

actually on 1 Solution  
 Comments 10/3/12  
 insd Comments 1/16/12

9/26/12

City of Portland  
 Development Review Application  
 Planning Division Transmittal form

**Application Number:** 2012-602      **Application Date:** 9/24/2012 12:00:00 AM  
**CBL:** 32-C-1 & 2  
**Project Name:** Hotel Conversion of Former Grannett Building  
**Address:** 119 Exchange Street

**Project Description:** Renovation and conversion into a 110-room hotel with an 80-seat restaurant and ancillary hotel functions.  
**Zoning:** B3

**Other Reviews Required:** Historic Preservation  
**Review Type:** Level III Major Site Plan

**Distribution List:**

<input type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Senus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

**Comments needed by (7 days later): Wednesday, October 3, 2012**

Wilton St

Applicant: 119 Development LLC Date: 9/23/12

Address: 119 Exchange St C-B-L: 032-C-1 & 2

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone/Location - B-3 - Historic

Interior or corner lot -

Proposed Use/Work - Corner Guy Gannet change of use to 110 Rm Hotel & 80 seat restaurant  
pool area in basement

Sewage Disposal -

Lot Street Frontage - exist

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height - per downtown zoning maps - 125' max height allowed. Apparently the highest portion is 90' max street wall height is 75' high

Lot Area -

Lot Coverage/ Impervious Surface - 100%

Area per Family - N/A

Off-street Parking - in Historic & reuse

NO ~~needed~~ Loading Bays - see 14-351(2) hotels over 100,000<sup>sq</sup> ft needs 1 loading bay  
~ 84,491<sup>sq</sup> ft for the entire block

Site Plan - 2012 - 602

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 Zone C

## **Marge Schmuckal - 119 Exchange Street**

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**From:** Marge Schmuckal  
**To:** Shukria Wiar  
**Date:** 1/16/2013 2:22 PM  
**Subject:** 119 Exchange Street

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Shukria,

My comments of 10/3/2012 are still in force. I have not seen anything on the plans that would violate any zoning requirements. So this would be my final comment on the proposal.

Marge

119 Exchange Street – 032-C-1 & 2  
2012-602 - B-3 Zone with Historic – PAD and DEOZ  
10/3/2012

This project is to change the use of the previous Press Herald/Guy Gannett building. The proposed use is a 110 room hotel with amenities along with an 80 seat restaurant. A new elevator tower is proposed on the rear roof. The entire property is located within the B-3 Downtown Business Zone. Both the hotel and restaurant are allowable uses in the B-3 zone. There is also a Historic overlay zone and a Pedestrian Activities Encouragement District and a Downtown Entertainment Overlay Zone on this property. The DEOZ refers more to the dispersal of entertainment licenses through the City Clerk's office.

Per the submitted elevations, the current building is approximately 77' high for the portion of the building that is highest. The downtown height overlay map allows a maximum structure height of 125' with a 90' maximum street wall height. The current building will be meeting the current height regulations.

The B-3 zone does not require any parking to be shown for changes of use. The Historic District overlay also does not require any more parking other than what may be currently on site. However, it is understood that the hotel use will want to provide parking for their guests to be competitive.

All other B-3 zone requirements are being met.

Separate permits are required for any new signs. HVAC systems will need separate permits and will need to meet the maximum noise regulations within the B-3 zone. The applicants will be required to detail the emitting dBAs for the units being installed at the time of permitting.

Marge Schmuckal  
Zoning Administrator



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207.775.1121  
FAX 207.879.0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION
- LANDSCAPE PLANNING

September 18, 2012

*metro media Properties LLC*

*32-C-102*

Ms. Barbara Barhydt  
Development Review Service Manager  
Planning and Urban Development Department  
City of Portland, Maine  
389 Congress Street  
Portland, Maine 04101-3509

**Subject: Hotel Conversion – Former Gannett Building  
119 Exchange Street  
Preliminary Site Plan Application  
Applicant: 119 Development LLC**

Dear Barbara:

On behalf of 119 Development LLC, we are pleased to provide the accompanying package of submission materials related to the proposed hotel redevelopment of the former Gannett Building at 119 Exchange Street (former primary address was 390 Congress Street). This submission package is intended to meet the City's Preliminary Submission Requirements as outlined in the Level III Application procedures. These materials represent the ongoing design development for the proposed Hotel use for the property generally bounded by Congress Street (north), Market Street (east), Federal Street (south) and Exchange Street (west). It is the applicant's intent to renovate the approximately 84,491 s.f. building to create a 110-room Hotel, 80-seat Restaurant and ancillary hospitality functions. The development site is an approximately 0.23-acre area that includes two properties owned by MTM Portland Properties, LLC. The applicant currently has a purchase and sale agreement to acquire the properties from the current owner. The existing site has had a long history of development activity including, but not limited to use by Gannett Publishing and the Portland Press Herald as an office/production facility. Most recently, the building's interior was partially gutted in advance of reuse. The building is currently unoccupied.

Accompanying this cover letter are the following materials:

- Site Plan Application
- Section 1: Written Description of Project
- Section 2: Evidence of Right, Title and Interest
- Section 3: Written Assessment of Proposed Project's Compliance with Applicable Zoning and Land Use Requirements
- Reduced Sized Plans

## PROJECT DATA

(The following information is required where applicable, in order complete the application)

<b>Total Site Area (Condominium Complex Only)</b>	
<b>Proposed Total Disturbed Area of the Site</b>	10,049 sq. ft.
<b>(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)</b>	
<b>IMPERVIOUS SURFACE AREA</b>	
• Proposed Total Paved Area	0 sq. ft.
• Existing Total Impervious Area	10,049 sq. ft.
• Proposed Total Impervious Area	10,049 sq. ft.
• Proposed Impervious Net Change	0 sq. ft.
<b>BUILDING AREA</b>	
• Proposed Building Footprint	10,049 sq. ft.
• Proposed Building Footprint Net change	0 sq. ft.
• Existing Total Building Floor Area	84,491 sq. ft.
• Proposed Total Building Floor Area	84,491 sq. ft.
• Proposed Building Floor Area Net Change	0 sq. ft.
• New Building	NO (yes or no)
<b>ZONING</b>	
• Existing	
• Proposed, if applicable	
<b>LAND USE</b>	
• Existing	Unoccupied Office Building
• Proposed	110 Unit Hotel/80 Seat Restaurant
<b>RESIDENTIAL, IF APPLICABLE</b>	
	N/A
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
<b>PARKING SPACES</b>	
	N/A
• Existing Number of Parking Spaces	
• Proposed Number of Parking Spaces	
• Number of Handicapped Parking Spaces	
• Proposed Total Parking Spaces	
<b>BICYCLE PARKING SPACES</b>	
• Existing Number of Bicycle Parking Spaces	2
• Proposed Number of Bicycle Parking Spaces	2
• Total Bicycle Parking Spaces	2
<b>ESTIMATED COST OF PROJECT</b>	\$8 million construction

\*The entire site is a building

# 1. DEVELOPMENT DESCRIPTION

## 1.1 PROJECT OVERVIEW

119 Development LLC proposes to construct, own, and operate a 110-room luxury boutique hotel to be redeveloped out of the former Gannett Building, a long standing and prominent building along Congress Street and Exchange Street. The project represents an ideal reuse of a former office high-rise property that over the years has fallen into non-use. The property has maintained a prominent role in the City's Downtown District for almost a century as the home to Guy Gannett Publishing and the Portland Press Herald production facilities.

The development includes primarily interior refit construction to create the 110-room hotel layout. The plans include the installation of the following:

- A pool area within the basement space.
- An 80-seat restaurant and kitchen on the first floor level (street grade). The restaurant's primary access will be off Congress Street and the hotel entrance will be off Exchange Street.
- 110 room units on Floors 2-7.

The building's exterior will remain largely unchanged except for the installation of a modified entrance off Exchange Street. The exterior work also includes waterproofing much of the basement space. This will require removal and excavation of the existing sidewalk system around the perimeter of the building. New brick sidewalks will be required following the completion of waterproofing.

## 1.2 SITE OWNERSHIP AND LOCATION

According to the ALTA/ACSM Survey completed by Sebago Technics in 2009, the development site contains two parcels as identified in the City of Portland Tax Assessor's maps. These parcels are more fully described as follows:

Chart-Block-Lot	Owner	Description
32-C-1, 2	Metro Media Properties LLC	A rectangular shaped parcel containing 10,049 SF (0.23 acres) of land, entirely covered by building.

Figures 2-5 and 6-11 at the end of this section depict the project location on various available resource maps. As shown, the site location is on Congress Street between Market Street and Exchange Street. The combined parcels have approximately 51 LF of frontage along Congress Street. The development site is identified on the U.S.G.S Portland West 7.5 Minute Quadrangle Map.

### **1.3 PROJECT PURPOSE AND NEED**

The proposed project is considered a unique opportunity to transform an underutilized, yet prominent property, into a luxury hotel and hospitality center as significantly contemplated within the City's zoning and comprehensive plans. The project's community benefits include:

- Enhanced commercial related opportunity and rehabilitation of a deteriorated, older commercial property.
- Rehabilitated downtown property with proximity to the City's major service centers.
- Furtherance of the purposes of the zone as articulated in the Land Use Ordinance.

### **1.4 EXISTING CONDITIONS**

The site consists of approximately 0.23 acres of land that is composed of two primary areas described as follows:

1. **Parcel One (Map 32C, Lot 1)**: Consists of a rectangular shaped 0.1028 acre area. This parcel is located along the Congress Street frontage and contains an office/high rise building constructed in 1947. This building space has a primary entrance off Congress Street. The total building space is approximately 33,035 SF according to City records.
2. **Parcel Two (Map 32C, Lot 2)**: This rectangular area contains frontage along Federal, Market and Exchange Streets. The site area is approximately 0.1277 acres. This parcel contains a building constructed in 1925 and its approximate size is 51,456 SF. Interestingly, a portion of this building's basement space lies beneath the City's sidewalk systems (per long-term license agreements).

Existing development in the area includes the following:

- Portland City Hall is located to the north of the site.
- Portland's Central Fire Station is located to the east of the site.
- The 120 Exchange Street building is located to the west of the site.
- Various Downtown (Old Port) uses are located to the south of the site.
- The City sidewalk surrounding the site are brick and contain various utilities, tree wells, parking meters, and signage.

### **1.5 ACCESS CONDITIONS**

The existing buildings contain access entrances on all four sides of the building. The Exchange Street entrance will be modified to enhance the sense of arrival for hotel patrons/visitors. Modifications to this entrance are also necessary to allow the entry to meet ADA requirements. The entrance on Congress Street will be improved to provide a new Mahogany and glass entry door. Similarly, a new Mahogany and glass door will be installed on the Market Street side where currently there were former overhead doors. Finally, a new Mahogany and glass door will be installed at the existing Federal Street entrance.



The following dimensional requirements apply in the B-3 District:

<b>Dimensional Standard</b>	<b>Requirement</b>
Minimum Lot Size	None
Minimum Frontage	15 feet
Front Yard Setback	None
Side Yard Setback	None
Rear Yard Setback	None
Street Wall Build to Line	5 feet for structures
Maximum Lot Coverage	100%
Maximum Building Height	Per Downtown Overlay Map

### **1.9 TRAFFIC**

The proposed project will not result in significant impacts to the surrounding street system. The project's proposed conditions will result in fewer than 100 new peak hour trips. The applicant is proposing to use surface parking located at the former Gannett lot located at 385 Congress Street. Hotel patrons may self park or use the hotel's valet service. The applicant also expects to use ancillary structural parking at the Temple Street parking garage on an as needed basis.

### **1.10 NATURAL FEATURES**

The development site does not contain any significant natural features including wetlands, vernal pools or other protected resources. The site has been developed for a period greater than 150 years and there is generally no land area that has not been disturbed or otherwise developed.

### **1.11 APPROVAL REQUIREMENTS**

The following permits are anticipated:

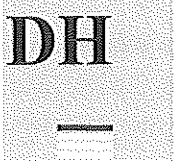
- City of Portland Planning Board Level III Site Plan Approval
- City of Portland Building Permit(s)

### **1.12 ATTACHMENTS**

Attachment A – Existing Site Photographs

Attachment B – Figures 2-5 and 7-11

Attachment C – Building Elevations/Floor Plans



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

■ ROADWAY DESIGN  
■ ENVIRONMENTAL ENGINEERING  
■ PERMITTING  
■ AIRPORT ENGINEERING  
■ SITE PLANNING  
■ CONSTRUCTION ADMINISTRATION

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## MEMORANDUM

**DATE:** October 2, 2012  
**TO:** Shukria Wiar, City Planner  
**FROM:** Steve Bushey  
**SUBJECT:** 119 Exchange, Press Herald Building Hotel Conversion

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Shukria,

The accompanying letter of intent between Metro Media Properties, LLC and 119 Development LLC outlines the agreement for the use of fifty (50) parking spaces at the 385 Congress Street parking lot, formerly occupied by Gannett Publishing and the Portland Press Herald.

### **Parking Requirements**

According to Section 14-332 (c) of the land use ordinance, hotels shall require one (1) parking space for each four (4) guest rooms. The proposed hotel conversion includes 110 guest rooms for a parking requirement of 28 spaces. The proposed building use also includes an 80 seat restaurant space. The Code requires one space per 150 SF of floor area not used for bulk storage or food preparation. The preliminary floor plans indicate a restaurant space consisting of less than 2,000 SF of dining floor area. This equates to a parking requirement of 14 spaces. Based on the Hotel and restaurant uses the total parking requirement is 42 spaces. By providing an agreement for at least 50 spaces at the nearby 385 Congress Street site, the applicant appears to meet the parking supply requirements per the Code. As is customary with downtown uses, we also expect that patrons to the Hotel and restaurant may use other nearby parking resources, including short term on street parking and longer term surface and structured parking lots. It is anticipated that the Hotel operator will offer valet parking service to patrons thus aiding with routine parking demand and orderly handling of parking needs.

### **Existing Conditions**

We note the following with respect to the on-street parking immediately surrounding the building:

- On Exchange Street there are currently seven (7) spaces, three of which are metered and the remaining unmetered. It is understood there are 4 unmetered spaces because the installation of the meter posts in the sidewalk may have conflicted with the basement space roof which lies below a portion of the Exchange Street sidewalk. The project

proposal includes the installation of a curblin bump out in front of the building's Exchange Street entrance. This will eliminate at least one parking space.

- Currently there are three (3) unmetered parking spaces along Federal Street.
- Market Street currently contains eleven (11) unmetered angled parking spaces. Again the installation of meters is precluded due to the basement space below the sidewalk. There is also loading/unloading space along the Market Street frontage. This space is expected to remain for use by the Hotel operator; however, dimensionally it may be modified to potentially provide one or two additional parking spaces. The applicant is also interested in discussing with City officials the potential to re-orient the angled parking so as to require all vehicles to back into the spaces, thus potentially improving safety. We also want to consider the placement of additional bicycle racks along at least the Market Street sidewalk.
- There currently is no parking along the Congress Street frontage and the applicant is not proposing any.

Moving forward, we expect to provide some additional conceptual sidewalk improvement plans detailing some of the items discussed above in the near future. We trust that this information helps with the understanding of parking demand and supply conditions for the project.

Attachment -- Letter of Intent

*Srb/jn3143.01/admin/permitting/2012-10-02 Wiar parking.doc*



N/F  
CITY OF PORTLAND  
"CENTRAL FIRE STATION"  
TM 28-A-1

MARKET STREET  
(A PUBLIC RIGHT OF WAY OF VARIED WIDTH)  
ONE WAY TRAFFIC FLOW

SEE LICENSE DATED DEC. 11, 1922  
S 52°32'24" W 60.84'  
SEE LICENSE DATED DEC. 11, 1922

LOCUS PARCEL AREA  
10,049 S.F.  
OR 0.23 ACRES

SEE LICENSE DATED DEC. 11, 1922  
S 52°32'24" W 60.84'  
SEE LICENSE DATED DEC. 11, 1922

EXCHANGE STREET  
(A 49.50' WIDE PUBLIC RIGHT OF WAY)  
ONE WAY TRAFFIC FLOW

N/F  
A&M PARTNERS, INC.  
10603/113  
TM 32-G-1

N/F  
THE ONIETEN  
EXCHANGE, LLC  
2-4099/1  
TM 32-D-2

N/F  
THE ONIETEN  
COMPANY, LLC  
25587/251  
TM 32-H-2

MARKET STREET  
(A PUBLIC RIGHT OF WAY OF VARIED WIDTH)  
ONE WAY TRAFFIC FLOW

SEE LICENSE DATED DEC. 11, 1922  
S 52°32'24" W 60.84'  
SEE LICENSE DATED DEC. 11, 1922

LOCUS PARCEL AREA  
10,049 S.F.  
OR 0.23 ACRES

SEE LICENSE DATED DEC. 11, 1922  
S 52°32'24" W 60.84'  
SEE LICENSE DATED DEC. 11, 1922

CONGRESS STREET  
(A PUBLIC RIGHT OF WAY OF  
VARIED WIDTH)

PLAN REFERENCE  
MAY 17, 2012 LAND TITLE SURVEY OF CONGRESS STREET, BET. 3RD AND 4TH  
STREETS, PORTLAND, MAINE, FOR GRAND METRO BUILDERS OF NEW YORK, COMP.  
BY GEORGE TECHNICAL, LIMITED, U.S.A.

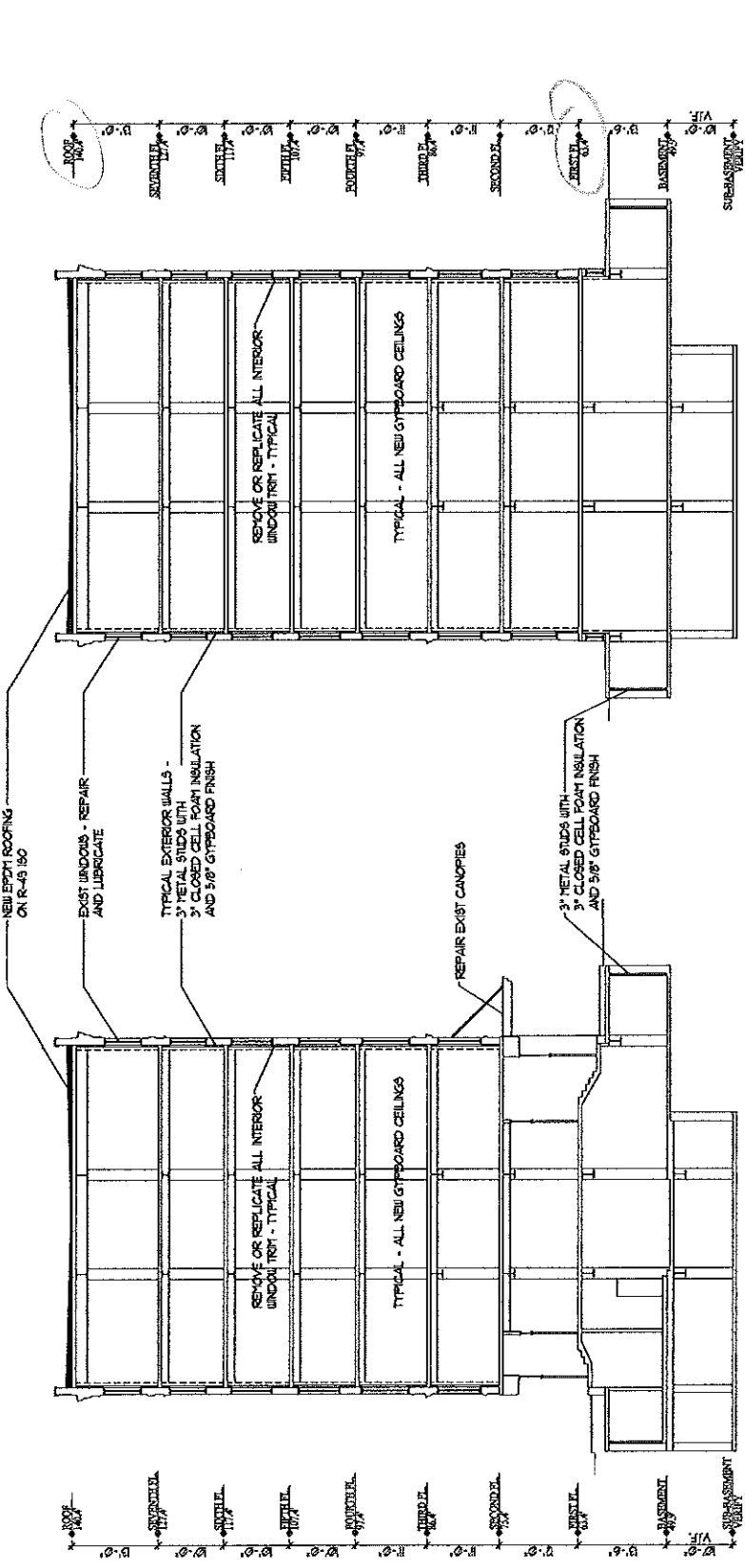


PROJECTING 10 WHEATLAND LLC COLLABORATIVE LLC 17 CHESTNUT STREET PORTLAND, MAINE 04101	PROJECT HOTEL REDEVELOPMENT PORTLAND, ME	DATE 11 SEPT 2012	SCALE 1" = 10' EXISTING CONDITIONS PLAN
ARCHITECT <b>ARCHITECTS</b> 4 Union Street, Portland, Maine 04101 (207) 777-4422 FAX (207) 777-4436 www.architects.com	111 WASHINGTON STREET PORTLAND, MAINE	SHEET NO. C-2.1	



NO. 4 = 63.4 = 77

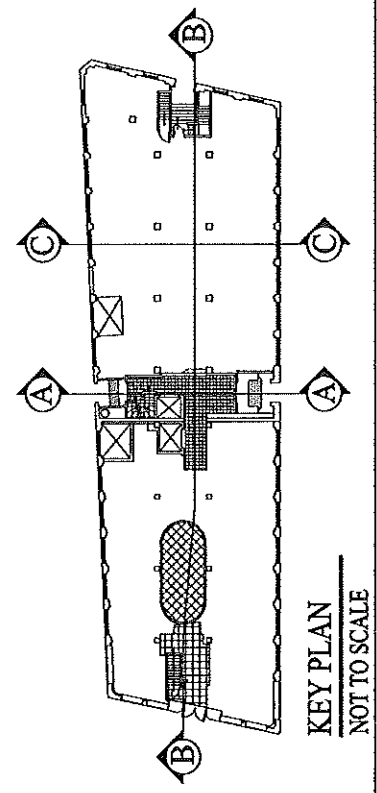
<b>ARCHTYPE</b> 63 Union Street Portland, ME 04101 (207) 773-6222 Fax (207) 773-4055		SHELL DRAWINGS 300 CONGRESS STREET CORE &		BUILDING SECTIONS 10 AUGUST 2012 1/8" = 1'-0"		<b>A3.01</b>
PORTLAND, ME		SHELL DRAWINGS		BUILDING SECTIONS		



1 SECTION A-A  
SCALE: 1/8"=1'-0"

2 SECTION C-C  
SCALE: 1/8"=1'-0"

NOTE:  
ALL STEEL TO BE SPRAYED TO ACHIEVE 2 HR FIRE PROTECTION



KEY PLAN  
NOT TO SCALE











**A1.02**

FIRST AND SECOND FLOOR PLAN

19 AUGUST 2012

Scale: 1/8" = 1'-0"

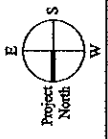
390 CONGRESS STREET CORP & SHELL DRAWINGS

FOR TOWN, MA

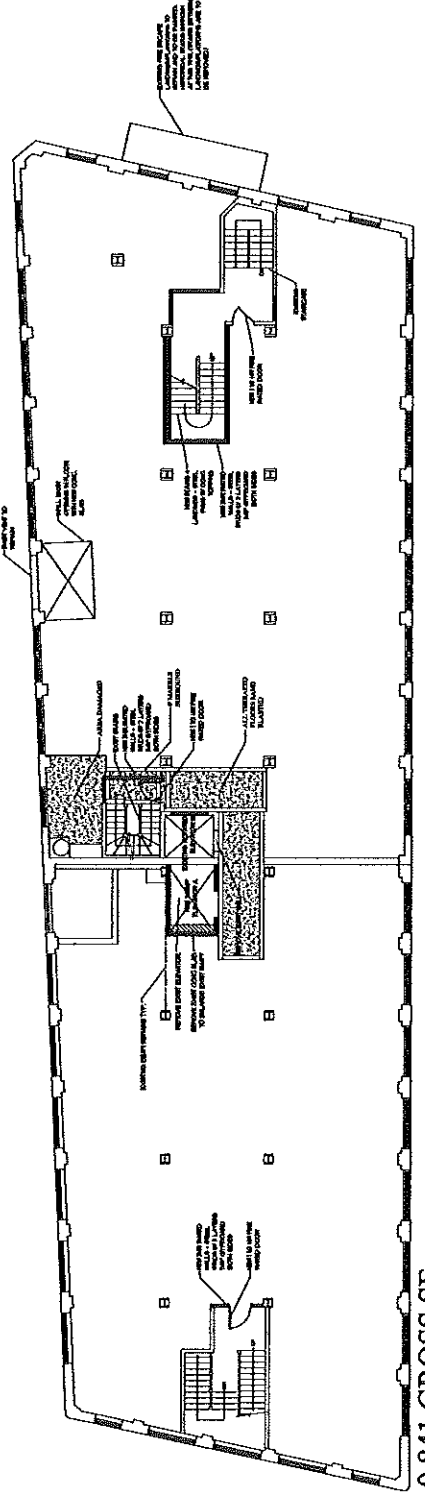
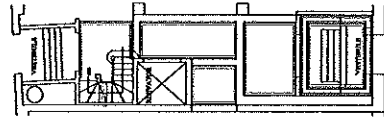
ARCHITECTURE  
45 State Street, Federal Hill, MA 02149  
781.452.1100  
www.390congress.com

Architect

Project No.

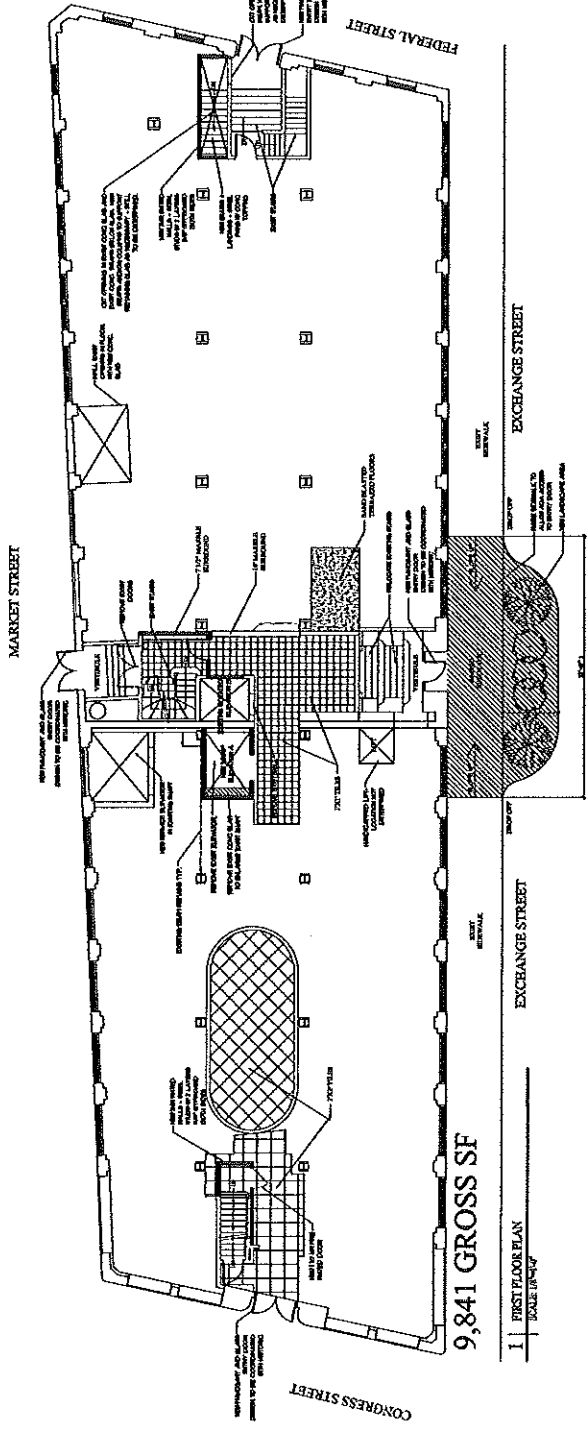


3 | EXISTING REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"



9,841 GROSS SF

2 | SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



9,841 GROSS SF

1 | FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

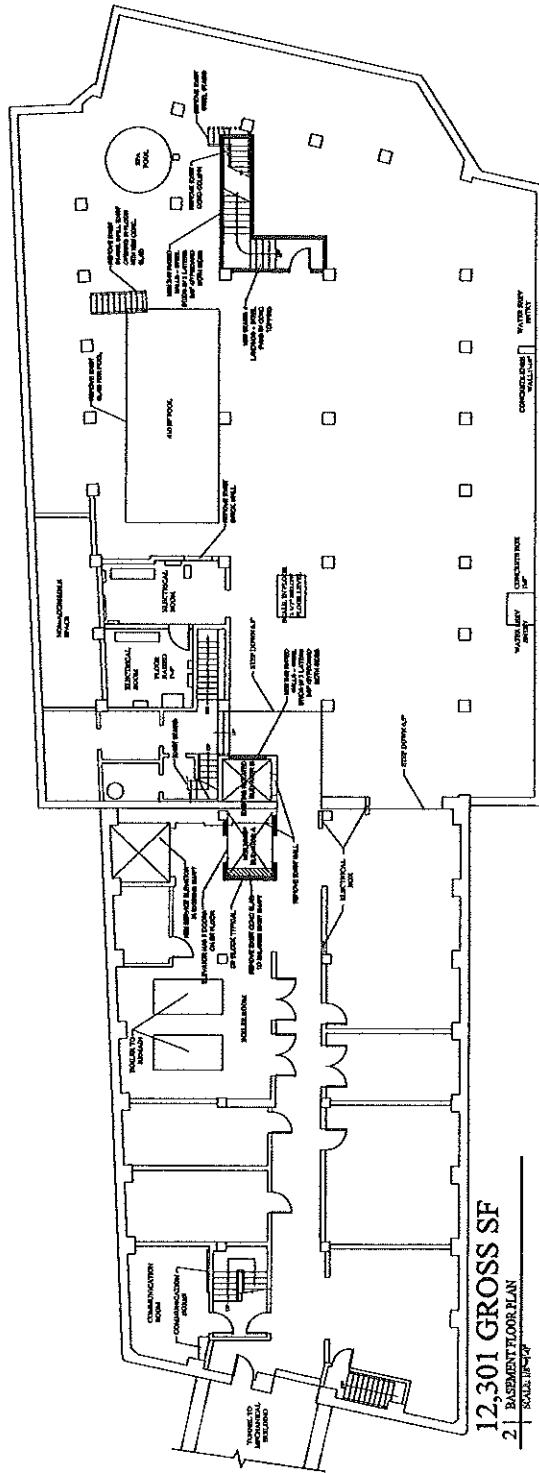
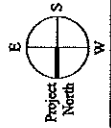
**A1.01**

**SUB-BASEMENT &  
BASEMENT FLOOR PLAN**

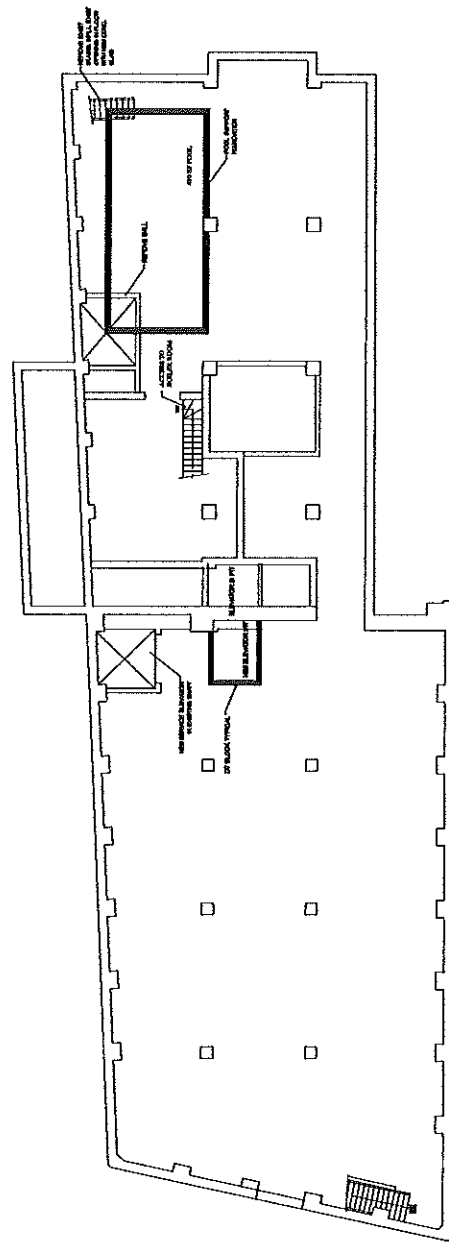
Date: 10 AUGUST 2012  
Scale: 1/8" = 1'-0"

Project: 390 CONGRESS  
STREET CORB &  
SHELL DRAWINGS

Architect: RCHRYPP  
45 Union Street, Portland, Maine 04101  
(207) 773-6012 Fax: (207) 773-2555



**12,301 GROSS SF**  
1 SUB-BASEMENT FLOOR PLAN  
2 SCALE: 1/8" = 1'-0"



**8,152 GROSS SF**  
1 SUB-BASEMENT FLOOR PLAN  
2 SCALE: 1/8" = 1'-0"

ID-02

FIRST FLOOR PLAN

10 August 2012

Scale: 1/8" = 1'-0"

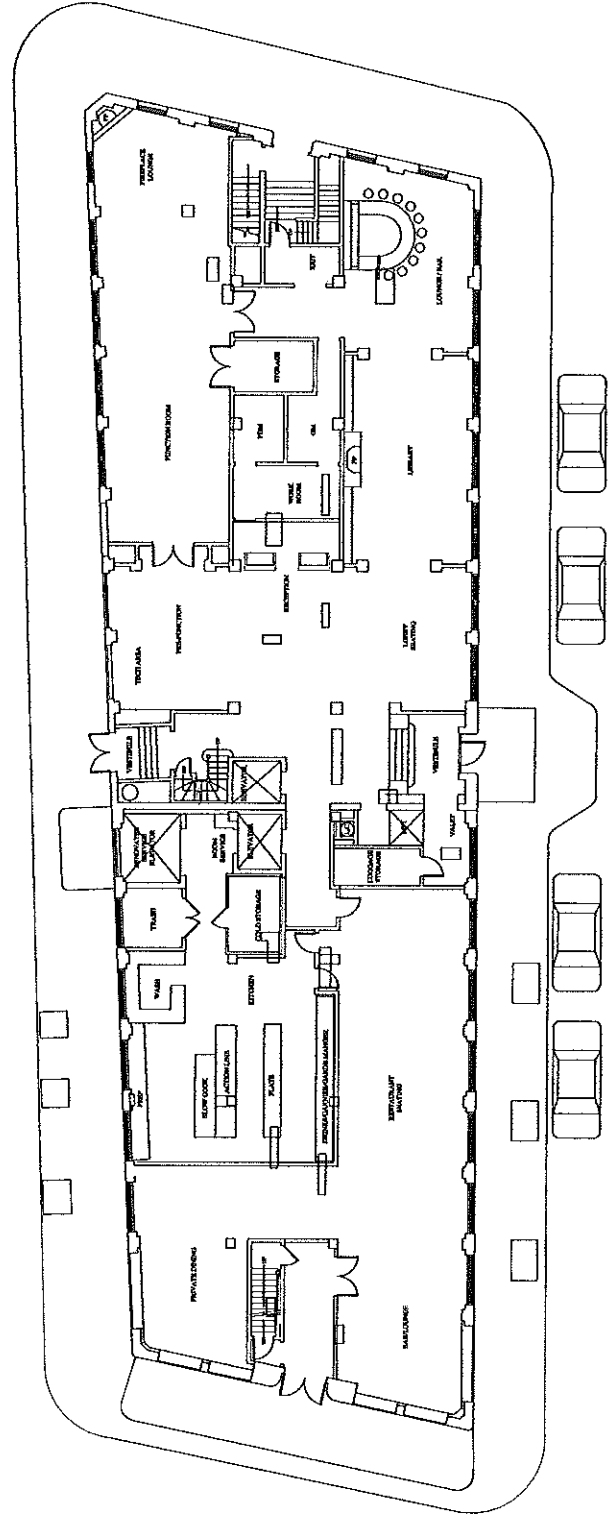
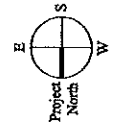
PORTLAND, ME  
390 CONGRESS STREET

ARCHETYPE  
69 Union Street Portland, Maine 04101  
(207) 773-8322 Fax (207) 773-4255



FORNEY PARKING  
SERVICES & DESIGN

Address  
City, State



1 | FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DD-03

SECOND FLOOR PLAN

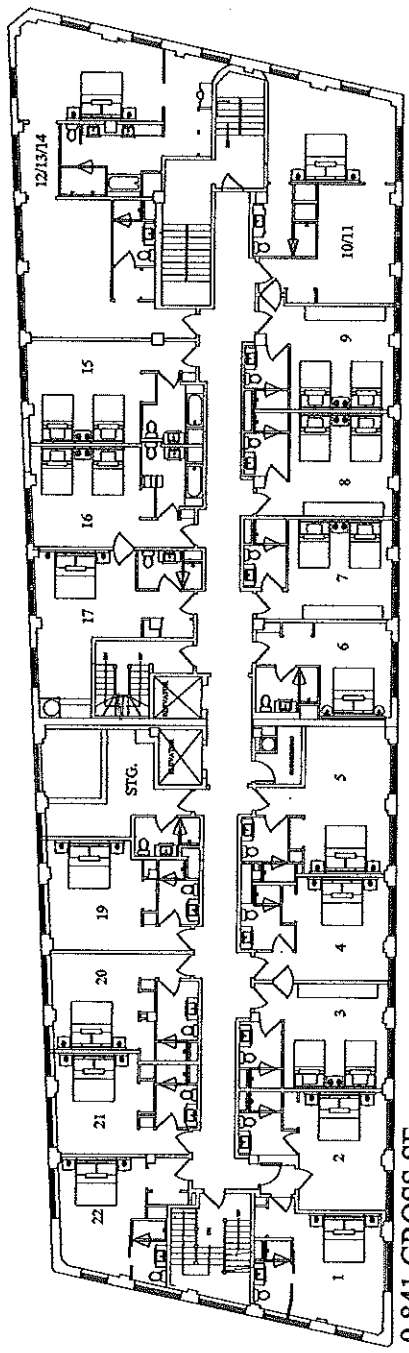
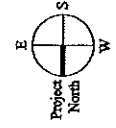
Date: 10 August 2012  
Scale: 1/8" = 1'-0"

390 CONGRESS STREET  
PORTLAND, ME

ARCHITECT  
RCHRYPR  
45 Union Street Portland, Maine 04101  
(207) 773-6333 Fax: (207) 773-8056

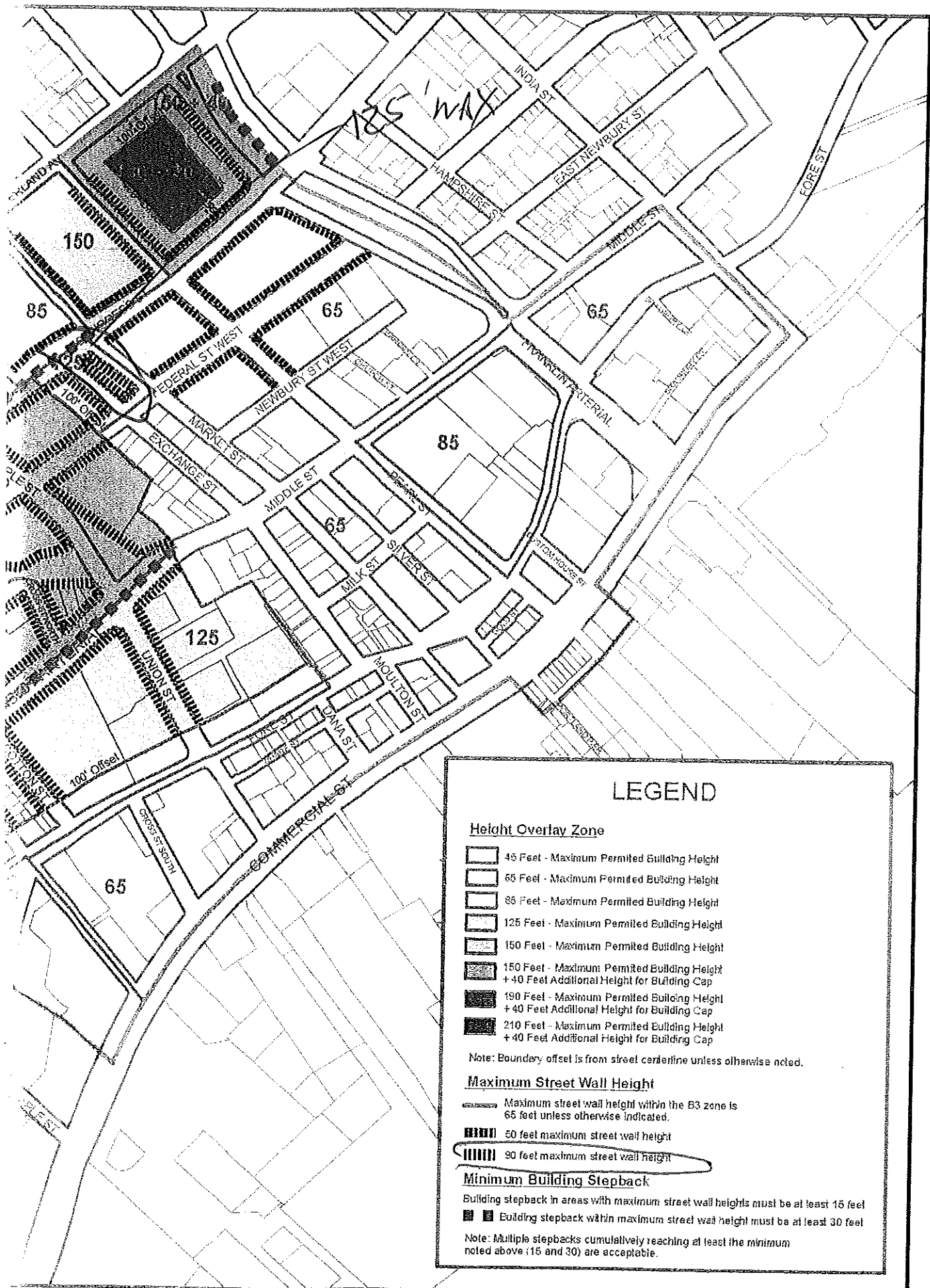


Printed For:











9,841 GROSS SF

1 | SECOND FLOOR PLAN  
NOV 2012






### LEGEND

#### Height Overlay Zone


-  45 Feet - Maximum Permitted Building Height
-  65 Feet - Maximum Permitted Building Height
-  85 Feet - Maximum Permitted Building Height
-  125 Feet - Maximum Permitted Building Height
-  150 Feet - Maximum Permitted Building Height
-  150 Feet - Maximum Permitted Building Height + 40 Feet Additional Height for Building Cap
-  190 Feet - Maximum Permitted Building Height + 40 Feet Additional Height for Building Cap
-  210 Feet - Maximum Permitted Building Height + 40 Feet Additional Height for Building Cap

Note: Boundary offset is from street centerline unless otherwise noted.

#### Maximum Street Wall Height

-  Maximum street wall height within the B3 zone is 65 feet unless otherwise indicated.
-  50 feet maximum street wall height
-  90 feet maximum street wall height

#### Minimum Building Setback

- Building setback in areas with maximum street wall heights must be at least 15 feet
-  Building setback within maximum street wall height must be at least 30 feet

Note: Multiple setbacks cumulatively reaching at least the minimum noted above (15 and 30) are acceptable.



# PORTLAND MAINE

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Greg Mitchell, Acting Director of Planning and Development  
Marge Schmuckal, Zoning Administrator

## Meeting Information

DATE: 6/21/12 ZONE: B-3 - Historic (International Park Service)

LOCATION: Congress Exchange/Market owner: John Kukulifis

PEOPLE PRESENT: Jim Brady - Kevin Bunker - DAVID Lloyd - Tom Erbeo - John Peverada - Barbara - Marge - Alex <sup>LATE</sup>

DISCUSSION: Still eligible for tax credits -  
 1947-1925 completely remediated  
 100± Rooms (keys) Hotel - Restaurant 1<sup>st</sup> floor - maybe residential on 2<sup>nd</sup> & 7<sup>th</sup> floor  
 going open Spring 2014 -  
 change of use major site 62,000 above grade 20,000 below  
 No parking on-site - use the ~~sub~~ surface level parking kelly-canner -  
 some sidewalk repairs - needs to meet ADA req - needs Public Services  
 Council approvals needed for parking changes  
 provide a parking analysis - not required under zoning if best approval  
 refrigerated waste area off market St need entry on that side  
 sidewalk on Market St side not as good as other sides  
 ADA compliant on corners needed  
 loading Bay not required, but can supply  
 discussed drop off spaces -  
 Tom trying to figure out TMP requirements. Park hour of the generator

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at [www.portlandmaine.gov](http://www.portlandmaine.gov).

(TDM) Traffic Demand Management → would be required  
The fire escape will be removed



**CITY OF PORTLAND, MAINE**  
**PLANNING BOARD**

---

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FEB 25 2013

Dept. of Building Inspections

Carol Morrissette, Chair  
Stuart O'Brien, Vice Chair  
Timothy Dean  
Bill Hall  
David Silk  
Elizabeth Boepple  
Sean Dundon

February 12, 2013

119 Development, LLC  
c/o Developers Collaborative  
Attention: Jim Brady  
17 Chestnut Street  
Portland, ME 04101

Deluca-Hoffman Associates, Inc.  
Attention: Stephen R. Bushey, PE  
778 Main Street  
South Portland, ME 04106

Project Name:	Hotel Conversion- Former Gannett Building	Project ID:	2012-602
Address:	119 Exchange Street	CBL:	032C001
Applicant:	119 Development, LLC		
Planner:	Shukria Wiar		

Dear Mr. Brady:

On January 22, 2013, the Planning Board considered the Level III application for the reuse of the Guy Gannett Building on Congress Street. The proposal is to convert the existing office building into a 110-room luxury boutique hotel and restaurant. The Planning Board voted 6-0 (Silk recused) that the plan is in conformance with the site plan standards of the Land Use Code, subject to the following conditions of approval to be met prior to the issuance of a building permit, unless stated otherwise below:

1. The applicant shall submit the proposed easements for the snow melt system and grease trap, the proposed license agreement for the planters in the right-of-way, the proposed maintenance agreement for the sidewalk material for review and approval by Corporation Counsel prior to the issuance of a Certificate of Occupancy. The proposed easement and change in sidewalk material will require the review and approval of the City Council.
2. The design of the extension of the sidewalk on Exchange Street (i.e. bump-out) shall include evenly spaced bollards that prevent its use as a drop-off location for hotel guests so that Exchange Street traffic flow is not impeded. If these structures do not work to prevent the drop off at this location, the staff will work with the owner to mitigate with provisions such as chain or other mechanisms.
3. The 'Valet Area' on the site plan shall be noted as "Hotel Drop-Off Area" on the final site plan and traffic signage.
4. The traffic conditions, specifically the travel lane alignment for westbound traffic, on Federal Street shall be monitored one year after the issuance of the certificate of occupancy. If post-improvement conditions indicate a deficiency, the applicant shall be responsible for any required pavement marking and/or signage changes to mitigate the identified deficiency.

5. The tree planters at the main entrance on Exchange Street shall not obstruct the primary pedestrian route.
6. Prior to the issuance of a building permit, the applicant shall submit a final landscape plan that addresses item 1 of the City Arborist memorandum dated January 16, 2013 for review and approval by the City Arborist and Planning Authority.
7. The existing catch basin within Federal Street shall be replaced, and the new basin shall be situated along the gutter line with a standard grate and curb inlet in accordance with the City's standard details. The final site plan shall be updated to show this change. A note is to be added that all work within the street right of way with meet City of Portland Technical Standards.
8. The two ramps on Congress Street shall show the appropriate detectable warning panels as required by the City's Technical Manual. The sidewalk ramp detail shall reflect the standard for historic district. A sidewalk ramp shall be constructed on Congress Street at the existing midblock crosswalk at the southwest corner of the Market Street intersection. The final plans shall reflect these changes.
9. A construction management plan shall be submitted for review and approval prior to the issuance of a building permit.
10. Prior to the issuance of a building permit, the applicant shall obtain Certificate of Appropriateness from the Historic Preservation Board.
11. A final lighting plan, including a photometric plan and catalogue cuts for the proposed exterior lighting fixtures, and any proposed street lights meeting the City's technical standards, shall be submitted for review and approval by the Planning Authority prior to the issuance of a building permit.
12. Prior to a building permit, the applicant shall submit the noise levels for all the HVAC and mechanical equipment for review and approval by the Planning Authority.
13. The plans for the 1,500 gallon grease trap shall be submitted for review and approval by Brad Roland, Department of Public Services, and the Planning Authority prior to ordering structures and prior the issuance of a building permit. This note must appear on the site and utility plans.

The approval is based on the submitted plans and the findings related to site plan review standards as contained in the Planning Report for application # 2012-602, which is attached.

#### **STANDARD CONDITIONS OF APPROVAL**

Please note the following standard conditions of approval and requirements for all approved site plans:

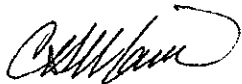
1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.

3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

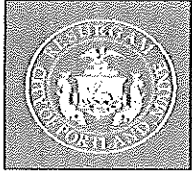
The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at (207) 756-8083 or via email at [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov)

Sincerely,



Carol Morrissette, Chair  
Portland Planning Board



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**Planning & Urban Development Department**  
Jeff Levine, AICP, Director

**Planning Division**  
Alexander Jaegerman, FAICP, Director

August 12, 2013

119 Development, LLC  
c/o Developers Collaborative  
Attention: Jim Brady  
17 Chestnut Street  
Portland, ME 04101

Curtis Thaxter, Attorneys at Law  
Attention: Cito Selinger, III  
One Canal Plaza, Suite 1000  
PO Box 7320  
Portland, ME 04112-73520

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AUG 12 2013

Project Name: Hotel Conversion- Former Gannett Building  
Address: 119 Exchange Street  
Applicant: 119 Development, LLC

Project ID: 2012-602  
CBL: 032C001  
Planner: Shukria Wiar  
Dept. of Building Inspection,  
City of Portland Maine

Dear Mr. Brady:

Thank you for your letter dated August 6, 2013 (included as Attachment 1) requesting an extension of the approval for the hotel conversion located at 119 Exchange Street. I understand that your request is based on the fact that you will be signing a construction loan closing in November with major renovations to begin in February or March of 2014.

In my capacity as Planning Division Director for the City of Portland and under the provision of Section 14-532 (c) Expiration of site plan approval, I am granting your request to extend your approval January 23, 2015. If you have any questions, please contact Shukria Wiar at 756-8083 or via [shukrisw@portlandmaie.gov](mailto:shukrisw@portlandmaie.gov)

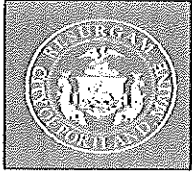
Sincerely,

*Alexander Jaegerman, FAICP*  
Alexander Jaegerman, FAICP (BB)  
Planning Division Director

Attachment 1: Request for Extension from Maurice A. Selnger, III, Curtis Thaxter, August 6, 2013

cc: Jeff Levine, AICP, Director of Planning and Urban Development  
Alexander Jaegerman, FAICP, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Inspection Division Director  
Lannie Dobson, Administration, Inspections Division  
Gayle Guertin, Administration, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Engineering Services Manager, Public Services

Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Doug Roncarati, Stormwater Coordinator, Public Services  
Greg Vining, Associate Engineer, Public Services  
Michelle Sweeney, Associate Engineer  
John Low, Associate Engineer, Public Services  
Rhonda Zazzara, Field Inspection Coordinator, Public Services  
Mike Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Jeff Tarling, City Arborist, Public Services



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**Planning & Urban Development Department**  
Jeff Levine, AICP, Director

**Planning Division**  
Alexander Jaegerman, FAICP, Director

August 12, 2013

119 Development, LLC  
c/o Developers Collaborative  
Attention: Jim Brady  
17 Chestnut Street  
Portland, ME 04101

Curtis Thaxter, Attorneys at Law  
Attention: Cito Selinger, III  
One Canal Plaza, Suite 1000  
PO Box 7320  
Portland, ME 04112-73520

Project Name:	Hotel Conversion- Former Gannett Building	Project ID:	2012-602
Address:	119 Exchange Street	CBL:	032C001
Applicant:	119 Development, LLC	Planner:	Shukria Wiar

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Sincerely,

*Alexander Jaegerman, FAICP*  
Alexander Jaegerman, FAICP (BB)  
Planning Division Director

Attachment 1: Request for Extension from Maurice A. Selinger, III, Curtis Thaxter, August 6, 2013

cc: Jeff Levine, AICP, Director of Planning and Urban Development  
Alexander Jaegerman, FAICP, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Inspection Division Director  
Lannie Dobson, Administration, Inspections Division  
Gayle Guertin, Administration, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Engineering Services Manager, Public Services

Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Doug Roncarati, Stormwater Coordinator, Public Services  
Greg Vining, Associate Engineer, Public Services  
Michelle Sweeney, Associate Engineer  
John Low, Associate Engineer, Public Services  
Rhonda Zazzara, Field Inspection Coordinator, Public Services  
Mike Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Jeff Tarling, City Arborist, Public Services

**CURTIS THAXTER**  
ATTORNEYS AT LAW

ONE CANAL PLAZA, SUITE 1000, P.O. BOX 7320, PORTLAND, ME 04112-7320  
TEL: 207.774.9000 • FAX 207.775.0612 • www.curtisthaxter.com

Maurice A. Selinger, III  
[mselectinger@curtisthaxter.com](mailto:mselectinger@curtisthaxter.com)

August 6, 2013

Jeff Levine, AICP  
Director, Planning and Urban Development  
City of Portland  
City Hall  
389 Congress Street  
Portland, ME 04101

Alexander Jaegerman, Director  
Planning Division  
City of Portland  
City Hall  
389 Congress Street  
Portland, ME 04101

RE: Project Name: Hotel Conversion-Former Gannett Building Project ID: 2012-602  
Address: 119 Exchange Street CBL: 032C001  
Applicant: 119 Development, LLC  
Planner: Shukria Wiar

Dear Jeff and Alex:

On behalf of 119 Development LLC, I am writing to request a 2-year extension to the Planning Board approval which was granted on January 22, 2013. As Jim Brady mentioned in his email to Barbara Barhydt, a construction loan closing is anticipated in November of this year with major renovation to begin in February or March of 2014 and an anticipated first quarter 2015 opening.

If there is any information you need in order to process this request, please do not hesitate to contact me.

Very truly yours,



Maurice A. Selinger, III

cc: Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
James H. Brady  
Dennis G. Ruppel

O:\MAS\00133 119 Development LLC\and use\ltr to Planning Director\_8-6-13.docx