

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BU **PERMIT** ION

Permit Number: 081186

PERMIT ISSUED

This is to certify that ELC Inc/TBD

has permission to facade renovation & interior tenant fit up specific use approval

AT 30 Market St

C 032 F003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Clark

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

*James Burke* 11/13/08

**City of Portland, Maine - Building or Use Permit Application**

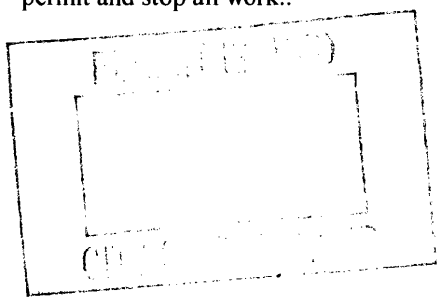
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1186	Issue Date:	CBL: 032 F003001
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Location of Construction: 30 Market St	Owner Name: E L C Inc	Owner Address: 42 Market St	Phone: 207-774-9057
Business Name:	Contractor Name: TBD	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - lower level - bar ("Alehouse"); 1st floor - restaurant on left (Market Street Eats) & hair salon on right; 2nd floor - personal service - "Portland Hot Tub"	Proposed Use: Commercial - facade renovation & interior tenant fit up - no specific use approved	Permit Fee: \$3,345.00	Cost of Work: \$325,000.00	CEO District: 1
Proposed Project Description: facade renovation & interior tenant fit up - no specific use approved		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>A2/B<sup>ORR</sup></i> Type: <i>3B</i> <i>IBC-2003</i> Signature: <i>Greg Cass</i> Signature: <i>JMB 11/13/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 09/19/2008	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Cyulcoditor</i> Date: <i>9/23/08</i> <i>Agly</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Re-Bar Schedule Inspection: Prior to pouring concrete

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

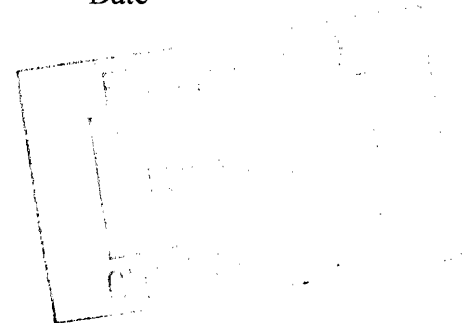
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

X Miller Stangor  
Signature of Applicant/Designee

11/14/08  
Date

James Kante  
Signature of Inspections Official

11/13/08  
Date



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1186	Date Applied For: 09/19/2008	CBL: 032 F003001
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Location of Construction: 30 Market St	Owner Name: E L C Inc	Owner Address: 42 Market St	Phone: 207-774-9057
Business Name:	Contractor Name: TBD	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - facade renovation & interior tenant fit up - no specific use approved	Proposed Project Description: facade renovation & interior tenant fit up - no specific use approved
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**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 09/29/2008

**Note:****Ok to Issue:** 

1) Project shall conform with HP Board's 2/6/08 conditions of approval:

- \*  Prior to commencing with masonry repair/reconstruction, contractor to contact staff for inspection  of test sample. Masonry shall match existing in terms of brick selection, mortar color and joint  profile.
- \*  Window glass to be clear with no low-E coating.
- \*  Glass plane of transoms to align with glass plane of the French doors below.
- \*  Stile & rail widths of storefront French doors to match those of main entrance doors.
- \*  Panel treatment at bay window to match 1924 appearance, i.e. 2 recessed panels below   
 each window.
- \*  Brickmould to be installed around doors and windows shall be as shown in Detail #4, HP3
- \*  Door casing to feature glazing bead profile, not ovolo profile
- \*  All doors and windows to be painted.
- \*  Additional details for proposed signs and lights to be submitted to staff for final review and  approval.

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 09/23/2008

**Note:** Spoke to Mark Mueller. There are no actual tenants at this point. The idea is to put a restaurant on the lower level & 1st floor, and put either a dwelling unit or office on the second floor. **Ok to Issue:**

- 1) This permit is for alterations only. It is to remain a vanilla box until separate permits are applied for, reviewed and approved for any new tenant. No specific use is being established at this point.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for any new signage.
- 4) This property is located within the Pedestrian Activities District (PAD) which limits first floor uses along the pedestrian way to be retail-like. Any change of use shall comply with all the B-3 PAD requirements.
- 5) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/13/2008

**Note:** Greg C. Was on vacation, so this was routed to building review

**Ok to Issue:**

<b>Location of Construction:</b> 30 Market St	<b>Owner Name:</b> E L C Inc	<b>Owner Address:</b> 42 Market St	<b>Phone:</b> 207-774-9057
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

- 1) Application approval based upon information provided by applicant, with subsequent SK submittals showing revisions. Any deviation from approved plans requires separate review and approval prior to work.
- 2) A final special inspection report must be submitted prior to the final inspection or issuance of a certificate of occupancy. This report must demonstrate any deficiencies and corrective measures that were taken.
- 3) Separate permits are required for all tenant space fit up work and to establish the use and occupancy. This includes the restaurant space to provide seating diagram and specific kitchen and prep area layout.
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 5) Separate permits are required for any electrical, plumbing, HVAC and exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 10/21/2008

**Note:**

**Ok to Issue:**

- 1) All construction shall comply with NFPA 101
- 2) Application requires State Fire Marshal approval.
- 3) A single source supplier should be used for all through penetrations.
- 4) The hood will require a separate permit
- 5) Fire extinguishers required. Installation per NFPA 10
- 6) Emergency lights are required to be tested at the electrical panel.
- 7) Stair separating the 2 uses requires a 2 hr. Fire rating. = 8.2.2.2.3 and IBC 303.2

**Comments:**

9/22/2008-gg: will bring in a check (\$75.00 ) for certificate of occupancy 9/22/08. /gg

9/29/2008-gg: received from historic as of 9/29/08./gg

10/27/2008-jmb: Spoke with Mark M. About review items, Seismic site class defaulted to D for the structural design, but a condition on the permit will be to report all soils information gathered at excavation and related design changes, certificate of design application is not complete, provide detail of stair riser and handrail, provide code justification for stairwell and hood shaft to be 1hour, see sec 707.4, review plumbing code for fixture count, do not show a urinal, UL listing on walls needs to meet stc of 50 for tenant separation.

11/3/2008-jmb: Received email with SK's for changes, will review and respond

11/12/2008-jmb: Spoke with Mark and Matt...plans do not reflect the new UL wall type for the 2 hour separation at the stairwell and hood shaft, and STC rating. Mark verified with IBC that 2hr. is required. He also pointed out the riser dimension on SK-2. He will email the information.

11/13/2008-jmb: Received SK revision, ok to issue



# General Building Permit Application

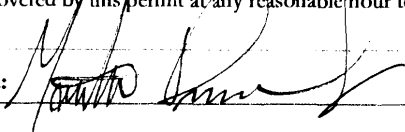
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 30 Market Street		
Total Square Footage of Proposed Structure 7,000 SQ. FT.	Square Footage of Lot N/A	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 032              F003              001	Owner: ELC REALTY 42 MARKET STREET PORTLAND, MAINE 04101	Telephone: 207.774.1000
Lessee/Buyer's Name (If Applicable) TBD	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL ST. - SUITE 205 PORTLAND, ME 04101 P: 207.774.9057 - F: 207.773.3851	Cost Of Work: \$ 325,000.00  Fee: \$ 3270.00  C of O Fee: \$ 75.00
<p>Current Specific use: <u>ASSEMBLY / BUSINESS</u> - Change of use on lower floor &amp; 2nd floor.</p> <p>If vacant, what was the previous use? <u>N/A</u></p> <p>Proposed Specific use: <del>ASSEMBLY / BUSINESS</del> - Lower &amp; 2nd floor will be one space for a restaurant.</p> <p>Project description: <u>FACADE RENOVATION &amp; INTERIOR TENANT FIT UP</u></p> <p>- not sure yet what second floor space will be leased out as</p>		
Contractor's name, address & telephone: TBD		
<p>Who should we contact when the permit is ready: <u>PEG CIANCHETTE</u></p> <p>Mailing address: ELC      Phone: <u>207.774.1000</u> <b>XX Call</b></p> <p>42 MARKET STREET PORTLAND, MAINE 04101</p> <p>on monday 9/22/08 will bring check for</p>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit. \$75.00

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703. 60/0

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 

Date: SEPTEMBER 15, 2008

**This is not a permit; you may not commence ANY work until the permit is issued.**



# Certificate of Design

Date:

9/16/08

From:

Aaron Wilson - Associated Design Partners

These plans and / or specifications covering construction work on:

30 MARKET ST. - STRUCTURAL

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature:

Aaron S. Wilson

Title:

STRUCTURAL ENGINEER

Firm:

ASSOCIATED DESIGN PARTNERS

Address:

30 LEIGHTONS RDFALMOUTH ME 04405

Phone:

878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design Application

From Designer:

ASSOCIATED DESIGN PARTNERS, INC

Date:

Job Name:

30 MARKET ST

Address of Construction:

30 MARKET ST

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) \_\_\_\_\_

Type of Construction \_\_\_\_\_

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC \_\_\_\_\_

Is the Structure mixed use? Y If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? \_\_\_\_\_ Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>ASSEMBLY</u>	<u>100 PSF</u>
<u>RESIDENTIAL</u>	<u>40 PSF</u>
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

ANALYTICAL Design option utilized (1609.1.1, 1609.6)100 MPH Basic wind speed (1809.3)1.0 Building category and wind importance Factor,  $I_w$   
table 1604.5, 1609.5)B Wind exposure category (1609.4)+1-0.18 Internal pressure coefficient (ASCE 7)+1-21.26 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)+1-17.85 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

ASCE 705 Design option utilized (1614.1)B Seismic use group ("Category")0.324, 0.125 Spectral response coefficients,  $S_D$  &  $S_I$  (1615.1)D Site class (1615.1.5)NA Live load reduction20 Roof live loads (1603.1.2, 1607.11)47 PSF + 0.01 PSF Roof snow loads (1603.1.3, 1608)60 Ground snow load,  $P_g$  (1608.2)47 PSF + 0.01 PSF  $P_g > 10$  psf, flat-roof snow load  $P_f$ 1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$ 1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$ 1.1 Roof thermal factor,  $C_t$  (1608.4)47 PSF + 0.01 PSF Sloped roof snowload,  $P_s$  (1608.4)B Seismic design category (1616.3)OSMF / OPM<sup>3</sup>W Basic seismic force resisting system (1617.6.2)3.5 / 1.5 Response modification coefficient,  $R$ , and  
deflection amplification factor  $C_d$  (1617.6.2)ELF Analysis procedure (1616.6, 1617.5)56 K Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

NA Flood Hazard area (1612.3)NA Elevation of structure

### Other loads

NA Concentrated loads (1607.4)10 PSF Partition loads (1607.5)NA Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
1607.12, 1607.13, 1610, 1611, 2404)



**STATEMENT OF SPECIAL  
CONSTRUCTION MONITORING**

**PROJECT: 30 Market Street  
30 Market Street, Portland, Maine**

**PERMIT APPLICANT: Eric Ciancette – ELC Realty  
APPLICANT'S ADDRESS: 42 Market St, Portland, ME 04101**

**STRUCTURAL ENGINEER OF RECORD**

**Foundations: Associated Design Partners, Inc  
Pre-Fabricated Steel Building: Package Industries, Inc.**

**CONTRACTOR: Monaghan Woodworks**

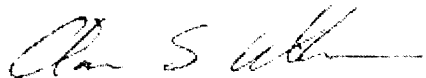
This Statement of Special Construction Monitoring is submitted as a condition for building permit issuance in accordance with Section 1704.0 of the 2003 International Building Code. It includes the Schedule of Special Construction Monitoring and Testing as applicable to this project. Also included is a listing of agents and other approved agencies to be retained for conducting the monitoring and testing applicable to this project.

The Special Construction Monitoring Coordinator shall keep records of all observations listed herein, and shall furnish field reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction, and to the Registered Design Professional of Record. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.

The Special Construction Monitoring program does not relieve the Contractor of his or her responsibilities. Job site safety is solely the responsibility of the Contractor. Materials and activities covered under the monitoring schedule are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared by:

Aaron S. Wilson  
(type or print name)



Signature

9-18-08  
Date



Owner's Authorization

Building Official's Acceptance:

Paul Smith  
Signature

9.18.08  
Date

Signature

Date

## SPECIAL CONSTRUCTION MONITORING AGENTS

This Statement of Special Construction Monitoring / Quality Assurance Plan includes the following building systems:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Soils and Foundations<br><input checked="" type="checkbox"/> Cast-in-Place Concrete Retaining walls<br><input type="checkbox"/> Precast Concrete<br><input type="checkbox"/> Masonry<br><input checked="" type="checkbox"/> Structural Steel<br><input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Spray Fire Resistant Material<br><input checked="" type="checkbox"/> Wood Construction<br><input type="checkbox"/> Exterior Insulation and Finish System<br><input type="checkbox"/> Mechanical & Electrical Systems<br><input type="checkbox"/> Architectural Systems<br><input type="checkbox"/> Special Cases |
|--|---|

AGENT	FIRM	CONTACT INFORMATION
1. Engineer of Record (Foundations & Framing)	<b>Associated Design Partners</b>	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
2. Special Construction Monitoring Coordinator	<b>Associated Design Partners</b>	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
3. Field Monitor / Testing Agency	<b>S.W. Cole</b>	286 Portland Road Gray, ME 04039-9586 P: (207) 657.2866

Note: The testing agency shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

## QUALITY ASSURANCE FOR LATERAL SYSTEMS

### Quality Assurance for Seismic Requirements

Seismic Design Category *B*

Quality Assurance Plan Required (Y/N) *N*

If seismic design category C, and plan is not required, explain (see exceptions to 1705.1)

Description of seismic force resisting system and designated seismic systems:  
*Ordinary Steel Moment Frames at modified walls.*

### Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *100MPH*

Quality Assurance Plan Required (Y/N) *N*

Description of wind force resisting system and designated wind resisting components:  
*Ordinary Steel Moment Frames at modified walls.*

### Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility in accordance with section 1705.3, and 1706.3 of the 2003 IBC code.

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

**Key for Minimum Qualifications of Inspection Agents:**

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

<b>PE/SE</b>	Structural Engineer – a licensed SE or PE specializing in the design of building structures
<b>PE/GE</b>	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
<b>EIT</b>	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

**American Concrete Institute (ACI) Certification**

<b>ACI-CFTT</b>	Concrete Field Testing Technician – Grade 1
<b>ACI-CCI</b>	Concrete Construction Inspector
<b>ACI-LTT</b>	Laboratory Testing Technician – Grade 1&2
<b>ACI-STT</b>	Strength Testing Technician

**American Welding Society (AWS) Certification**

<b>AWS-CWI</b>	Certified Welding Inspector
<b>AWS/AISC-SSI</b>	Certified Structural Steel Inspector

**American Society of Non-Destructive Testing (ASNT) Certification**

<b>ASNT</b>	Non-Destructive Testing Technician – Level II or III.
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**International Code Council (ICC) Certification**

<b>ICC-SMSI</b>	Structural Masonry Special Inspector
<b>ICC-SWSI</b>	Structural Steel and Welding Special Inspector
<b>ICC-SFSI</b>	Spray-Applied Fireproofing Special Inspector
<b>ICC-PCSI</b>	Prestressed Concrete Special Inspector
<b>ICC-RCSI</b>	Reinforced Concrete Special Inspector

**National Institute for Certification in Engineering Technologies (NICET)**

<b>NICET-CT</b>	Concrete Technician – Levels I, II, III & IV
<b>NICET-ST</b>	Soils Technician - Levels I, II, III & IV
<b>NICET-GET</b>	Geotechnical Engineering Technician - Levels I, II, III & IV

**Exterior Design Institute (EDI) Certification**

<b>EDI-EIFS</b>	EIFS Third Party Inspector
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**TABLE 1 – SCHEDULE OF SPECIAL CONSTRUCTION MONITORING**

MATERIAL / ACTIVITY		EXTENT of MONITORING (Continuous, Periodic, Other, Exempt, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.3 STEEL CONSTRUCTION</b>						
1. Material Verification of high strength bolts, nuts, and washers.	a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Periodic		3		
	b. Manufacturers Certificate of Compliance required.	Other	Fabricator to provide Certificate to Agent 1.	1		
2. Inspection of High – Strength Bolting	a. Bearing type connections	Periodic		3		
	b. Slip – critical connections	None	No S-C connections in building			
3. Material Verification of structural steel	a. Identification marking to conform to ASTM standards specified in the contract documents.	Exempt	Fabricator to be AISC certified.			
	b. Manufacturers certified mill test Reports.	Exempt	Fabricator to provide Certificate to Agent 1.	1		
4. Material Verification of weld filler materials:	a. Identification marking to conform to AWS standards specified in the contract documents.	Exempt	Fabricator is AISC certified.			
	b. Manufacturers Certificate of Compliance required.	Exempt	Shop welding performed by AISC certified fabricator			
5. Inspection of Welding – Structural Steel	a. Single Pass fillet welds < 5/16"	Exempt	No field welding. Shop welding performed by AISC certified fabricator			
	b. Roof deck welds	Periodic		3		
6. Inspection of Steel Frame Joint details for compliance with approved documents.	a. Bracing / moment frame connections	Periodic		3		
	b. Member locations	Periodic		3		
	c. Application of joint details at each connection.	Periodic		3		

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.4 CONCRETE CONSTRUCTION</b>					
1. Inspection of reinforcing steel, including placement.	Periodic		3		
2. Inspection of reinforcing steel welding	None	No welding of rebar specified in contract drawings			
3. Inspect bolts embedded into concrete prior to and during placement of concrete where allowable loads have been increased.	None	Allowable loads have not been increased for lateral loads.			
4. Verify concrete mix design(s)	Periodic	SER to review and approve mix design(s) prior to delivery. Field agent to verify delivery ticket matches approved mix design.	1,3		
5. Sample fresh concrete for strength tests, perform slump and air content tests, and determine temperature of concrete.	Continuous		3		
6. Inspection of concrete placement for proper techniques.	Continuous		3		
7. Inspection for maintenance of specified curing temperature and techniques.	Periodic		3		
<b>1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2</b>					
1. As Masonry Construction begins, the following shall be verified to ensure conformance	a. Proportions of site-prepared mortar	None			
	b. Construction of mortar joints	None			
	c. Location of reinforcement	None			
	d. Pre-stressing technique	None	No pre-stressing in building		
	e. Grade and size of pre-stressing tendons.	None	No pre-stressing in building		
2. The Inspection program shall verify the following:	a. Size and location of structural elements.	None			
	b. Type, size, and location of embedded anchors.	None			
	c. Size, grade, and type of reinforcing	None			

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2</b>						
2. The Inspection program shall verify the following, cont:	d. welding of reinforcing bars	None				
	e. Protection of Masonry during cold weather (temp. below 40 deg F.)	None				
	f. Application and measurement of pre-stressing reinforcement	None	No pre-stressing in building			
3. Prior to grouting, the following shall be verified to ensure compliance.	a. Grout space is clean	None				
	b. Placement of reinforcement	None				
	c. Proportions of site-prepared grout	None				
	d. Construction of mortar joints	None				
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.		None				
5. Preparation of any grout specimens, mortar specimens and/or prisms shall be observed		None				
6. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.		None				
<b>1704.6 WOOD CONSTRUCTION</b>						
1. Horizontal Diaphragms and Vertical Shearwalls	a. Inspect sheathing size, grade, and thickness for conformance with construction documents.	Periodic		3		
	b. Inspect sheathing fastener size and pattern for conformance with construction documents.	Periodic		3		
	c. Verify attachment to supporting elements is per contract documents.	Periodic		3		
2. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant.	None				
3. Material Grading	Verify material grading for sawn lumber for compliance with construction documents. Verify manufactured lumber (LVL'S, PSL'S) for conformance with construction documents.	Periodic		3		

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.6 WOOD CONSTRUCTION</b>						
4. Wood Connections	Verify that connections are made as shown in the contract documents. For connections not specifically detailed, verify conformance with IBC 2003 Ch. 23	Periodic		3		
5. Framing	Verify that framing is installed in accordance with construction documents.	Periodic		3		
6. Pre-Fabricated Wood Trusses	Inspect truss and all bracing installation. Bracing to be installed per fabricator's recommendations and BCSI 1-03	None				
<b>1704.7 SOILS</b>						
1. Site Preparation	Inspect preparation of site for conformance with Geotechnical recommendations prior to placement of prepared fill.	Periodic		3		
2. Fill Placement	During Fill Placement verify that material and lift thickness comply with approved Geotechnical report.	Periodic		3		
3. In-Place Soil Density	Verify compliance of in-place compacted dry density with approved Geotechnical report.	Periodic		3		
<b>1704.7 PILE FOUNDATIONS</b>						
	Record installation and testing of procedures of each pile. Submit reports to building official and EOR. Reports to include pile tip cutoff elevation relative to a common benchmark.	None	No Piles on Job			
<b>1704.10 ARCHITECTURAL WALL PANELS AND VENEERS</b>						
	Verify compliance of attachment of interior and exterior Architectural veneers to supporting structure for building in Seismic Design Category E or F.	None	Building is Seismic Design Category B			



**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
<b>1704.11 SPRAYED FIRE-RESISTANT MATERIAL</b>	a. Verify conformance of the prepared surface with manufacturer's specifications prior to application of material.	None	No Sprayed Fire-Resistant material in building.			
	b. Verify that substrate's ambient temperature meet manufacturer's specifications.	None				
	c. Verify that material thickness meets design specifications.	None				
	d. Verify that the material density meets the design specifications. Test in accordance with ASTM E 605.	None				
	e. Verify that bond strength between material and substrate is greater than or equal to 150 psf. Test in accordance with ASTM E 736 and IBC 2003 1704.11.5.1 – 1704.11.5.2	None				
<b>1704.12 EXTERIOR AND INSULATION AND FINISH SYSTEMS (EIFS)</b>	Verify conformance of EIFS installation with manufacturers and design specifications.	None	No EIFS on building.			
<b>1704.13 SPECIAL CASES COLD FORMED METAL FRAMING</b>						
1. Framing	Verify member size, thickness, material, and spacing is in accordance with design specifications and drawings.	None				
2. Framing Connections	Verify that member connections are in accordance with design specifications and drawings.	None				
3. Welding	Verify welding of cold formed members is in accordance with design specifications and AWS standards.	None				
4. Light Gage Trusses	a. Verify that light gage trusses are	None				

**TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.**

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
	design in accordance with the loads specified on the contract documents.					
	b. Verify that light gage trusses and truss bracing is installed per manufacturers specifications, contract documents, and BCSI 1-03 guidelines.	None				
<b>1704.10 SMOKE CONTROL</b>						
	a. Test ductwork for leakage and recode device locations prior to concealment of mechanical systems.	None				
	b. Prior to building occupation, perform pressure difference testing, flow measurements and detection, and control monitoring.	None				



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Reviewed  
for Barrier  
Free

# 17984

Not Sprinkled

**30 MARKET STREET RENOVATIONS**  
Located at: 30 MARKET STREET  
**PORTLAND**  
Occupancy/Use: ASSEMBLY CLASS C/Business

**Permission is hereby given to:**  
**ELC REALTY**

**42 MARKET STREET**  
**PORTLAND, ME 04101**

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 21 st of March 2009*

Dated the 22 n day of September A.D. 2008

Commissioner

**Copy-2 Architect**

Comments:

MARK MUELLER ARCHITECTS  
SUITE 205  
100 COMMERCIAL STREET  
PORTLAND, ME 04101

**Jeanie Bourke - 30 Market Street Permit Revision**

**From:** "Matt Provencal" <matt@muellerarchitects.com>  
**To:** <jmb@portlandmaine.gov>  
**Date:** 11/3/2008 11:11 AM  
**Subject:** 30 Market Street Permit Revision

Jeanie,

Please find attached a PDF document containing the appropriate information you requested to fulfill the building permit.

The pages can be printed on 8.5"x11" size media, however if you would like I can mail a hard copy set to your office.

If you have any further questions or comments please do not hesitate to call.

Thank you,

Matt Provencal  
Architectural Designer



Mark Mueller Architects  
100 Commercial Street  
Suite 205  
Portland, Maine 04101  
[matt@muellerarchitects.com](mailto:matt@muellerarchitects.com)  
Tele: 207.774.9057  
Fax: 207.773.3851

NOV 3 2008

**Matt Provencal**

---

**From:** Mark Mueller  
**Sent:** Tuesday, October 28, 2008 12:41 PM  
**To:** Matt Provencal  
**Subject:** FW: 30 Market St Seismic  
**Follow Up Flag:** Follow up  
**Flag Status:** Blue

Jeannie,

Regarding the soil classification for the seismic design for 30 Market Street. I assumed Soil Type D (Stiff Soil) for design purposes, and I believe this to be conservative, as we know that some (and maybe all) of the existing building is founded on ledge. The soil type for ledge is B (Rock), and if this were used for design, it would yeild lower design seismic forces than a Type D soil. During construction, we will attempt to verify that the existing soil is at least a Type D. I do not anticipate finding a Type E (soft clay) at this site. Please call if you have any questions.

thanks

Aaron

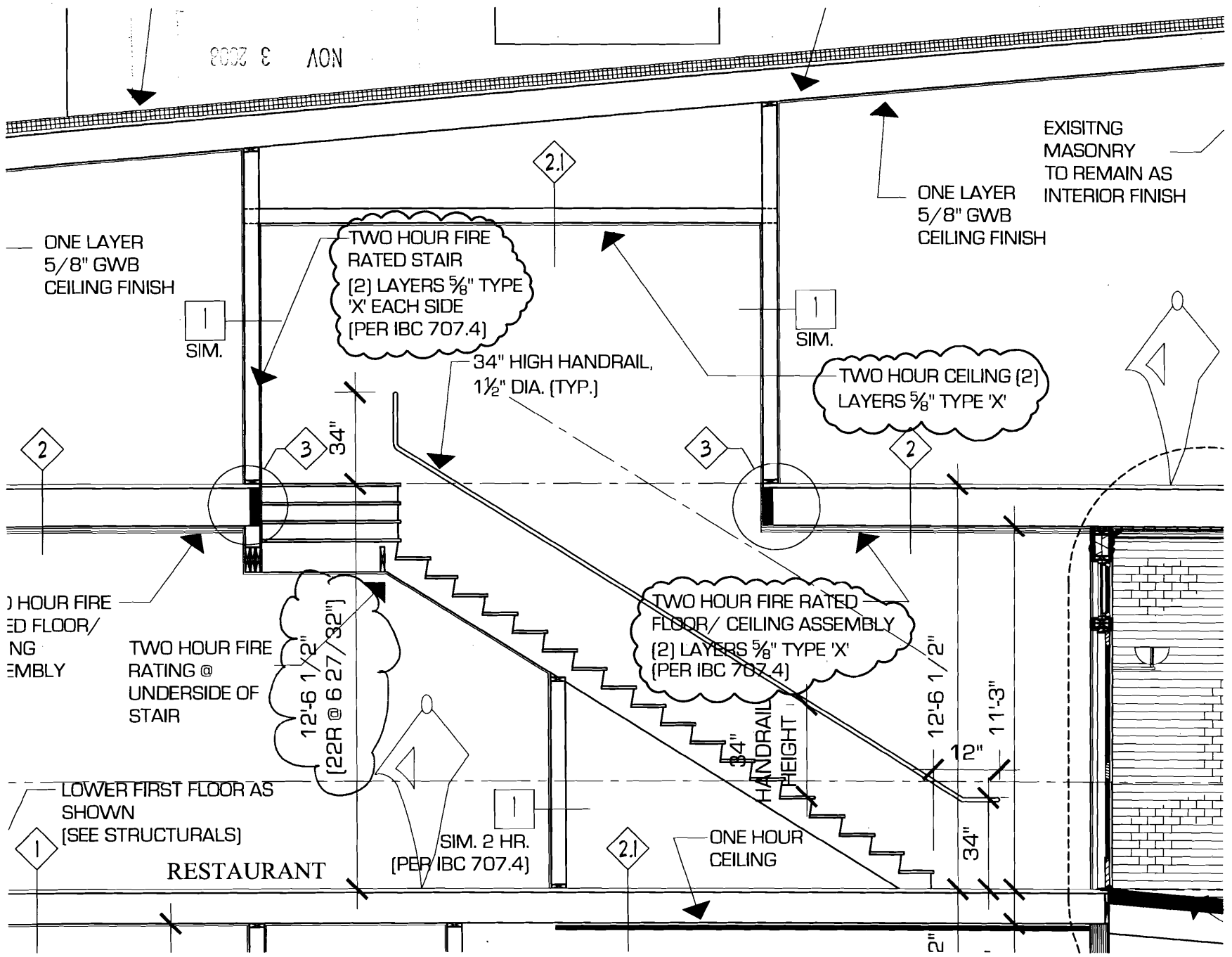
Aaron S. Wilson, P.E.  
Structural Engineer

Associated Design Partners, Inc  
80 Leighton Rd  
Falmouth, ME 04105

Ph: 207.878.1751  
Fx: 207.878.1788

NOV

10/28/2008



**ENLARGED BUILDING SECTION**

SCALE: 1/4" = 1'-0"



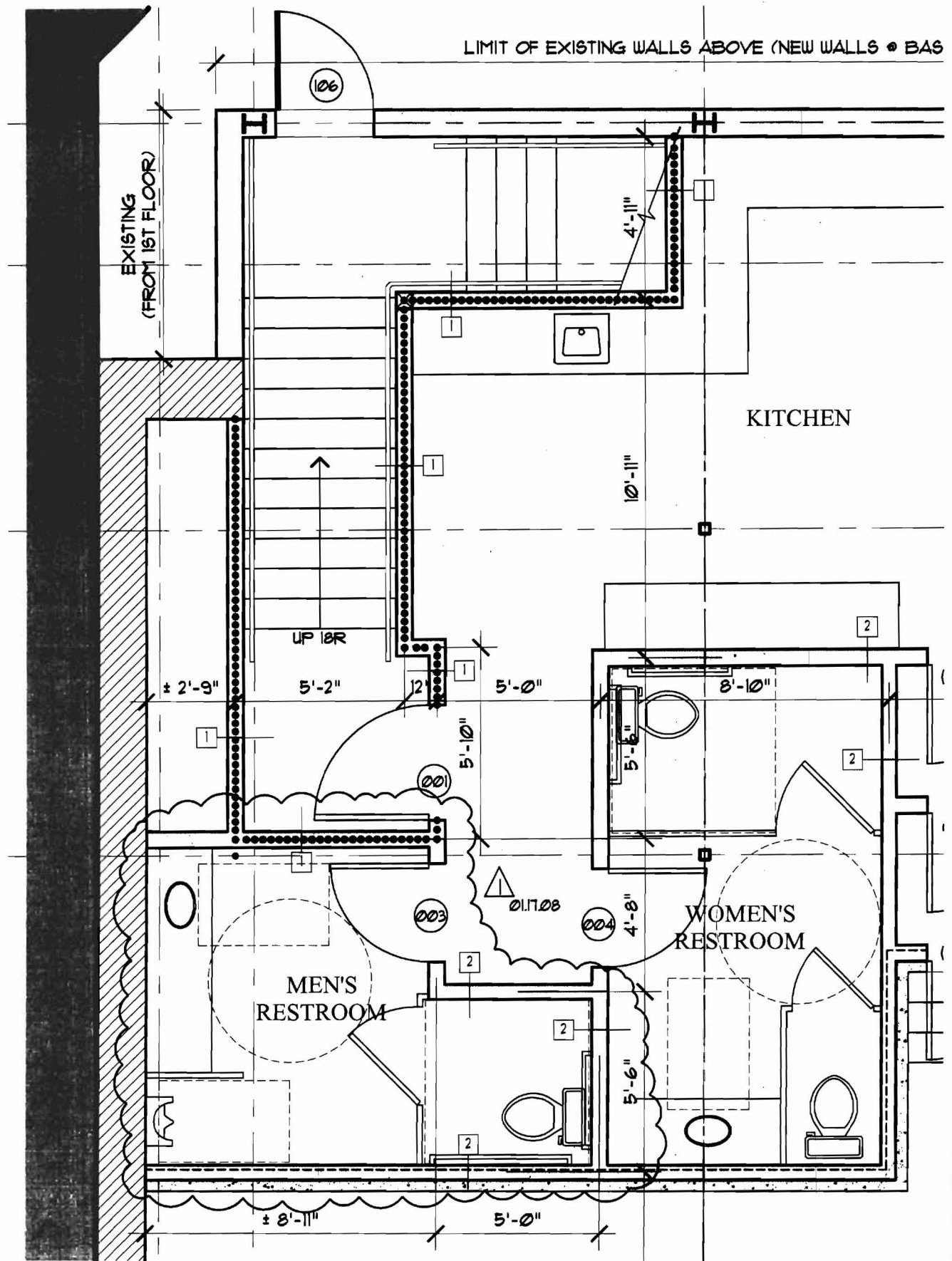
**MARK  
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ARCHITECTS**  
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Phone: 207.774.9057  
Fax: 207.774.9666  
mmueller@mmueller.com

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Renovation of:  
**30 MARKET STREET**  
30 Market Street  
Portland, Maine

NO.	DATE	BY	CHK'D BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

**SK-2**



**ENLARGED BASEMENT PLAN**  
SCALE: 1/4"=1'-0"

NOTE:  
ADD EMERGENCY LIGHTS PER CAPT. GREG CASS RECOMMENDATIONS ALL FLOORS



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rsm@muellerarchitects.com

COMPANY  
MUELLER ARCHITECTS, LLC

Renovation of:  
**30 MARKET STREET**

30 Market Street  
Portland, Maine

REVISIONS

DATE

Oct. 27, 2009

PROJECT

30 Market

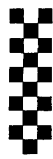
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AME

CHECK BY

MEM

**SK-1**



## Certificate of Design

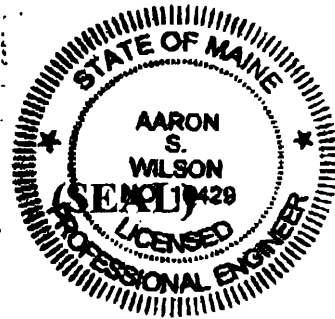
Date: 9/16/08

From: Aaron Wilson - Associated Design Partners

These plans and / or specifications covering construction work on:

30 MARKET ST. - STRUCTURAL

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: A. S. Will

Title: STRUCTURAL ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS

Address: 30 LEGATION RD

FARMINGTON ME 04845

Phone: 878-1757

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

NOV  
5





# Certificate of Design Application

From Designer:

ASSOCIATED DESIGN PARTNERS, INC

Date:

10-28-08

Job Name:

30 MARKET ST

Address of Construction:

30 MARKET ST

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) A-2 / R-3Type of Construction 3BWill the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NONEIs the Structure mixed use? Y If yes, separated or non separated or non separated (section 302.3) SEPARATEDSupervisory alarm System? NONE Geotechnical/Soils report required? (See Section 1802.2) SEE APPENDIX

### Structural Design Calculations

Submitted for all structural members (106.1 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>ASSEMBLY</u>	<u>100 PSF</u>
<u>RESIDENTIAL</u>	<u>40 PSF</u>

### Wind loads (1603.1.4, 1609)

ANALYTICAL Design option utilized (1609.1.1, 1609.6)100 MPH Basic wind speed (1809.3)1.0 Building category and wind importance factor,  $I_w$  (table 1604.5, 1609.5)B Wind exposure category (1609.4)+1-0.18 Internal pressure coefficient (ASCE 7)+1-21.26 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)+1-17.08 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

ASCE 705 Design option utilized (1614.1)B Seismic use group ("Category")0.324, 0.125 Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1) NOVD Site class (1615.1.5)

NA Live load reduction  
20 Roof live loads (1603.1.2, 1607.11)  
47 PSF + 0.18 PSF Roof snow loads (1603.7.3, 1608)  
60 Ground snow load,  $P_g$  (1608.2)  
47 PSF + 0.18 PSF  $P_g > 10$  psf, flat-roof snow load  $P_f$   
1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
1.1 Roof thermal factor,  $C_t$  (1608.4)  
47 PSF + 0.18 PSF Sloped roof snowload,  $P_s$  (1608.4)  
B Seismic design category (1616.3)  
OSMF / OP<sup>3W</sup> Basic seismic force resisting system (1617.6.2)  
3.5 / 1.5 Response modification coefficient,  $R$ , and  
deflection amplification factor,  $C_d$  (1617.6.2)  
ELF Analysis procedure (1616.6, 1617.5)  
50% Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

NA Flood Hazard area (1612.3)  
NA Elevation of structure

### Other loads

NA Concentrated loads (1607.4)  
10.75 PSF Partition loads (1607.5)  
NA Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

**Jeanie Bourke - 30 Market Street Wall Types**

**From:** "Matt Provencal" <matt@muellerarchitects.com>  
**To:** <jmb@portlandmaine.gov>  
**Date:** 11/12/2008 4:14 PM  
**Subject:** 30 Market Street Wall Types

Jeanie,

Please find attached a PDF of revision sheet SK-3 which shows the wall types we discussed on the phone.

If you have any further questions please let us know.

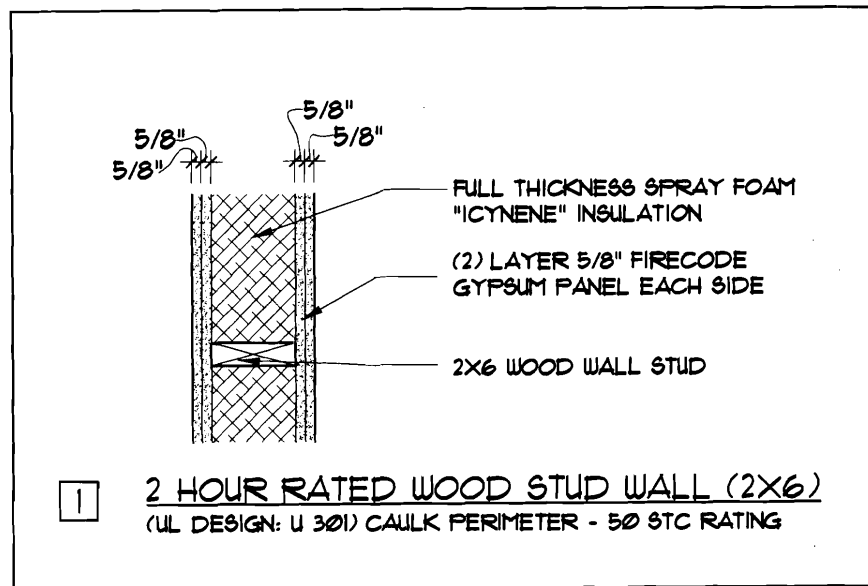
Thank you,

Matt Provencal  
Architectural Designer



Mark Mueller Architects  
100 Commercial Street  
Suite 205  
Portland, Maine 04101  
[matt@muellerarchitects.com](mailto:matt@muellerarchitects.com)  
Tele: 207.774.9057  
Fax: 207.773.3851

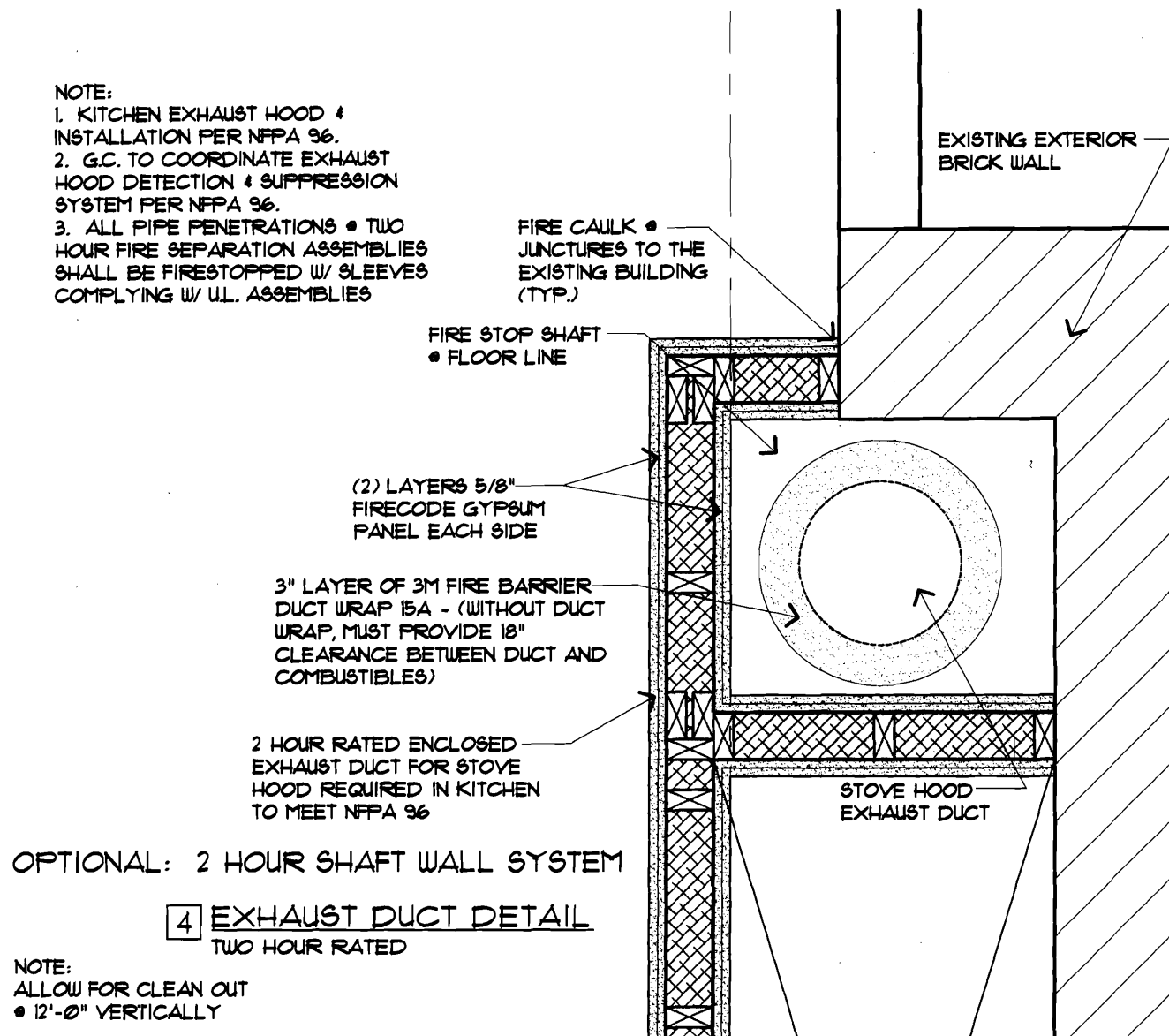
NOV 13 2008



NOV 13 2008

**NOTE:**

1. KITCHEN EXHAUST HOOD & INSTALLATION PER NFPA 96.
2. G.C. TO COORDINATE EXHAUST HOOD DETECTION & SUPPRESSION SYSTEM PER NFPA 96.
3. ALL PIPE PENETRATIONS & TWO HOUR FIRE SEPARATION ASSEMBLIES SHALL BE FIRESTOPPED W/ SLEEVES COMPLYING W/ U.L. ASSEMBLIES



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m@muellerarchitects.com

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Renovation of:

**30 MARKET STREET**

30 Market Street  
Portland, Maine

REVISIONS

DATE

05/27/2008

PROJECT

30 Market

DRAWN BY

MSP

CHECK BY

A.L.M.

**SK-3**

NOVEMBER 12, 2008



MARK  
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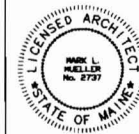
ET STREET

**ELC, INC.**  
**Portland, Maine**

09.17.2008

WALL LEGEND

EXISTING WALL	
NEW WALL	
FIRE RATED WALL	
EXISTING WALL TO BE REMOVED	



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RENOVATION OF:  
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30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

EXISTING CONDITIONS

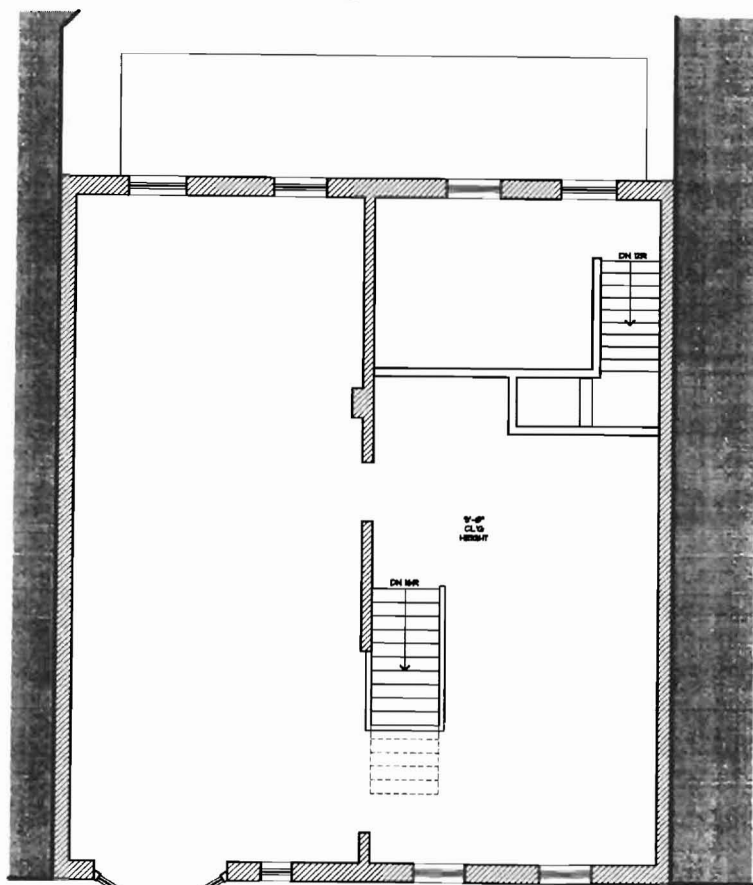
REVISIONS  
DATE: DEC 10, 2007  
PROJECT: 30 MARKET  
DRAWN BY: MRM  
CHECK BY: MRM

EC-1.1



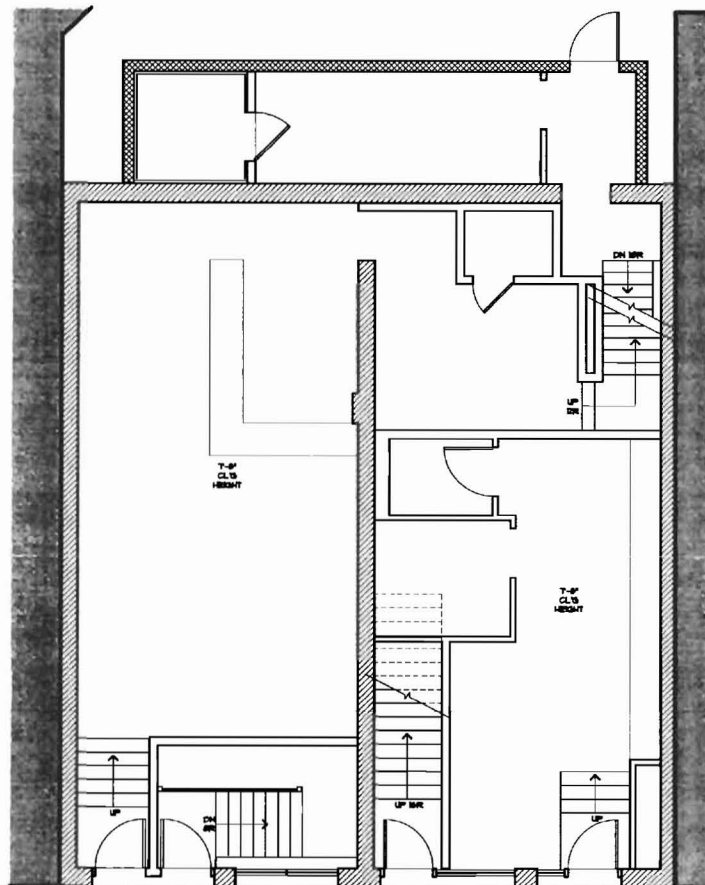
**EXISTING FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING 2ND FLOOR**

SCALE: 3/16" = 1'-0"



**EXISTING 1ST FLOOR**

SCALE: 3/16" = 1'-0"

**FOR CONSTRUCTION  
PERMIT SET: SEPTEMBER 17, 2008**

WALL LEGEND

EXISTING WALL	
NEW WALL	
FIRE RATED WALL	
EXISTING WALL TO BE REMOVED	



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RENOVATION OF:  
**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

DEMO PLANS

REVISED

DATE

DEC 18 2007

PROJECT

30 MARKET

DRAWN BY

AMP

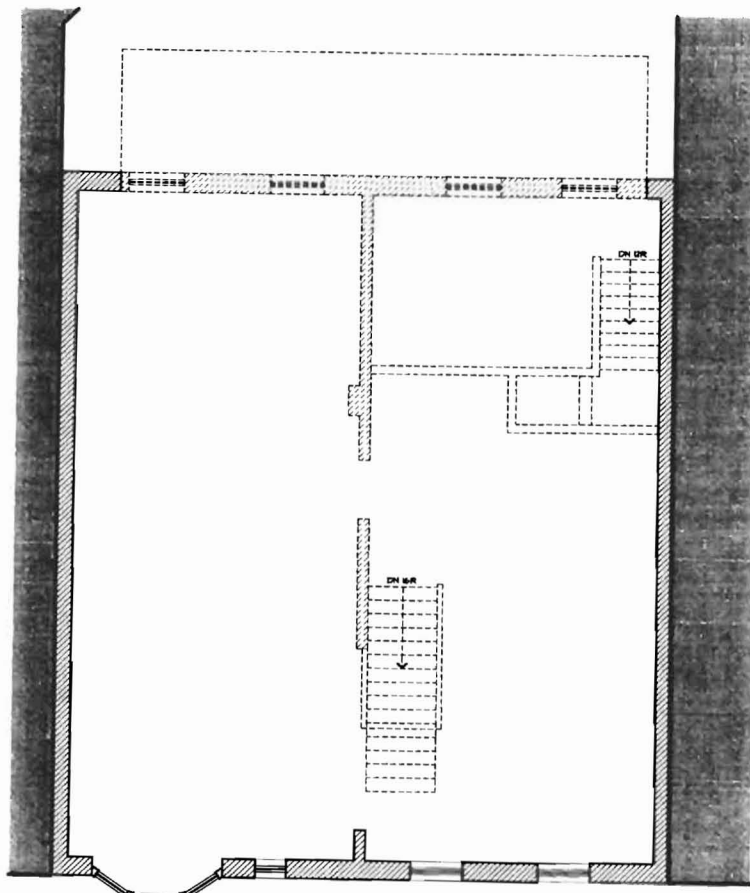
CHECK BY

MLV

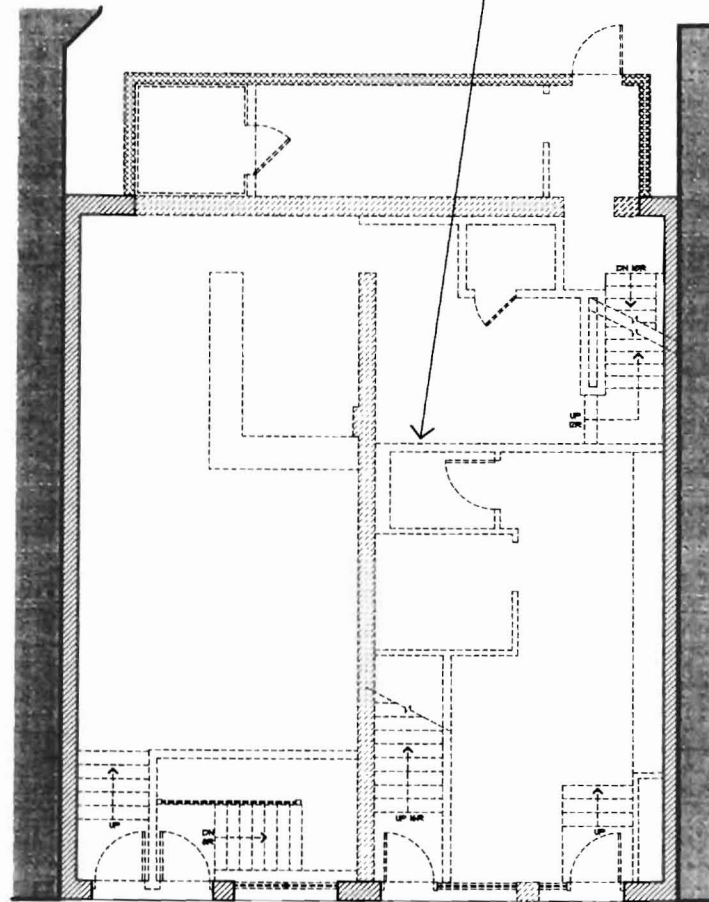
EC-12



**EXISTING FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**2ND FLOOR DEMO**  
SCALE: 3/16"=1'-0"



**1ST FLOOR DEMO**  
SCALE: 3/16"=1'-0"

REMOVE EXISTING FIRST  
FLOOR STRUCTURE

NEW WORK: SET NEW  
FLOOR @ SIDEWALK LEVEL  
FOR ACCESSIBLE ENTRY

**FOR CONSTRUCTION  
PERMIT SET: SEPTEMBER 17, 2008**

**PROJECT NOTES:**

- SCOPE OF WORK: THE PROJECT INCLUDES THE INTERIOR FIT-UP & FACADE RENOVATION FOR 30 MARKET STREET
- ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70. ALL LIFE SAFETY INTEGRATION W/ THE EXISTING SHALL MEET NFPA 72.
- ALL NEW INTERIOR FINISHES SHALL MEET:  
WALLS & CEILING: CLASS A OR B  
FLOOR FINISHES: NOT LESS THAN CLASS II
- FURNITURE, FIXTURES AND EQUIPMENT:  
SHALL BE FLAME RESISTANT AND MEET NFPA 701 STANDARD METHODS OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES AND FILMS.

**NOTE:**  
NEW MECHANICAL SYSTEM - YES  
NEW ELECTRICAL SYSTEM - YES  
NEW SPRINKLER SYSTEM - NO  
NEW PLUMBING SYSTEM - YES

**WALL LEGEND**

EXISTING WALL	=====
NEW WALL	=====
FIRE RATED WALL	=====
EXISTING WALL TO BE REMOVED	-----



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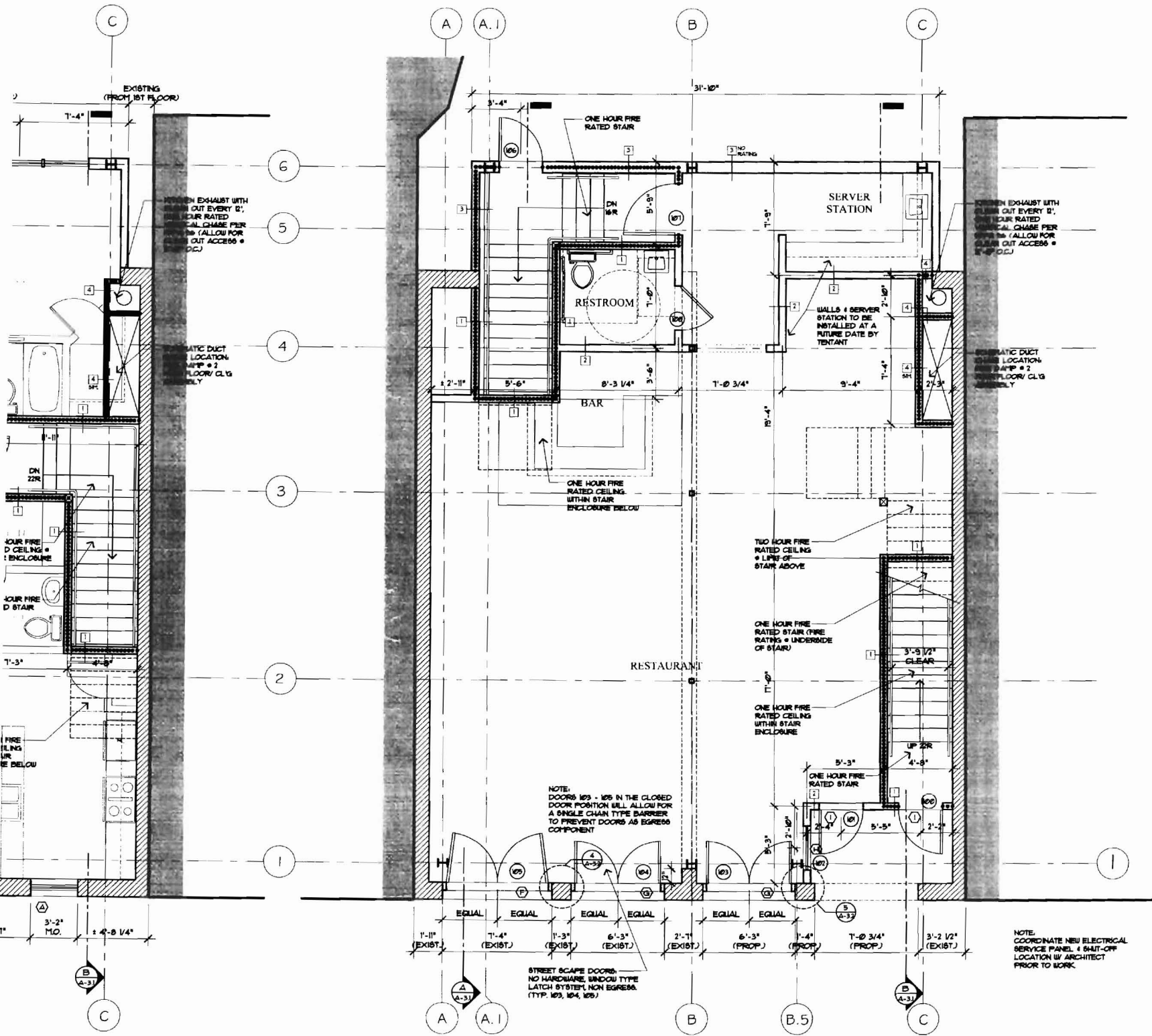
**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

**FLOOR PLANS**

DATE: DEC. 16, 2007  
PROJECT: 30 MARKET  
DRAWN BY: MSA  
CHECK BY: MSA

A-1.1

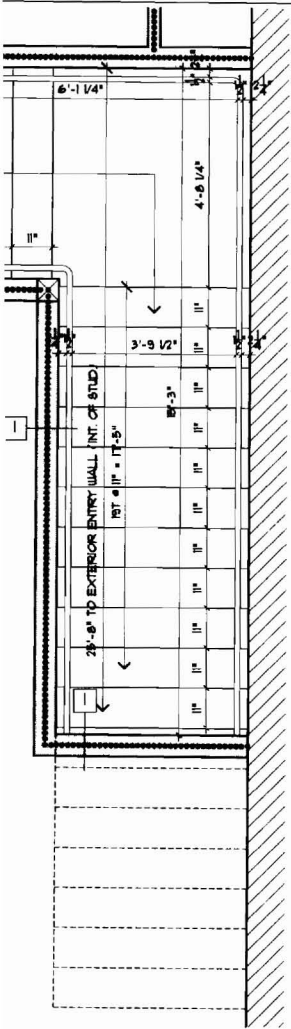


**PROPOSED 1ST FLOOR**

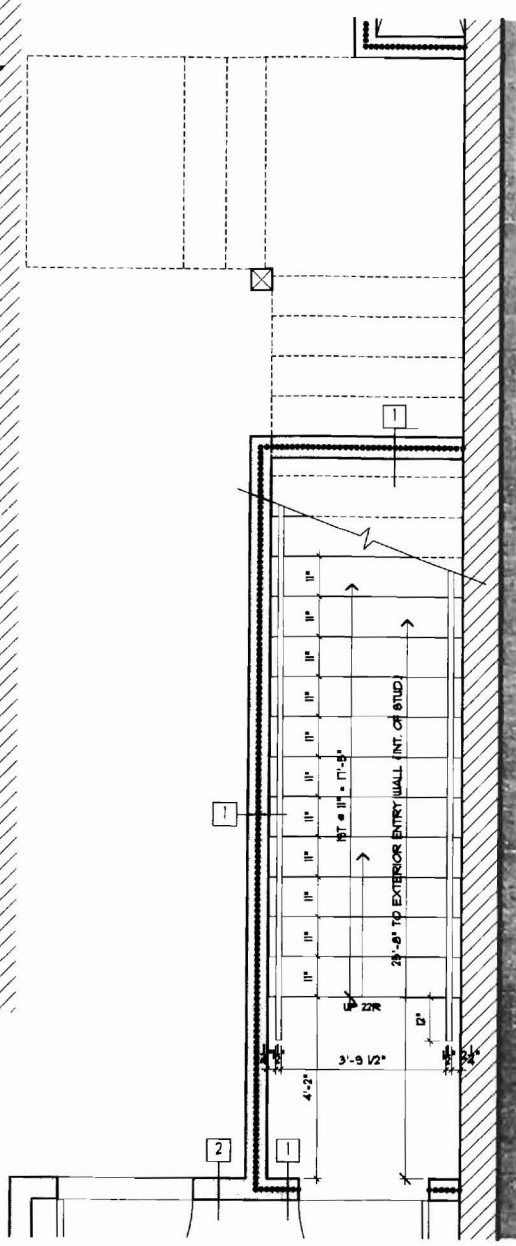
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**FOR CONSTRUCTION**

**PERMIT SET: SEPTEMBER 17, 2008**



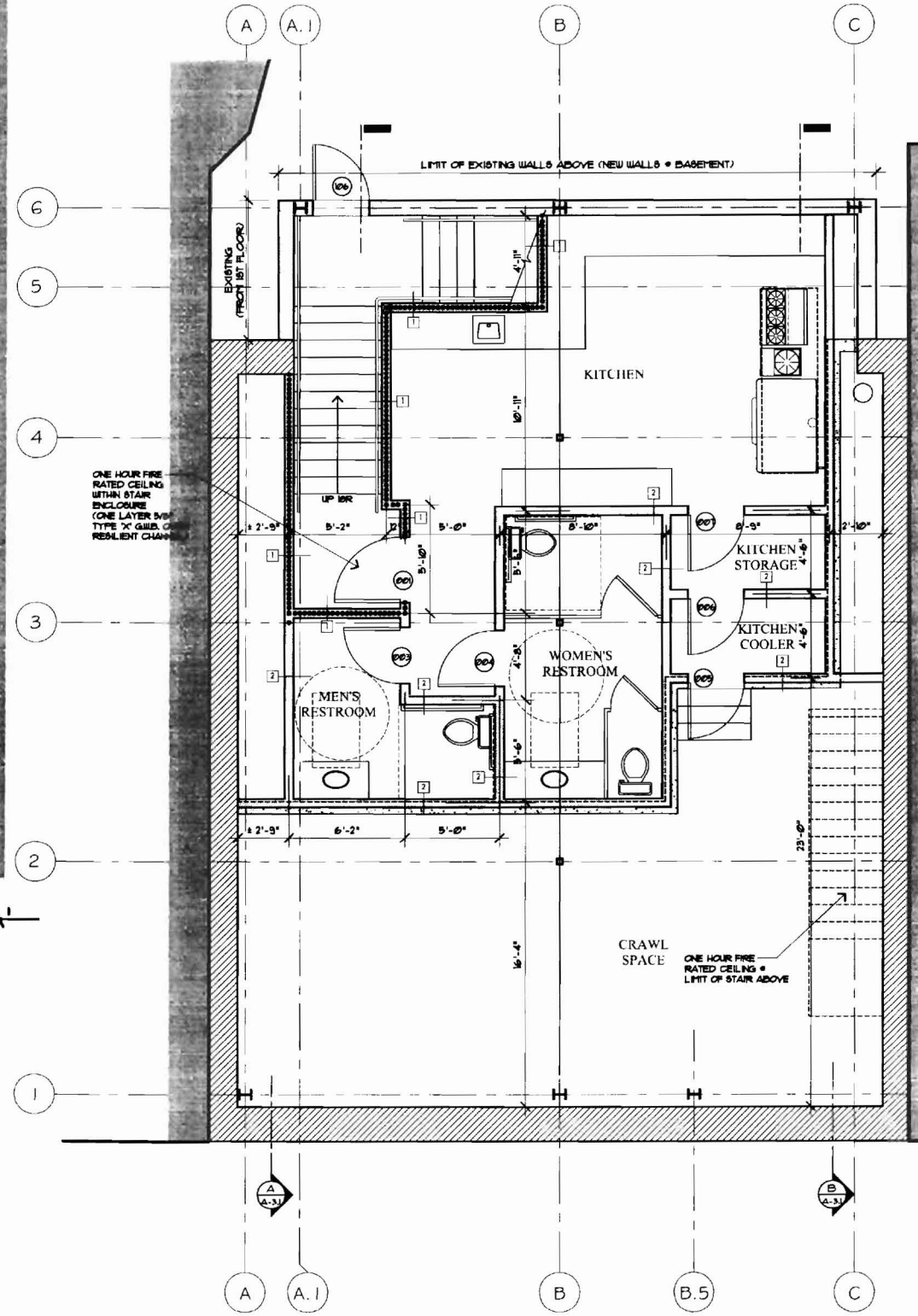
DETAIL 'B'



2ND FLOOR STAIR DETAIL 'A'  
SCALE: 1/2"=1'-0"

WALL LEGEND

EXISTING WALL	
NEW WALL	
FIRE RATED WALL	
EXISTING WALL TO BE REMOVED	



**PROPOSED BASEMENT**  
SCALE: 1/4"=1'-0"  
**FOR CONSTRUCTION**  
**PERMIT SET: SEPTEMBER 17, 2008**



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ARCHITECTS**  
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**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

**FLOOR PLANS**

PERFORMING: \_\_\_\_\_  
DATE: \_\_\_\_\_  
EXT: 14.09.07

PROJECT: 30 MARKET

DRAWN BY: MMB

CHECK BY: MLW





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RENOVATION OF:  
**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

**LIFE SAFETY/ EGRESS**

REVISED  
DATE  
DEC 18 2007  
PROJECT  
30 MARKET  
DRAWN BY  
MMA  
CHECK BY  
MLM

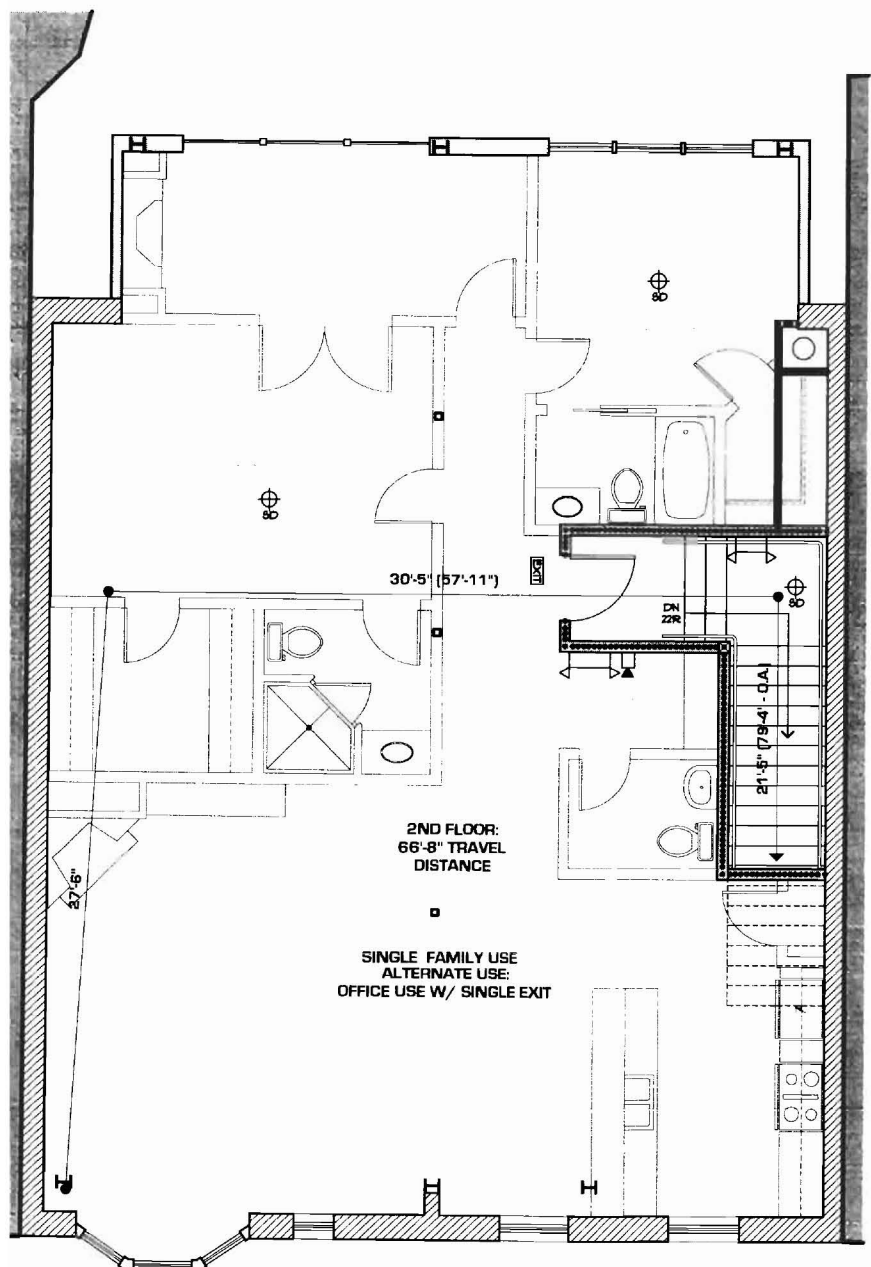
**WALL LEGEND**

EXISTING WALL	=====
NEW WALL	=====
FIRE RATED WALL	=====
EXISTING WALL TO BE REMOVED	-----

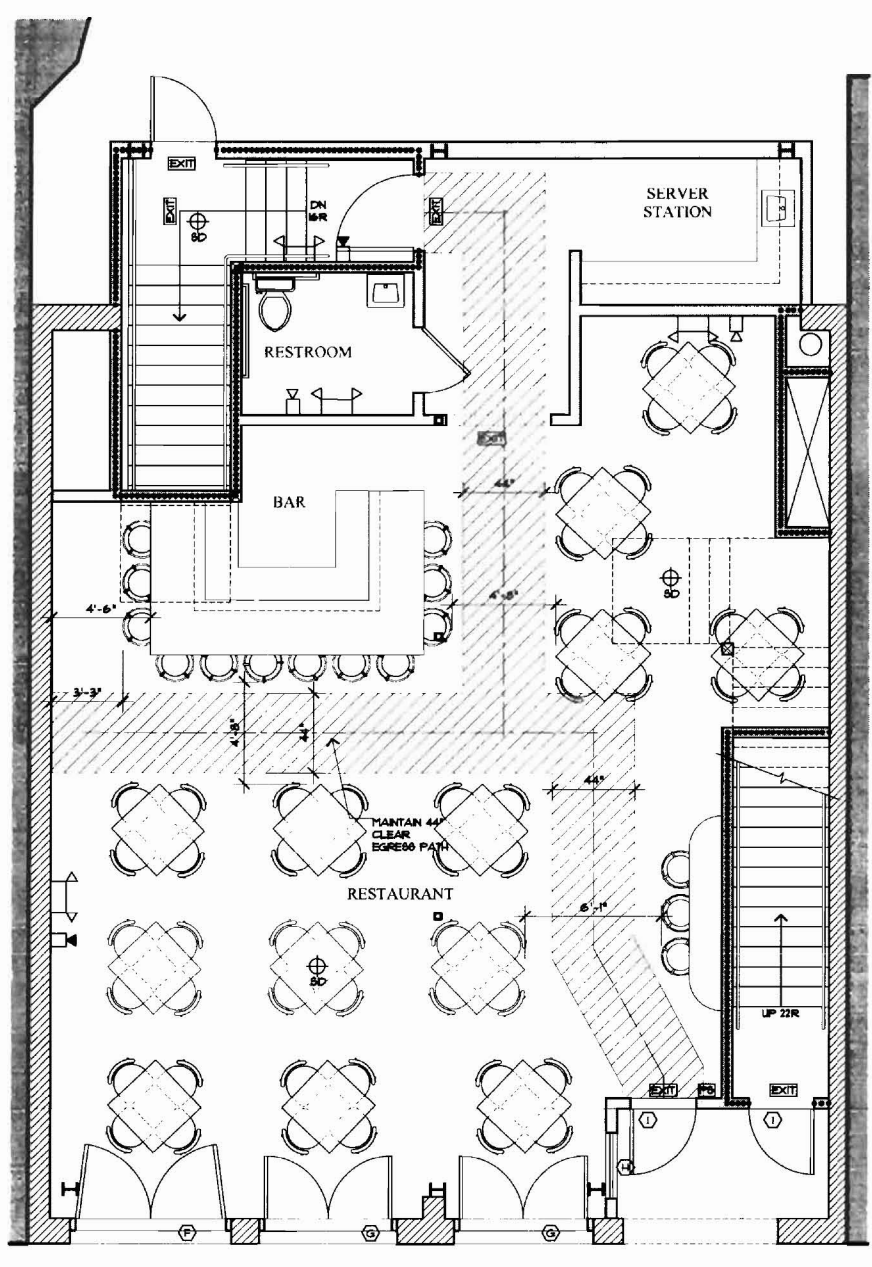
**LIFE SAFETY LEGEND:**

- EMERGENCY BACKUP LIGHT
- DATAPHONE OUTLET
- ELECTRICAL OUTLET
- EXIT LIGHT
- SMOKE DETECTOR
- HORN/STRIKE
- STROBE
- FIRE EXTINGUISHER IN RECREATIONAL CABINET
- PULL STATION

-LIFE SAFETY AND FIRE ALARM SYSTEMS SHALL BE INSTALLED PER NFPA 72  
-ALL STROBES TO BE NO CANDELA UNLESS OTHERWISE NOTED.

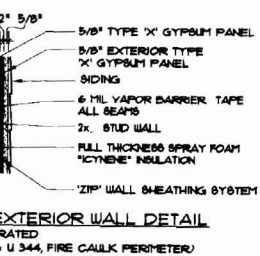


**2ND FLOOR LIFE SAFETY**  
SCALE: 1/4" = 1'-0"

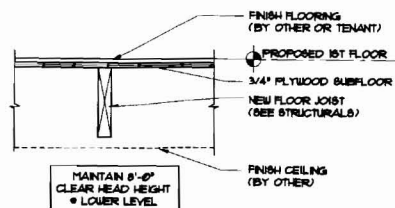


**1ST FLOOR LIFE SAFETY**  
SCALE: 1/4" = 1'-0"

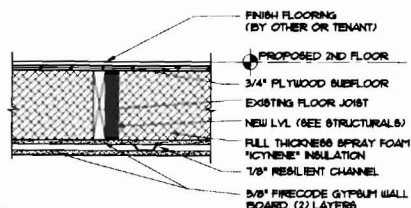
**FOR CONSTRUCTION**  
**PERMIT SET: SEPTEMBER 17, 2008**



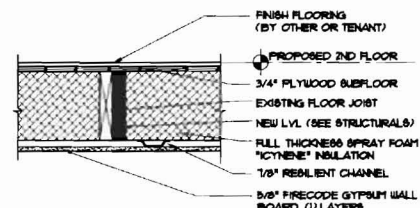
EXTERIOR WALL DETAIL  
RATED  
(U 344, FIRE CAULK PERIMETER)



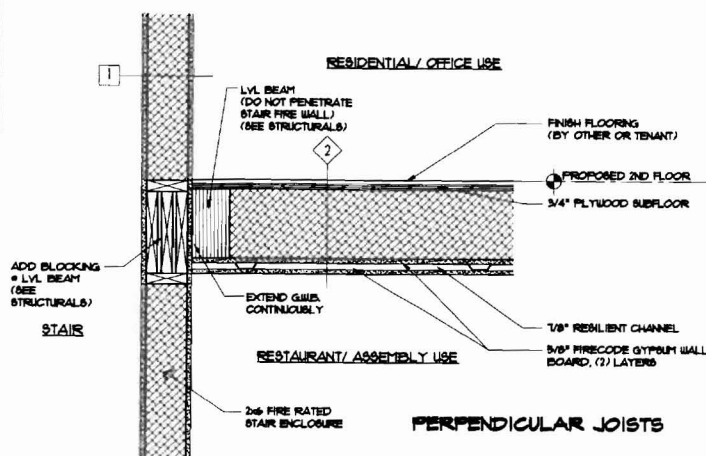
1 FLOOR/CEILING ASSEMBLY  
NON RATED



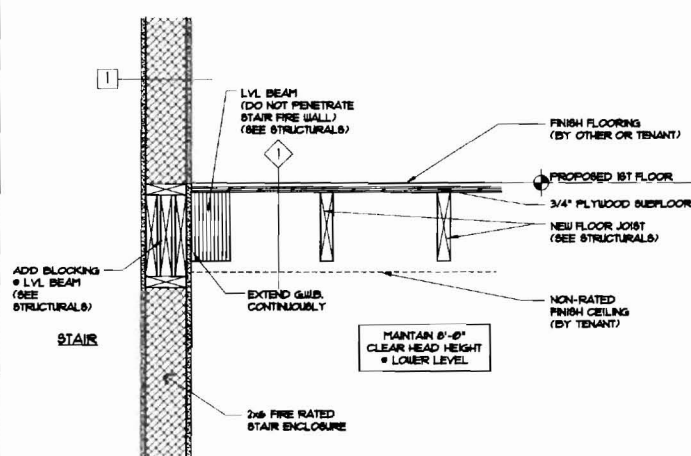
2 FLOOR/CEILING ASSEMBLY  
TWO HOUR RATED, U.L. L269



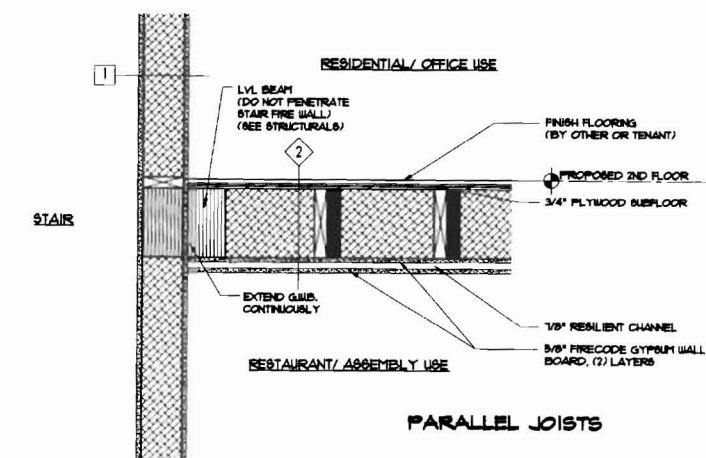
3 FLOOR/CEILING ASSEMBLY  
ONE HOUR RATED, U.L. L269 SIMILAR



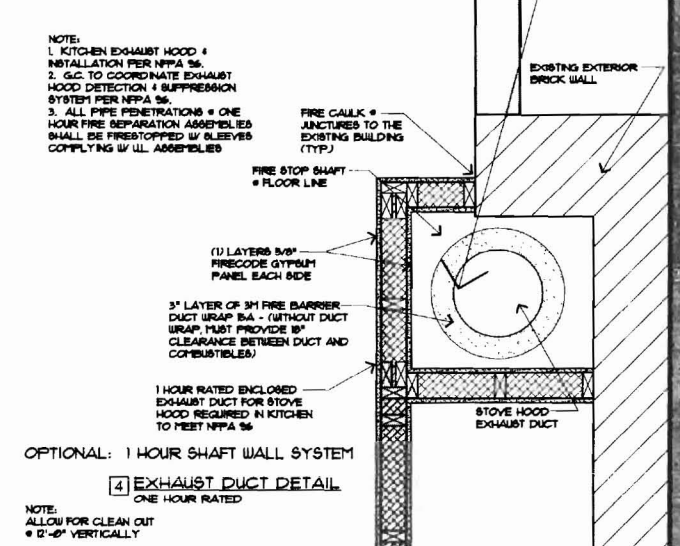
3 FLOOR/CEILING ASSEMBLY  
TWO HOUR RATED - BOTH NEW & EXTG. - U.L. L262 (TYP. • SHAFT WALL/CEILING)



3 FLOOR/CEILING ASSEMBLY  
ONE HOUR RATED WALL ASSEMBLY - BOTH NEW & EXTG. - U.L. L262 (TYP. • SHAFT WALLS)



3 FLOOR/CEILING ASSEMBLY  
TWO HOUR RATED - BOTH NEW & EXTG. - U.L. L262 (TYP. • SHAFT WALL/CEILING)



OPTIONAL: 1 HOUR SHAFT WALL SYSTEM

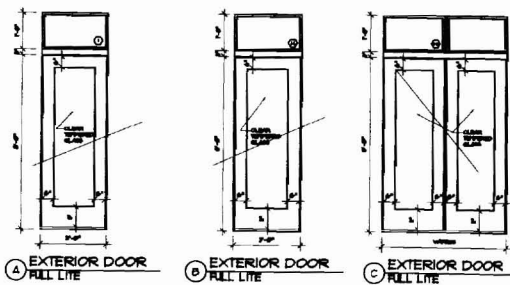
4 EXHAUST DUCT DETAIL  
ONE HOUR RATED

NOTE:  
ALLOW FOR CLEAN OUT  
• 12\"/>

TA

91 PEOPLE	
ASSEMBLY (A-2)	
TYPE 3 (000)	
4,318 SF.	
28'	
NON - SPRINKLERED	
EXISTING TO REMAIN	
1 HOUR	
1 HOUR	
0 HOUR	
0 HOUR	
0 HOUR	
2 HOUR BETWEEN A-2 & B/R	
0 HOUR	
CRAWL SPACE TO BE UNOCCUPIED	
NFPA 101 SEC. 382.4.2.3	
ALLOWS ONE EGRESS	
STAIR FROM 'B' & 'R' USE	

NOTE:  
FIELD VERIFY DOOR ROUGH OPENINGS &/OR  
COORDINATE WITH G.C. PRIOR TO WORK



### WINDOW SCHEDULE

NO.	TYPE	MANUFACTURER	CATALOG NO.	DETAILS			REMARKS
				HEAD	JAMB	SILL	
A	DOUBLE HUNG	MARVIN	WJCH4026	-	-	-	VERIFY SIZE WITH EXISTING MASONRY OPENING
B	DOUBLE HUNG	MARVIN	WJCH426	-	-	-	CUSTOM WINDOW SIZE (24\"/>
C	DOUBLE HUNG	MARVIN	WJCH4025	-	-	-	VERIFY SIZE WITH EXISTING ROUGH OPENING
D	DOUBLE HUNG	MARVIN	WJCH425	-	-	-	VERIFY SIZE WITH EXISTING ROUGH OPENING
E	DOUBLE HUNG	MARVIN	WJCH3226	-	-	-	
F	DOOR TRANSOM	MARVIN	-	-	-	-	CUSTOM INSURING
G	DOOR TRANSOM	MARVIN	-	-	-	-	CUSTOM INSURING
H	DOOR TRANSOM	MARVIN	-	-	-	-	CUSTOM INSURING
I	DOOR TRANSOM	MARVIN	-	-	-	-	CUSTOM OUTSURING

NOTE:  
1. VERIFY ALL EXISTING MASONRY OPENINGS PRIOR TO WINDOW ORDER.  
2. SUBMIT WINDOW SUBMITTAL TO ARCHITECT PRIOR TO ORDERING.

FOR CONSTRUCTION  
PERMIT SET: SEPTEMBER 17, 2008



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MUELLER  
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A.I.A.

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30 MARKET STREET

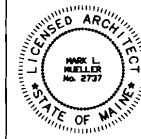
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

PLAN DETAILS

REVISIONS  
DATE  
REV. 10, 2007  
PROJECT  
30 MARKET  
DRAWN BY  
MR.  
CHECK BY  
MLV

A-1.4



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**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

**FLOOR PLANS**

ISSUED FOR PERMIT  
DATE: DEC. 19, 2007  
PROJECT: 30 MARKET  
DRAWN BY: MHP  
CHECKED BY: MAM

A-2.1

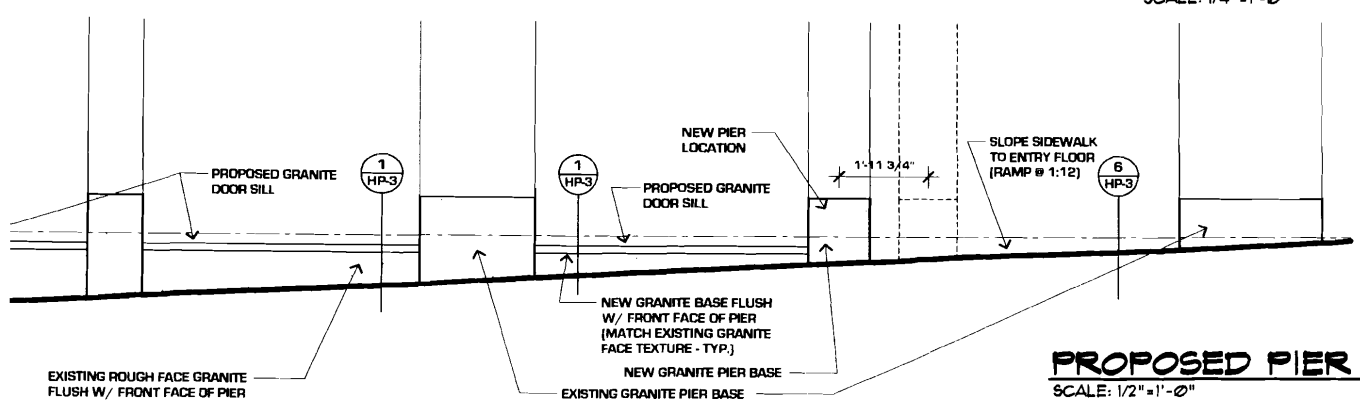


**RESTORATION KEY**

- BRICK**
1. EXISTING DOUBLE WYTHE BRICK FACADE
  2. NEW BRICK VENEER PIER
- GRANITE**
3. COLUMN BASE & RUNNING SILLS
  4. EXISTING WINDOW HEAD
- WOOD**
5. WOOD TRIM FASCIA
  6. NEW PANELED WOOD FINISH @ ENTRY
  7. BAY WINDOW TRIM AND PANEL DESIGN
- DOORS AND WINDOWS**
8. NEW WOOD ENTRY DOORS
  9. NEW WOOD STORE FRONT DOORS
  10. NEW WOOD TRANSOM WINDOWS
- MISCELLANEOUS**
11. PANEL SIGNAGE LOCATION
  12. TENANT SIGNAGE
  13. DOUBLE HUNG WINDOWS
  14. HALOGEN RECESS DOWN LIGHTS INCANDESCENT WALL SCOFF

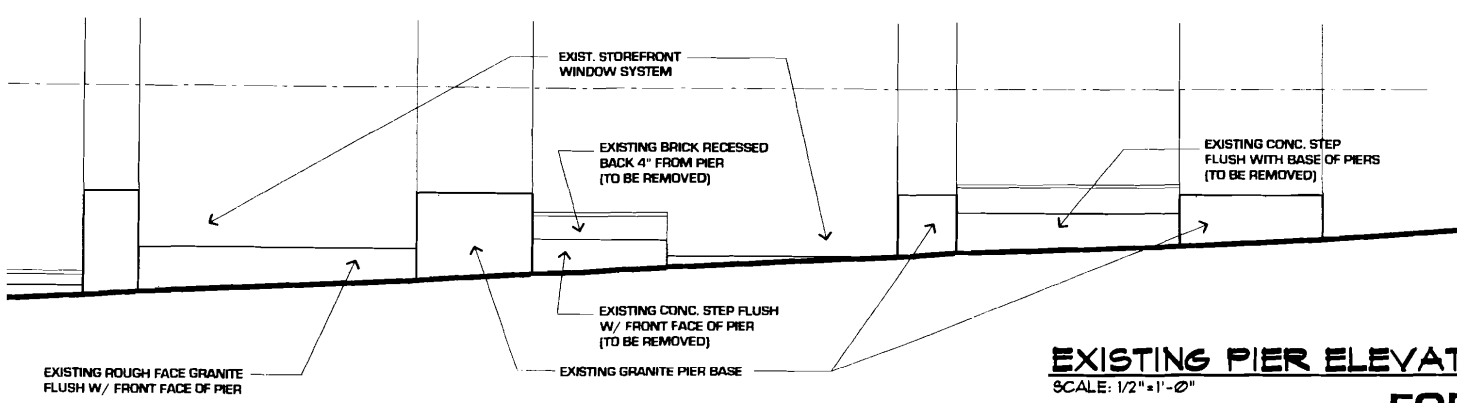
**PROPOSED ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED PIER ELEVATION**

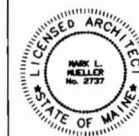
SCALE: 1/2" = 1'-0"



**EXISTING PIER ELEVATION**

SCALE: 1/2" = 1'-0"

**FOR CONSTRUCTION**  
**PERMIT SET: SEPTEMBER 17, 2008**



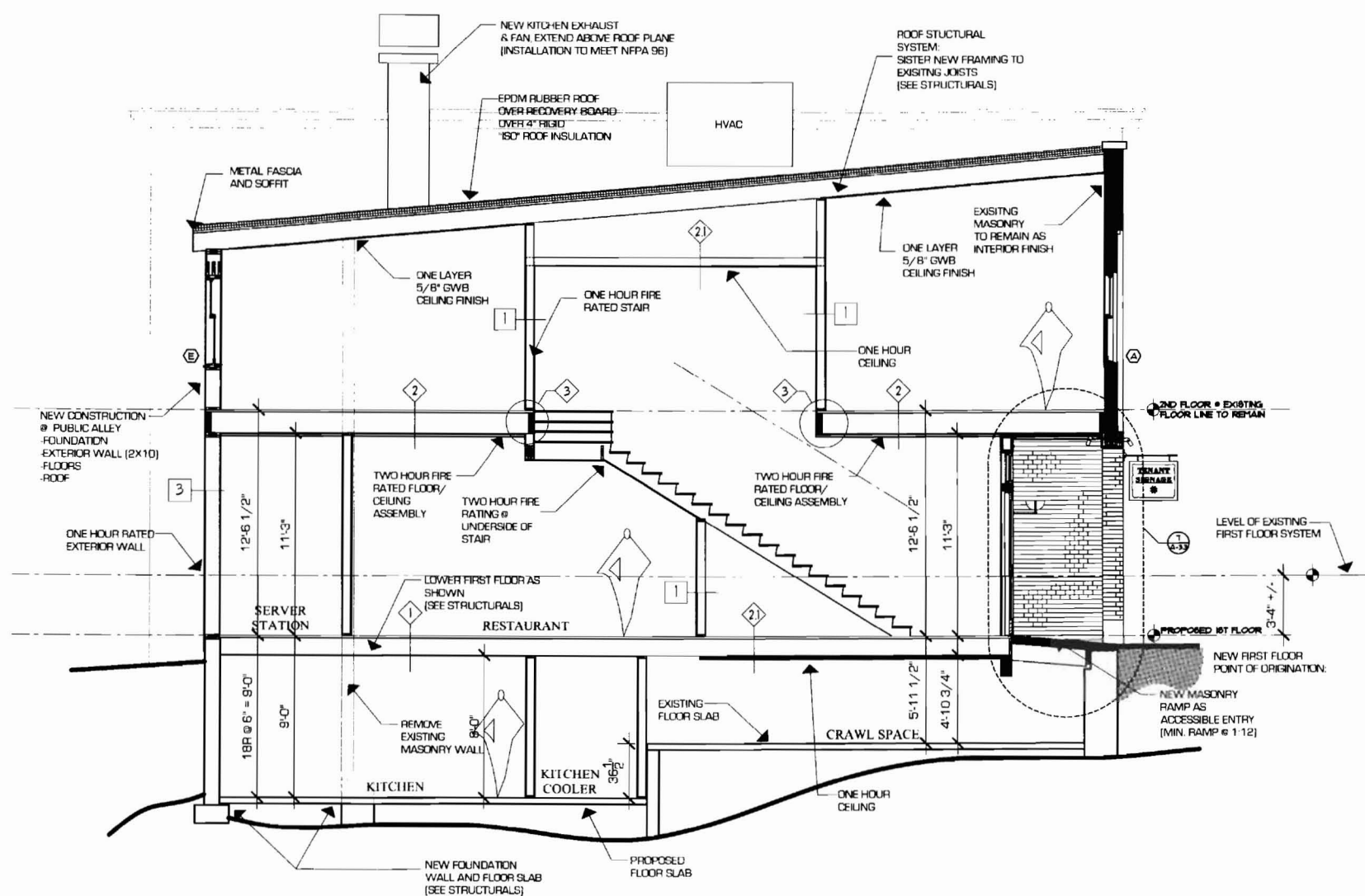
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RENOVATION OF:  
**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE



**A BUILDING SECTION**  
A-1.1 1/4" = 1'-0"

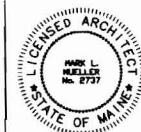
RENOVATION OF:

BUILDING SECTIONS

REVISIONS  
DATE: DEC 15, 2007  
PROJECT: 30 MARKET  
DRAWN BY: MRP  
CHECK BY: MLM

**FOR CONSTRUCTION  
PERMIT SET: SEPTEMBER 17, 2008**

A-3.1



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RENOVATION OF:  
**30 MARKET STREET**  
30 MARKET ST.  
PORTLAND, MAINE

RENOVATION OF:

BUILDING SECTIONS/ DETAILS

REVISIONS

DATE

DEC. 19, 2007

PROJECT

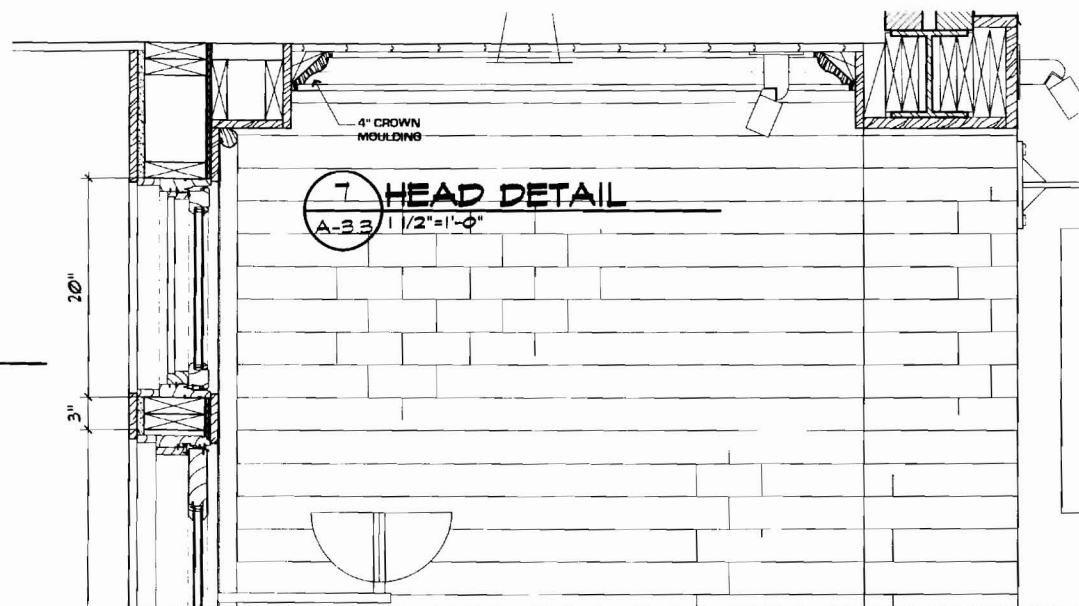
30 MARKET

DRAWN BY

MM

CHECK BY

MM



**3 HEAD DETAIL**

A-3.2 1/2"=1'-0"

1 3/4" BRICK  
MOLD CASING

PAINTED 1x TRIM

NEW  
TRANSOM  
WINDOW

20"

3"

8'-1 9/16" RO.

**2 HEAD/ SILL DETAIL**

A-3.2 1/2"=1'-0"

NEW  
STOREFRONT  
DOOR

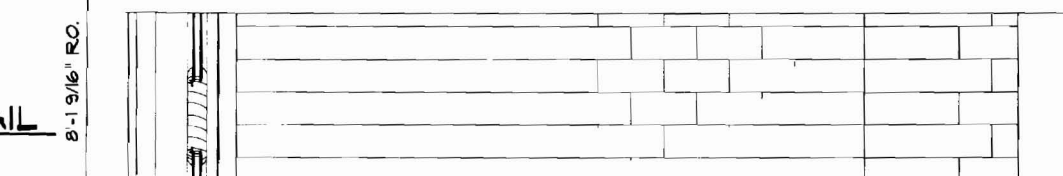
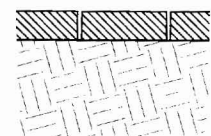
MANUFACTURER'S  
WOOD SILL OVER  
FIBERGLASS THRESHOLD

PROPOSED GRANITE SILL

**1 SILL DETAIL**

A-3.2 1/2"=1'-0"

PROPOSED GRANITE BASE  
(COLOR & FACE TEXTURE  
TO MATCH EXISTING)

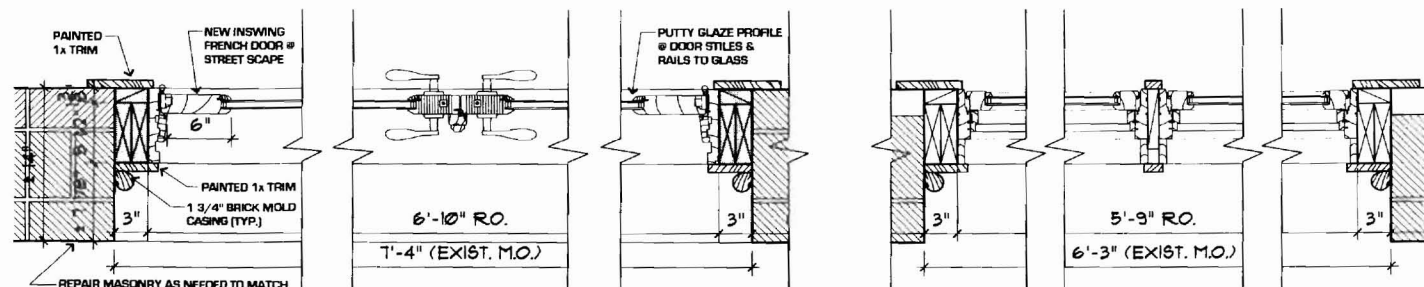


**6 SILL DETAIL**

A-3.2 1/2"=1'-0"

METAL PAN FLASH OVER  
RAMP SIDEWALK

EXISTING  
SIDEWALK PAVERS



**4 JAMB DETAIL (DOOR)**

A-1.1 1/2"=1'-0"

**5 JAMB DETAIL (TRANSOM)**

A-1.1 1/2"=1'-0"

REPAIR MASONRY AS NEEDED TO MATCH  
THE EXISTING IN BRICK SELECTION,  
MORTAR COLOR & JOINT PROFILE.  
SUBMIT TEST SAMPLE TO HISTORIC  
PRESERVATION PRIOR TO WORK.

6'-10" RO.

7'-4" (EXIST. M.O.)

5'-9" RO.

6'-3" (EXIST. M.O.)

2 WALL SECTION (TYP.)

FOR CONSTRUCTION  
PERMIT SET: SEPTEMBER 17, 2008

A-3.2



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RENOVATION OF:

30 MARKET STREET  
30 MARKET ST.  
PORTLAND, MAINE

BUILDING SECTIONS/ DETAILS

IT'S BORN

DATE

DEC 19 2007

PROJECT

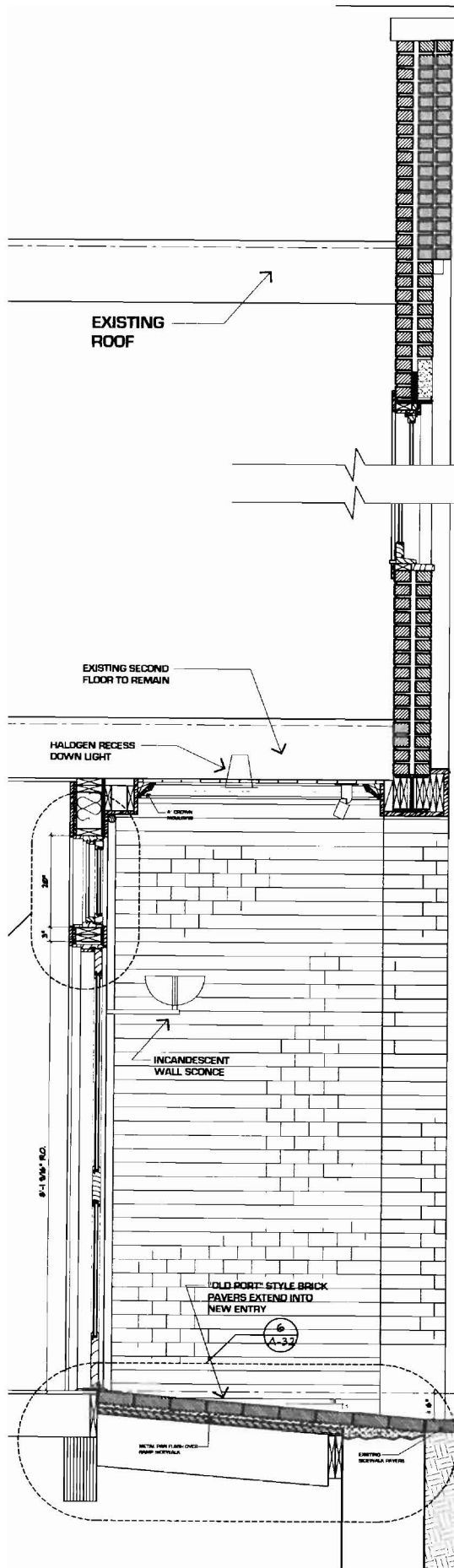
30 MARKET

DRAWN BY

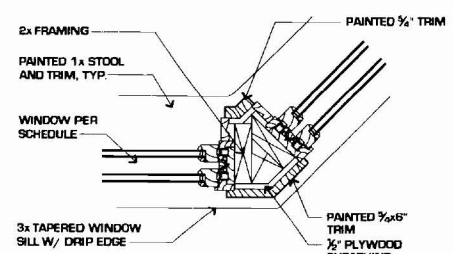
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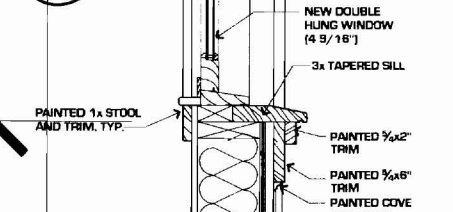
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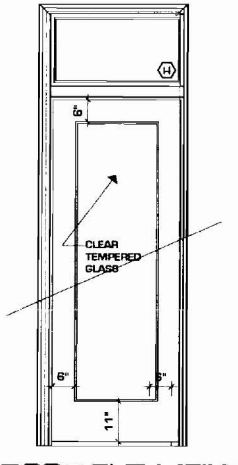
13 HEAD/ SILL DETAIL  
A-3.3 1 1/2"=1'-0"



12 HEAD/ SILL DETAIL  
HP-4 1 1/2"=1'-0"

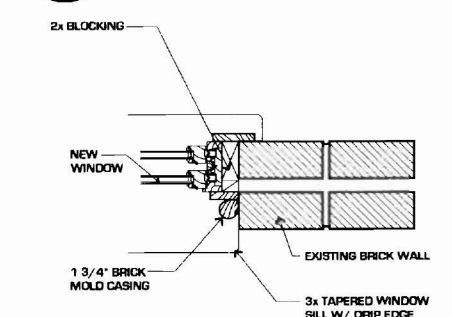


11 HEAD/ SILL DETAIL  
A-3.3 1 1/2"=1'-0"

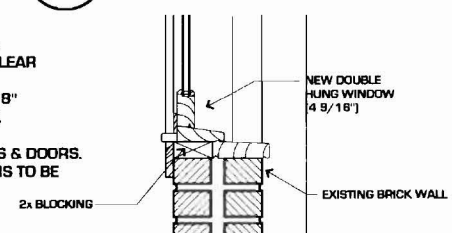


SIDE DOOR ELEV. (FIXED)  
1 1/2"=1'-0"

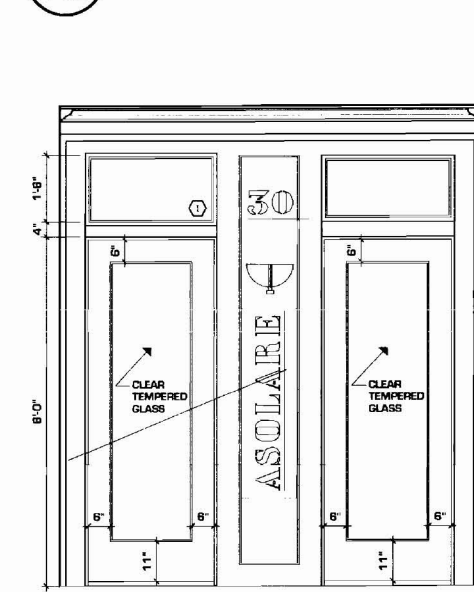
10 HEAD/ SILL DETAIL  
A-3.2 1 1/2"=1'-0"



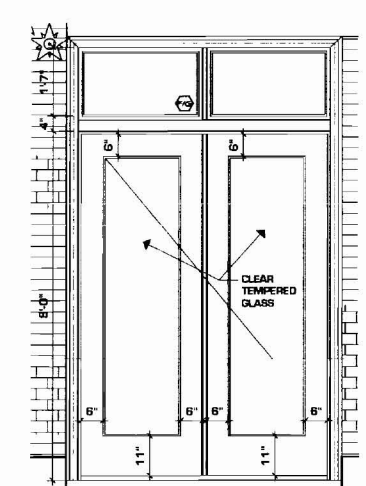
9 HEAD/ SILL DETAIL  
HP-4 1 1/2"=1'-0"



8 HEAD/ SILL DETAIL  
A-3.2 1 1/2"=1'-0"



ENTRY DOOR ELEV.  
1 1/2"=1'-0"



STOREFRONT DOOR ELEV. (TYP.)  
1 1/2"=1'-0"

- WINDOW & DOOR NOTES:
1. ALL GLASS SHALL BE CLEAR NON-INSULATED GLASS.
  2. MUNTINS SHALL BE 5/8" SIMULATED PUTTY GLAZE.
  3. NO "LOW E" COATING.
  4. TYPICAL ALL WINDOWS & DOORS.
  5. ALL WINDOWS & DOORS TO BE PAINTED.

BED ENTRY

NS-2 WALL SECTION @ RECESSED ENTRY  
A-3.1 3/4"=1'-0"

FOR CONSTRUCTION  
PERMIT SET: SEPTEMBER 17, 2008

A-3.3



- NOTES:
1. CONTRACTOR VERIFY EXG. FTG. ELEVATION
  2. LEDGE REMOVAL MAY BE REQUIRED FOR NEW SLAB/FOUNDATION CONSTRUCTION

**ASSOCIATED DESIGN PARTNERS INC.**

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**30 MARKET STREET  
 PORTLAND, MAINE  
 FOR: ELC, INC.**

**FOUNDATION PLANS  
 ISSUED FOR PERMITTING**

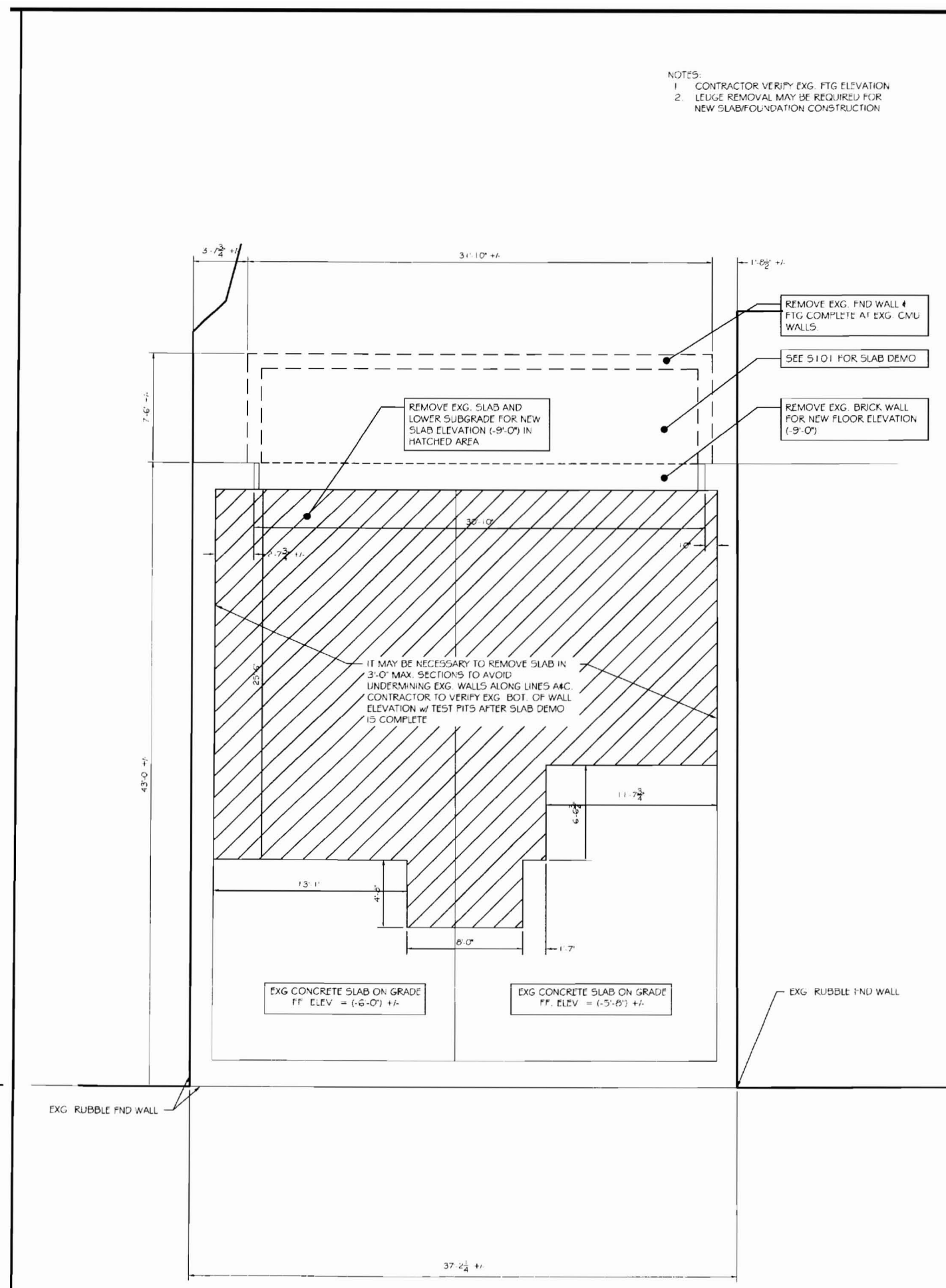
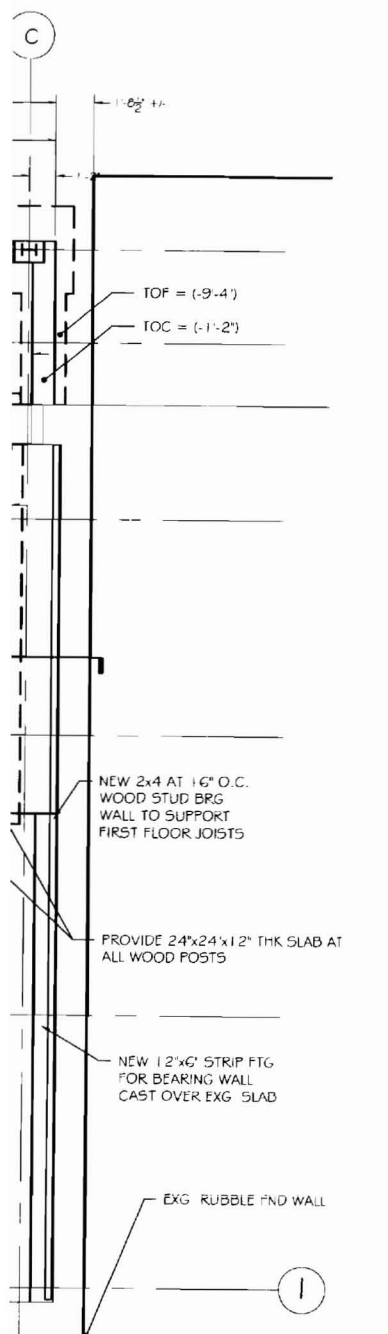
PROJECT: 30 MARKET STREET  
 PORTLAND, MAINE  
 FOR: ELC, INC.

SHEET TITLE: FOUNDATION PLANS  
 ISSUED FOR PERMITTING

REVISIONS	DESCRIPTION	DATE
No. BY		

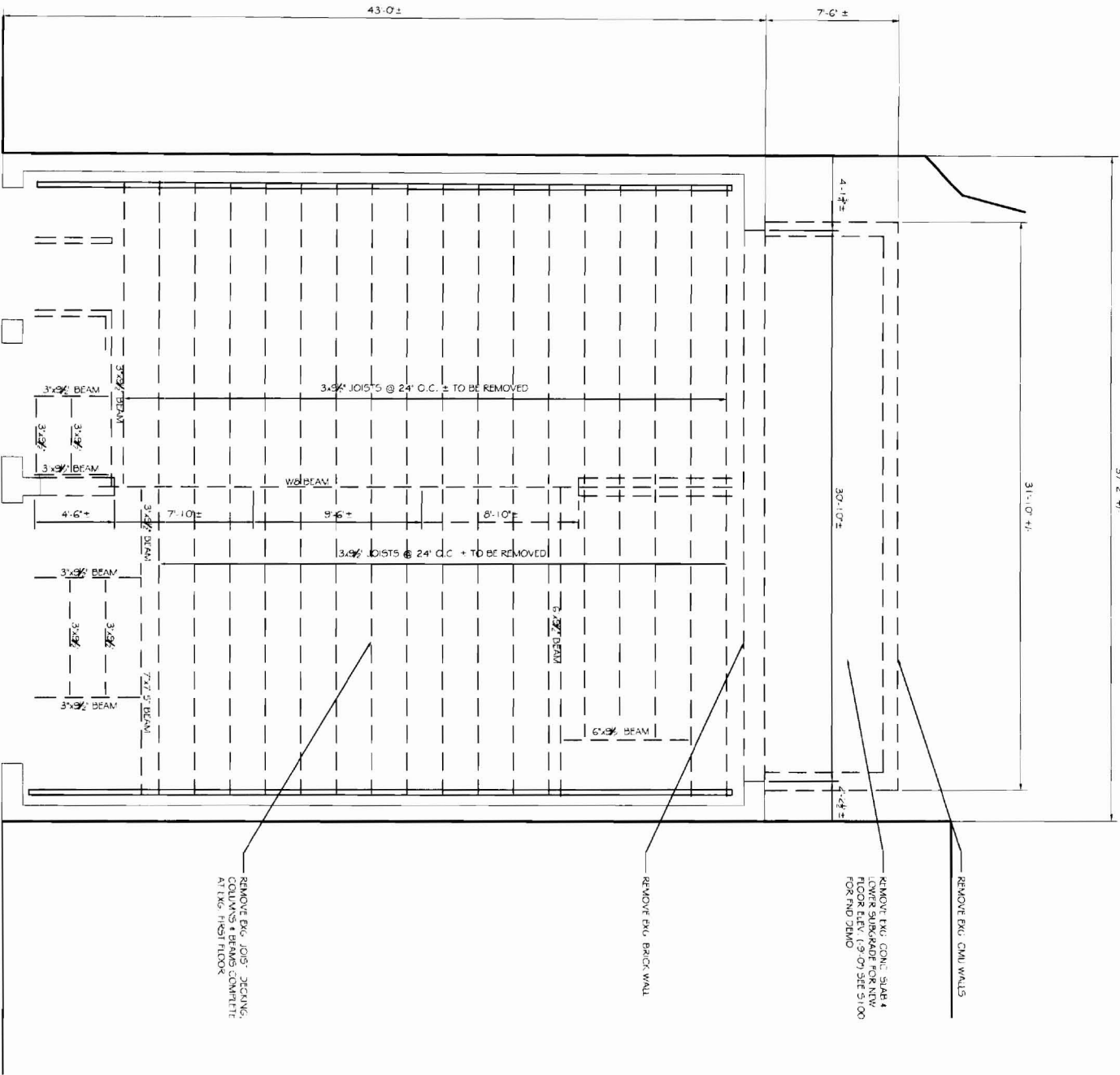
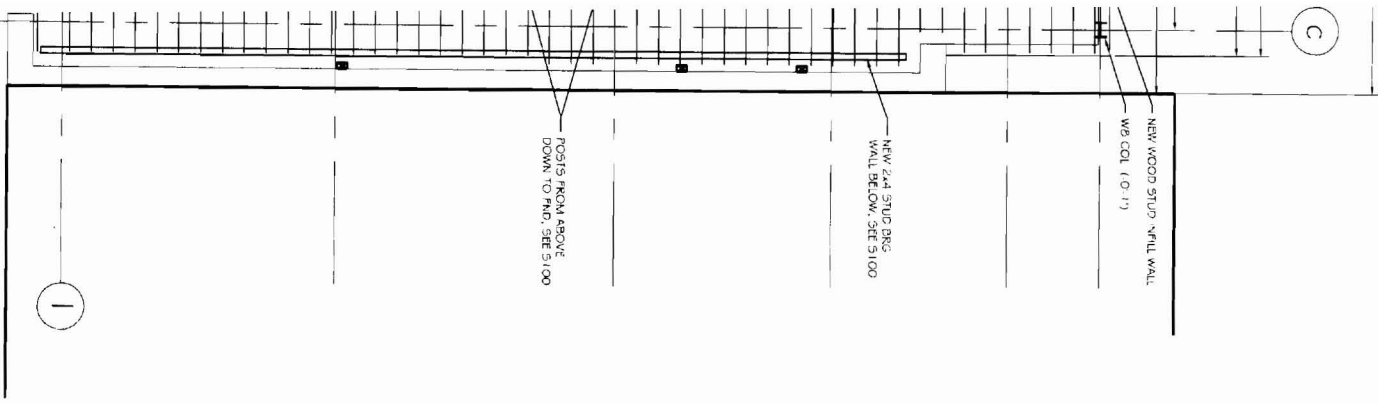
DATE : 09-16-08  
 SCALE : AS NOTED  
 DESIGN BY: ASW  
 DRAWN BY: RSC  
 FILE #: 08055-S100.DWG  
 PROJECT NUMBER:  
**08055**  
 SHEET NO:  
**S100**

SCHEDULE	TIES	DFTAIL
3 U-BARS	#4'S AT 12"	B1/5302
3 U-BARS	#4'S AT 12"	B1/5302



**FOUNDATION DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

MARK	SIZE	BOTTOM REINFORCING
F24	2'-0"x4'-0"x 2"	#4'S AT 8" O.C. E.W
F3	3'-0"x3'-0"x 12"	(4) #5'S E.W
F4	4'-0"x4'-0"x 2"	(5) #5'S E.W



A2

EXG. 1st FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

REVISIONS		
No.	BY	DATE
▲		
▲		
▲		
▲		

PROJECT: **30 MARKET STREET**  
**PORTLAND, MAINE**  
 FOR: ELC INC.

SHEET TITLE:  
**FIRST FLOOR FRAMING PLANS**  
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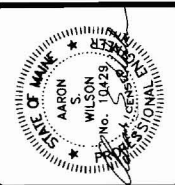
80 Leighton Road  
 Falmouth, Maine 04105

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 Fax: (207) 878-1788  
 E-Mail: adp@adpengineering.com



DATE: 09-16-08  
 SCALE: AS NOTED  
 DESIGN BY: ASW  
 DRAWN BY: RSC  
 FILE #: 09055-102.DWG  
 PROJECT NUMBER:  
**08055**  
 SHEET NO:  
**S101**





**ASSOCIATED DESIGN  
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Falmouth, Maine 04105  
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Fax: (207) 878-1788  
E-Mail: adp@adpengineering.com

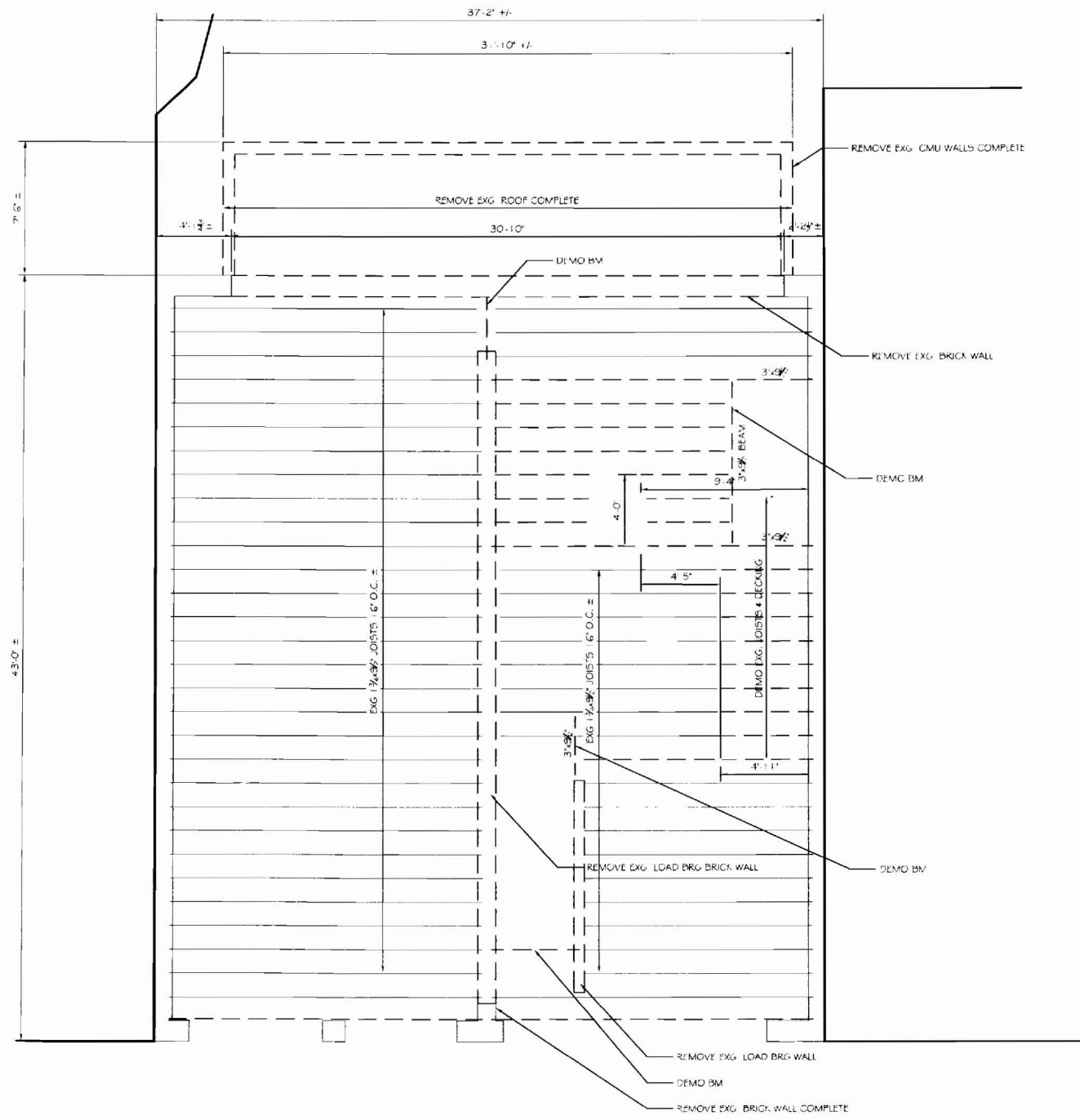
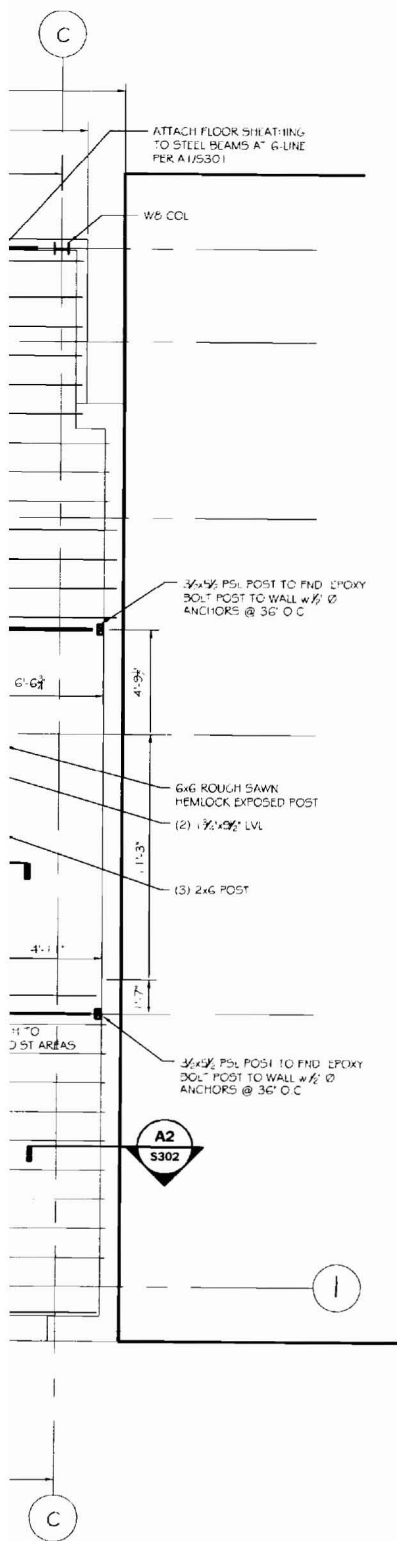
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SHEET TITLE:  
**SECOND FLOOR FRAMING PLANS  
ISSUED FOR PERMITTING**

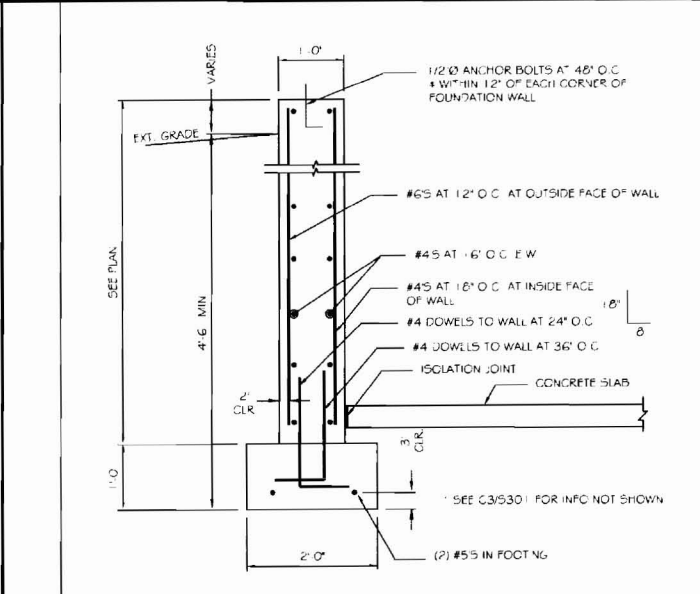
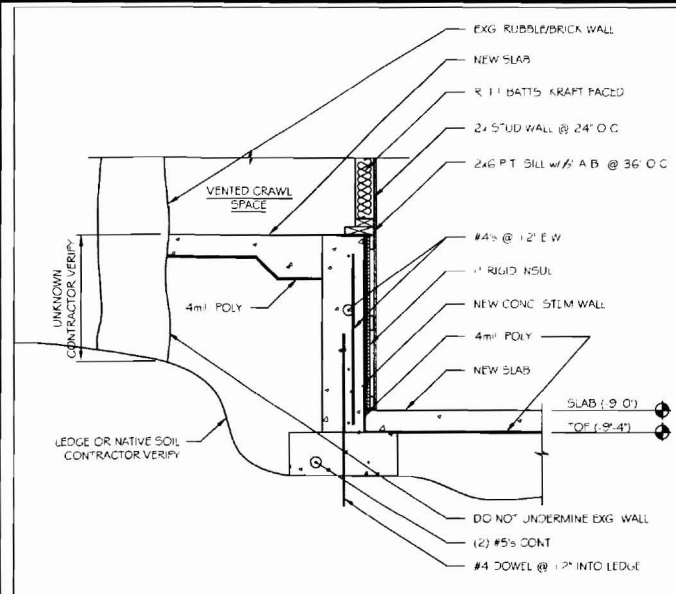
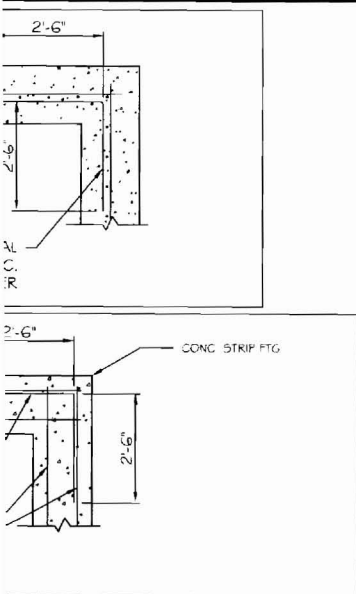
REVISIONS	DESCRIPTION	DATE
No.	BY	DATE

DATE : 09-16-08  
SCALE : AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 08055-S102.DWG  
PROJECT NUMBER:  
**08055**  
SHEET NO:  
**S102**



**A1** EXG. 2ND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"





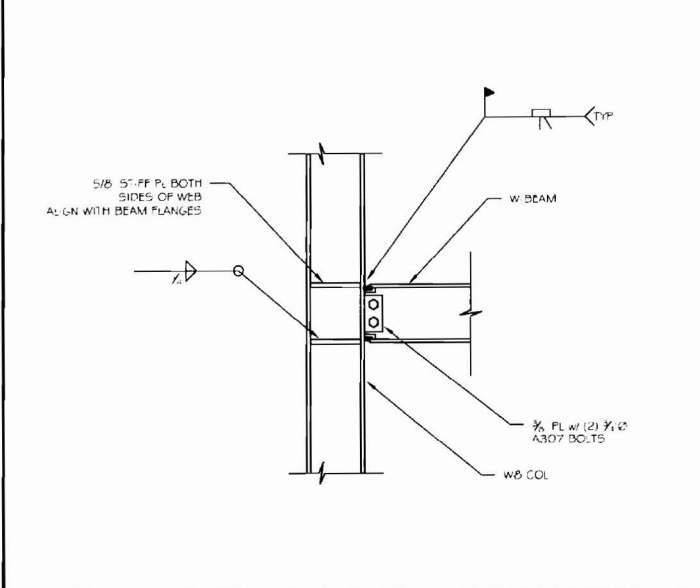
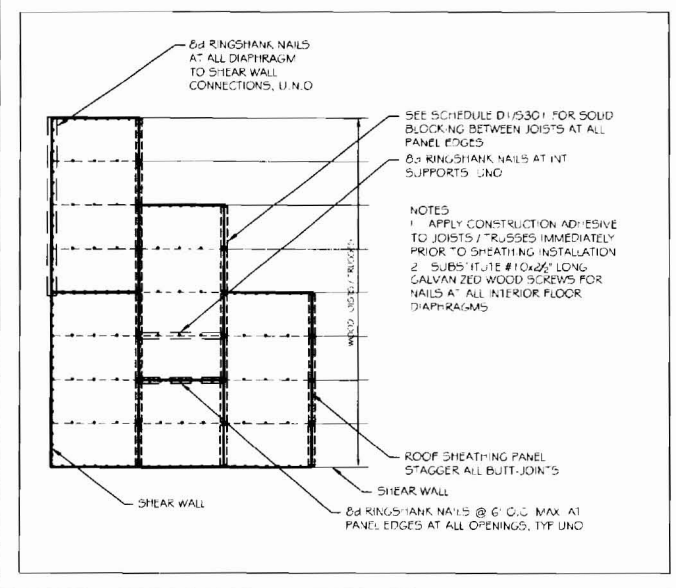
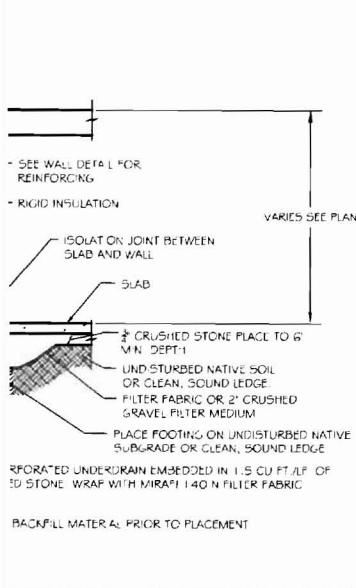
CING IN FND WALL & FTG

C2 FOUNDATION DETAIL

C1 TYP. 12" FOUNDATION WALL

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"



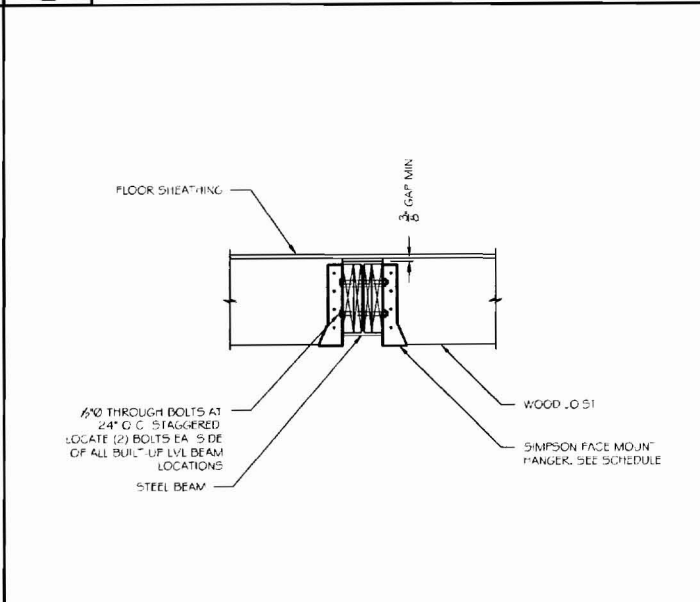
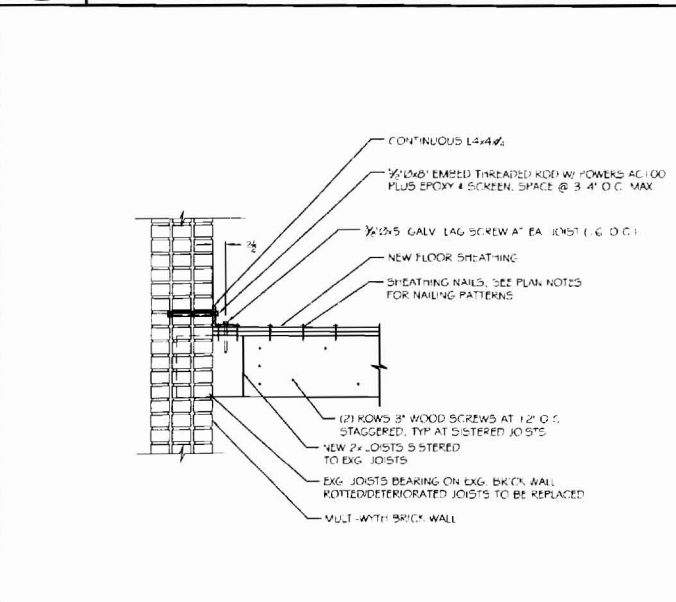
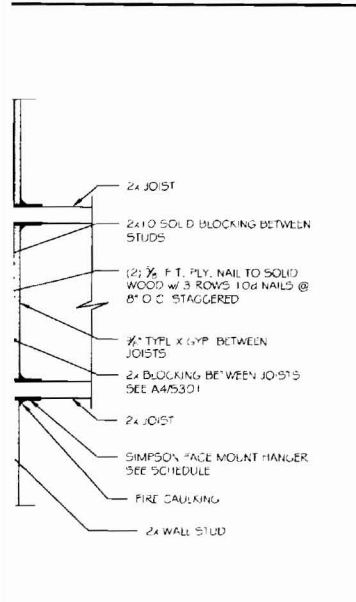
EARTHWORK

B2 TYP. ROOF/FLOOR SHEATHING LAYOUT

B1 MOMENT FRAME CONNECTION DETAIL

SCALE: 1/4" = 1'-0"

SCALE: 1" = 1'-0"



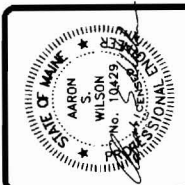
2x6 STUD WALL (PLAN VIEW)

A2 JOIST CONNECTION TO WALL DETAIL AT 2ND FLOOR AND ROOF

A1 WOOD JOIST TO STL BEAM DETAIL

SCALE: 3/4" = 1'-0"

SCALE: 1" = 1'-0"



**ASSOCIATED DESIGN PARTNERS INC.**

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PROJECT: 30 MARKET STREET

PORTLAND, MAINE

FOR: ELC, INC.

FOUNDATION AND FRAMING DETAILS  
ISSUED FOR PERMITTING

REVISIONS	DESCRIPTION	DATE
No.	BY	DATE
1		
2		
3		
4		

DATE: 09-16-08  
SCALE: AS NOTED  
DESIGN BY: ASW  
DRAWN BY: RSC  
FILE #: 08055-S301.DWG  
PROJECT NUMBER:  
**08055**  
SHEET NO:  
**S301**

5 (CONT.)

CONCRETE NOTES (CONT.)

6.7 CONCRETE CURING:  
 COMPLY WITH ACI 308, LATEST EDITION. COMPLY WITH ACI 308 FOR HOT WEATHER CONCRETING. PROVIDE A MINIMUM OF A 7 DAY CONTINUOUS MOISTURE CURE BY COVERING CONCRETE SURFACE WITH A WEFT ABSORPTIVE COVER. MAINTAIN SATURATED COVER CONDITION. ALTERNATIVE CURING METHODS WILL ONLY BE ALLOWED IF APPROVED BY ENGINEER. CONTRACTOR WILL SUBMIT ALTERNATIVE CURING PRODUCTS AND METHODS FOR REVIEW AND APPROVAL. ALSO, MAINTAIN CONCRETE CURING TEMPERATURE ABOVE 50°.

6.7.1 SLABS: USE MOISTURE CURE OR CURING COMPOUND. APPLY CURING COMPOUND WITHIN 2 HOURS OF FINAL FINISHING BY SPRAY OR ROLLER. RECOAT AREAS SUBJECT TO HEAVY RAINFALL. DO NOT USE CURING COMPOUND ON SLABS WHICH WILL RECEIVE LIQUID FLOOR HARDENER OR OTHER FINISHES.

6.7.2 FORMED SURFACES: CURE FORMED SURFACES WITH FORMS IN PLACE FOR ENTIRE CURING PERIOD, UNLESS ALTERNATE METHODS ARE APPROVED BY THE ENGINEER. CONTACT STRUCTURAL ENGINEER @ 207-878-1751 FOR ALTERNATIVE CURING METHODS DURING COLD WEATHER CURING. PROVIDE CAST-IN THERMOMETERS FOR MONITORING CONCRETE CURING TEMPERATURE AT LOCATIONS AS DIRECTED BY ENGINEER. MAINTAIN A SOFT WITH USE OF INDIRECT HEAT OR INSULATIVE BLANKETS.

6.8 ANCHOR BOLTS: USE TYPE, SIZE, AND LENGTH AS INDICATED ON PLANS.

6.9 FROST PROTECTION: COAT EXTERIOR SURFACES OF BELOW GRADE CONCRETE WITH BITUMINOUS DAMPROOFING. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION RATES AND METHODS.

EARTHWORK NOTES

1 SITE WORK AND CONCRETE CONTRACTORS ARE REQUIRED TO REVIEW THE ONSITE SUBSURFACE SOIL CONDITIONS WITH THE SEER AT THE START OF INITIAL CONSTRUCTION. SITE CONTRACTOR WILL NOTIFY SEER AFTER EXCAVATION HAS STARTED AND PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FOUNDATIONS.

2 REMOVE ALL TOPSOIL AND UNCONTROLLED FILL FOR THE AREAS RECEIVING BUILDING FOUNDATIONS.

3 BACKFILL TO THE NECESSARY SUBGRADES REQUIRED ON THE STRUCTURAL FOUNDATION PLANS WITH CONTROLLED STRUCTURAL FILL MATERIAL MEETING THE FOLLOWING GRADATION:

PERCENT PASSING	SCREEN OR SIEVE SIZE
6	100
3	90-100
NO 4	35-70
NO 40	5-35
NO 200	0-5

4 PLACE CONTROLLED STRUCTURAL FILL IN UNIFORM LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D 1557 MODIFIED PROCTOR DENSITY.

5 PROVIDE SITE GRADING AROUND THE PERIMETER OF THE BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION DURING AND AFTER CONSTRUCTION.

6 MAINTAIN THE INTEGRITY OF NATURAL SOILS AND CONTROLLED STRUCTURAL FILLS DURING CONSTRUCTION. PROTECT FOOTING AND STRUCTURE SUBGRADES AGAINST FREEZING AND EXCESSIVE WETTING. REMOVE AND REFILL FROZEN SUBGRADES, MOISTURE CONDITION, OR REPLACE EXCESSIVELY WET SUBGRADE MATERIALS.

7 NOTIFY ENGINEER TO OBSERVE SUBGRADES PRIOR TO PLACING FOOTINGS. FOOTINGS ARE DESIGNED FOR A MIN. SOIL BEARING CAPACITY OF 2000PSF, OR FOR BEARING ON SOUND LEDGE.

8 CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF LEDGE IS ENCOUNTERED TO DETERMINE PINNING REQUIREMENTS.

9 ALL FOOTINGS SHALL EXTEND A MINIMUM OF 4'-6" BELOW EXTERIOR FINISHED GRADE, OR BE DOWELED TO LEDGE.

10 PROOF ROLL SUBGRADE PRIOR TO SLAB CONSTRUCTION. PROVIDE STRUCTURAL FILL MEETING THE GRADATION SPECIFIED HEREIN FOR FILL MATERIALS BELOW THE SLAB. MAXIMUM PERCENT PASSING 200 SIEVE = 7%.

11 COMPACT CONTROLLED STRUCTURAL FILLS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND ASTM D 1557. USE ONLY HAND-OPERATED EQUIPMENT ADJACENT TO WALLS. FILL BOTH SIDES OF WALLS TO EQUAL ELEVATIONS BEFORE COMPACTING.

FILL AND BACKFILL LOCATION	DENSITY
UNDER STRUCTURE FOUNDATIONS	95% OF MAX
TOP 2 FEET UNDER PAVEMENT	95%
BELOW TOP 2 FEET UNDER PAVEMENT	92%
TRENCHES THROUGH UNPAVED AREAS	90%
EMBANKMENTS	90%
PIPE BEDDING	92%
BESIDE STRUCTURE FOUNDATION WALLS, TANK WALLS AND RETAINING WALLS	90%
UNDER PIPES THROUGH STRUCTURAL FILLS	90%
UNDER DRAIN FILTER SAND	92%

MAXIMUM DENSITY: ASTM D 1557, MODIFIED  
 FIELD DENSITY TESTS: ASTM D 1556 (SAND CONE), ASTM D 1677 (RUBBER BALLOON), OR ASTM D 2922 (NUCLEAR METHODS)

12 CONTRACTOR IS REQUIRED TO CONFORM TO OSHA (29 PART 1926 650 652) SUBPART P CONSTRUCTION STANDARD FOR EXCAVATIONS.



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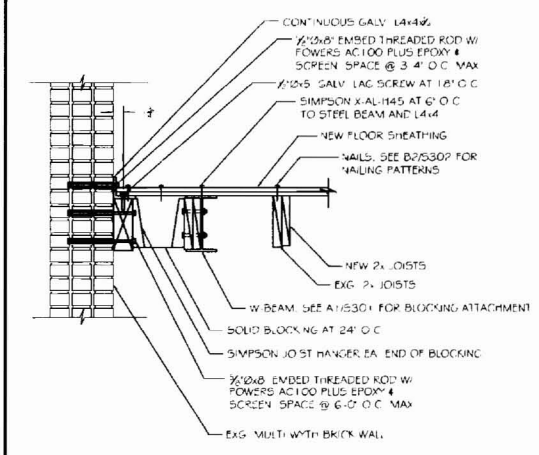
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**PROJECT: 30 MARKET STREET**  
 PORTLAND, MAINE  
 FOR: ELC, INC.

**SHEET TITLE: STRUCTURAL NOTES AND SPECIFICATIONS ISSUED FOR FIRE MARSHAL REVIEW**

B2 PIER P1 / P2 DETAIL  
 SCALE: NTS



REVISIONS	DATE
No.	BY

DATE : 09-16-08  
 SCALE : AS NOTED  
 DESIGN BY: ASW  
 DRAWN BY: RSC  
 FILE #: 08055-S302.DWG  
 PROJECT NUMBER:  
**08055**  
 SHEET NO:  
**S302**

A2 DETAIL  
 SCALE: NTS

A1 DIAPHRAGM CONNECTION  
 SCALE: NTS