPE	MANUFACTURER	CATALOG NO.	DETAILS			REMARKS
				HEAD	JAMB	SILL	
A	DOUBLE HUNG	MARVIN	WDH2020				VERIFY SIZE WITH EXISTING MASONRY OPENING
B	DOUBLE HUNG	MARVIN	CUSTOM				CUSTOM WINDOW SIZE (8' x 6 1/2'), VERIFY EXISTING RO.
C	DOUBLE HUNG	MARVIN	WDH2020				VERIFY SIZE WITH EXISTING ROUGH OPENING
D	DOUBLE HUNG	MARVIN	WDH2020				VERIFY SIZE WITH EXISTING ROUGH OPENING
E	DOUBLE HUNG	MARVIN	CUSTOM				CUSTOM WINDOW SIZE (48 1/2" x 7 1/4"), VERIFY EXISTING RO.
F	FIXED	CUSTOM					CUSTOM FIXED (BY OTHERS)
G	FIXED	CUSTOM					CUSTOM FIXED (BY OTHERS)
H	DOUBLE HUNG	MARVIN	WDH2020				VERIFY SIZE WITH EXISTING ROUGH OPENING

NOTE:
1. VERIFY ALL EXISTING MASONRY OPENINGS PRIOR TO WINDOW ORDER.
2. SUBMIT WINDOW SUBMITTAL TO ARCHITECT PRIOR TO ORDERING.

FOR CONSTRUCTION: MARCH 30, 2009

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30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

RENOVATION OF:

PLAN DETAILS

A-14

- FACADE RENOVATION NOTES:**
- (A) EXISTING ELECTRICAL SERVICE TO REMAIN (REFURBISH CONDUIT AS NEEDED)
 - (B) REMOVE EXISTING EXTERIOR LIGHTING
 - (C) REMOVE METAL BAR
 - (D) REMOVE SIGNAGE
 - (E) REMOVE SIGNAGE/ & ELECTRICAL CONDUIT
 - (F) EXISTING TIE ROD ESCUTCHEONS TO REMAIN
 - (G) RELOCATE KNOCK BOX TO NEW VESTIBULE
 - (H) REMOVE EXISTING WINDOWS & DOORS
 - (I) MASONRY PIER TO REMAIN
 - (J) PRESERVE GRANITE BASE
 - (K) REMOVE SIDING (BAY FRAME TO REMAIN)



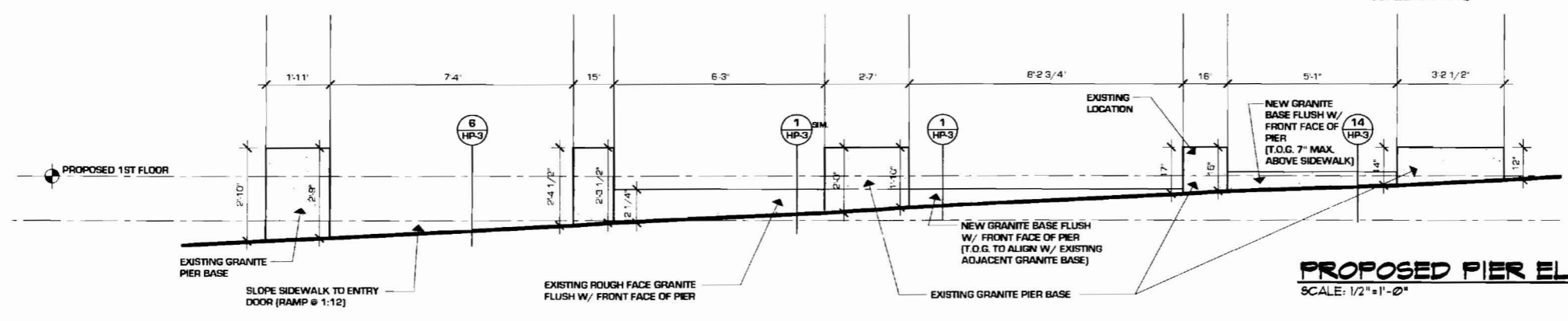
EXISTING ELEVATION
SCALE: 1/4"=1'-0"



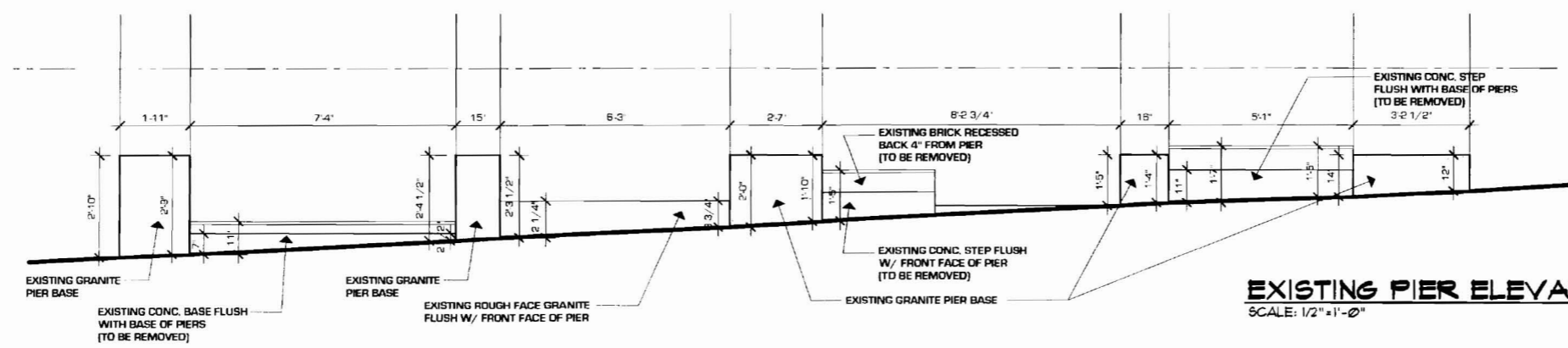
PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

RESTORATION KEY

- BRICK**
- 1. EXISTING DOUBLE WYTHE BRICK FACADE
 - 2. FIRE DEPARTMENT CONNECTION
- GRANITE**
- 3. COLUMN BASE & RUNNING SILLS
 - 4. EXISTING WINDOW HEAD
- WOOD**
- 5. WOOD TRIM FASCIA
 - 6. NEW PANELED WOOD FINISH
 - 7. BAY WINDOW TRIM AND PANEL DESIGN
- DOORS AND WINDOWS**
- 8. NEW 8" WOOD ENTRY DOORS
 - 9. NEW WOOD DOUBLE HUNG WINDOW
 - 9.1. NEW WOOD FIXED MERCANTILE WINDOW
 - 10. NEW WOOD TRANSOM WINDOWS
- MISCELLANEOUS**
- 11. PANEL SIGNAGE LOCATION
 - 12. TENANT SIGNAGE
 - 13. DOUBLE HUNG WINDOWS
 - 14. HALOGEN RECESS DOWN LIGHTS INCANDESCENT WALL SOURCE
 - 15. ELECTRICAL CONDUIT TO REMAIN



PROPOSED PIER ELEVATION
SCALE: 1/2"=1'-0"



EXISTING PIER ELEVATION
SCALE: 1/2"=1'-0"

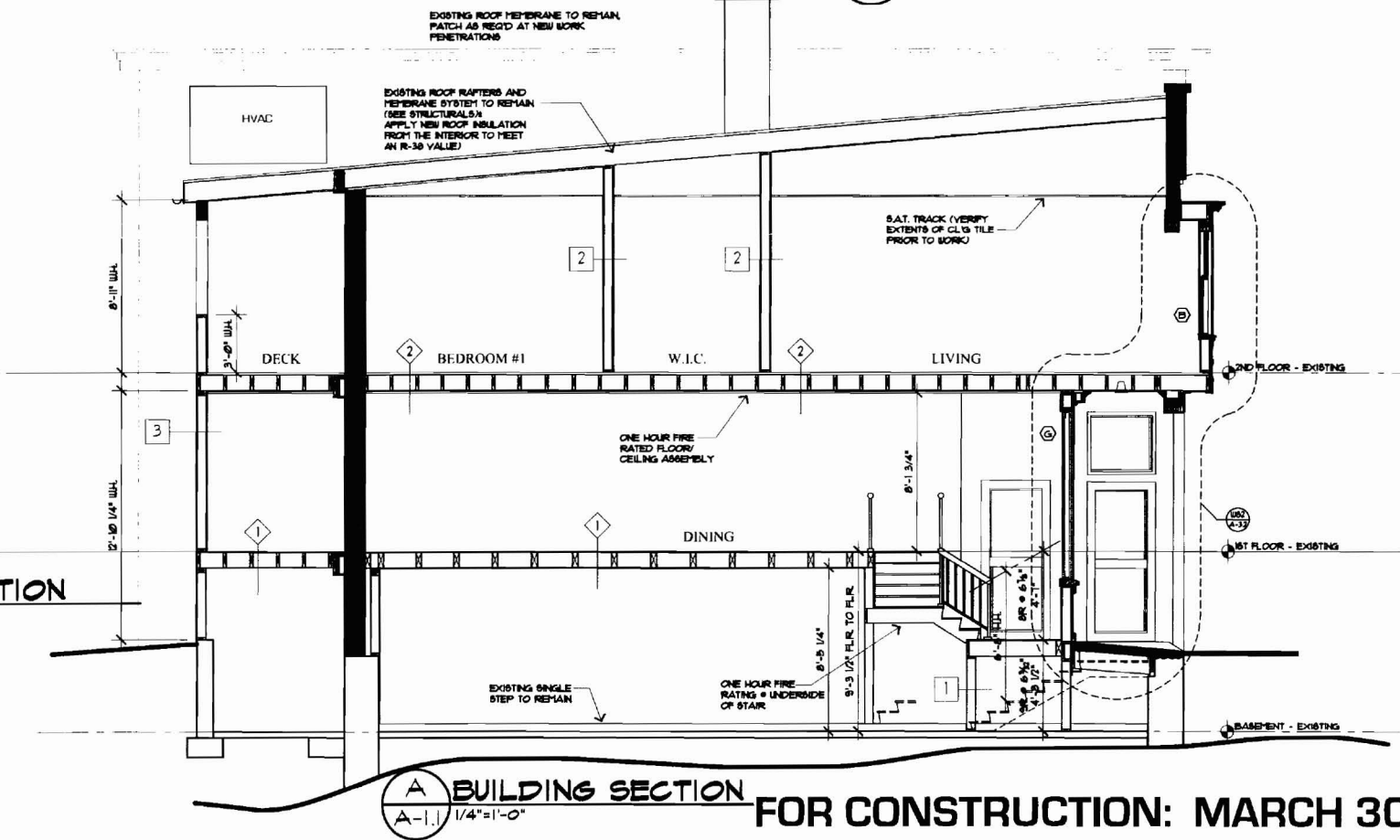
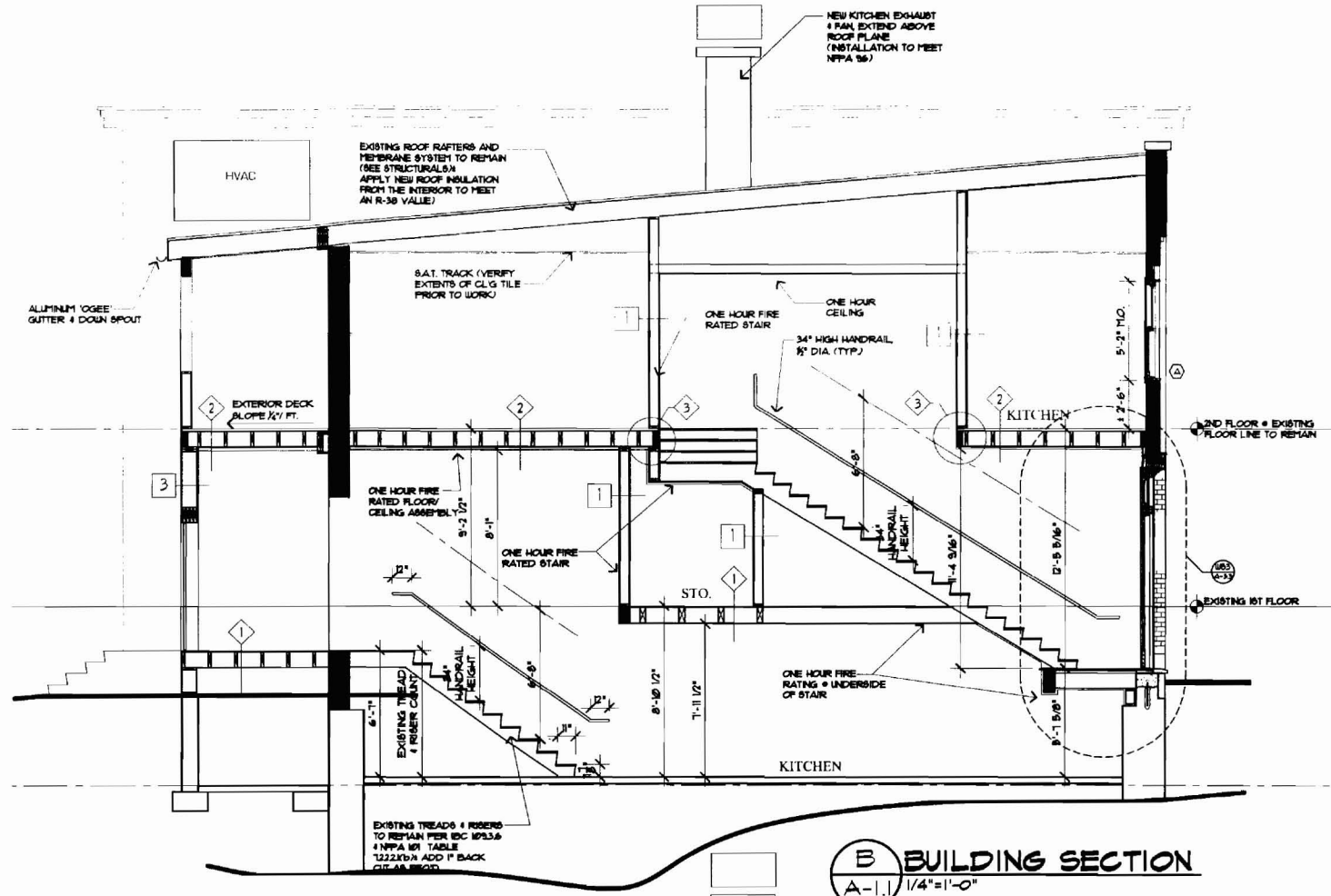
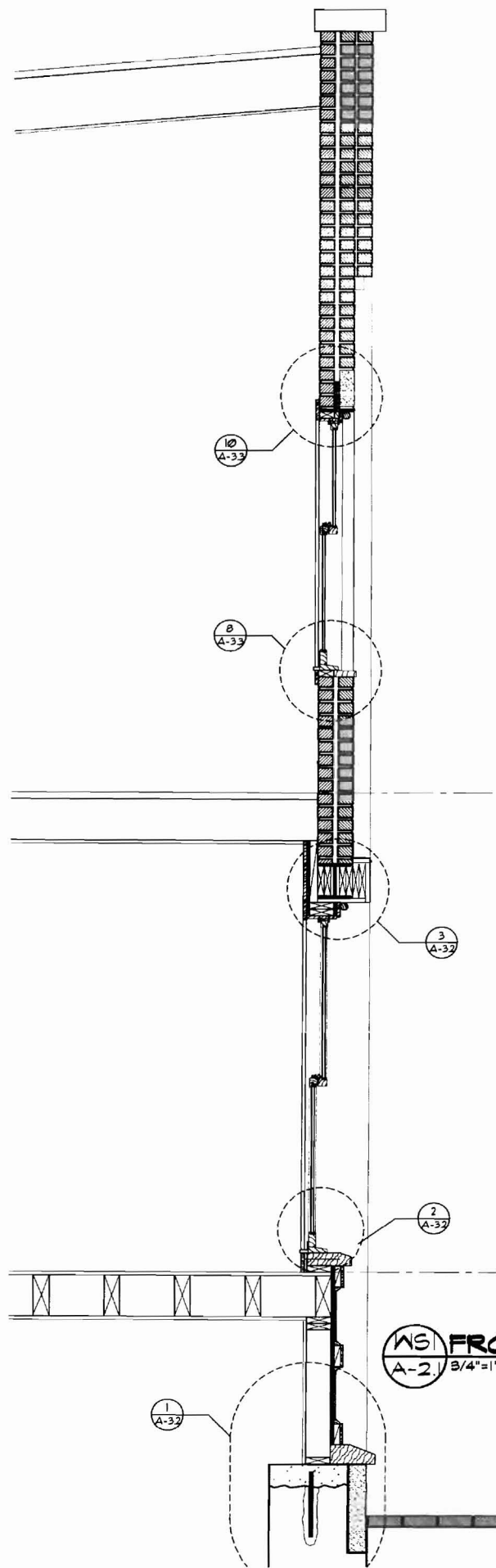
FOR CONSTRUCTION: MARCH 30, 2009

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30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

FLOOR PLANS

A-2.1



FOR CONSTRUCTION: MARCH 30, 2009

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RENOVATION OF:
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

BUILDING SECTIONS

DATE	DEC 19 2007
PROJECT	30 MARKET
DRAWN BY	MJM
CHECKED BY	MJM

A-3.1



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30 MARKET STREET
PORTLAND, MAINE

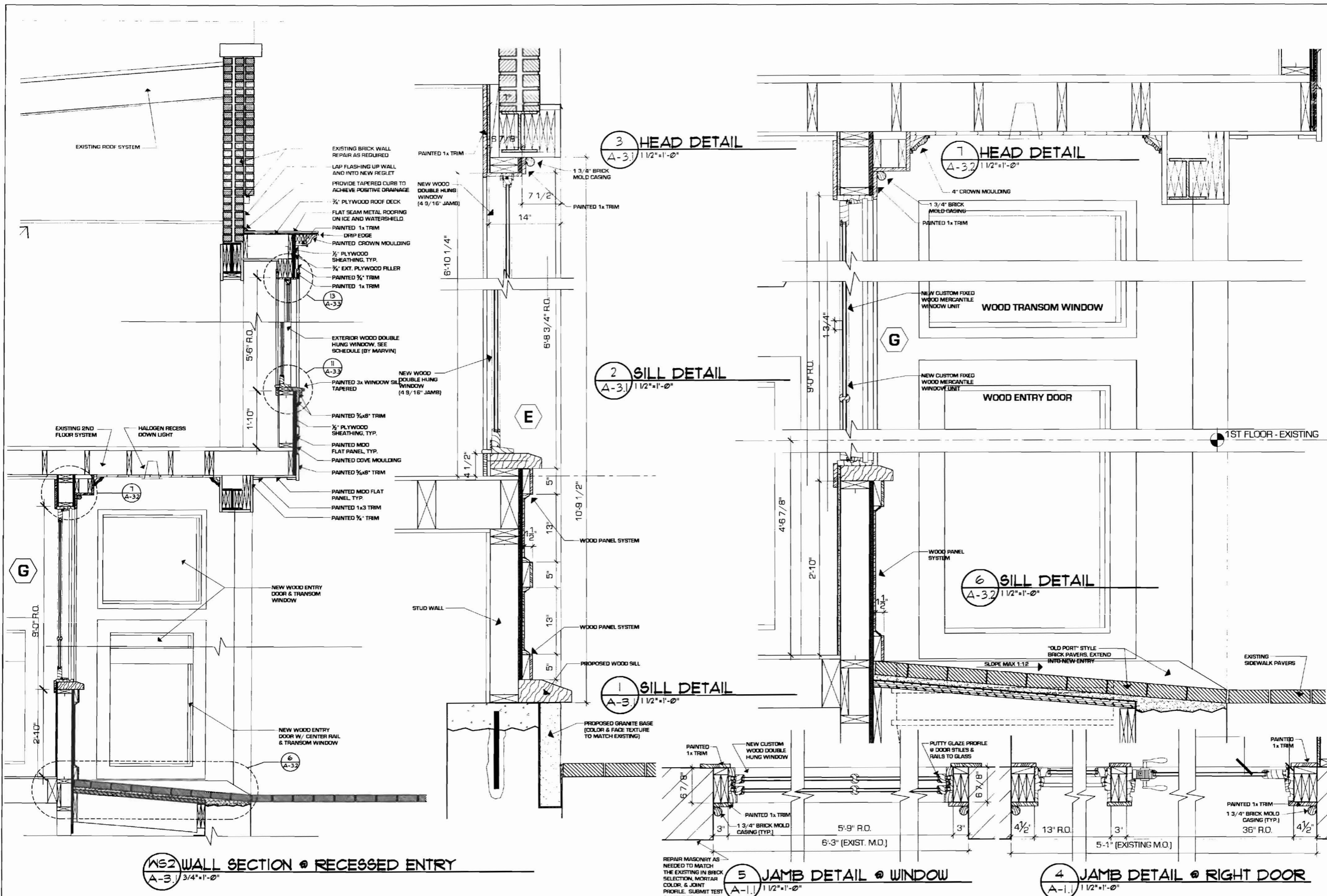
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

RENOVATION OF

BUILDING SECTIONS/ DETAILS

DATE: DEC 13, 2007
DRAWN BY: J. MARK
CHECK BY: J. MARK

A-3.2



WS2 WALL SECTION @ RECESSED ENTRY
A-3.1 3/4" x 1'-0"

1 SILL DETAIL
A-3.1 1 1/2" x 1'-0"

2 SILL DETAIL
A-3.1 1 1/2" x 1'-0"

3 HEAD DETAIL
A-3.1 1 1/2" x 1'-0"

6 SILL DETAIL
A-3.2 1 1/2" x 1'-0"

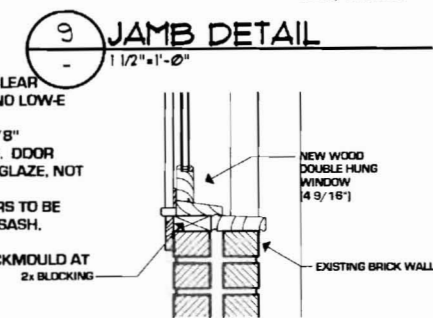
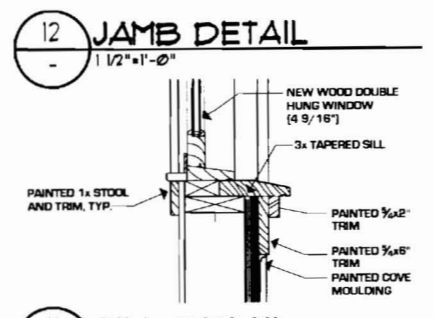
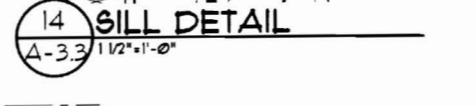
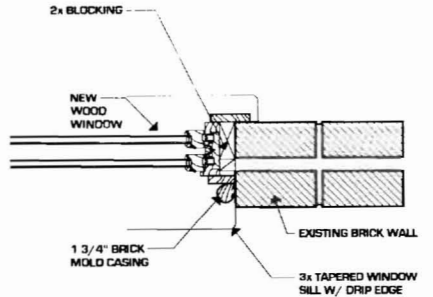
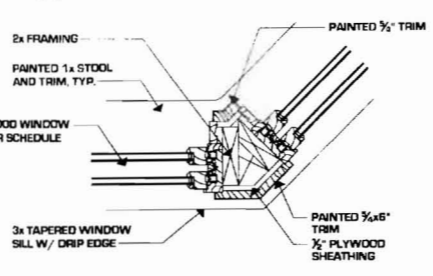
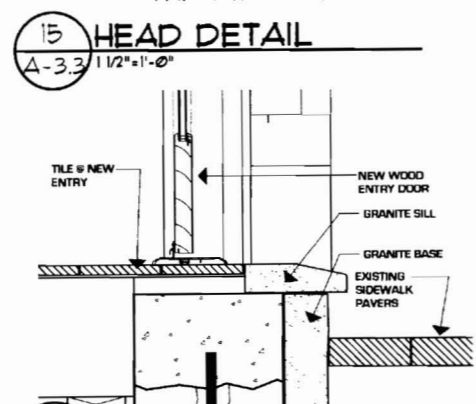
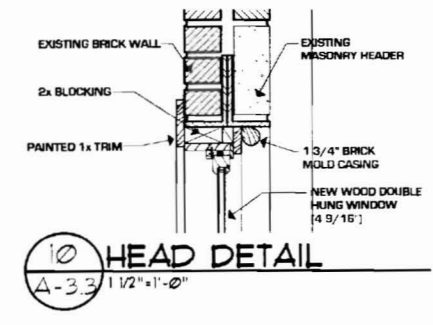
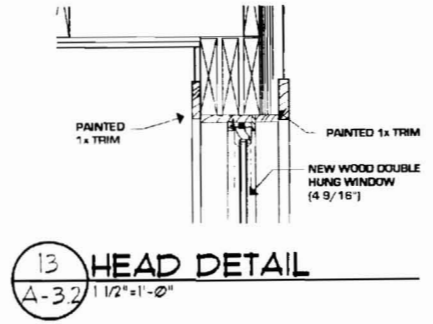
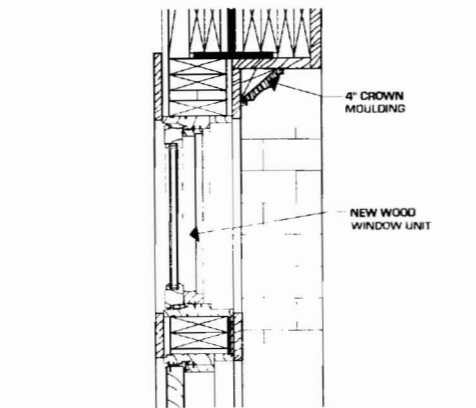
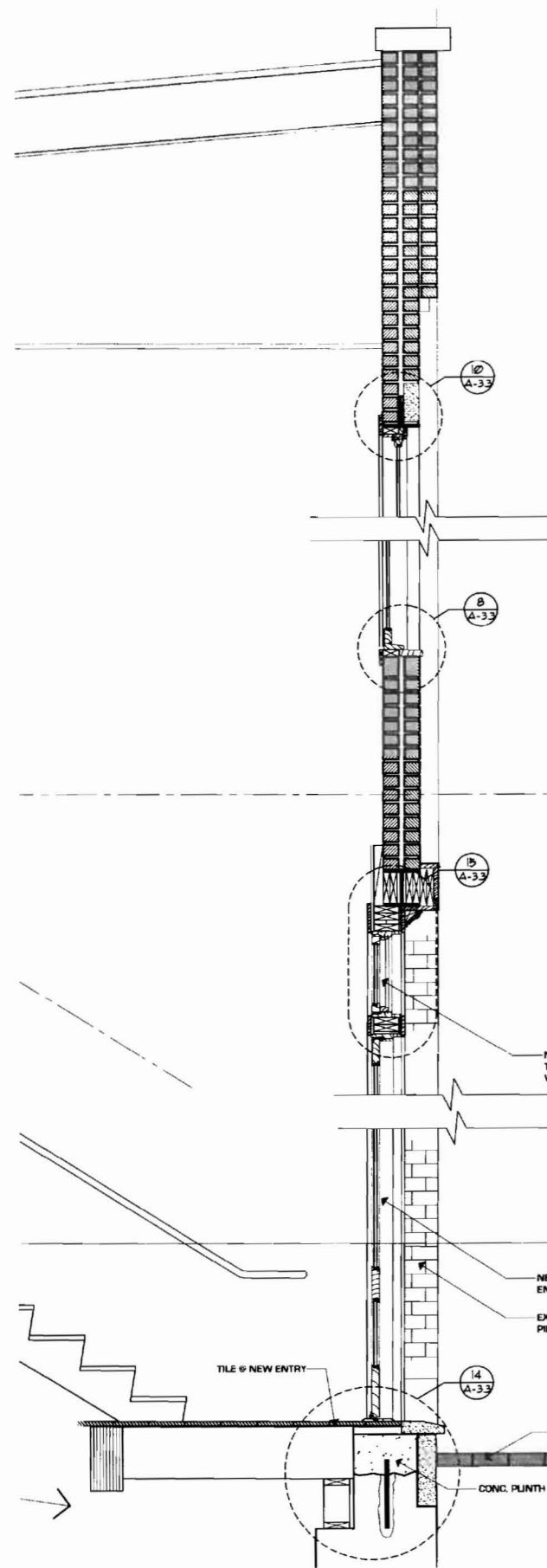
7 HEAD DETAIL
A-3.2 1 1/2" x 1'-0"

5 JAMB DETAIL @ WINDOW
A-1.1 1 1/2" x 1'-0"

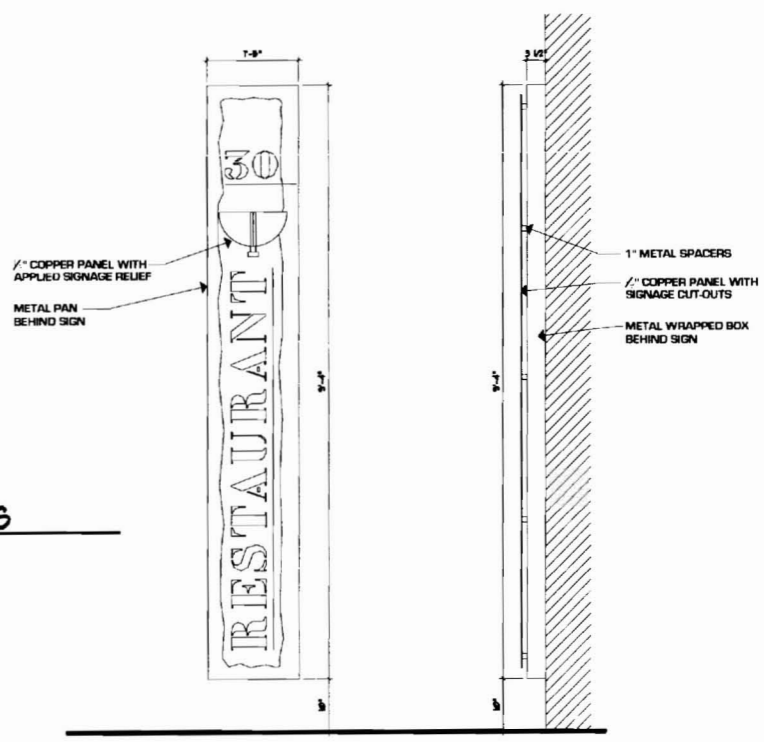
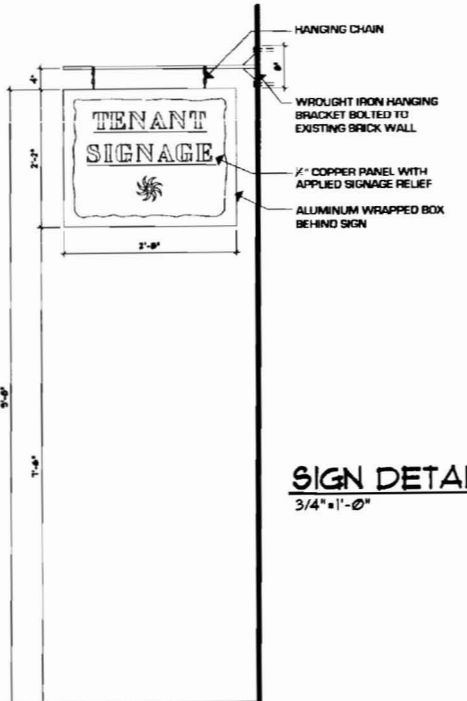
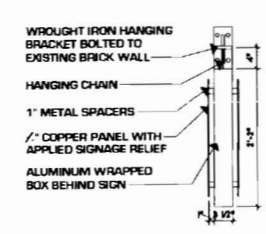
4 JAMB DETAIL @ RIGHT DOOR
A-1.1 1 1/2" x 1'-0"

REPAIR MASONRY AS NEEDED TO MATCH THE EXISTING IN BRICK SELECTION, MORTAR COLOR, & JOINT PROFILE. SUBMIT TEST SAMPLE TO HISTORIC PRESERVATION PRIOR TO WORK.

FOR CONSTRUCTION: MARCH 30, 2009



- WINDOW NOTES:**
1. ALL GLASS SHALL BE CLEAR NON-INSULATED GLASS. NO LOW-E COATING.
 2. MUNTINS SHALL BE 5/8\" SIMULATED PUTTY GLAZE. DOOR CASING SHALL BE PUTTY GLAZE, NOT OVALD PROFILE.
 3. ALL WINDOWS & DOORS TO BE WOOD & FIELD PAINTED (SASH, FRAMES & MUNTINS).
 4. INSTALL PAINTED BRICKMOLD AT ALL WINDOWS & DOORS.



WS-3 WALL SECTION @ RECESSED ENTRY
 A-3.1 3/4" x 1'-0"

SIGN DETAILS
 3/4" x 1'-0"

FOR CONSTRUCTION: MARCH 30, 2009

MARK MUELLER ARCHITECTS
 A.I.A.
 100 Commercial Street
 Suite 205
 Portland, Maine 04101
 Phone: 207.774.3057
 Fax: 207.773.3851
 Email: mark@markmuellerarchitects.com

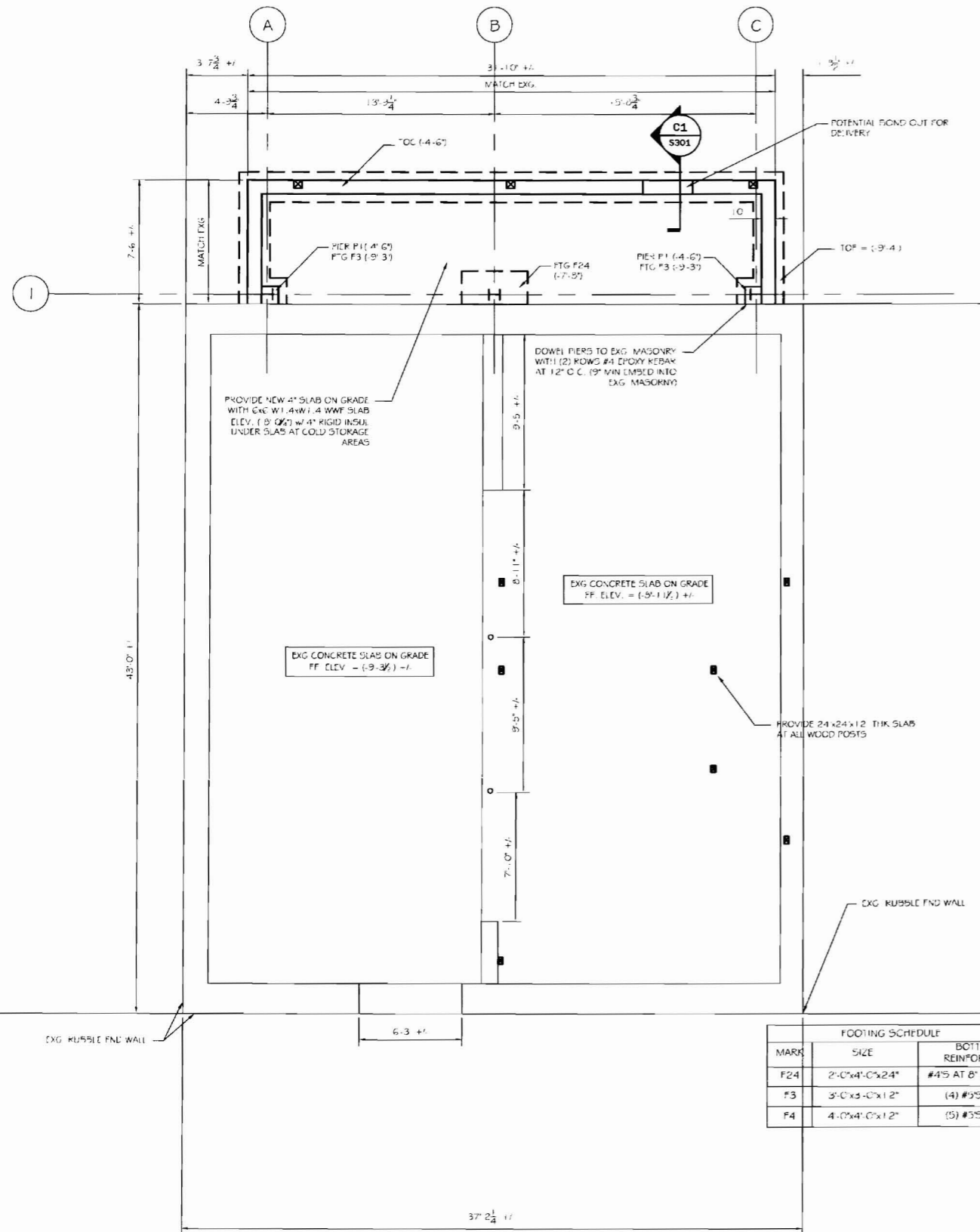
30 MARKET STREET
 30 MARKET ST.
 PORTLAND, MAINE

RENOVATION OF:
BUILDING SECTIONS/ DETAILS

A-3.3

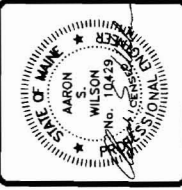
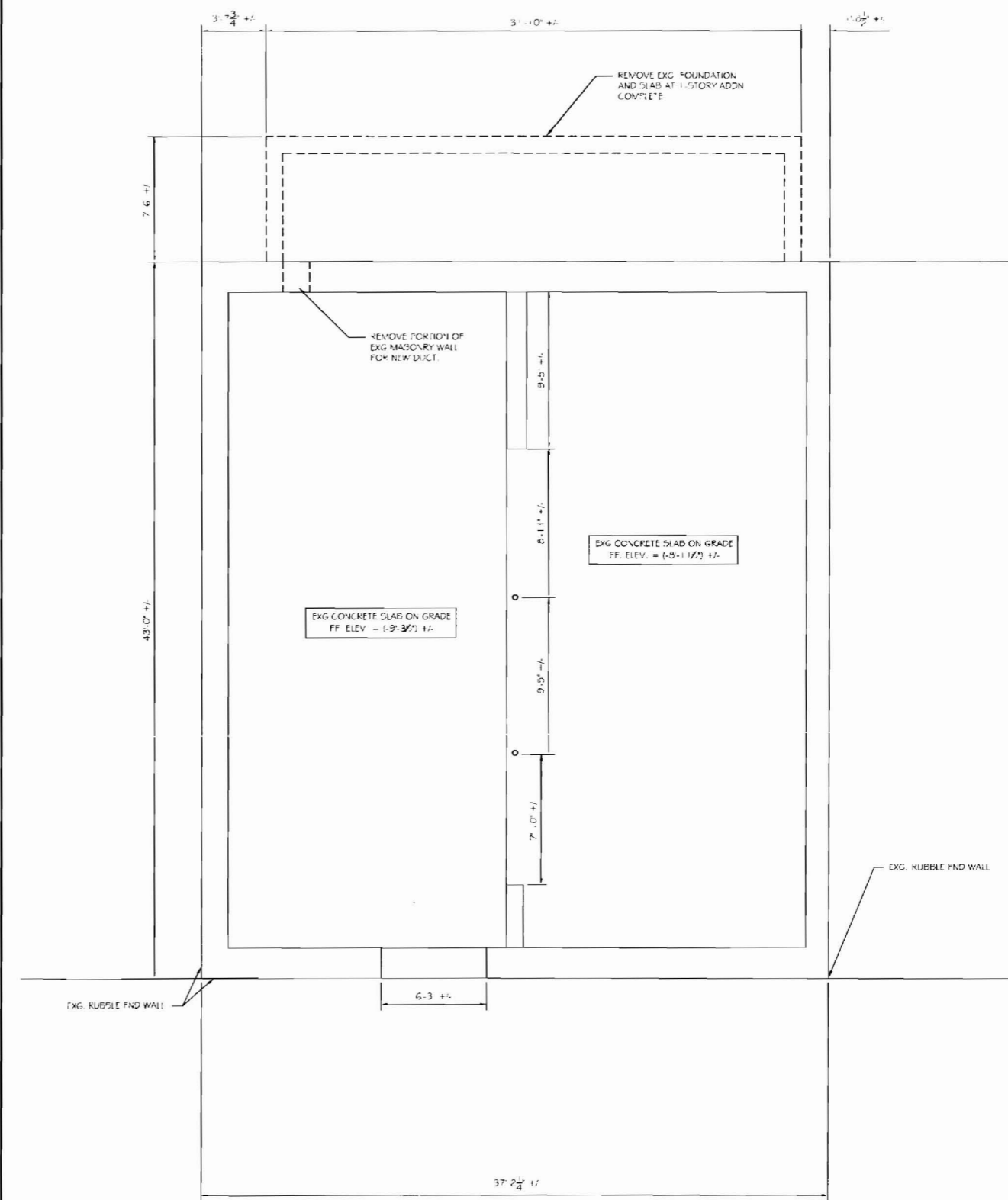
- NOTES:
1. TOP INDICATES TOP OF FOOTING
 2. TOC INDICATES TOP OF CONCRETE
 3. TOS INDICATES TOP OF SLAB
 4. ALL TOP AND TOC ELEVATIONS ARE REFERENCED FROM FIN FIRD FLOOR ELEVATION = (+00.0)
 5. SAW CUT ALL SLAB CONTROL JOINTS AT 12" O.C. MAX
 6. SPREAD FOOTINGS TO BE CENTERED ON COLUMNS POST. UND.

PIER SCHEDULE				
MARK	SIZE	REINFORCING	TIES	DETAIL
P1	12"x12"	(3) #3 U-BARS	#4S AT 12"	B1/53C2



FOOTING SCHEDULE		
MARK	SIZE	BOTTOM REINFORCING
F24	2'-0"x4'-0"x24"	#4S AT 8" O.C. E.W.
F3	3'-0"x5'-0"x12"	(4) #5S E.W.
F4	4'-0"x4'-0"x12"	(5) #5S E.W.

- NOTES:
1. CONTRACTOR VERIFY EXG. FTG. ELEVATION
 2. LEDGE REMOVAL MAY BE REQUIRED FOR NEW SLAB FOUNDATION CONSTRUCTION



ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Falmouth, Maine 04105
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 Fax: (207) 878-1788
 E-Mail: aosp@engr.com

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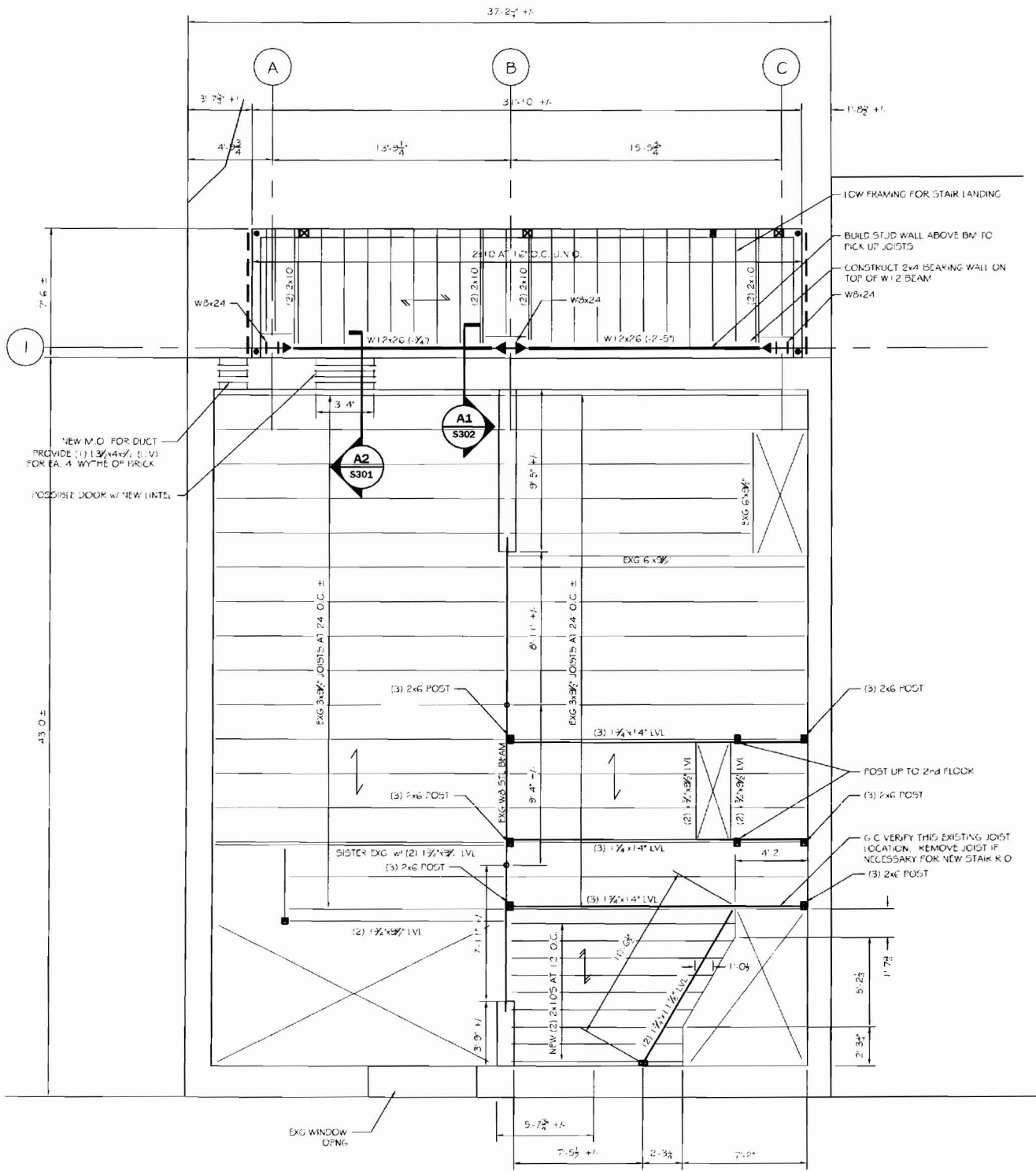
PROJECT: **30 MARKET STREET**
PORTLAND, MAINE
 FOR: ELC, INC.
 SHEET TITLE: **FOUNDATION PLANS**

NO.	REVISIONS	DATE
1	ISSUED FOR CONSTRUCTION	3/2/09
2	ISSUED FOR CONSTRUCTION	5/27/09

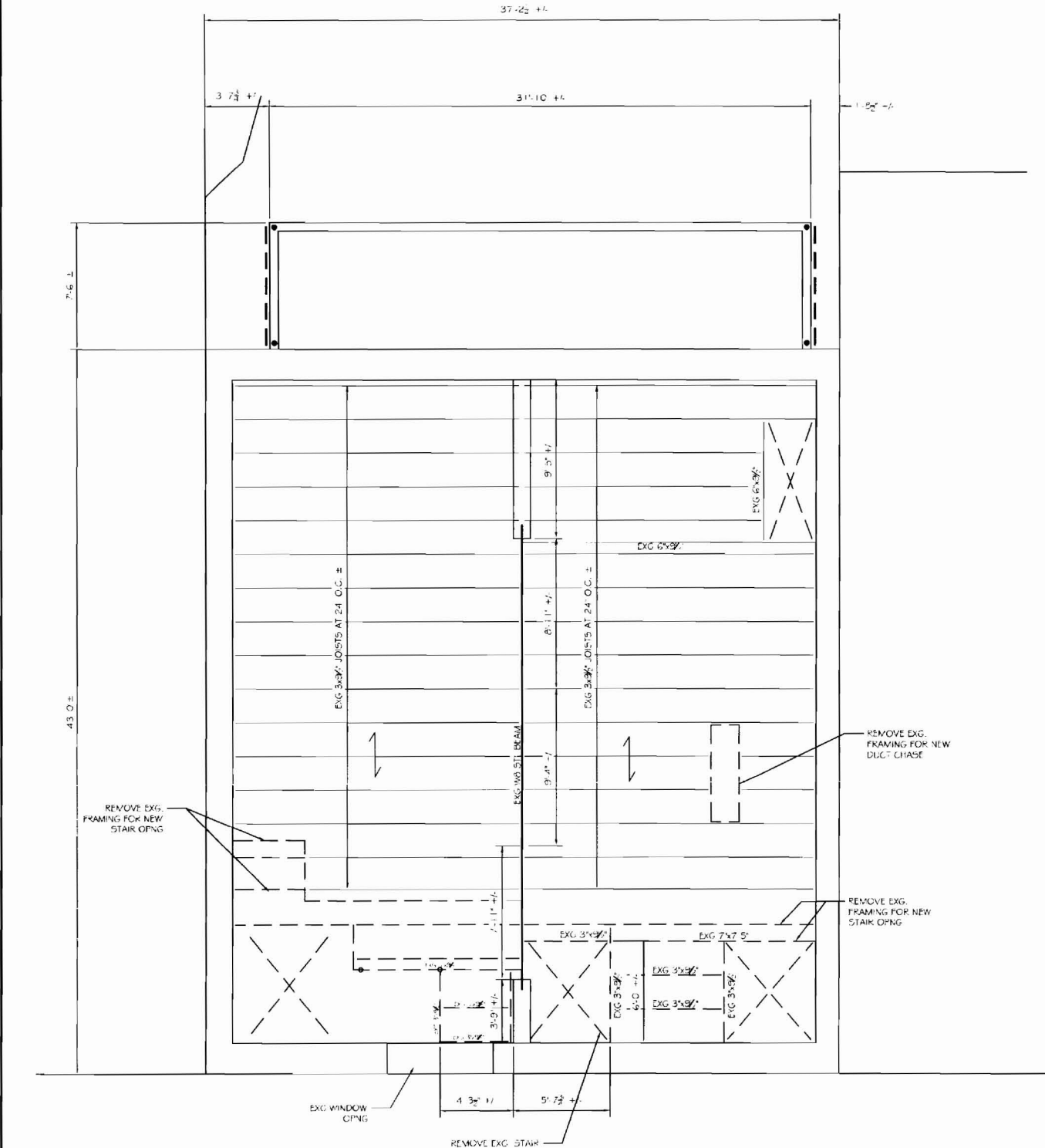
DATE : 12-19-08
 SCALE : AS NOTED
 DESIGN BY: ASW
 DRAWN BY: RSC
 FILE #: 08055-S100.DWG
 PROJECT NUMBER:
08055
 SHEET NO:
S100

NOTES

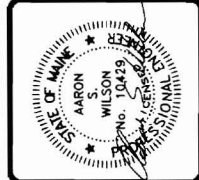
1. → INDICATES SPAN DIRECTION OF EXG. 1" BOARD DECKING
2. → INDICATES SPAN DIRECTIONS OF NEW TONGUE AND GROOVE APA SPAN RATED 45/24 FLOOR SHEATHING WITH MIN. THICKNESS 3/4" AND FASTENED IN ACCORDANCE WITH DETAIL B5 ON S301
3. TOS (+X") INDICATES TOP OF BEARING STEEL REFERENCED FROM FIN. FIRST FLOOR ELEVATION (0'-0").
4. UNCL INDICATES UNLESS NOTED OTHERWISE.
5. ALL BUILT-UP OR SOLID WOOD BEAMS TO BE CONNECTED TO WOOD POSTS WITH SIMPSON AC POST CAPS, TYPICAL.
6. ALL STAIR STRINGERS TO BE (2) 2"x12", (3) STRINGERS REQD PER FIG. 11, IYP.
7. VERIFY STAIR R.O. CLEARANCES W/ ARCH. TYP.



A1 PROPOSED FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



A2 EXG. 1st FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



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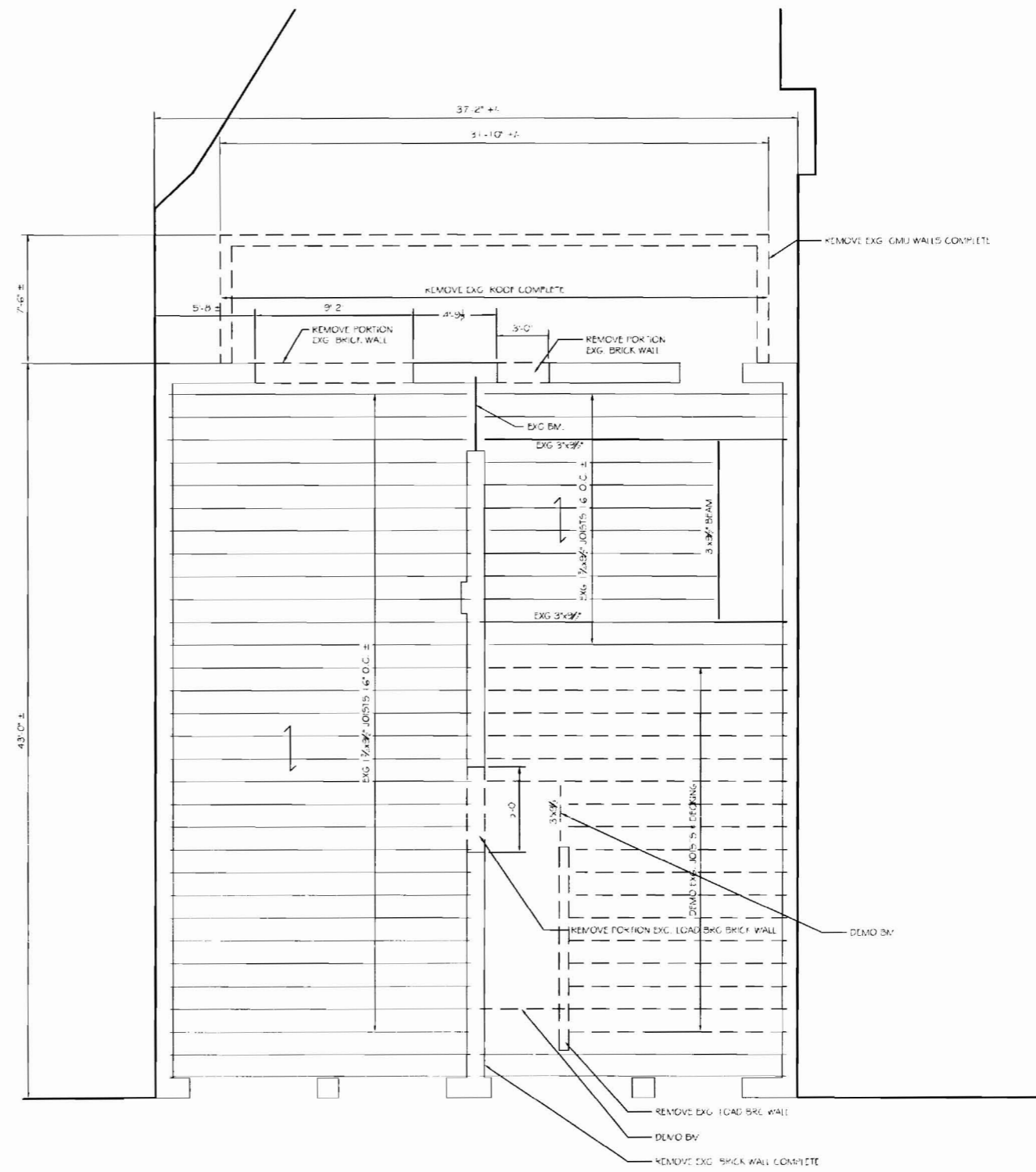
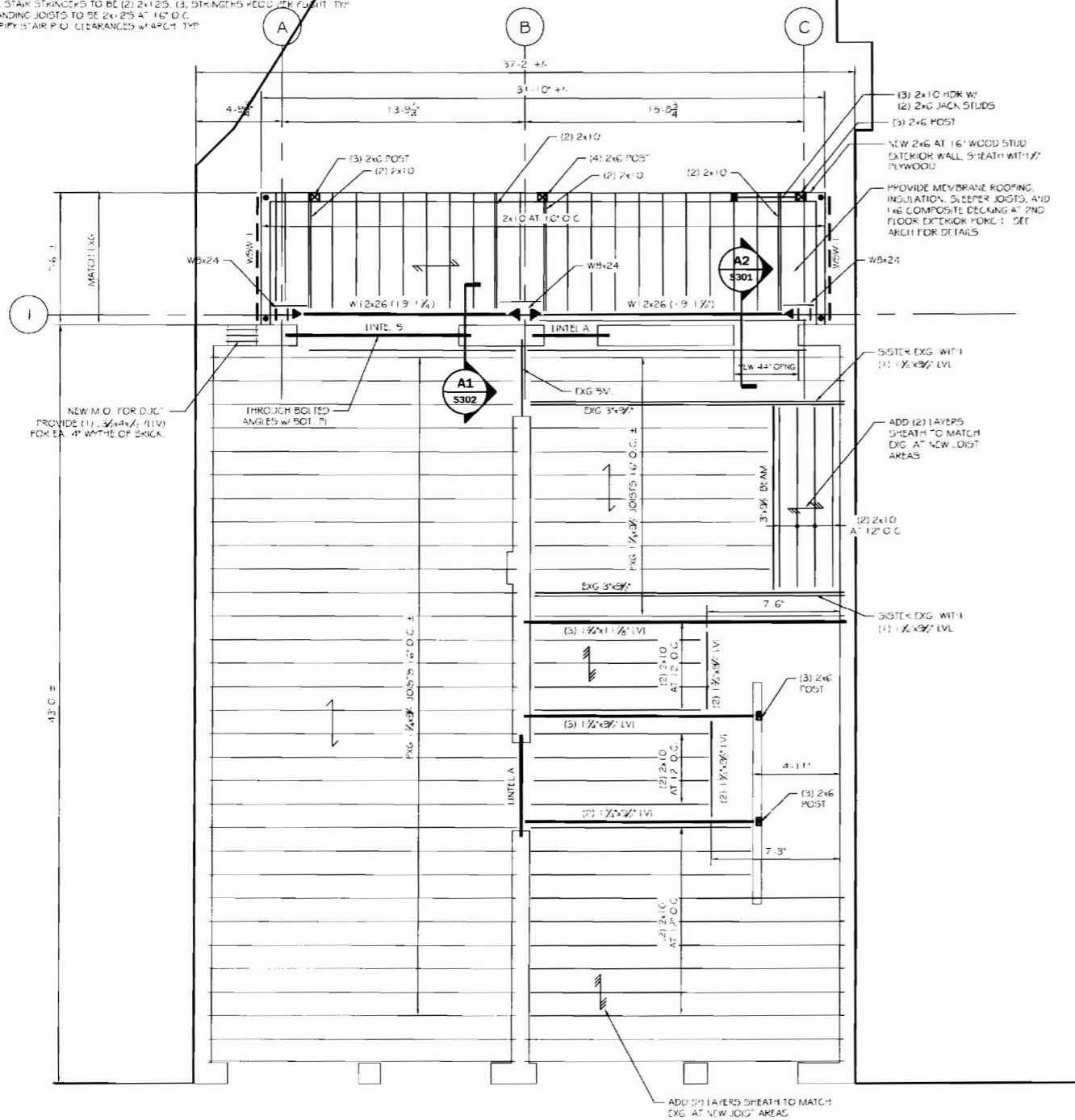
PROJECT: **30 MARKET STREET PORTLAND, MAINE**
 FOR: ELC, INC.
 SHEET TITLE: **FIRST FLOOR FRAMING PLANS**

NO.	BY	DESCRIPTION	DATE
1	ASW	ISSUED FOR CONSTRUCTION REAR ADDITION ONLY	3/2/09
2	ASW	ISSUED FOR CONSTRUCTION	5/30/09

DATE : 09-16-08
 SCALE : AS NOTED
 DESIGN BY: ASW
 DRAWN BY: RSC
 FILE #: 08055-S102.DWG
 PROJECT NUMBER:
08055
 SHEET NO:
S101

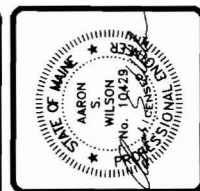
NOTES

1. ← INDICATES SPAN DIRECTION OF EXG. 1X BOARD SHEATHING
2. → INDICATES SPAN DIRECTION OF 1/2" PT. OR COMPOSITE EXTERIOR DECKING
3. ⇄ INDICATES SPAN DIRECTION OF NEW TONGUE AND GROOVE APA SPAN-KATE
4. 5/8" x 24" FLOOR SHEATHING WITH MIN. THICKNESS 7/8" AND FASTENED IN ACCORDANCE WITH DETAIL D2 ON S301. 1" INSTALLED OVER EXG. 2X DECKING JOIST NAILS
4. TOS (+X-Y) INDICATES TOP OF BEARING STEEL REFERENCED FROM FIN. FIRST FLOOR ELEVATION (+6'-0")
5. "LINC" INDICATES JUNCTION NOTED OTHERWISE
6. ▴ INDICATES BEAM TO COLUMN MOMENT CONNECTION SEE DETAIL B1/301
7. ALL STAIR STRINGERS TO BE (2) 2X12S (3) STRINGERS REQUIRED PER FLIGHT. THE ALL LANDING JOISTS TO BE 2X12S @ 16" O.C.
8. VERIFY STAIR R.O. CLEARANCES w/ ARCH. TYPE



A2 PROPOSED 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

A1 EXG. 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



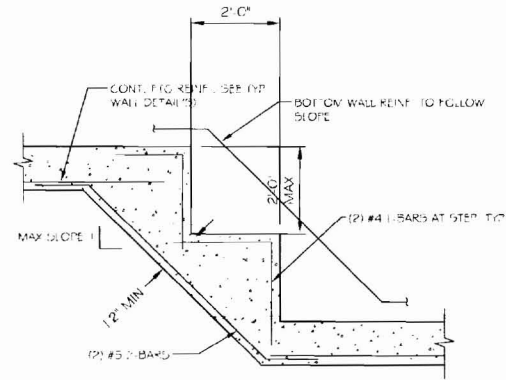
ASSOCIATED DESIGN PARTNERS INC.
Office: (207) 878-1751
80 Leighton Road, Foxcroft, Maine 04105
E-Mail: adp@adpengineering.com

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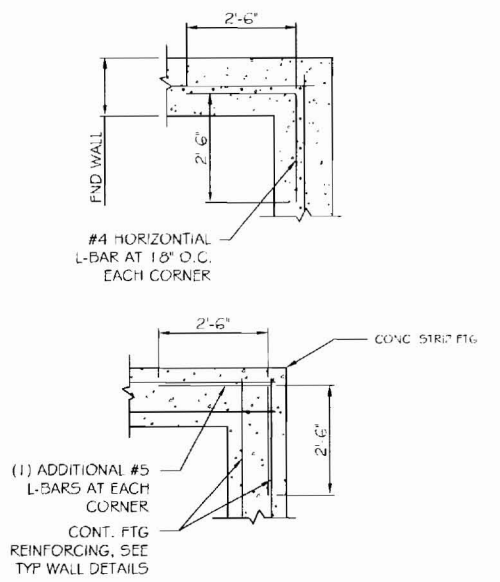
PROJECT: **30 MARKET STREET PORTLAND, MAINE**
FOR: E.L.C. INC.
SHEET TITLE: **SECOND FLOOR FRAMING PLANS**

NO.	BY	DESCRIPTION	DATE
1	ASW	ISSUED FOR CONSTRUCTION REAR ADDITION ONLY	3/2/09
2	ASW	ISSUED FOR CONSTRUCTION	3/30/09

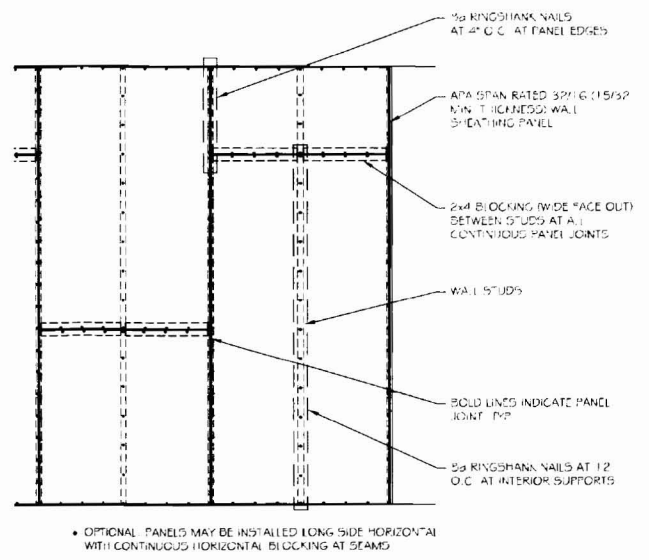
DATE : 09-18-08
SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE # : 08055-S102.DWG
PROJECT NUMBER:
08055
SHEET NO.:
S102



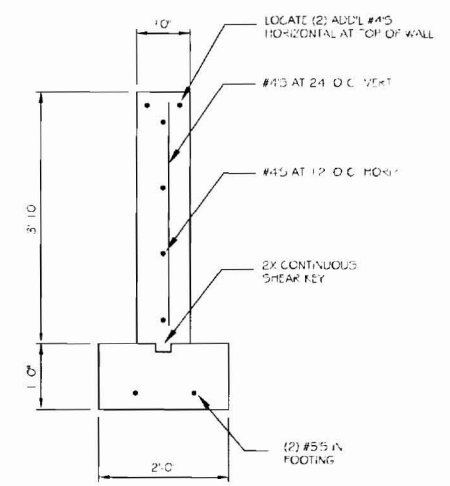
C4 STEPPED FOOTING DETAIL
SCALE: 1/2" = 1'-0"



C3 CORNER REINFORCING IN FND WALL & FTG
SCALE: 1/2" = 1'-0"



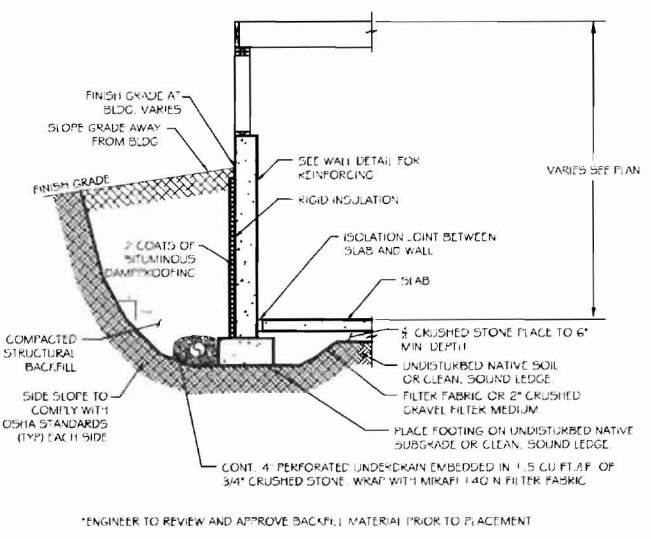
C2 SHEARWALL SHEATHING LAYOUT
SCALE: 1/4" = 1'-0"



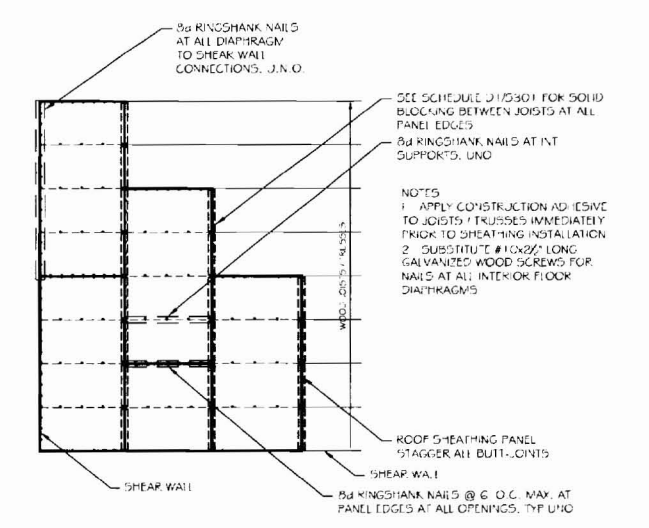
C1 TYP. 10" FOUNDATION WALL
SCALE: 1/2" = 1'-0"

WOOD MEMBER HANGER SCHEDULE (MANUFACTURED BY SIMPSON)			
MEMBER	HANGER	MEMBER	HANGER
2x12	LU5210 OR LB212	(2) 2x12	LU5210-2
2x10	LU5210 OR LB210	(2) 2x10	LU5210-2
2x8	LU525 OR LB25	1 1/2" EXG + 1 1/2" LVL	HU410
(2) 1 1/4" x 9 1/2" LVL	HU410	1 1/2" TJI 560	MIU 3.56/11
(3) 1 1/4" x 9 1/2" LVL	HHUS 5.5/10		

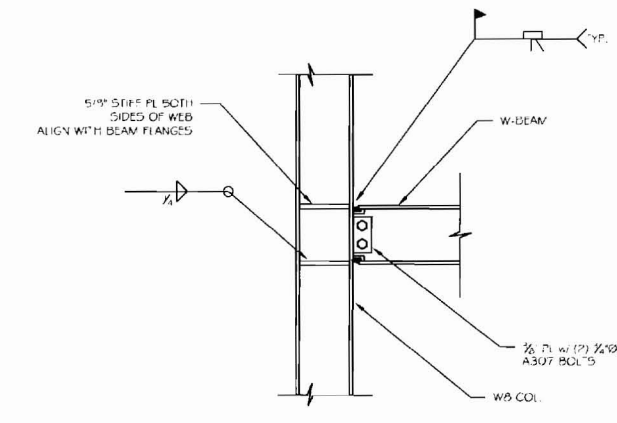
B4 JOIST HANGER SCHEDULE
SCALE: NO SCALE



B3 TYP. FOUNDATION EARTHWORK
SCALE: 3/8" = 1'-0"



B2 TYP. ROOF/FLOOR SHEATHING LAYOUT
SCALE: 1/4" = 1'-0"

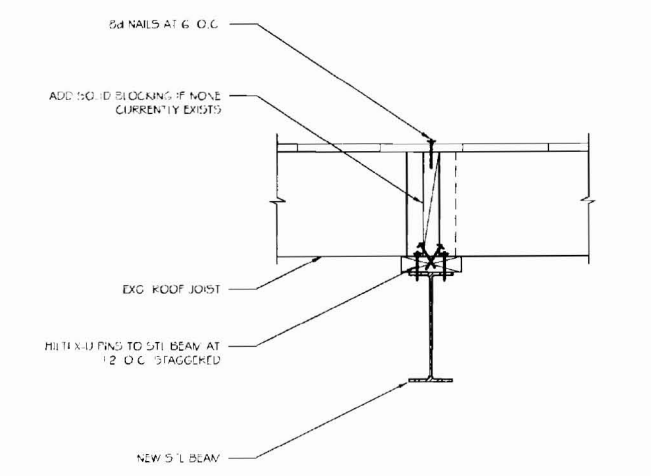


B1 MOMENT FRAME CONNECTION DETAIL
SCALE: 1" = 1'-0"

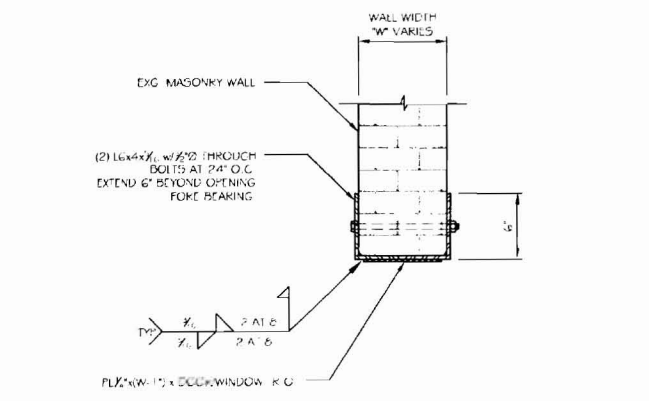
SHEARWALL	PANEL GRADE	FLOOR LEVEL	END POSTS	HOLD-DOWNS	HOLD-DOWN FASTENERS	HOLD-DOWN ANCHOR
WSW 1	APA RATED SHEATHING	BASEMENT	2'-6"	(1) 2x6	(1) 2x6 @ 24" O.C.	(1) 2x6 @ 24" O.C.
		1st	2'-6"	(2) 2x6	(2) 2x6 @ 24" O.C.	(1) 2x6 @ 24" O.C.
		2nd	2'-6"	(2) 2x6	(2) 2x6 @ 24" O.C.	(1) 2x6 @ 24" O.C.

NOTES:
1. ALL ANCHORS TO CONCRETE TO BE ASTM A572-50 W/ SIMPSON SLT L-ROK ANCHORS & MAX EMBEDMENT 10"
2. ALL SCREWS TO WOOD TO BE 2 1/2" SIMPSON SDS SCREWS (TP) UNLESS NOTED OTHERWISE
3. ALL TREATED WOOD TO BE 10" TYPICAL HOLD-DOWNS TO BE ASG ALL BOLTS TO BE 5/8" EEL BEAMS TO BE ASG
4. SEE PLAN FOR END POST & HOLD-DOWN LOCATIONS
5. ALL SHEAR WALLS TO BE FASTENED W/ GALV RING SHANK NAILS (SEE C23501)

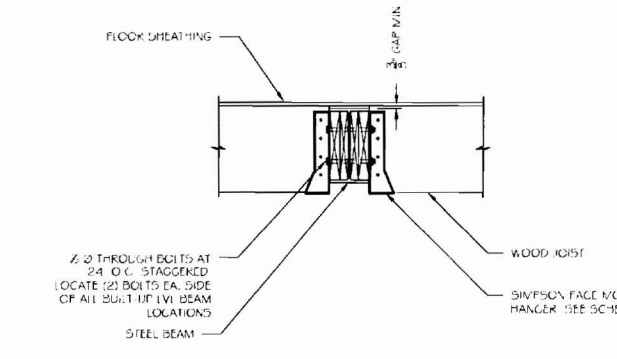
A4



A3 STL BEAM AT EXG. ROOF JOIST CONNECTION
SCALE: 1/2" = 1'-0"



A2 LINTEL SECTION
SCALE: 1/2" = 1'-0"



A1 WOOD JOIST TO STL BEAM DETAIL
SCALE: 1" = 1'-0"



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PROJECT: **30 MARKET STREET**
PORTLAND, MAINE
FOR: ELC, INC.
SHEET TITLE: **FOUNDATION AND FRAMING DETAILS**

REVISIONS	DATE	DESCRIPTION
1	3/2/09	ISSUED FOR CONSTRUCTION REAR ADDITION ONLY
2	3/30/09	ISSUED FOR CONSTRUCTION

DATE: 12-19-08
SCALE: AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE # 08055-3301.DWG
PROJECT NUMBER:
08055
SHEET NO:
S301

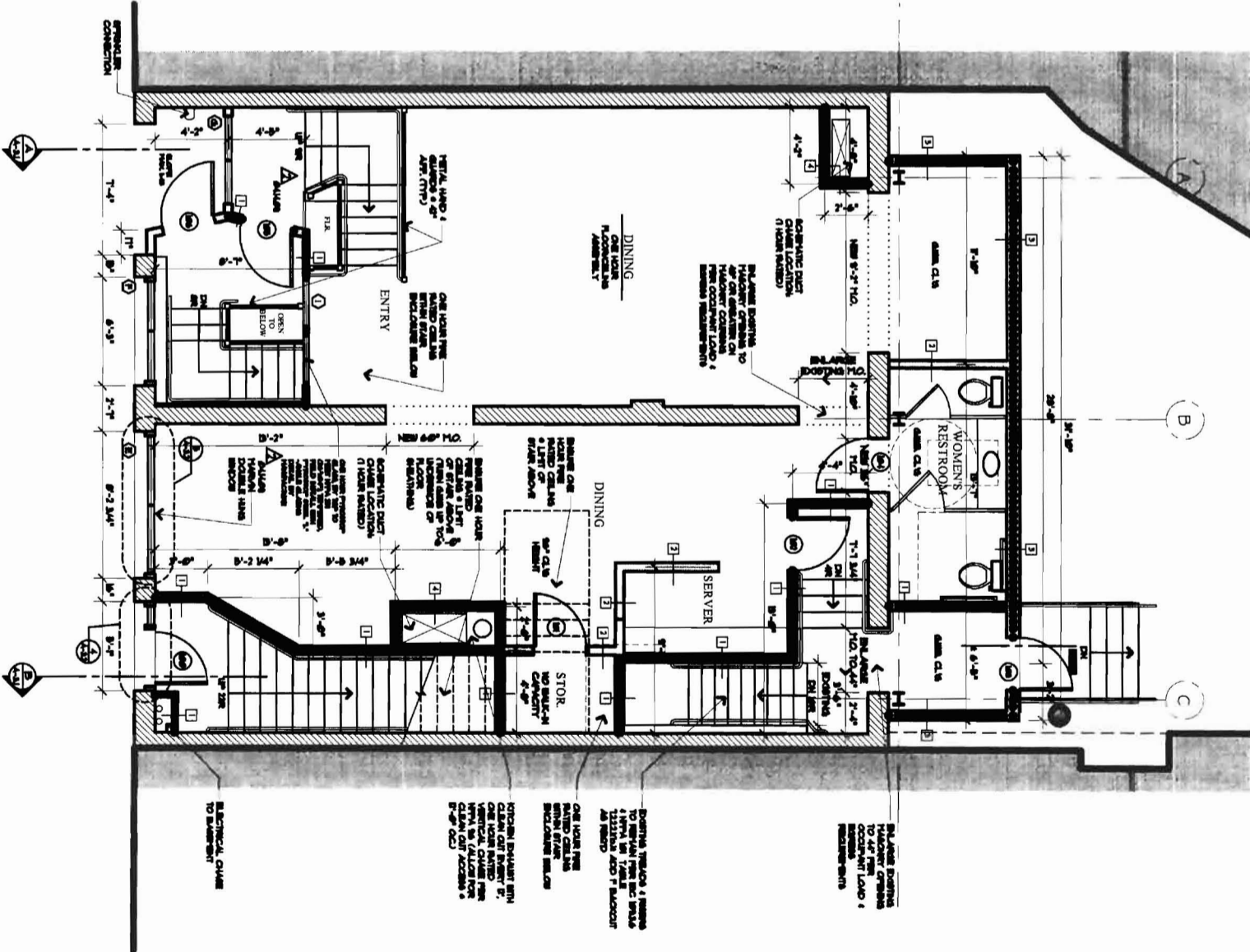
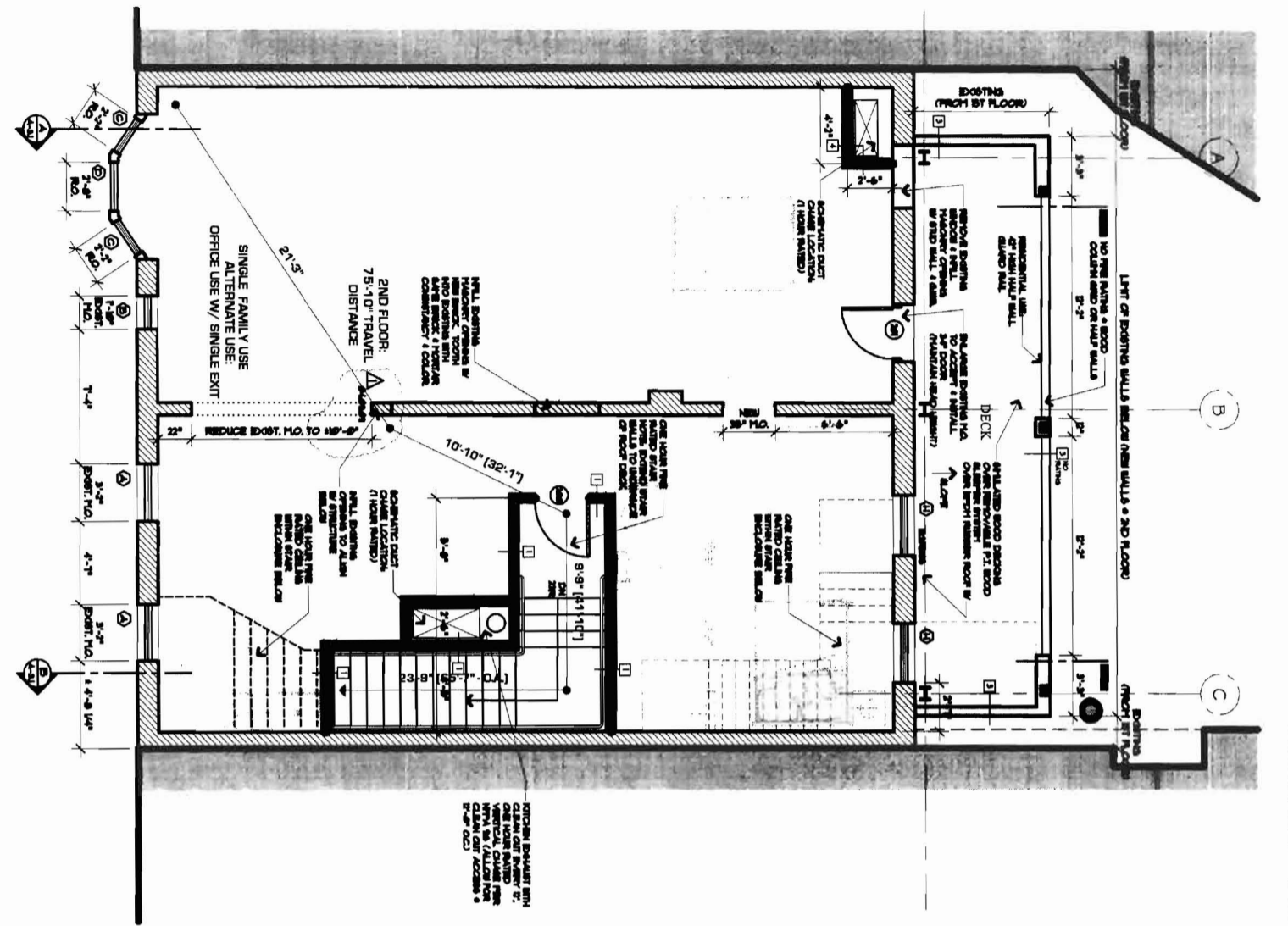
- GENERAL NOTES**
1. THE EXISTING WALL IS TO REMAIN UNLESS OTHERWISE NOTED. ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS SHALL BE STRICTLY ENFORCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 2. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 3. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 4. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 5. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 6. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 7. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 8. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 9. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.
 10. ALL NEW WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF IBC, NFPA 101, AND LOCAL, STATE, AND FEDERAL REGULATIONS.

- PROJECT NOTES**
1. ROOMS TO BE REMOVED: THE PROJECT INCLUDES THE REMOVAL OF THE FOLLOWING ROOMS:
 - 1.1. ROOM 101 - OFFICE
 - 1.2. ROOM 102 - OFFICE
 - 1.3. ROOM 103 - OFFICE
 - 1.4. ROOM 104 - OFFICE
 - 1.5. ROOM 105 - OFFICE
 - 1.6. ROOM 106 - OFFICE
 - 1.7. ROOM 107 - OFFICE
 - 1.8. ROOM 108 - OFFICE
 - 1.9. ROOM 109 - OFFICE
 - 1.10. ROOM 110 - OFFICE
 - 1.11. ROOM 111 - OFFICE
 - 1.12. ROOM 112 - OFFICE
 - 1.13. ROOM 113 - OFFICE
 - 1.14. ROOM 114 - OFFICE
 - 1.15. ROOM 115 - OFFICE
 - 1.16. ROOM 116 - OFFICE
 - 1.17. ROOM 117 - OFFICE
 - 1.18. ROOM 118 - OFFICE
 - 1.19. ROOM 119 - OFFICE
 - 1.20. ROOM 120 - OFFICE
 2. ROOMS TO BE REFINISHED: THE PROJECT INCLUDES THE REFINISHING OF THE FOLLOWING ROOMS:
 - 2.1. ROOM 201 - OFFICE
 - 2.2. ROOM 202 - OFFICE
 - 2.3. ROOM 203 - OFFICE
 - 2.4. ROOM 204 - OFFICE
 - 2.5. ROOM 205 - OFFICE
 - 2.6. ROOM 206 - OFFICE
 - 2.7. ROOM 207 - OFFICE
 - 2.8. ROOM 208 - OFFICE
 - 2.9. ROOM 209 - OFFICE
 - 2.10. ROOM 210 - OFFICE
 - 2.11. ROOM 211 - OFFICE
 - 2.12. ROOM 212 - OFFICE
 - 2.13. ROOM 213 - OFFICE
 - 2.14. ROOM 214 - OFFICE
 - 2.15. ROOM 215 - OFFICE
 - 2.16. ROOM 216 - OFFICE
 - 2.17. ROOM 217 - OFFICE
 - 2.18. ROOM 218 - OFFICE
 - 2.19. ROOM 219 - OFFICE
 - 2.20. ROOM 220 - OFFICE
 3. ROOMS TO BE ADDED: THE PROJECT INCLUDES THE ADDITION OF THE FOLLOWING ROOMS:
 - 3.1. ROOM 301 - OFFICE
 - 3.2. ROOM 302 - OFFICE
 - 3.3. ROOM 303 - OFFICE
 - 3.4. ROOM 304 - OFFICE
 - 3.5. ROOM 305 - OFFICE
 - 3.6. ROOM 306 - OFFICE
 - 3.7. ROOM 307 - OFFICE
 - 3.8. ROOM 308 - OFFICE
 - 3.9. ROOM 309 - OFFICE
 - 3.10. ROOM 310 - OFFICE
 - 3.11. ROOM 311 - OFFICE
 - 3.12. ROOM 312 - OFFICE
 - 3.13. ROOM 313 - OFFICE
 - 3.14. ROOM 314 - OFFICE
 - 3.15. ROOM 315 - OFFICE
 - 3.16. ROOM 316 - OFFICE
 - 3.17. ROOM 317 - OFFICE
 - 3.18. ROOM 318 - OFFICE
 - 3.19. ROOM 319 - OFFICE
 - 3.20. ROOM 320 - OFFICE
 4. ROOMS TO BE REMOVED AND REFINISHED: THE PROJECT INCLUDES THE REMOVAL AND REFINISHING OF THE FOLLOWING ROOMS:
 - 4.1. ROOM 401 - OFFICE
 - 4.2. ROOM 402 - OFFICE
 - 4.3. ROOM 403 - OFFICE
 - 4.4. ROOM 404 - OFFICE
 - 4.5. ROOM 405 - OFFICE
 - 4.6. ROOM 406 - OFFICE
 - 4.7. ROOM 407 - OFFICE
 - 4.8. ROOM 408 - OFFICE
 - 4.9. ROOM 409 - OFFICE
 - 4.10. ROOM 410 - OFFICE
 - 4.11. ROOM 411 - OFFICE
 - 4.12. ROOM 412 - OFFICE
 - 4.13. ROOM 413 - OFFICE
 - 4.14. ROOM 414 - OFFICE
 - 4.15. ROOM 415 - OFFICE
 - 4.16. ROOM 416 - OFFICE
 - 4.17. ROOM 417 - OFFICE
 - 4.18. ROOM 418 - OFFICE
 - 4.19. ROOM 419 - OFFICE
 - 4.20. ROOM 420 - OFFICE

NOTE:
 NEW MECHANICAL SYSTEM - YES
 NEW ELECTRICAL SYSTEM - YES
 NEW PLUMBING SYSTEM - YES
 NEW FIRE ALARM SYSTEM - YES
 NEW SMOKE DETECTOR SYSTEM - YES
 NEW SPRINKLER SYSTEM - YES
 NEW ELEVATOR SYSTEM - YES

WALL LEGEND

EXISTING WALL	NEW WALL
FIRE RATED WALL	NEW WALL
EXISTING WALL TO BE REMOVED	NEW WALL
EXISTING WALL TO BE REMOVED	NEW WALL
EXISTING WALL TO BE REMOVED	NEW WALL



PROPOSED 2ND FLOOR
 SCALE: 1/4"=1'-0"

PROPOSED 1ST FLOOR
 SCALE: 1/4"=1'-0"

REVISED: 01.14.09
 1. REVISION: VARIOUS ROOMS
 2. CORRECTIONS AND TYPING
 G. 1.05

REVISIED CONSTRUCTION SET: APRIL 20, 2009

RENOVATION OF:

30 MARKET STREET

30 MARKET ST.
 PORTLAND, MAINE

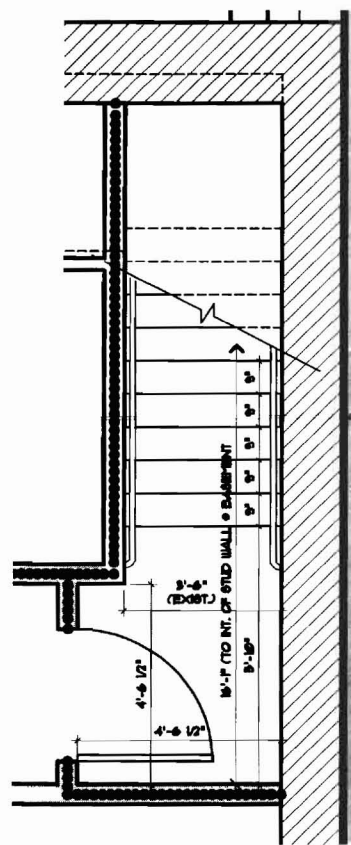
M A R K
 M U E L L E R
 A R C H I T E C T S
 A I A

1101 Commercial Street
 Suite 205
 Portland, Maine 04101
 Phone: 207.742.9257
 Fax: 207.742.9258
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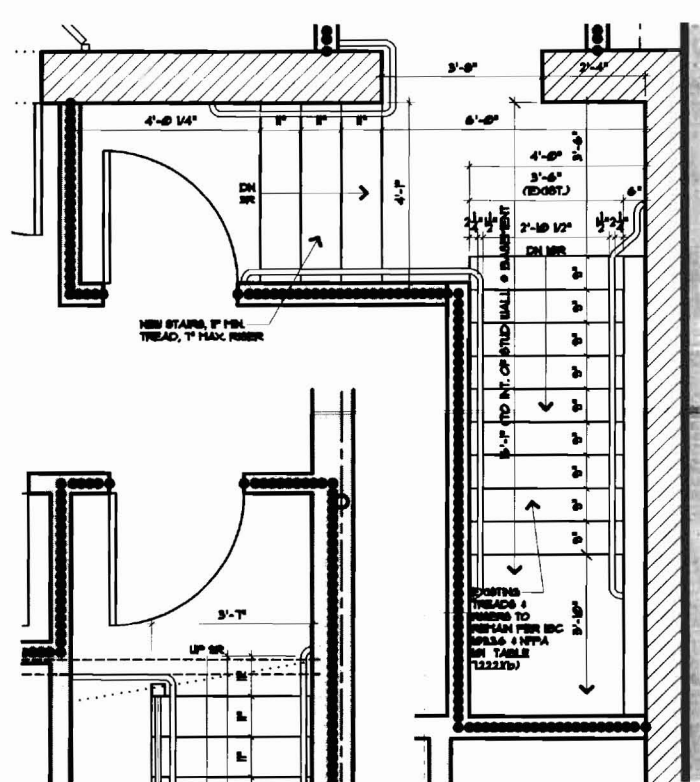
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FLOOR PLANS

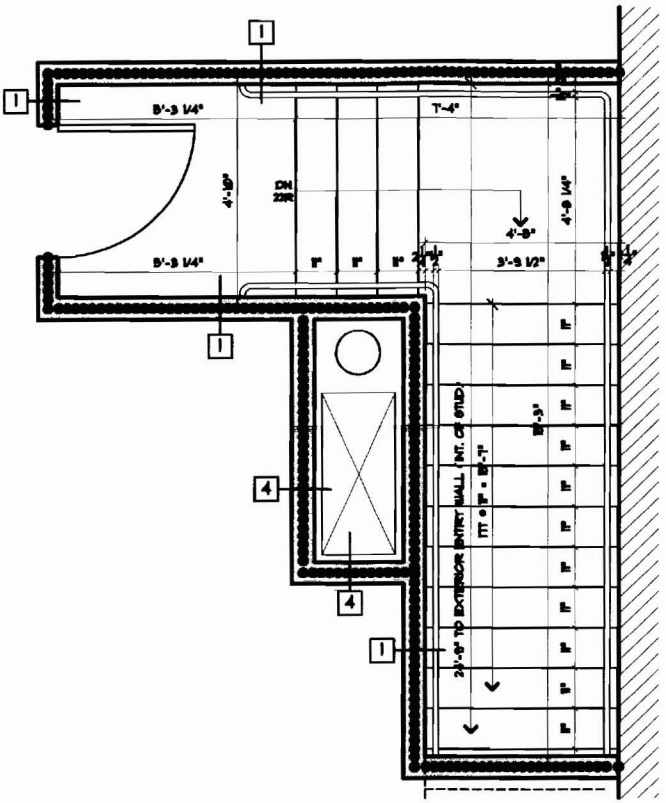
A-111



BASEMENT STAIR 'C' DETAIL
SCALE: 1/2"=1'-0"

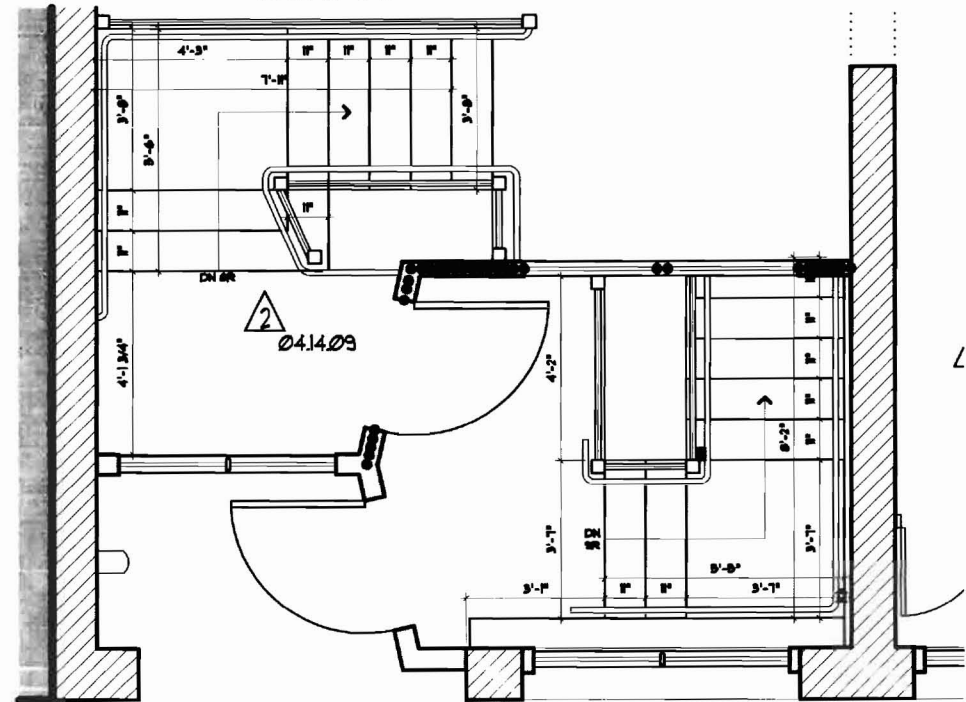


1ST FLOOR STAIR 'C' DETAIL
SCALE: 1/2"=1'-0"

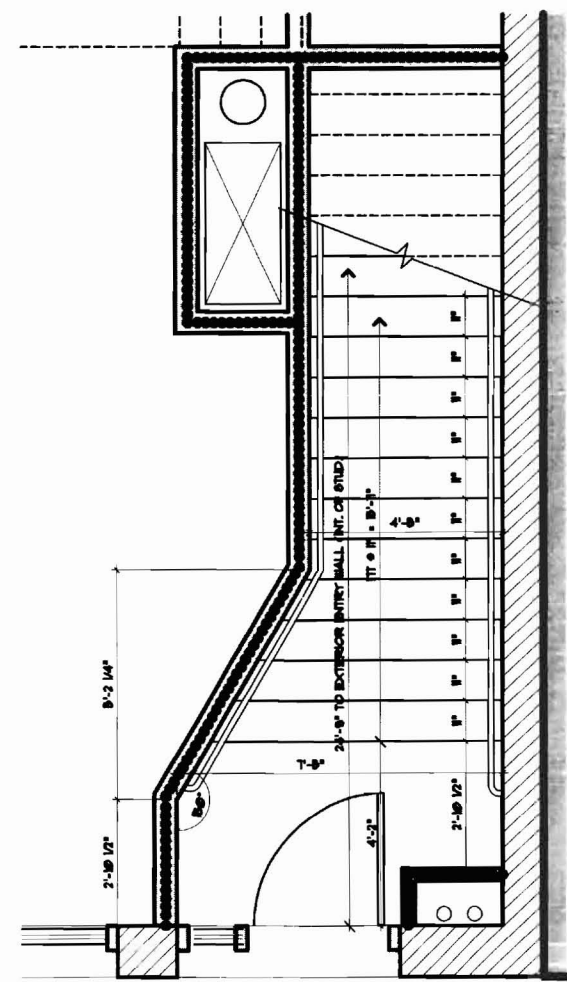


2ND FLOOR STAIR 'B' DETAIL
SCALE: 1/2"=1'-0"

BASEMENT STAIR 'A' DETAIL
SCALE: 1/2"=1'-0"



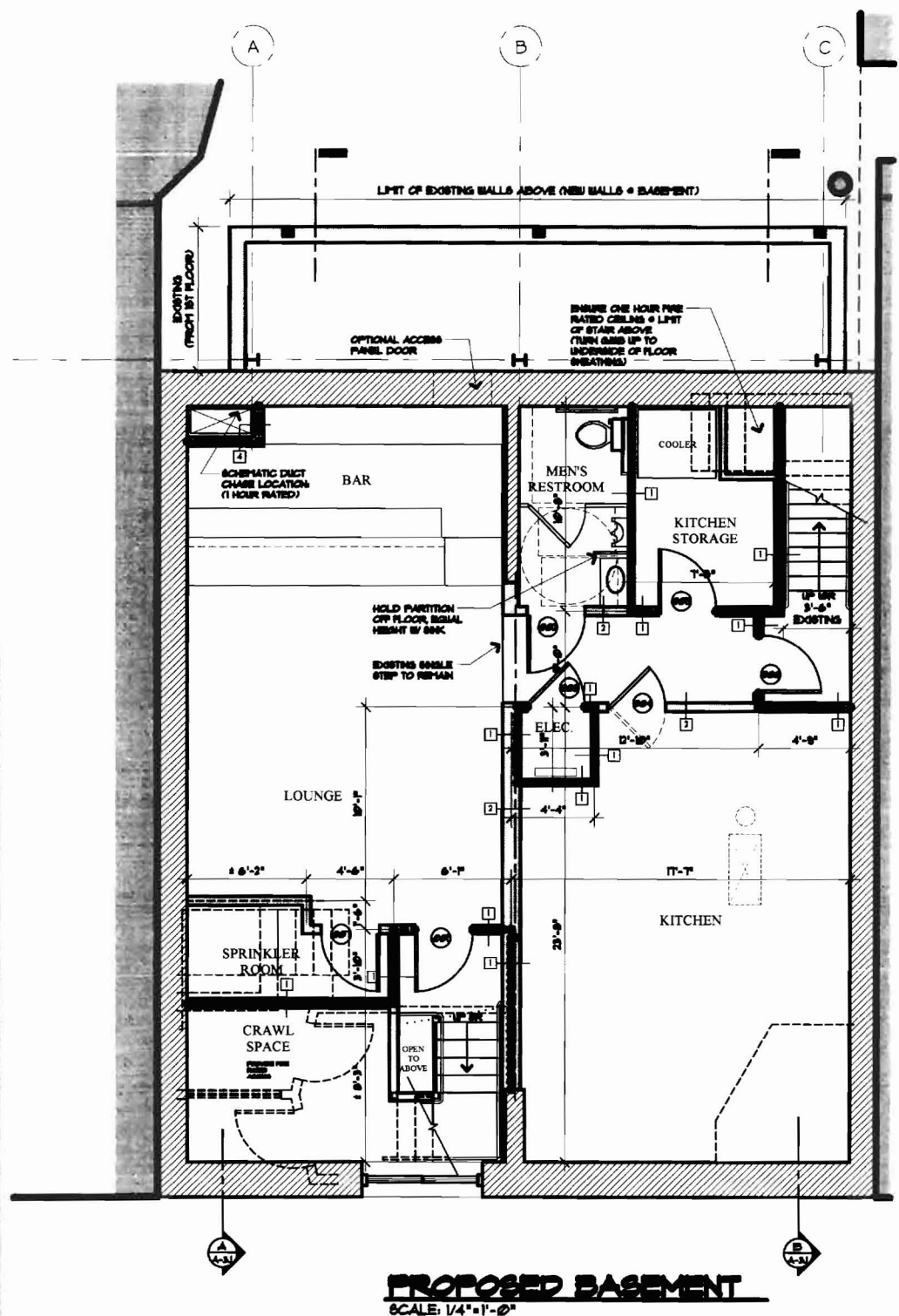
1ST FLOOR STAIR 'A' DETAIL
SCALE: 1/2"=1'-0"



1ST FLOOR STAIR 'B' DETAIL
SCALE: 1/2"=1'-0"

WALL LEGEND

EXISTING WALL	
NEW WALL	
FIRE RATED WALL	
EXISTING WALL TO BE REMOVED	



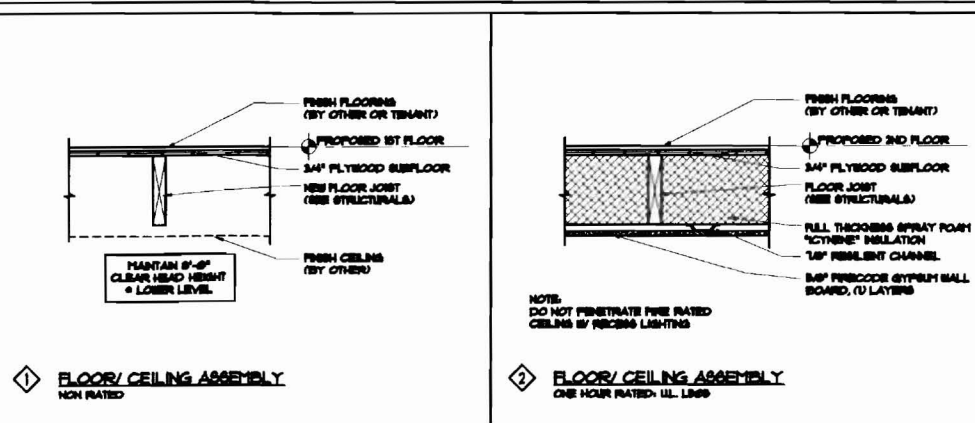
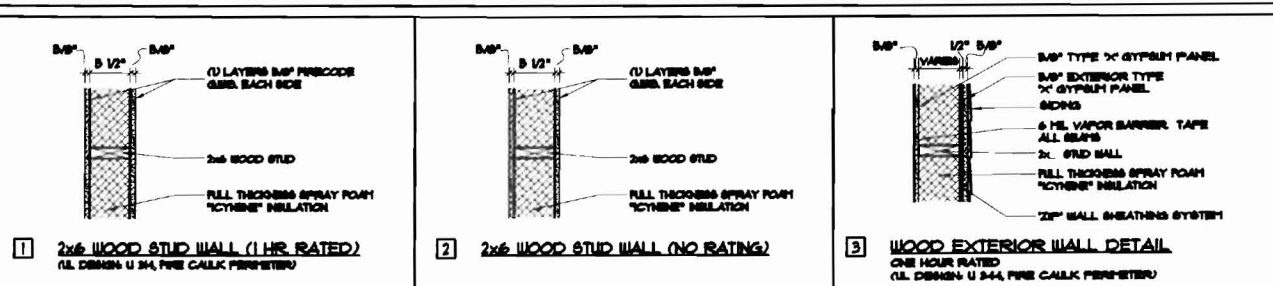
PROPOSED BASEMENT
SCALE: 1/4"=1'-0"

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RENOVATION OF:
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

FLOOR PLANS

DATE	MARCH 30, 2009
PROJECT	30 MARKET
DRAWN BY	WSP
CHECK BY	MUV



IBC 2003: CODE DATA

OCCUPANT LOAD	124 PEOPLE
USE GROUP CLASSIFICATION	ASSEMBLY (A-2), R-3 or B
TYPE OF CONSTRUCTION	3B
TENANT SPACE AREA	4,318 SF.
BUILDING AREA LIMITATION - 80. FT.	N/A
STREET FRONTAGE INCREASE (50%) - 80. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM (INCREASE 200%) - 80. FT.	SPRINKLERED
ALLOWABLE BUILDING AREA - 80. FT.	N/A
BUILDING HEIGHT	28'
FIRE SUPPRESSION:	SPRINKLERED
FIRE WALLS & PARTY WALLS	EXISTING TO REMAIN
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR
EXIT ACCESS CORRIDORS	0 HOUR
INTERIOR LOAD BEARING WALLS	0 HOUR
STRUCTURAL MEMBER SUPPORTING WALL	0 HOUR
FLOOR CONSTRUCTION	1 HOUR BETWEEN A-2 & B/R
ROOF CONSTRUCTION	0 HOUR
GENERAL NOTES	-

NFPA 101 SEC. 302.4.2.3
ALLOW ONE EGRESS STAIR FROM 'B' & 'R' USE

NFPA 101: CODE DATA

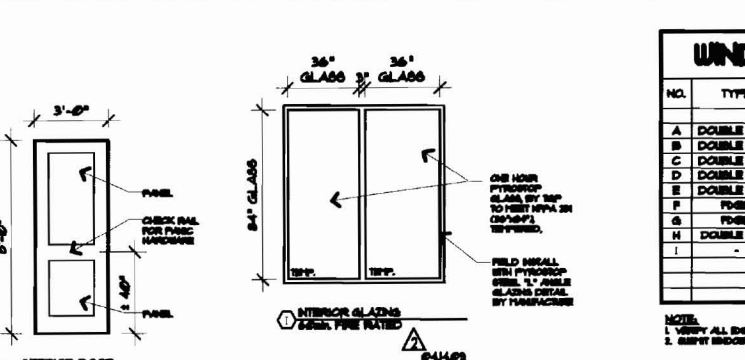
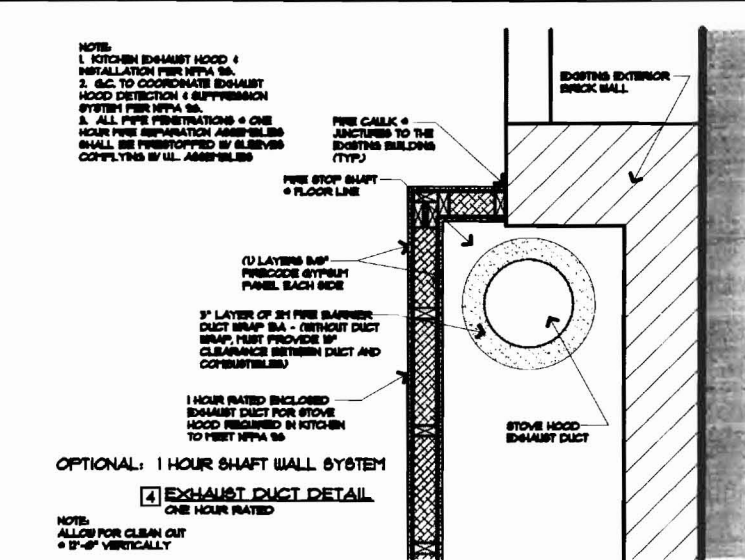
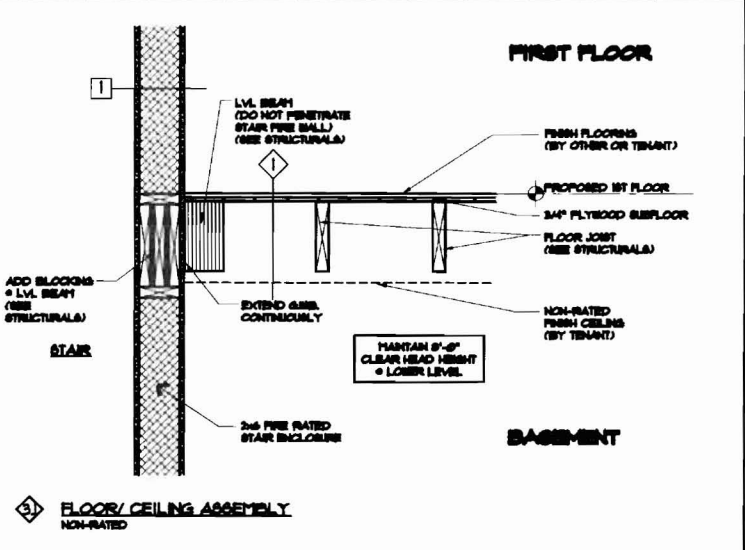
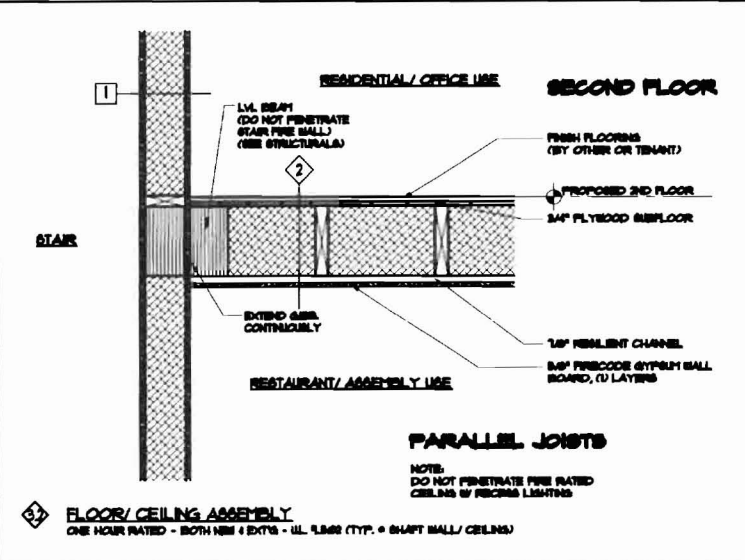
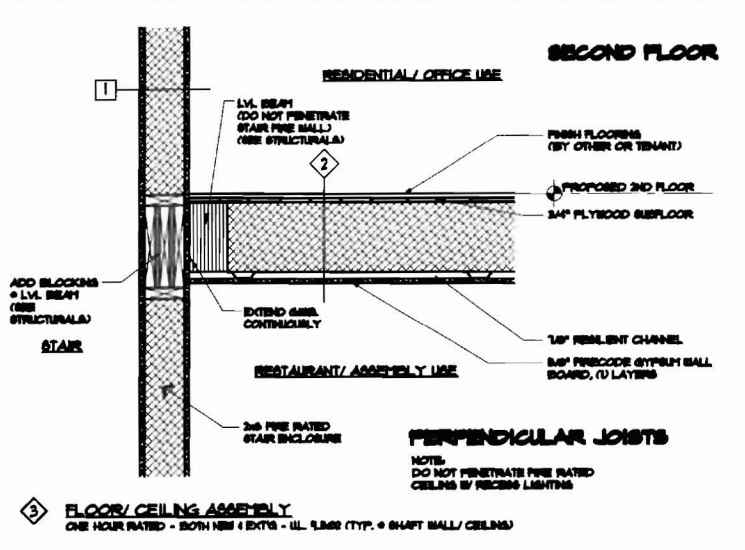
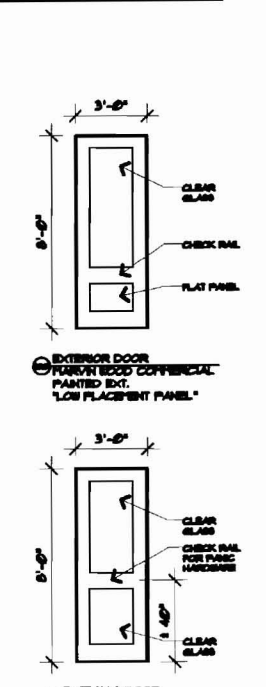
OCCUPANT LOAD	124 PEOPLE
USE GROUP CLASSIFICATION	ASSEMBLY (A-2), R or B
TYPE OF CONSTRUCTION	TYPE 3 (000)
ACTUAL BUILDING AREA	4,318 SF.
BUILDING HEIGHT	28'
FIRE SUPPRESSION:	SPRINKLERED
FIRE WALLS & PARTY WALLS	EXISTING TO REMAIN
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR
EXIT ACCESS CORRIDORS	0 HOUR
INTERIOR LOAD BEARING WALLS	0 HOUR
STRUCTURAL MEMBER SUPPORTING WALL	0 HOUR
FLOOR CONSTRUCTION	1 HOUR BETWEEN A-2 & B/R
ROOF CONSTRUCTION	0 HOUR
GENERAL NOTES	-

USE GROUP 'R' TO BE ONE/ TWO FAMILY DWELLING UNIT

NFPA 101 SEC. 302.4.2.3
ALLOW ONE EGRESS STAIR FROM 'B' & 'R' USE

DOOR SCHEDULE

DOORS		FRAMES		THRESHOLD		REMARKS
NO.	TYPE	SIZE	TRC.	FR.	MAT.	
001	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	CLOSER BY MAGNETIC HOLD BACK, FIRE EXIT HARDWARE
002	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	LEVER HARDWARE, CLOSER
003	3'-0" x 8'-0"	1 1/2"	0 HR.	WOOD	NPL.	LEVER HARDWARE
004	3'-0" x 8'-0"	1 1/2"	0 HR.	WOOD	NPL.	DOUBLE ACTING, 2X KICKPLATE BOTH SIDES, 2X 2" VINYL PANEL
005	3'-0" x 8'-0"	1 1/2"	0 HR.	WOOD	NPL.	LEVER HARDWARE, KICKPLATE (OVAL SIDES), CLOSER
006	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	FLUSH BY OPERA, HOLD BACK, FIRE EXIT HARDWARE, KICK PLATE & 2X 2" VINYL GLASS VISION PANEL
007	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	CLOSER, LEVER HARDWARE, KICK PLATE & LOCKSET
008	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	LEVER HARDWARE (HARVIN COMMERCIAL DOOR)
009	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	FIRE EXIT HARDWARE, CLOSER, OPERA, MAGNETIC HOLD BACK, KICK PLATE, 2X 2" VINYL PANEL
010	3'-0" x 8'-0"	1 1/2"	0 HR.	WOOD	NPL.	LEVER HARDWARE, CLOSER, KICKPLATE
011	3'-0" x 8'-0"	1 1/2"	0 HR.	WOOD	NPL.	LEVER HARDWARE, (NO CLOSER)
012	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	FIRE EXIT HARDWARE, CLOSER, MAGNETIC HOLD BACK
013	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	CLOSER AND FIRE EXIT HARDWARE (HARVIN COMMERCIAL DOOR)
014	3'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	LEVER HARDWARE, CLOSER
015	7'-0" x 8'-0"	1 1/2"	1 HR.	WOOD	NPL.	FRENCH HINGED PATIO DOOR



WINDOW SCHEDULE

NO.	TYPE	MANUFACTURER	CATALOG NO.	DETAILS			REMARKS
				HEAD	JAMB	SILL	
A	DOUBLE HUNG	HARVIN	SLD0250	-	-	-	VERIFY SIZE WITH EXISTING HARDWARE OPENING
B	DOUBLE HUNG	HARVIN	CUT021	-	-	-	CUSTOM WINDOW SIZE (24" x 48 1/2"). VERIFY EXISTING R.O.
C	DOUBLE HUNG	HARVIN	SLD0250	-	-	-	VERIFY SIZE WITH EXISTING ROUGH OPENING
D	DOUBLE HUNG	HARVIN	SLD0250	-	-	-	VERIFY SIZE WITH EXISTING ROUGH OPENING
E	DOUBLE HUNG	HARVIN	CUT021	-	-	-	CUSTOM WINDOW SIZE (24" x 48 1/2"). VERIFY EXISTING R.O.
F	FIXED	CUT021	-	-	-	-	CUSTOM FIXED (BY OTHERS)
G	FIXED	CUT021	-	-	-	-	CUSTOM FIXED (BY OTHERS)
H	DOUBLE HUNG	HARVIN	SLD0250	-	-	-	VERIFY SIZE WITH EXISTING ROUGH OPENING

NOTE: VERIFY ALL EXISTING HARDWARE OPENING PRIOR TO WINDOW ORDER. VERIFY WINDOW SCHEDULE TO ARCHITECT PRIOR TO ORDERING.

REVISED: 4/14/09
3. FIRE EXIT HARDWARE

REVISED CONSTRUCTION SET: APRIL 20, 2009

MARK MUELLER ARCHITECTS
A.I.A.

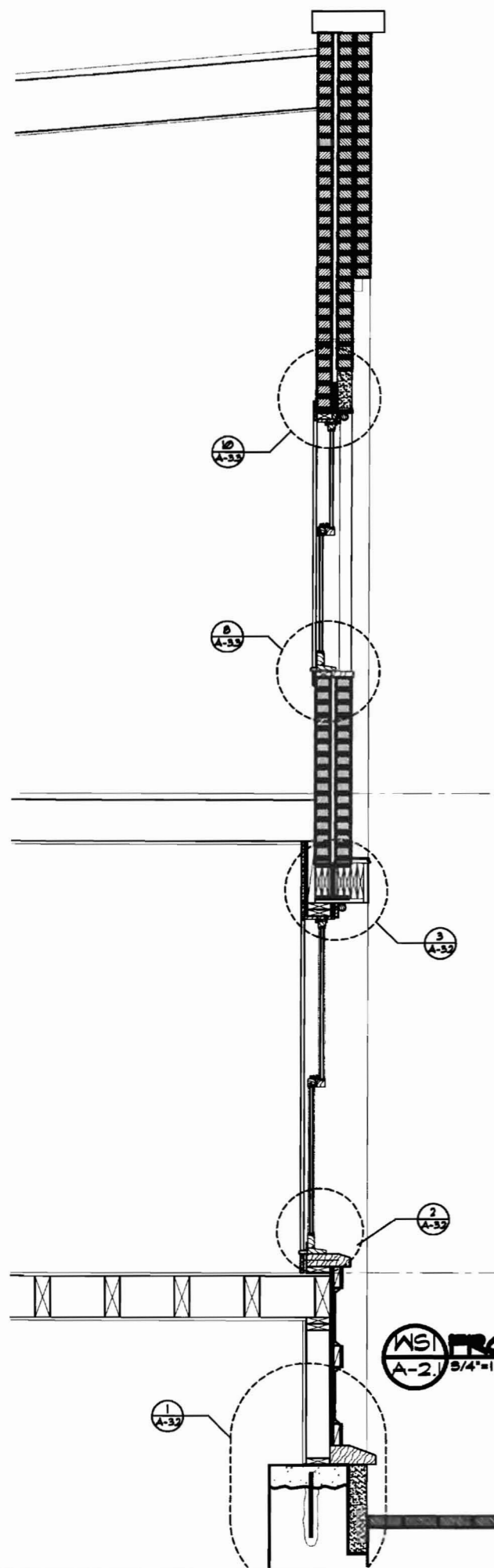
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RENOVATION OF:
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

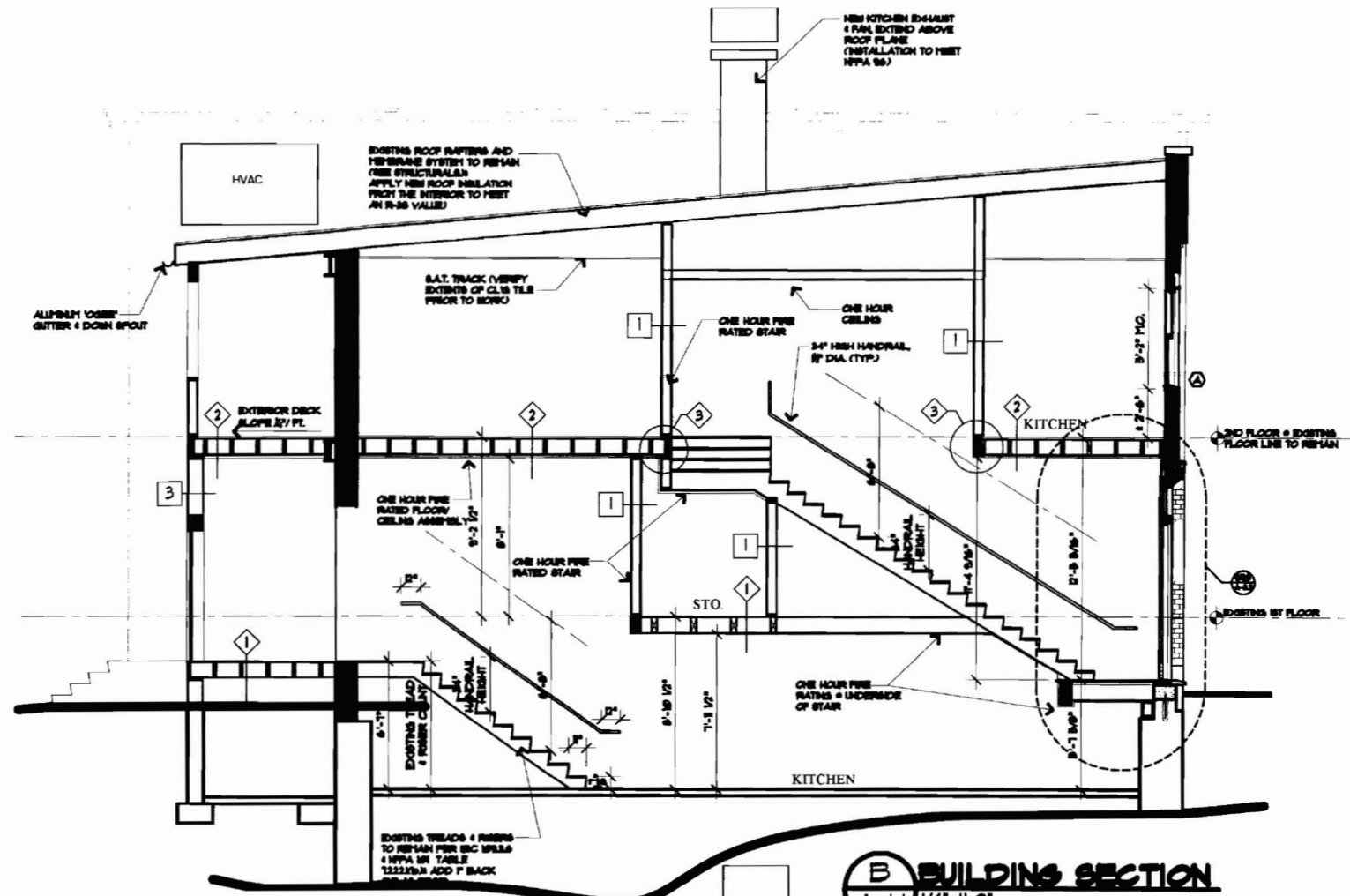
PLAN DETAILS

DATE: MARCH 30, 2009
PROJECT: 30 MARKET
DRAWN BY: MDP
CHECK BY: MLM

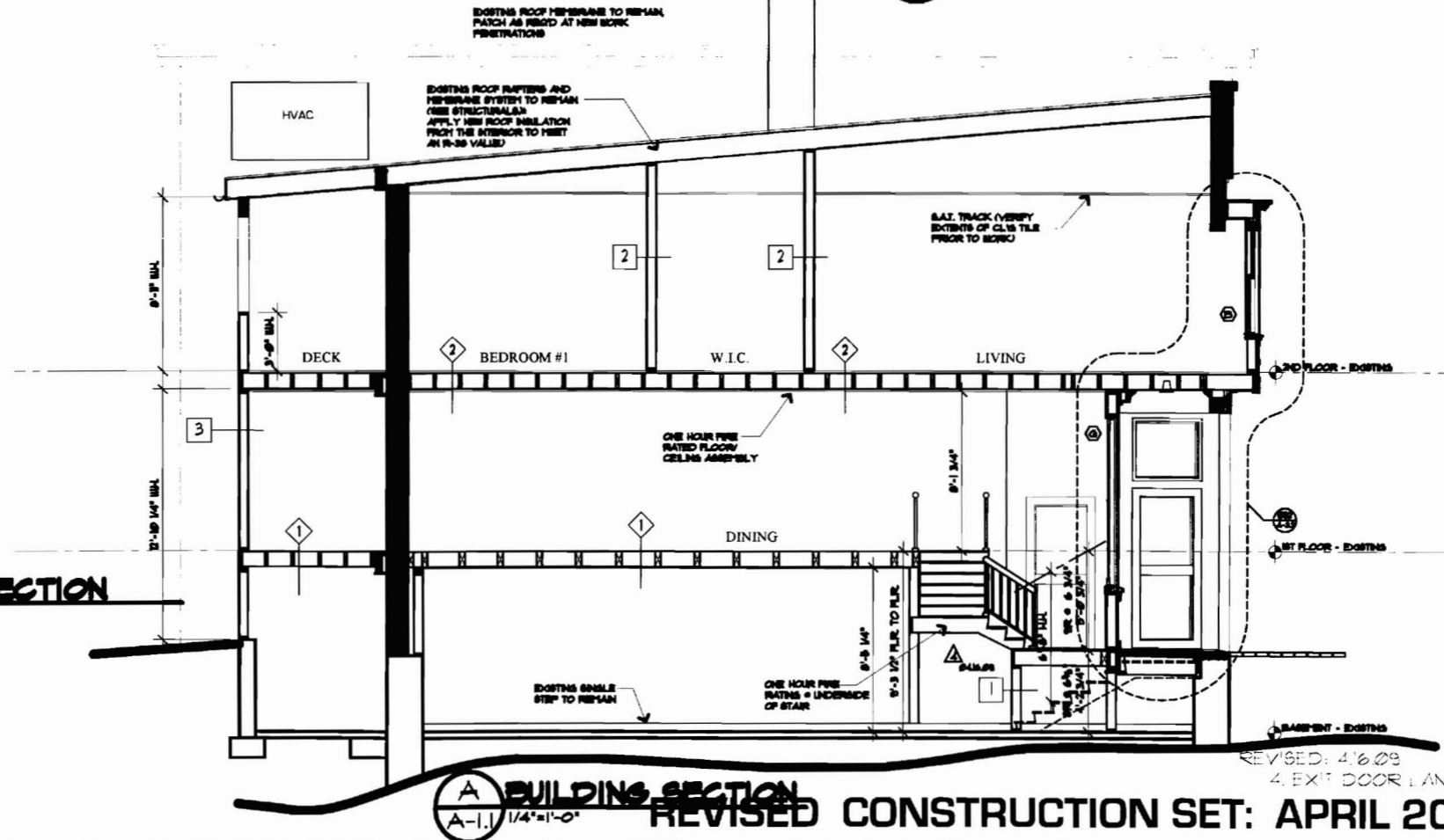
A-14



WS FRONT FACADE WALL SECTION
A-2 | 3/4" = 1'-0"



B BUILDING SECTION
A-1.1 | 1/4" = 1'-0"



A BUILDING SECTION
A-1.1 | 1/4" = 1'-0"

REVISED CONSTRUCTION SET: APRIL 20, 2009

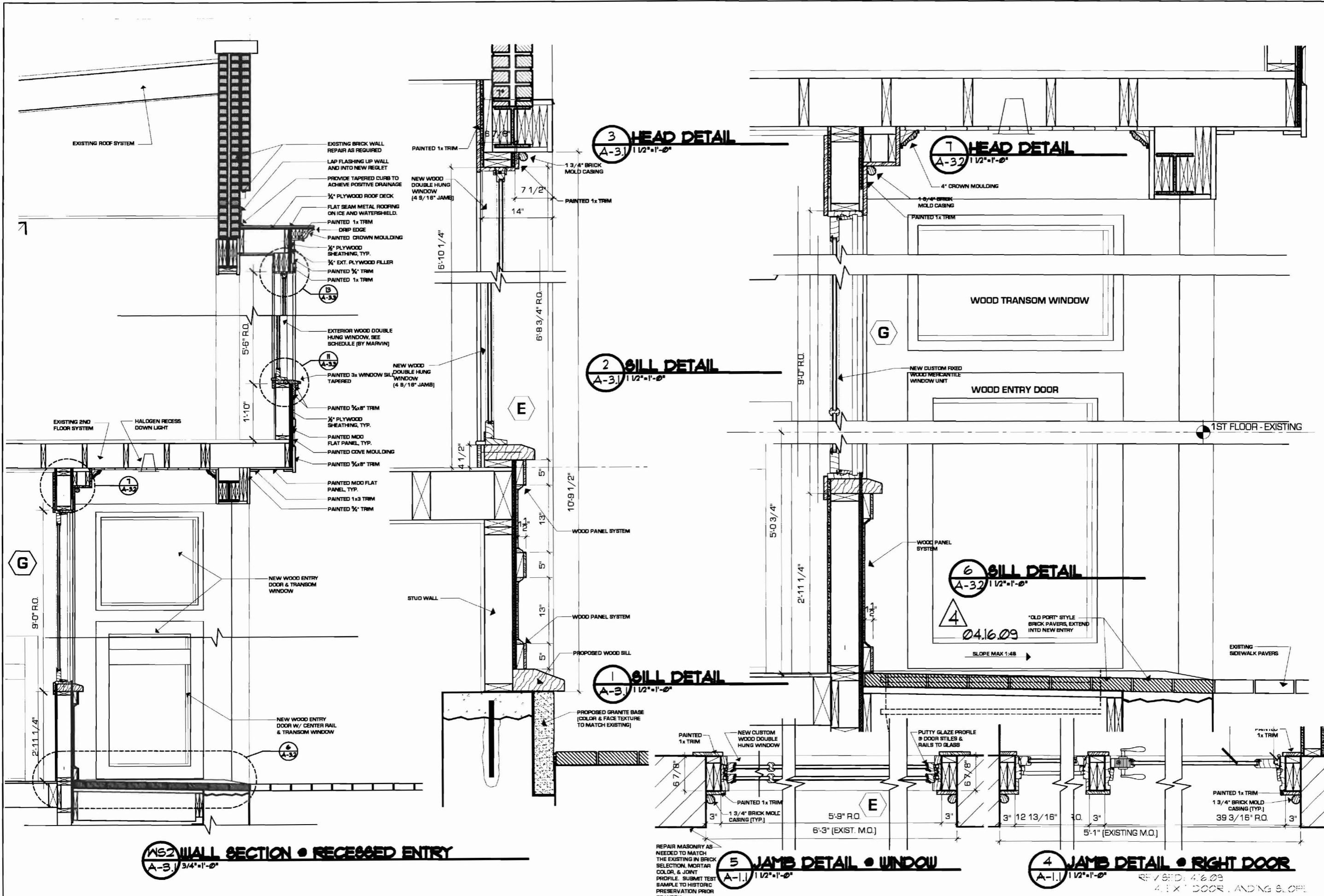
REVISED: 4/16/09
4. EXIT DOOR LANDING S. OPEN

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RENOVATION OF
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

BUILDING SECTIONS
DATE: MARCH 30, 2008
PROJECT: 30 MARKET
DRAWN BY: MUE
CHECK BY: MUE

A-3.1



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RENOVATION OF:
30 MARKET STREET
30 MARKET ST.
PORTLAND, MAINE

BUILDING SECTIONS/ DETAILS

DATE	WARD-31-2008
PROJECT	30 MARKET
DRAWN BY	MAP
CHECK BY	MLM

REVISED: 4/16/09
4.1' x 1' DOOR LANDING SLOPE

REVISED CONSTRUCTION SET: APRIL 20, 2009

A-32