

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0243	Issue Date: APR 12 2002	CBL: 032 D004001
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Location of Construction: 85 Exchange St	Owner Name: Wellin & Co	Owner Address: Po Box 533	Phone: 79-5422
Business Name: n/a	Contractor Name: TBD Construction	Contractor Address: Westview Drive Sanford	Phone: 2076510408
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Commercial / Resaurant; Formally F Parker Reedy's	Proposed Use: Commercial / Restaurant; Adding one 8' x 8' bathroom & upgrading two bathrooms. Relocating new stairs.	Permit Fee: \$282.00	Cost of Work: \$37,000.00	CEO District: 1
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Proposed Project Description: Interior Renovations <i>NO exterior approved.</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 3 BOCA 1999
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

Permit Taken By: gg	Date Applied For: 03/21/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Other <i>OK with conditions</i> Date: <i>3/25/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>any exterior work requires A SEPARATE REVIEW to D. A 3/25/02</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

3-2002 - Non bearing new openings.

Bringing cmu's up under floor first prior to cutting opening - There will be a full 8" of bearing on walls.
No exterior work approved.

Need framing details on new walls. AM
Spoke w/ builder.

ADDRESS: 85 Exchange St.
 PERMIT APPLICATION FOR: interior renovations
 BUILDING OWNER: Peter Wellin
 PERMIT APPLICANT: TBD Construction
 REVIEWER: John Anderson
 DATE OF DECISION: 3/27/02

HISTORIC PRESERVATION REVIEW

Note: Your property is an individually designated landmark structure or is located within a designated historic district. As such, alterations to the building exterior or site which are visible from a public way are subject to review and approval under Article IX (Historic Preservation) of the Land Use Code. Your building or sign permit application has been reviewed to determine whether the nature or scope of the project requires review, and if so, whether it meets the standards of the historic preservation ordinance.

ACTION

Does not Require Review (e.g. Interior work only) alteration is not readily visible from a public way

Note: this finding is based on the understanding that the application entails interior work only or that the proposed exterior alteration(s) will not be readily visible from a public way. If your project entails exterior or site alterations (including the installation of sign(s), awnings, or exterior lighting for such) these alterations must be reviewed and approved prior to commencing with the work. Contact 874-8726 for more information.

Denied Reason for Denial: _____

Approved as submitted

Approved with conditions (see below)

Conditions of Approval:

Contact Historic Preservation Staff (874-8726 or 874-8728) prior to installation of sign(s) to confirm approved location.

Your sign permit includes no reference to exterior lighting; if lighting is included, please submit information on fixtures and specifications on installation.

Other conditions:

1. Note: Reference is made to new windows & exterior doors on submitted plans. This approval shall not apply to any exterior alterations.
2. Please submit separate application for HP approval. Approval is for interior renovations only.
3. _____

Application ID Number: 2-0243

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 85 Exchange St

Approval Date: 03/25/2002

City Council Date: 03/22/2002

OK to Issue Permit Name: Marge Schmuckal Date: 03/25/2002

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Your plans show new exterior doors. This permit IS NOT approving any exterior seating into the adjoining City property. You do NOT have the authority to place private tables and chairs in the City Park under this permit. You will need to obtain SEPARATE approvals for exterior seating within this City Park.

Create Date: 03/21/2002 By: gg Update Date: 03/25/2002 By: mes

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

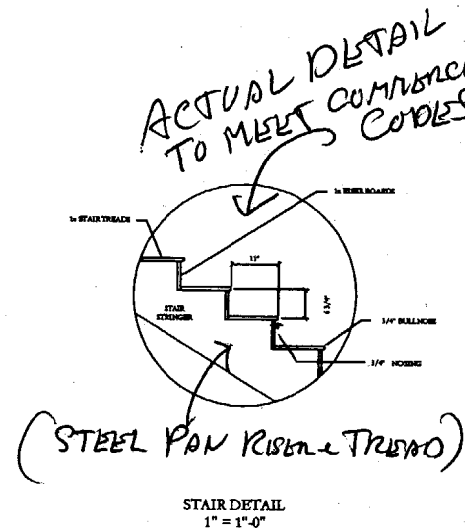
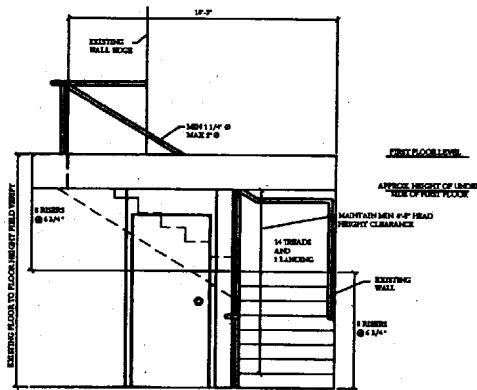
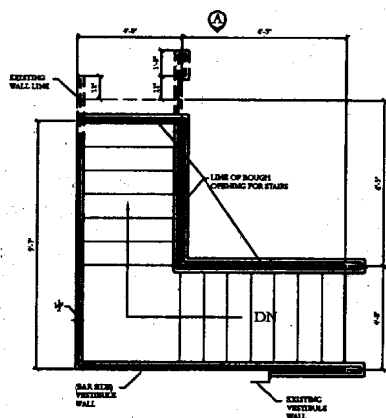
Location/Address of Construction: 83 EXCHANGE ST		
Total Square Footage of Proposed Structure SAME	Square Footage of Lot SAME	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 032 D 004	Owner: WELLIN & CO. 97A EXCHANGE	Telephone: 207 879-5422
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: ROBERT MOREY T.P.D. CONST PO BOX 697 SANFORD, ME 490-3735	Cost Of Work: \$ 32,000.- Fee: \$ 282.00
Current use: RESTAURANT		
If the location is currently vacant, what was prior use: RESTAURANT FORMERLY F. PARKER REEVY'S		
Approximately how long has it been vacant: _____		
Proposed use: RESTAURANT		
Project description: ADD ONE ^{EX} UPGRADE BATHROOMS & STAIRS (relocating) new		
Contractor's name, address & telephone: T.P.D. CONST PO BOX 697 SANFORD, ME 04023		
Who should we contact when the permit is ready: Mailing address: ROBERT D MOREY 207-990-3735 PO BOX 697 (651-0408) SANFORD, ME 04023		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 651-0408		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Robert D Morey	Date: 3-22-02
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

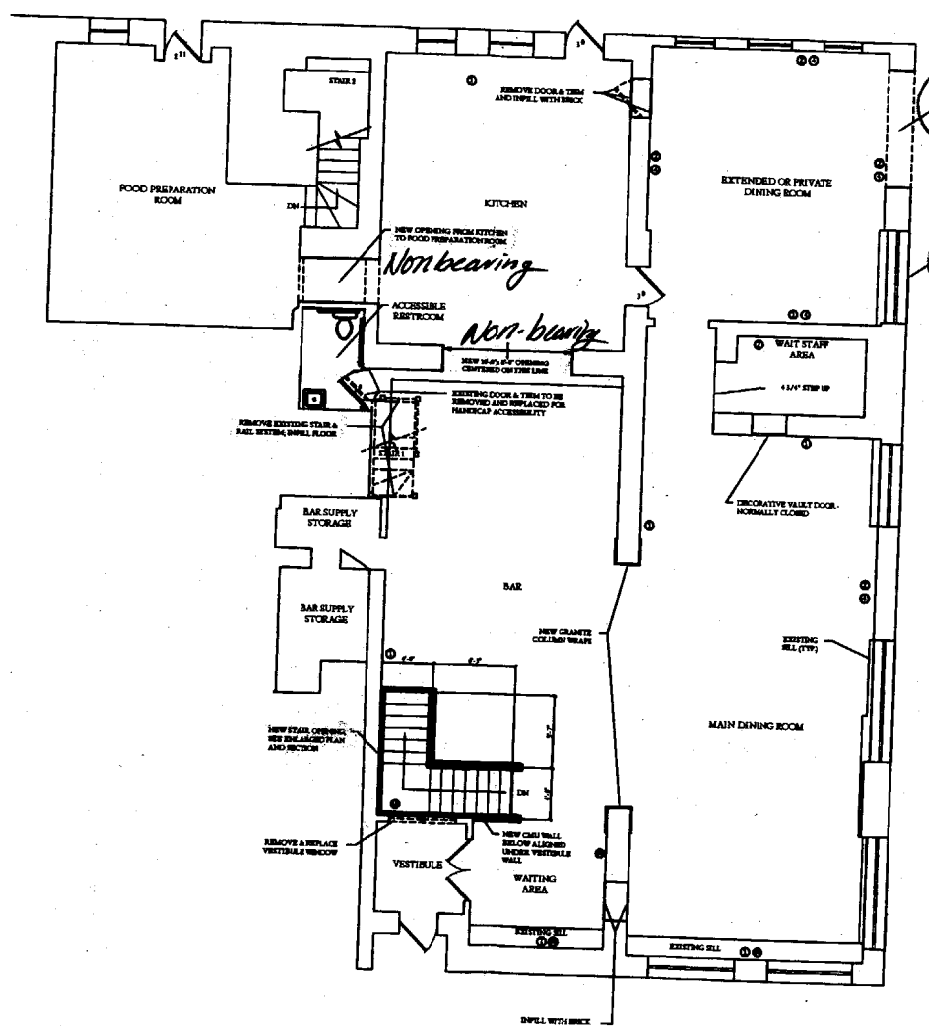


STAIR DETAILS
Restaurant
88 Exchange St., Portland, Maine 04101
DRAWN BY: [signature]

WELLEN & CO.
97A Exchange Street, Suite 602
Portland, Maine 04101

rd's
Engineering & Design
Services
100-1111 Ave. 2000, Suite 1000, Portland, ME 04101
Tel: 603-761-1111

MARKET ST.



NOTE:
Condition on
Exterior Seating

WALL MATERIALS KEY	
TAG	MATERIAL
①	BRICK
②	SHEET ROCK
③	CONCRETE
④	WOOD WAINSCOTING
⑤	GRANITE
⑥	CMU
⑦	1 1/2" TILE OVER BRICK
⑧	MARBLE
⑨	SHEET METAL VENEER
⑩	DECORATIVE WOODWORK

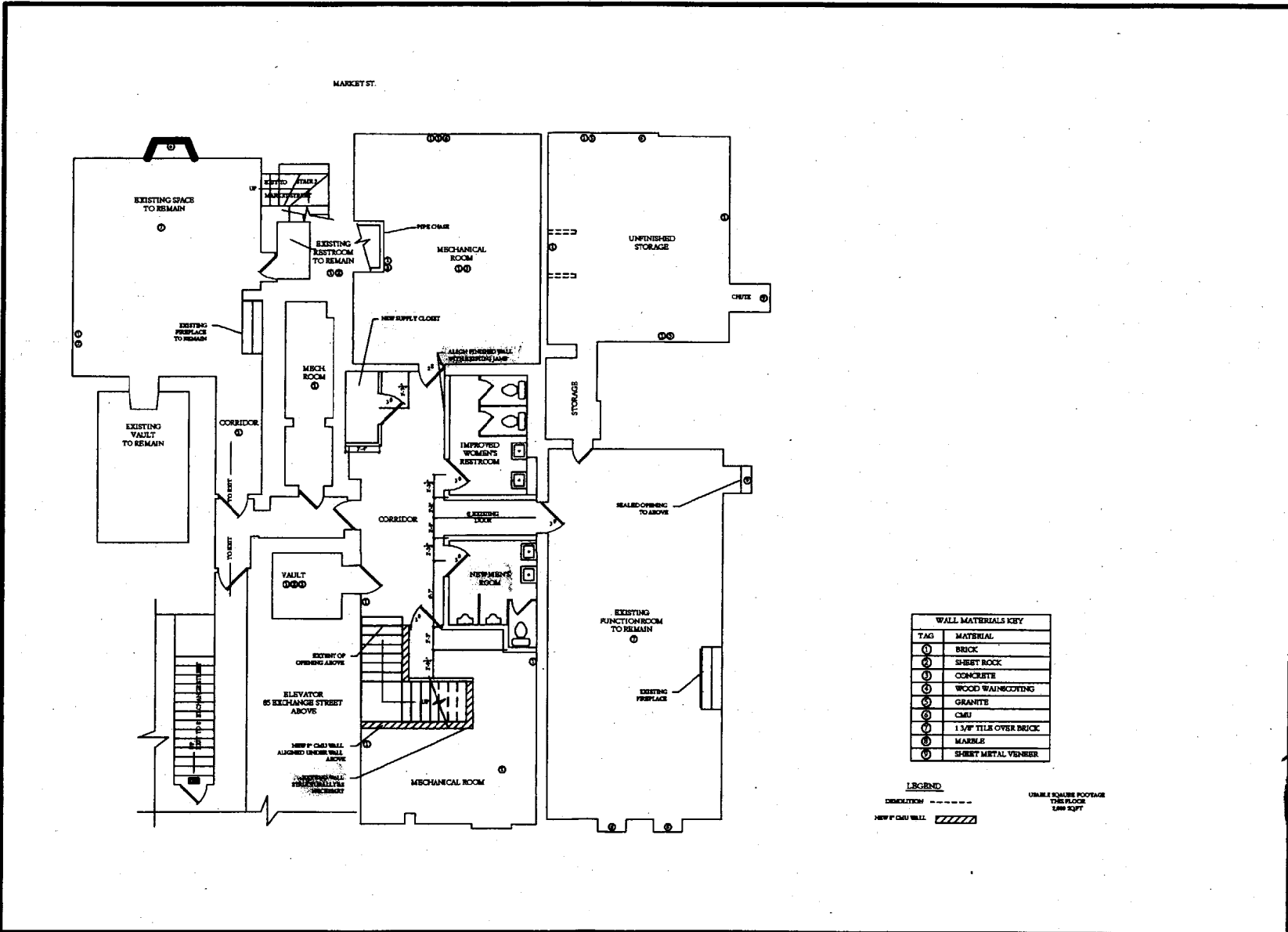
LEGEND
 --- DEMOLITION
 --- USABLE SQUARE FOOT THIS FLOOR
 --- 1/4" = 1' - 0"

FIRST LEVEL FLOOR PLAN
 Restaurant
 83 Exchange St., Portland, Maine 04101
 SCALE: 1/4" = 1' - 0" LINES 03-23-88 1 FROM 878 888

WELLEN & CO.
 87A Exchange Street, Suite 502
 Portland, Maine 04101

J.F. d'S
 ARCHITECTS
 1000 1/2 ST. JOSEPH ST. PORTLAND, ME 04101
 TEL: 855-2222 FAX: 855-2222

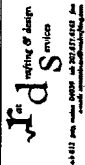
A1



WALL MATERIALS KEY

TAG	MATERIAL
①	BRICK
②	SHEET ROCK
③	CONCRETE
④	WOOD WAINSCOTING
⑤	GRANITE
⑥	CMU
⑦	1 3/8" TILE OVER BRICK
⑧	MARBLE
⑨	SHEET METAL VENER

LEGEND
 DIRECTION - - - - -
 NEW CMU WALL - - - - -
 UNKLT. SQUARE FOOTAGE OF FLOOR 1.98 SQFT

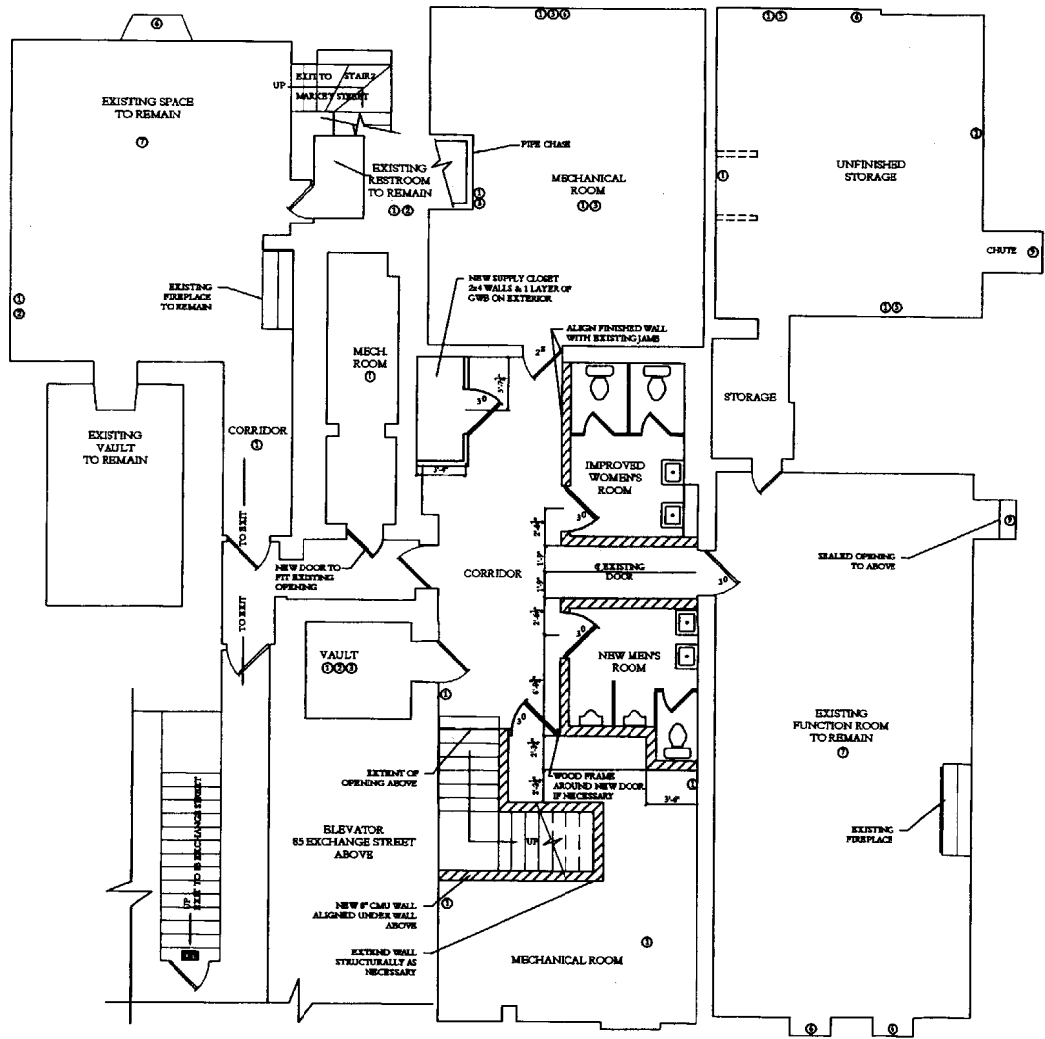

 J&D Services
 97A Exchange Street, Suite 502
 Portland, Maine 04101

WELLEN & CO.
 97A Exchange Street, Suite 502
 Portland, Maine 04101

BASEMENT LEVEL FLOOR PLAN
 Restaurant
 88 Exchange St., Portland, Maine 04101
 SCALE 1/4" = 1'-0" (LEVEL 03-02-01) DRAWN BY: BBE

A2

MARKET ST.



WALL MATERIALS KEY	
TAG	MATERIAL
①	BRICK
②	SHEET ROCK
③	CONCRETE
④	WOOD WAINSCOTING
⑤	GRANITE
⑥	CMU
⑦	1 3/8" TILE OVER BRICK
⑧	MARBLE
⑨	SHEET METAL VENEER

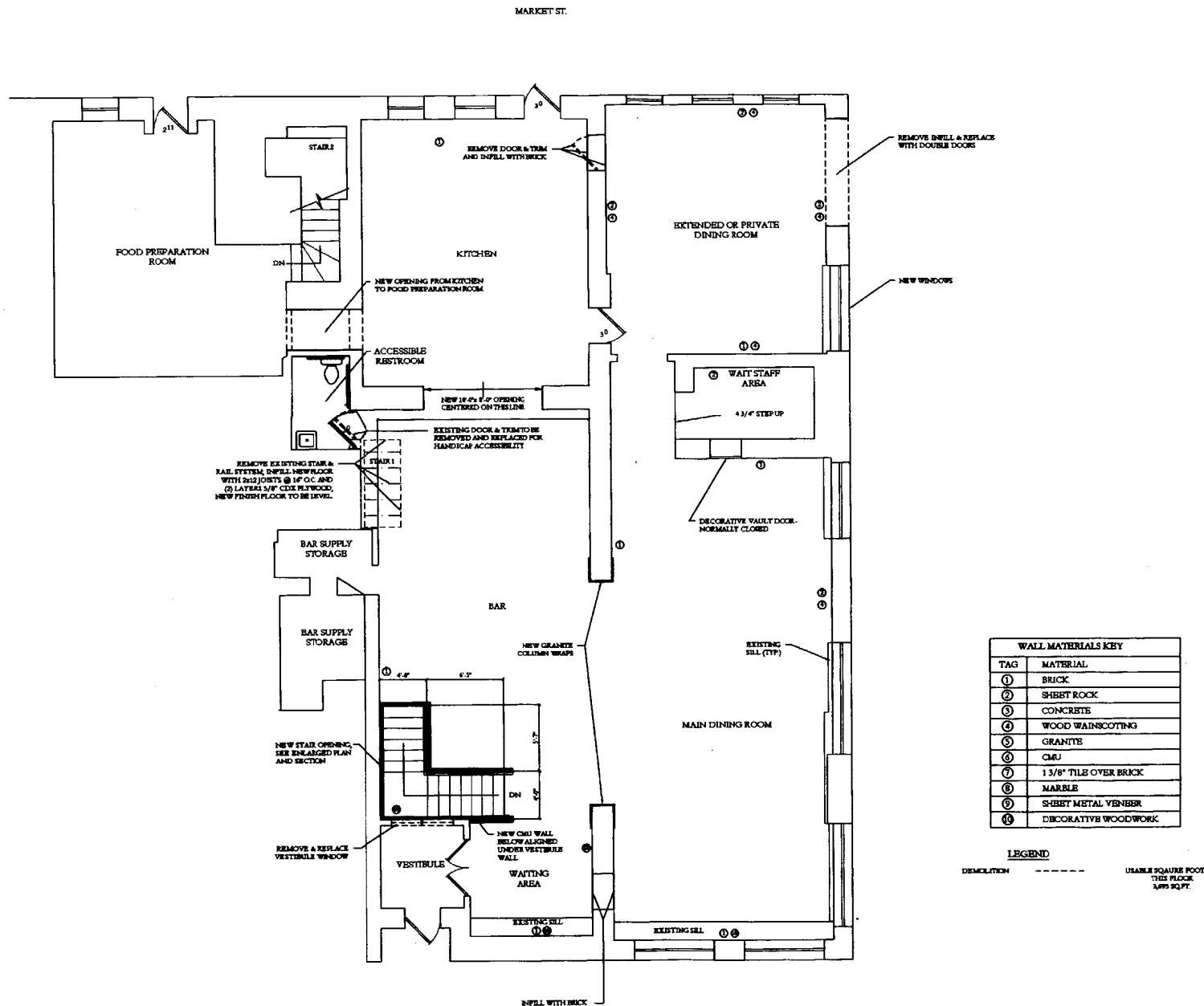
LEGEND
 DEMOLITION - - - - -
 NEW 8" CMU WALL

USABLE SQUARE FOOTAGE THIS FLOOR 2,800 SQ FT

BASEMENT LEVEL FLOOR PLAN
 Restaurant
 83 Exchange St., Portland, Maine 04101
 SCALE: 1/4" = 1'-0" DATE: 04-10-02 DRAWN BY: RJS

WELLEN & CO.
 97A Exchange Street, Suite 602
 Portland, Maine 04101

J.D. S
 Planning & Design
 services
 144 112 Ave. Maine 04103 tel: 207.457.6444 fax: 207.457.8973
 www.jdsdesign.com



WALL MATERIALS KEY

TAG	MATERIAL
①	BRICK
②	SHEET ROCK
③	CONCRETE
④	WOOD WAINSCOTING
⑤	GRANITE
⑥	CMU
⑦	1 3/8" TILE OVER BRICK
⑧	MARBLE
⑨	SHEET METAL VENEER
⑩	DECORATIVE WOODWORK

LEGEND

DEMOLITION - - - - -

USABLE SQUARE FOOT THIS FLOOR 1,495 SQ.FT.

WELLIN & CO.
 97A Exchange Street, Suite 502
 Portland, Maine 04101

WELLIN & CO.
 97A Exchange Street, Suite 502
 Portland, Maine 04101

FIRST LEVEL FLOOR PLAN
 Restaurant
 83 Exchange St., Portland, Maine 04101
 SCALE: 1/4" = 1'-0" DATE: 04-10-02 DRAWN BY: BWS

A1

W²d²s
 refining & design
 interior
 243 112 st. phone 800-999-4627 fax 207.637.9175
 www.w2d2s.com

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A. C. Brown **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development~~ Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

N/A **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

A. C. Brown **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

A. C. Brown **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

A. C. Brown **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

N/A **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of applicant/designee

4/12/02
Date

[Signature]
Signature of Inspections Official

4/12/02
Date

CBL: 32-D-4 Building Permit #: 02-0243