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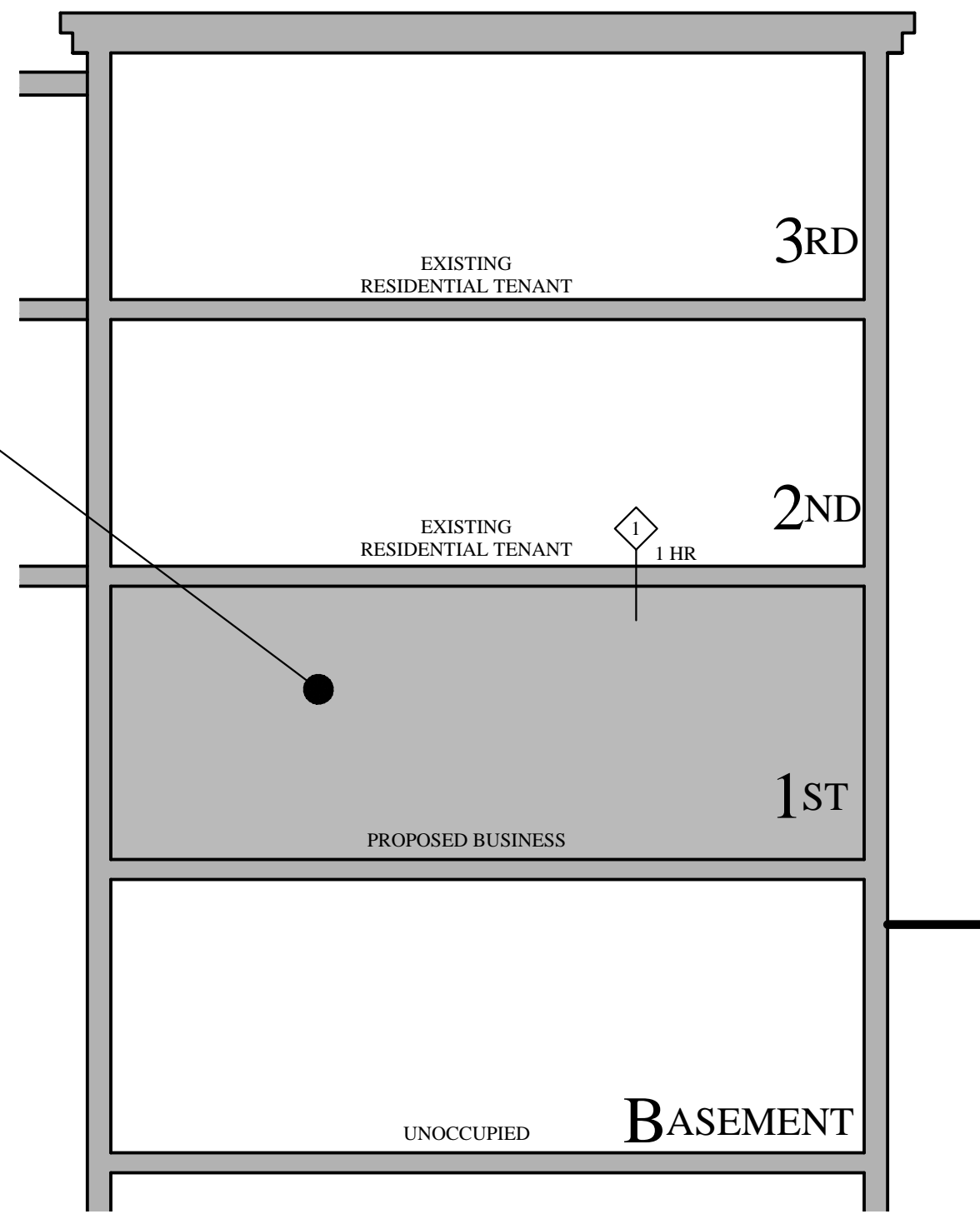
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AREA OF NEW WORK

MILK STREET
KEY PLAN
 1/8" = 1'-0"

NFPA 101 2009 & 220 2006 CODE DATA		MERCANTILE CLASS C	
USE GROUP CLASSIFICATION		TABLE 509	
TYPE OF CONSTRUCTION		TABLE 509	
EXISTING BUILDING AREA	2,000 SF	TABLE 509	
PROPOSED BUILDING AREA	2,000 SF	TABLE 509	
TOTAL AREA OF WORK	2,000 SF	TABLE 509	
BUILDING HEIGHT (STORIES/ FEET)	3 STORIES/ 49'-6"	TABLE 509	
BUILDING AREA LIMITATION - SQ FT	3,000 SF (PER CLASS C)	TABLE 509	
BUILDING HEIGHT LIMITATION - STORIES	NONE	TABLE 509	
TRAVEL COMMON PATH LIMIT (ALLOWABLE/ ACTUAL)	100/29'-0"	TABLE 509	
TRAVEL DEAD-END LIMIT (ALLOWABLE/ ACTUAL)	50/NONE	TABLE 509	
TRAVEL EXIT ACCESS TRAVEL DISTANCE LIMIT (ALLOWABLE/ ACTUAL)	300/75'-5"	TABLE 509	
FIRE SUPPRESSION SYSTEM	YES, PER NFPA 1	TABLE 509	
NUMBER OF REQUIRED EXITS	2 EACH FLOOR	TABLE 509	
EXIT ACCESS FIRE RATINGS		TABLE 509	
FIRE WALLS/ BARRIERS	1 HR.	TABLE 509	
PARTY WALLS	0 HR.	TABLE 509	
STAR ENCLOSURES	1 HR.	TABLE 509	
SHAFTS	1 HR.	TABLE 509	
EXIT ACCESS CORRIDORS	0 HR.	TABLE 509	
FIRE PROTECTION OF STRUCTURE		TABLE 509	
COLUMNS	0 HR.	TABLE 509	
BEAMS, GIRDERS, TRUSSES & ARCHES	0 HR.	TABLE 509	
LOAD BEARING WALLS - EXTERIOR	2 HR.	TABLE 509	
LOAD BEARING WALLS - INTERIOR	0 HR.	TABLE 509	
NON-LOAD BEARING WALLS - EXTERIOR	0 HR.	TABLE 509	
NON-LOAD BEARING WALLS - INTERIOR	0 HR.	TABLE 509	
FLOOR CONSTRUCTION	0 HR.	TABLE 509	
ROOF CONSTRUCTION	0 HR.	TABLE 509	
OCCUPANT LOAD	45 People	TABLE 509	
FIRST FLOOR - KITCHEN/ EMPLOYEE AREA	433 SF	TABLE 509	3
FIRST FLOOR - SEATING AREA (LOAD PER FURNITURE LAYOUT)	858 SF	TABLE 509	37
FIRST FLOOR - GENERAL AREA	509 SF	TABLE 509	5
GENERAL NOTES:			

AREA OF NEW WORK



KEY SECTION
 N. T. S.

LIFE SAFETY LEGEND:

- [EXIT] EXIT LIGHT
- [SD] EMERGENCY BACKUP LIGHT
- [HD] SMOKE DETECTOR, BUSINESS
- [HD] HEAT & CO DETECTOR
- [SD] HORN/STROBE
- [SD] STROBE
- [SD] FIRE EXTINGUISHER IN RECESSED CABINET
- [P.S.] PULL STATION
- [SD] ELEC. RECEPTACLE (INSTALL PER CODE & AS SHOWN)

- LIFE SAFETY AND FIRE ALARM SYSTEMS SHALL BE RECONFIGURED AND INSTALLED PER NFPA 72 AND PER CITY OF PORTLAND CODE.
- A SEPARATE PERMIT AND CITY APPROVED CONTRACTOR IS REQUIRED.
- ALL STROBES TO BE 30 CANDELA UNLESS OTHERWISE NOTED.
- SYSTEM SHALL BE SUPERVISED BY AN OFF-SITE CERTIFIED BY THE CITY OF PORTLAND THIRD PARTY
- INTEGRATE NEW EQUIPMENT INTO EXISTING SYSTEM PER PERMIT #2014-00090

GENERAL NOTES

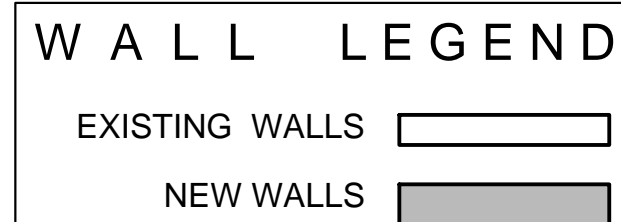
- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, IECC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MSP.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED WITH PRESSURE PRESERVATIVE.
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
- ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN HOUSEKEEPING, UTILITY, STORAGE, SPRINKLER AND ALL OTHER HIGH HUMIDITY AREAS, INCLUDING UNIT BATHROOMS. MOISTURE RESISTANT FIRE RATED G.W.B. @ ALL FIRE RATED WALLS COMMON WITH HOUSE UTILITY AND UNIT BATH ROOMS. IF APPLICABLE TO THIS PROJECT, SHOWERS TO HAVE DURAROCK BACKING ALL SIDES. ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
- INSTALL U.L. SLEEVE FIRE-STOPPING SYSTEM & FIRE RATED SEALANTS EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
- FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING U.L. RATED PENETRATIONS. CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
- CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, ELEVATOR, STAIRWELL WALLS, ETC.
- PROJECT ASSUMES ALL EXISTING HAZARDOUS MATERIALS HAVE BEEN REMOVED PRIOR TO THE COMMENCEMENT OF WORK. ALL HAZARDOUS MATERIAL REMOVAL IS THE RESPONSIBILITY OF THE OWNER.
- DESIGNATED EGRESS WINDOWS IN SLEEPING ROOMS SHALL MEET THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS OF 22" WIDE, 24" HIGH & 5.7 SF CLEAR OPENING. ALL BEDROOMS SHALL CONTAIN A MINIMUM OF (1) EGRESS OPENING. (NOT APPLICABLE TO THIS PROJECT).
- WINDOW SAFETY GLAZING SHALL BE LOCATED AS FOLLOWS, BUT NOT LIMITED TO:
 ALL WINDOWS WITHIN 60" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
 ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
 ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
- BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY THROUGHOUT THE DRAWING SET. INSTALL ALL BATHROOM, LAUNDRY, MECH. ROOM WALLS, AND ROOF DRAINS THRU BUILDING. BEAM JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT & OR ENGINEER PRIOR TO WORK.
- ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.
- REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

PROJECT NOTES

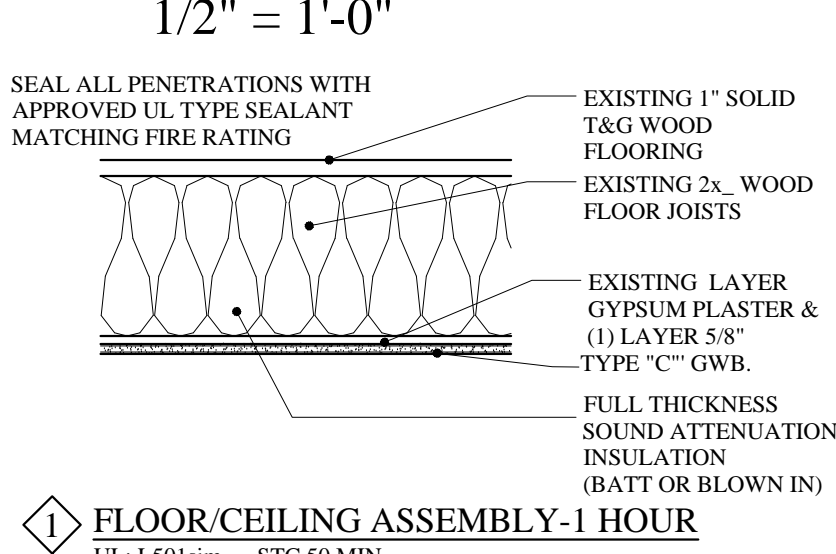
- SCOPE OF WORK SHALL INCLUDE INTERIOR TENANT FIT-UP FOR PATISSERIE. WORK TO INCLUDE NEW INTERIOR PARTITIONS, NEW LITING AND NEW MILLWORK AS SHOWN.
- HISTORIC PRESERVATION NOT REQUIRED. NO EXTERIOR WORK PROPOSED. EXTERIOR SIGNAGE NOT PART OF THIS PERMIT.
- ALL NEW WORK SHALL CONFORM TO THE CITY OF PORTLAND INSPECTION, FIRE AND ZONING REQUIREMENTS.
- THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE FOR ALL INTERIOR WORK. GC TO OBTAIN ALL NECESSARY PERMITS FOR THE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, STREET CLOSINGS, ELECTRICAL, MECHANICAL, SPRINKLER SYSTEMS, AS REQUIRED. GC TO MODIFY MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER SYSTEMS ACCORDING TO ARCHITECT'S/ENGINEER'S PLANS.
- BASED ON ARCHITECT'S FLOOR PLAN, LIFE SAFETY SYSTEM INSTALLER SHALL SUBMIT LIFE SAFETY PLANS TO THE STATE OF MAINE AND THE CITY OF PORTLAND FOR APPROVAL.
- FIRE ALARM WORK SHALL BE INSTALLED BY A STATE CERTIFIED CONTRACTOR. FIRE ALARM WORK TO MEET NFPA 72, CITY OF PORTLAND AND STATE FIRE MARSHAL REQUIREMENTS.
- ALL FIRE RATED PENETRATIONS SHALL BE FIRE STOPPED WITH UL APPROVED SYSTEMS. ALL INTERIOR FINISHES TO MEET NFPA 701.
- CONTRACTOR SHALL ADHERE TO BUILDING RULES AND REGULATIONS AGREEMENT FOR INTERIOR CONSTRUCTION AS PROVIDED BY THE BUILDING'S PROPERTY MANAGEMENT.
- CONTACT THE ARCHITECT PRIOR TO WORK SHOULD DISCREPANCIES BE DISCOVERED DURING THE BUILDING PROCESS.
- RECONFIGURE SPRINKLER SYSTEM PER NEW PLAN & PER NFPA 13.

DEMOLITION NOTES

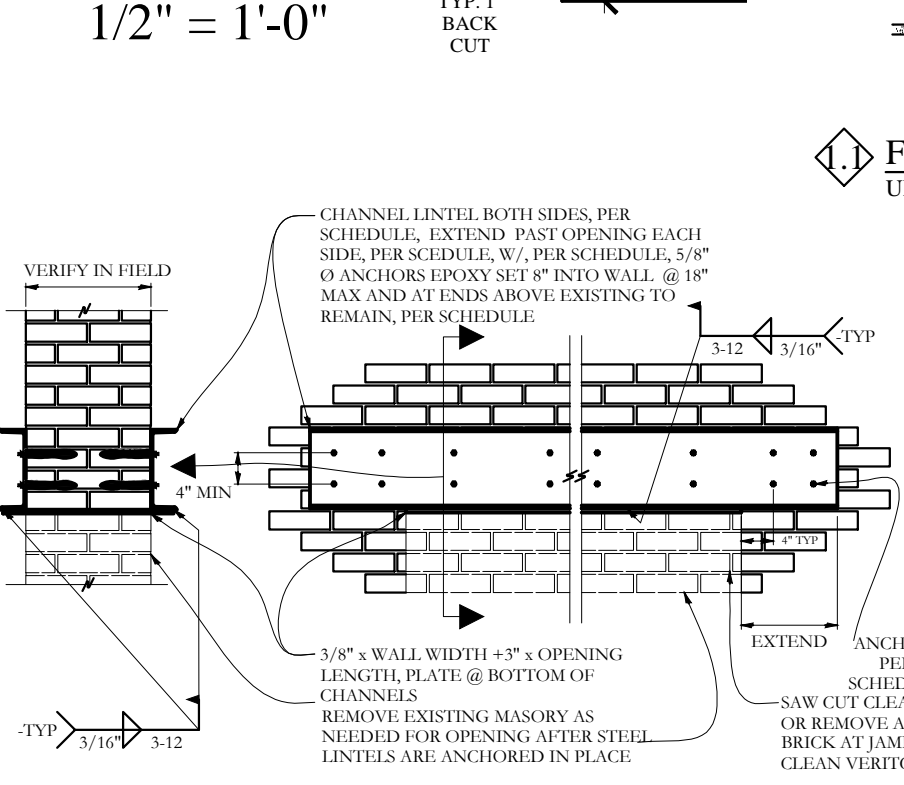
- ELECTRIC POWER TO THE TENANT SPACE ONLY SHALL BE DISCONNECTED PRIOR TO ANY DEMOLITION. VERIFY WATER SHUT-OFF W/ BUILDING OWNER. EXISTING DUCT WORK TO REMAIN SHALL BE SEALED. SPRINKLER SYSTEMS, WHERE APPLICABLE, SHALL REMAIN OPERATIONAL UNLESS PERMITTED BY THE CITY BUILDING INSPECTOR. FIRE ALARM SYSTEMS TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.
- DUST BARRIER PARTITIONING SHALL BE INSTALLED @ TENANT SEPARATIONS.
- ALL DEMOLITION SHALL BE REMOVED FROM THE REAR/ SIDE OF THE BUILDING ONLY.
- ALL FIRE PROTECTION (IF EXISTING), GYPSUM DRYWALL & OR FRESRAY ON STRUCTURAL MEMBERS SHALL REMAIN. BEARING WALLS, FIRE SEPARATION WALLS, BEAMS, COLUMNS & FIRE RATED FLOOR/ CEILING ASSEMBLIES SHALL NOT BE REMOVED.
- PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN.
- DIMENSIONS INDICATED +/- ARE EXISTING CONDITION DIMENSIONS TO BE FIELD VERIFIED.
- REMOVE EXISTING PLUMBING FIXTURES IF ANY. VENTING AND ASSOCIATED EXHAUST FANS, CAP PLUMBING FLUSH WITH FLOOR. (NOT APPLICABLE TO THIS PROJECT).
- FIELD VERIFY ALL STRUCTURAL COMPONENTS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.



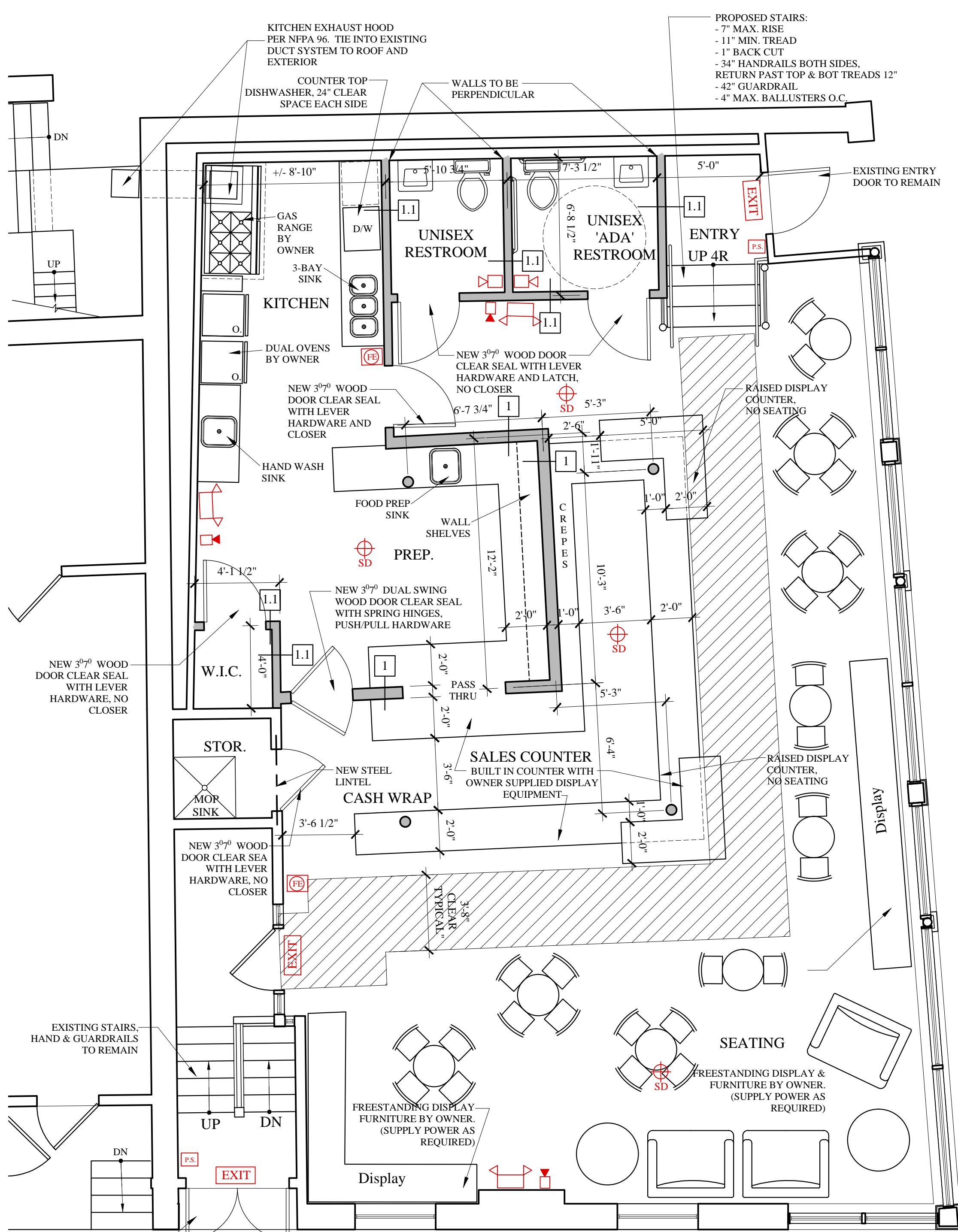
ENLARGED BATH PLAN
 1/2" = 1'-0"



STAIR ELEVATION
 1/2" = 1'-0"



NEW LINTEL INSTALLATION IN EXISTING BRICK



FLOOR PLAN
 1/4" = 1'-0"
REVISED: DECEMBER 04, 2014
FOR CONSTRUCTION: NOVEMBER 26, 2014

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 MARK MUELLER ARCHITECTS

PATISSERIE
 46 MARKET STREET
 PORTLAND, MAINE

INTERIOR TENANT FIT-UP FOR:
PROPOSED PLANS

REVISIONS	DATE	PROJECT	DRAWN BY	CHECK BY
	NOV 2014	46 MARKET	JME	MJM

A.1