

CODE SUMMARY

O'Naturals
Exchange Street
Portland, Maine

Building/Dwelling Code: BOCA National Building Code, 1999 Edition

Structural Code: BOCA National Building Code, 1999 Edition

Fire/Life Safety Code: NFPA 101 - 1997

Plumbing Code: Maine State Plumbing Code

Mechanical Code: None

Bed/Bio Code: National Electric Code, 1999 Edition

Energy Code: None

Accessibility: ADAAG

Gas Code: NFPA 54, 1999 (Code of Maine Rules 02-682)

Boiler Code: ASME BPC, Section 1-11 (1998, 1999)

1. OCCUPANCY CLASSIFICATION	Requirements	Provided
Residential BOCA Table 4, pg. 18	Use Group A-3 - Assembly	
2. FIRE LIMITS	Prescribed by local jurisdiction	PROVIDED
3. TYPE OF CONSTRUCTION	REQUIRED	PROVIDED
BOCA Table 603, pg. 58; 602, pg. 64	3A - Non-combustible construction - Protected	
4. ALLOWABLE HEIGHT	BOCA Table 603, pg. 58	3 stories, 29'-2" existing
5. ALLOWABLE FLOOR AREA	BOCA Table 603, pg. 58	11,850 sq. ft. 11,850 sq. ft.

6. FIRE RESISTIVE REQUIREMENTS	Requirements	Provided
Construction Type: 3A	Non-combustible construction - Protected	Existing structure
Occupancy: A-3	Requirements	
A. Exterior Bearing Wall	No rating req'd, non-combustible with 30" of masonry separation on all sides.	Existing structure
B. Interior Bearing Wall	1 hour	1 hour
C. Exterior Non-bearing Wall	No rating req'd, non-combustible with 30" of masonry separation on all sides.	1 hour - 30' separation.
D. Fire Wall and Parapet Wall	2 hour	N/A
E. Structural Members Supporting Wall	1 hour	1 hr.
F. Partition - Non-bearing	No rating req'd	
G. Floor Construction	1 hour	1 hour
H. Roof Construction	No rating req'd	
K. Interior Stair Enclosure	1 hour - where existing structure exists.	
J. Interior Wall and Ceiling	Class II - In corridors providing exit access. Class III - In rooms or enclosed spaces.	N/A - (existing building only) 1 hr. 1 hr.
K. Corridor	1 hr.	1 hr.

7. OCCUPANCY SEPARATION	Requirements	Provided
A. Reinforced Concrete	BOCA 1.2, pg. 19	None required if less than 10' or fire rated.
B. Other Reinforced Concrete	Table 602, pg. 64	1 hour

8. OCCUPANCY LOAD	Requirements	Provided
A. Existing Front of House	Table 1005.1.2, pg. 112	2721 sq ft 15 @ 18000 = 182,000
B. Kitchen	Table 1005.1.2, pg. 112	280 sq ft 100 @ 18000 = 180,000
C. Storage Room	Table 1005.1.2, pg. 112	736 sq ft 300 @ 18000 = 3,000
D. Office	Table 1005.1.2, pg. 112	215 sq ft 100 @ 18000 = 3,000
E. Total Occupancy		4652 sq ft (actual) = 198,000

9. EXIT REQUIREMENTS	Requirements	Provided
A. Number	Table 1010.2, pg. 115	2 exits min.
B. Total width	Table 1009.2, pg. 115	198,000 sq. ft = 30' exit width
C. Arrangement	Table 1009.2, pg. 115	Staircase to be located so as to be clear of exits and unobstructed access to exits.
D. Distance to Exit	Table 1009.2, pg. 112	200'-0"
E. Through adjoining or adjoining areas	Table 1009.2, pg. 112	Exits shall be through doors which are not to be closed during occupancy, and provide a direct path to the exit. A minimum of one exit access shall be provided to each room. In rooms or enclosed spaces, exits shall be provided through a door which is not to be closed during occupancy.
F. Doors	Table 1011.3, pg. 124	30' min.
Table 1011.3, pg. 124	6'-8" min.	7'-0" min. provided
Table 1011.3, pg. 124	Power operated doors shall be installed if they are to be used for egress. The doors shall be capable of being opened by a single person.	Power operated doors shall be installed in all rooms with more than one exit. The doors shall be capable of being opened by a single person.
G. Exit Signs	Table 1023.1, pg. 129	All exit signs shall be located at exit doors or entrances and shall be readily visible. Sign placement shall be such that any point in the exit access shall be able to see an exit sign from the nearest public way.

ABBREVIATIONS

A	AC	AIR CONDITIONING	L	LAB	LABORATORY
AD	ACT	ACROUSTICAL CEILING TILE	LAM	LAMINATED	
ADAAG	AREA DRAIN	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY'S GUIDELINES	LB	LEAD	LEAD COATED COPPER
ADD	AFF	ADDITION	LOC	LEFT-HAND	
AFF	AHU	ABOVE FINISHED FLOOR AIR-HEATING UNIT	M	MACHINE	MASONRY
ARCH	AL	ARCHITECT/ARCHITECTURAL	MACH	MACHINERY	
AWP	AMP	ACOUSTIC WALL PANEL	MAS	MASONRY	
B	B TO BLS	BACK-TO-BACK ANGLES	MATL	MATERIAL	
BLDG	BULDG	BUILDING	MAX	MAXIMUM	
BLKG	BLKNG	BLOCKING	MDO	MEDIUM-DENSITY OVERLAY	
BSMT	BSMT	BASEMENT	MECH	MECHANICAL	
B/TWN	B/TWN	BETWEEN	MEMB	MEMBRANE	
BO	BO	BY OTHERS	NETL	NET	
C	C	COURSE (MASONRY)	MEZZ	MEZZANINE	
CER	CER	CERAMIC	MFR	MANUFACTURER	
CG	CG	CORNER GUARD	MISC	MISCELLANEOUS	
CH	CH	COAT HOOK	MOP	MASONRY OPENING	
CJ	CJ	CONTROL JOINT	MTD	MOUNTED	
CLG	CLG	CENTRAL LINE	MTL	METAL	
CMU	CMU	CONCRETE MASONRY UNIT	MB	MARKER BOARD	
CO	CO	CLEAN OUT	N	NORTH	
COL	COL	COLUMN	#	NUMBER	
CONC	CONC	CONCRETE	NIC	NOT IN CONTACT	
CONN	CONN	CONNECT/CONNECTION	NOM	NOMINAL DIMENSION	
CONST	CONST	CONSTRUCTION	NTS	NOT TO SCALE	
CORR	CORR	CORRIDOR	O	ON/OVER	
CT	CT	CERAMIC TILE	OC	ON CENTER	
CUH	CUH	CABINET UNIT HEATER	OD	OUTSIDE DIAMETER/OUTSIDE DIMENSION	
DBL	DBL	DOUBLE	OPNG	OPENING	
DIA	DIA	DIAMETER	OPP	OPPOSITE	
DIFF	DIFF	DIFFUSER	OPPH	OPPOSITE HAND	
DN	DN	DOWN	OSB	ORIENTED STRAND BOARD	
DSP	DSP	DRY STAND PIPE	OZ	OUNCE	
DWG	DWG	DRAWING	P	PURCHASED BY OWNER INSTALLED BY CONTRACTOR	
E	E	EAST	PBOBC	PURCHASED BY OWNER INSTALLED BY CONTRACTOR	
EA	EA	EACH	PC	PRECAST	
ELC	ELC	ELEVATION	PL	PLATE	
ELEV	ELEV	ELEVATION	PLAM	PLASTIC LAMINATE	
ENTR	ENTR	ENTRANCE	PP	PAIR	
EQUIP	EQUIP	EQUIPMENT	PRE F	PRE-FABRICATE	
EXP	EXP	EXPANSION	PSF	POUNDS PER SQUARE FOOT	
EXPT	EXPT	EXPANSION BOLT	PSI	POUNDS PER SQUARE INCH	
EXT	EXT	EXTERIOR	PTD	PAINTED	
EPDM	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PTN	PARTITION	
EWC	EWC	ELECTRIC WATER COOLER	PVC	POLYVINYL CHLORIDE	
F	F	FAHRENHEIT	PPLY	PLYWOOD	
FB	FB	FLAT BAR	PERF	PRESSURE TREATED PERFORATED	
FD	FD	FIRE EXTINGUISHER AND CABINET	Q	QUARRY TILE	
FE	FE	FIRE EXTINGUISHER	QT	QUARRY TILE	
FEC	FEC	FIRE EXTINGUISHER CABINET	QTR	QUARTER	
FTWD	FTWD	FIRE TREATED WOOD	R	RISER/RADIUS	
FIN	FIN	FINISH	RD	RADIUS	
FL	FL	FLOOR	RB	RUBBER BASE	
FOB	FOB	FACE OF BRICK	RCP	REFLECTED CEILING PLAN	
FOC	FOC	FACE OF CONCRETE	RD	ROOF DRAIN	
FOF	FOF	FACE OF FINISH	REFR	REFRIGERATOR	
FOS	FOS	FACE OF STUDS	REFIN	REINFORCED	
FOW	FOW	FACE OF WALL	REQ	REQUIRED	
FPS	FPS	FIRE SUPPRESSION SYSTEM	RES	RESILIENT	
FT	FT	FOOT	REV	REVERSE	
FRG	FRG	FRUIT	RO	ROOM	
G	G	GAUGE	RO	ROUGH OPENING	
GALV	GALV	GALVANIZED	ROW	RIGHT OF WAY	
GB	GB	GRAB BAR	S	SOUTH	
GC	GC	GENERAL CONTRACTOR	SCHED	SCHEDULE	
GFI	GFI	GROUND-Fault INTERRUPTER	SCHD	SCHEDULE FEET	
GL	GL	GLASS/GLAZING/GLAZED	SIM	SIMILAR	
GLAM	GLAM	GLUE-LAMINATED WOOD	SPC	SQUARE	
GND	GND	GROUND	SQT	SQUARE	
GWB	GWB	GYPSUM WALL BOARD	SST	STAINLESS STEEL	
H	H	HOSE BIB	SST	SOUND TRANSMISSION CLASS	
HC	HC	HOLLOW METAL	STD	STANDARD	
HORIZ	HORIZ	HORIZONTAL	STR	STEEL	
HP	HP	HORSE POWER/HIGH POINT/HEAT PUMP	STR	STRUCTURE/STRUCTURAL	
HR	HR	HOUR	SUSP	SUSPENSION	
HW	HW	HOT WATER	T	TONGUE&GROOVE	
HVAC	HVAC	HEATING VENTILATION AIR CONDITIONING	T&G	TONGUE&GROOVE	
I	I	INSIDE DIMENSION/INSIDE DIAMETER	TEL	TELEPHONE	
ID	ID	INCHES	THK	THICK	
IN	IN	INCHES	TOP	TOP OF DECK	
INFO	INFO	INFORMATION	TOP	TOP OF STEEL	
INSUL	INSUL	INSULATION	TOS	TYPICAL	
J	J	JOIST	TV	TELEVISION	
JT	JT	JOINT	TB	TACK BOARD	
K	K	KILN-DRIED	TOC	TOP OF CONCRETE	
KIP	KIP	1000 POUNDS	U	UNDERWRITERS LABORATORIES, INC. UNDER VENTILATOR	

10. CORRIDOR REQUIREMENTS	Requirements	Provided
A. Width	Table 1011.3, pg. 118	4' min. for rooms, load greater than 50. 36' min. for rooms, load 50 or less.
B. Height	Table 1011.3, pg. 145; 1024.1.2, pg. 145	Ceiling height of not less than 7 feet measured to the lowest projection on the ceiling.
C. Projections	Table 1011.4, pg. 136; 1022.2.1, pg. 131	Doors when fully opened shall not reduce the required width by more than 7 inches. Doors in any position shall not reduce the required width by more than 18 inches. Handrails and projections shall not reduce the required width more than 3'-6".
D. Dead End	Table 1011.2, pg. 114	20'-0" max.
E. Handrails	Table 1011.2, pg. 114	No dead end corridor if greater than 20'-0".

11. EXITS	Requirements	Provided
A. Width	Table 1011.3, pg. 118	4' min. for rooms, load greater than 50. 36' min. for rooms, load 50 or less.
B. Height	Table 1011.3, pg. 145; 1024.1.2, pg. 145	Ceiling height of not less than 7 feet measured to the lowest projection on the ceiling.
C. Projections	Table 1011.4, pg. 136; 1022.2.1, pg. 131	Doors when fully opened shall not reduce the required width by more than 7 inches. Doors in any position shall not reduce the required width by more than 18 inches. Handrails and projections shall not reduce the required width more than 3'-6".
D. Dead End	Table 1011.2, pg. 114	20'-0" max.
E. Handrails	Table 1011.2, pg. 114	No dead end corridor if greater than 20'-0".

GENERAL NOTES:

- CODE COMPLIANCE:
ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.
- COORDINATION:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECTS ATTENTION, IN WRITING AND IN A TIMELY FASHION, SUCH CONDITION. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION CLARIFICATION FROM THE ARCHITECT.
- DISCREPANCIES & CLARIFICATIONS:
THIS PROJECT INVOLVES THE FIT-UP OF AN EXISTING BUILDING. EXISTING DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECTS ATTENTION, IN WRITING, ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT. THE CONSTRUCTION DOCUMENTS SET CONSISTS OF BOTH CONSTRUCTION DRAWINGS AND SPECIFICATIONS MANUAL. NEITHER SHALL BE CONSIDERED COMPLETE WITHOUT THE OTHER. IF THERE IS A CONTRADICTION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR IF INFORMATION APPEARS ON ONE AND NOT THE OTHER, IT IS CONSIDERED A DISCREPANCY, AND SHOULD BE REPORTED TO THE ARCHITECT FOR CLARIFICATION.
- LAYOUT:
UNLESS INDICATED OTHERWISE, CENTER WALL FRAMING AND PARTITION FRAMING ON COLUMN LINES. FLOOR PLAN DIMENSIONS ARE TO CENTER OF FRAMING, FACE OF CONCRETE, FACE OF CMU, OR FROM COLUMN CENTERLINES, UNLESS INDICATED OTHERWISE. DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES.
- CENTERING:
UNLESS INDICATED OTHERWISE, CENTER BUILDING ELEMENTS WITHIN OR BETWEEN OTHER BUILDING ELEMENTS WHEN CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SUCH IS THE INTENT, WHETHER OR NOT DIMENSIONS ARE INCLUDED
- SYMMETRY: WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SYMMETRY IS INTENDED, INFORMATION PROVIDED AT ONE SIDE APPLIES EQUALLY TO BOTH SIDES, UNLESS CONDITIONS CLEARLY PRECLUDE SUCH APPLICATION.
- ACCESSIBILITY:
ALL HANDICAPPED ACCESSIBLE BATHROOMS, GRAB BARS, AND DOOR OPENINGS SHALL MEET THE REQUIREMENTS OF ANSII 117.1 LATEST EDITION & THE ADA HANDBOOK "APPENDIX C"
- DRAWING SCALES:
WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.
- WATER-RESISTANT GWB
INSTALL WATER-RESISTANT GYPSUM WALL BOARD IN ALL REST ROOMS & TOILET ROOMS OR AT ANY WALL WITH PLUMBING FIXTURES.
- INTERIOR ELEVATIONS:
INTERIOR ELEVATIONS MAY BE REVERSED FROM AND/OR SIMILAR TO ACTUAL CONDITIONS. SEE FLOOR PLANS FOR WINDOW AND DOOR QUANTITIES AND LOCATIONS, FOR CASEWORK LAYOUTS, AND FOR MONITOR LOCATIONS.
- BUILDING INSULATION:
PROVIDE AS INDICATED IN WALL SECTIONS AND IN ACCORDANCE WITH PARTITION TYPES, WHETHER OR NOT SHOWN IN DETAILS AND OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS PROVIDED.
- BLOCKING:
INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED, WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.
- PENETRATIONS AT STRUCTURAL MEMBERS:
BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT/D
- DAMAGED WORK:
BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUB-CRTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.
- UTILITIES:
VERIFY THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING. DO NOT PROCEED WITH WORK UNTIL THE DISCREPANCY HAS BEEN RESOLVED TO THE SATISFACTION OF THE ARCHITECT.

16: RATED CONSTRUCTION:
PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.

17: SHOP DRAWINGS
SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATIONS. SUBMITTALS REQUIRED INCLUDE, BUT ARE NOT LIMITED TO, SHOP DRAWINGS FOR ALL STEEL, MILLWORK & SIGNAGE, SAMPLES OF ALL PROPOSED PAINTS, METALS, WALL COVERINGS, LAMINATES, SOLID SURFACE MATERIALS, CERAMIC TILE, AND HARDWARE. SUBMIT MANUFACTURERS' DATA FOR ALL LIGHTING SYSTEMS, AND HARDWARE.

18: PERMITS
THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS REQUIRED AND CARRY ANY INSURANCE COVERAGES REQUIRED.

19: INTERIOR FINISHES
ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH SECTION 920.0 BOCA (INTERIOR FLAME SPREAD).

20: ELECTRICAL DESIGN
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY.

21: WASTE REMOVAL
THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES.

22: LANDLORD COORDINATION
THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER ALL ACTIVITIES INCLUDING BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT.

23: TEMPORARY FACILITIES
PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES, AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF A COMPLETE INSTALLATION.

24: FINAL CLEANING
EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING. CLEAN EACH SURFACE TO THE CONDITION EXPECTED IN A COMMERCIAL BUILDING CLEANING PROGRAM.

25: MANUFACTURERS INSTRUCTIONS
ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

26: GUARANTEE
GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME ON A CERTAIN ITEM.

27: ASBESTOS
ALL MATERIAL USED FOR THE CONSTRUCTION OF THIS PROJECT, WHETHER BUILDING MATERIALS OR APPURTENANCES, SHALL BE NON-ASBESTOS CONTAINING MATERIAL.

28: HAZARDOUS FUMES
THE GENERAL CONTRACTOR SHALL CONFIRM THAT ALL MATERIAL AND FINISHES SPECIFIED AND THEIR FABRICATION OR INSTALLATION WILL NOT RELEASE FUMES OR AROMAS DURING CONSTRUCTION WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL.

29: PEST CONTROL
SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS/RODENTS.

30: EXPOSED UTILITIES
ALL EXPOSED UTILITY WIRES AND PIPES (ELECTRICAL, PLUMBING, ETC.) SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS, AND CEILING AREAS. THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF FLOORS AND 1" OFF WALLS, CEILINGS AND ADJACENT PIPES ANY SUB-C

31. OWNER SUPPLIED EQUIPMENT
EQUIPMENT SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR.
EQUIPMENT INFORMATION AND SPECIFICATIONS ARE TO BE THE MOST CURRENT AVAILABLE AT THE TIME OF DOCUMENTATION PREPARATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE OWNER THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS (INCLUDING ELECTRICAL CIRCUIT REQUIREMENTS) OF EQUIPMENT TO BE SUPPLIED. THE GENERAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS NOTED ON THE DRAWINGS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOT VOID WARRANTIES. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL OWNER SUPPLIED EQUIPMENT. THE GENERAL CONTRACTOR SHALL STORE EQUIPMENT IF REQUESTED BY THE OWNER UNTIL INSTALLATION. SEE OUTLINE SPECIFICATIONS AND DRAWINGS FOR OTHER OWNER SUPPLIED/GENERAL CONTRACTOR INSTALLED ITEMS.

32: FIRE PROTECTION NOTE:
FOR A RENOVATION CONTRACT, EXISTING SPRINKLERHEADS, ALARM SYSTEM AND DETECTORS ARE TO REMAIN. COORDINATE WITH THE ARCHITECT, ANY MODIFICATION OR LOCATIONS WHERE EXISTING SYSTEMS ARE AFFECTED BY THE NEW DESIGN.

GENERAL DEMOLITION NOTES

- ALL MATERIALS AND EQUIPMENT THAT ARE SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY. FOLLOW LOCAL AND STATE REQUIREMENTS FOR REMOVAL AND DISPOSAL.
- ELECTRIC REMOVAL SHALL INCLUDE THE REMOVAL OF ALL ELECTRICAL DEVICES IN WALLS, COUNTERS, ETC. THAT ARE SCHEDULED FOR DEMOLITION (INCLUDING WIRING AND CONDUIT TO A POINT ABOVE THE CEILING OR BELOW FLOOR) AT A JUNCTION BOX LOCATION IN ORDER TO PERMIT REUSE OF CONDUIT, IF POSSIBLE. AFTER DEMOLITION WORK IS COMPLETED, THE ELECTRICAL CONTRACTOR SHALL IDENTIFY THOSE CIRCUITS IN THE EXISTING PANEL THAT ARE AVAILABLE FOR USE AS A RESULT OF THE REMOVAL WORK. REMOVE LIGHTING, EXIT SIGNS, ETC. IN SPACES.
- PLUMBING REMOVAL SHALL CONSIST OF THE REMOVAL OF ALL EXISTING WATER, WASTE AND VENT LINES THAT OCCUR IN EXISTING WALLS, COUNTERS, ETC. SCHEDULED FOR DEMOLITION. THESE LINES SHALL BE REMOVED TO A POINT ABOVE CEILING OR BELOW FLOOR AND CAPPED FOR POSSIBLE REUSE.
- IF DURING THE DEMOLITION/REMOVAL PHASE OF THE PROJECT THE CONTRACTOR DISCOVERS ELECTRICAL OR PLUMBING LINES THAT ARE PART OF THE LANDLORD'S SYSTEM, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THIS SYSTEM IN WORKING ORDER AT ALL TIMES. CONTRACTOR SHALL NOTIFY THE APPROPRIATE LANDLORD PERSONNEL RESPONSIBLE FOR THESE SERVICES.
- PROTECT ALL ADJACENT SPACE, SURFACES, STRUCTURE, EQUIPMENT, FURNISHINGS, AND UTILITIES FROM DAMAGE AND INTERRUPTION OR SOILING DUE TO WORK UNDER THIS CONTRACT. RESTORE OR REPLACE AS REQUIRED ALL ADJACENT WORK SOILED OR DAMAGED DUE TO WORK UNDER THIS CONTRACT. FOLLOW LANDLORD REQUIREMENTS FOR SEPARATING THE WORK AREA FROM THE PUBLIC DURING CONSTRUCTION.
- REFER TO ELECTRICAL, PLUMBING & HVAC DRAWINGS FOR REMOVAL OF EXISTING MEP SYSTEMS.
- PRIOR TO DEMOLITION, PROVIDE THOROUGH PEST CONTROL TREATMENT BY A STATE LICENSED PEST CONTROL COMPANY. COORDINATE WITH THE LANDLORD'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR AND SUBS ARE TO COORDINATE WITH THE BUILDING FACILITY MANAGER APPROPRIATE PERIODS OF TIME WHEN EXTREMELY NOISY OPERATIONS CAN BE DONE. THIS IS SO THAT ADJACENT TENANTS AND THE GENERAL OPERATIONS OF THE BUILDING WILL NOT BE DISTURBED.
- PRIOR TO REMOVAL OF EXISTING EQUIPMENT OR FIXTURES REVIEW WITH OWNER FOR THOSE ITEMS TO BE REUSED & RELOCATED. G.C. RESPONSIBLE FOR MOVING EQUIPMENT & FIXTURES AND PROVIDE TEMPORARY STORAGE AS NEEDED.

DRAWING LEGEND

	EARTH		ROOM NAME AND NUMBER
	POROUS FILL		ROOM WHERE DOOR IS LOCATED DOOR TAG
	CONCRETE		DOOR DESIGNATION
	CONCRETE MASONRY UNIT		PARTITION TYPE PARTITION TYPE TAG
	BRICK		SECTION NUMBER SHT WHERE SECTION LOCATED
	STEEL		DETAIL NUMBER DRAWING SCALE SHT WHERE DETAIL LOCATED
	WOOD - ROUGH		DRAWING TITLE
	GYPSUM BOARD		
	RIGID INSULATION		
	BATT INSULATION		
			ELEVATION TAG ELEVATION NUMBER
			SECTION NUMBER
			DETAIL NUMBER
			DRAWING SCALE
			DRAWING TITLE

DRAWING LIST

ARCHITECTURAL:
A0-0 COVER
A0-1 CONTENTS SHEET - ABBREVIATIONS, GENERAL NOTES & LEGEND
A1-1 BASEMENT FLOOR PLAN
A1-2 FLOOR PLAN, FINISH SCHEDULE, DOOR SCHEDULE
A1-3 BASEMENT REFLECTED CEILING PLAN
A1-4 FIRST FLOOR REFLECTED CEILING PLAN
A2-1 INTERIOR ELEVATIONS
A2-2 INTERIOR ELEVATIONS
A2-3 INTERIOR ELEVATIONS