

**32-C-1**  
**119 Exchange Street**  
**Press Hotel**  
**119 Development, LLC.**

**#2012-602**

**OWNER**  
 MTM PROPERTIES, LLC  
 C/O HM CAPITAL PARTNERS, LLC  
 25 SOUTH SERVICE ROAD, SUITE 30  
 JERICHO, NY 11753

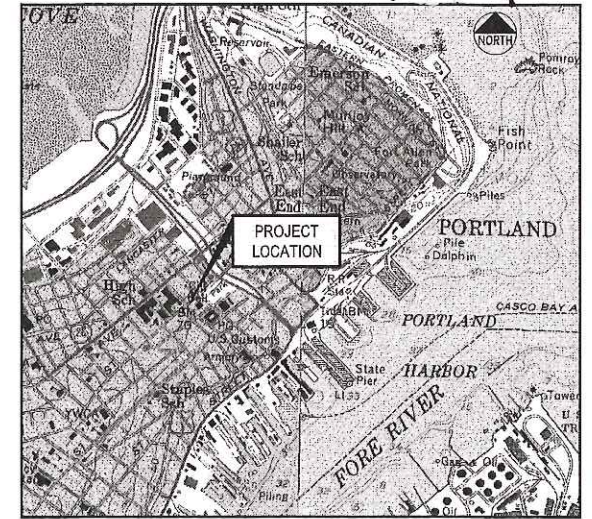
**TAX MAP-BLOCK-LOT (ADDRESS)**  
 MAP 32, BLOCK C, LOTS 1 & 2 (380 CONGRESS STREET)

# SITE DEVELOPMENT PLANS

## FOR REDEVELOPMENT OF THE FORMER PORTLAND PRESS HERALD BUILDING INTO A 110 UNIT BOUTIQUE HOTEL

### 119 EXCHANGE STREET, PORTLAND, MAINE SEPTEMBER 2012 PERMITTING DOCUMENTS

**CURRENT APPLICANT**  
 119 DEVELOPMENT LLC  
 C/O DEVELOPERS COLLABORATIVE LLC  
 17 CHESTNUT STREET  
 PORTLAND, ME 04101



LOCATION MAP  
 N.T.S.

**INDEX**

- C-1.0 COVER SHEET
  - C-1.1 GENERAL NOTES AND LEGEND\*
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  - C-2.1 EXISTING CONDITIONS PLAN
  - C-2.2 DEMOLITION PLAN\*
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  - C-4.0 DETAILS\*
  - C-4.1 DETAILS\*
- \*NOT IN PRELIMINARY SUBMISSION

**UTILITIES**

**WATER:**  
 PORTLAND WATER DISTRICT  
 22 DOUGLAS STREET  
 P.O. BOX 3553  
 PORTLAND, MAINE 04104  
 207.761.8310  
 CONTACT: RICO SPUGNARDI

**SEWER:**  
 CITY OF PORTLAND  
 PUBLIC SERVICES DIVISION  
 55 PORTLAND STREET  
 PORTLAND, MAINE 04102  
 207.874.8850  
 CONTACT: DAVID MARGOLIS-PINEO, DEPUTY CITY ENGINEER

**ELECTRIC:**  
 CENTRAL MAINE POWER  
 162 CANCO ROAD  
 PORTLAND, MAINE 04103  
 207.842.2367  
 CONTACT: PAUL DUPERRE

**TELEPHONE:**  
 FAIRPOINT COMMUNICATIONS  
 5 DAVIS HILL FARM ROAD  
 PORTLAND, MAINE 04103  
 207.797.1119  
 CONTACT: SUE SERRETTE

**NATURAL GAS:**  
 NORTHERN UTILITIES  
 1075 FOREST AVENUE  
 PORTLAND, MAINE 04103  
 207.797.8002, EXT. 6220  
 CONTACT: MIKE SMITH  
 OR  
 BRAD BUZZELL  
 252.0907 (CELL)

**DIG SAFE:**  
 CALL BEFORE YOU DIG  
 888.344.7233

**PERMITS / APPROVALS**

**TYPE:**  
LOCAL  
SITE PLAN SUBMISSION APPROVAL:

**BUILDING PERMIT:**

**UTILITY / STREET OPENING PERMITS:**

**GOVERNING BODY:**

CITY OF PORTLAND PLANNING AUTHORITY  
 CITY HALL, CONGRESS STREET  
 PORTLAND, MAINE 04103  
 207.874.8722  
 CONTACT: BARBARA BARHYDT

CITY OF PORTLAND CODE ENFORCEMENT OFFICE  
 CITY HALL, CONGRESS STREET  
 PORTLAND, MAINE 04103  
 207.874.8900

CITY OF PORTLAND PUBLIC SERVICES DIVISION  
 55 PORTLAND STREET  
 PORTLAND, ME 04102  
 ATTN: CAROL MERRITT  
 207.874.8801

**STATUS/DATE ISSUED:**

PRELIMINARY SUBMISSION 09.18.12

**CONSULTANT LIST**

**CIVIL ENGINEER:**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106  
 207.775.1121  
 CONTACT: STEPHEN BUSHEY  
 www.delucahoffman.com

**ARCHITECT:**  
 Archetype Architects  
 48 UNION WHARF  
 PORTLAND, MAINE 04101  
 207.772.6022  
 ATTN: DAVID LLOYD  
 www.archetype-architects.com

**SURVEYOR:**  
 Sebago Technics  
 75 JOHN ROBERTS ROAD, SUITE 1A  
 SOUTH PORTLAND, MAINE 04106  
 207.856.0277  
 ATTN:  
 www.sebagotechnics.com

**ELECTRICAL ENGINEER:**  
 Bartlett Design  
 942 WASHINGTON STREET  
 BATH, MAINE 04530  
 207.443.5447  
 ATTN: LARRY BARTLETT

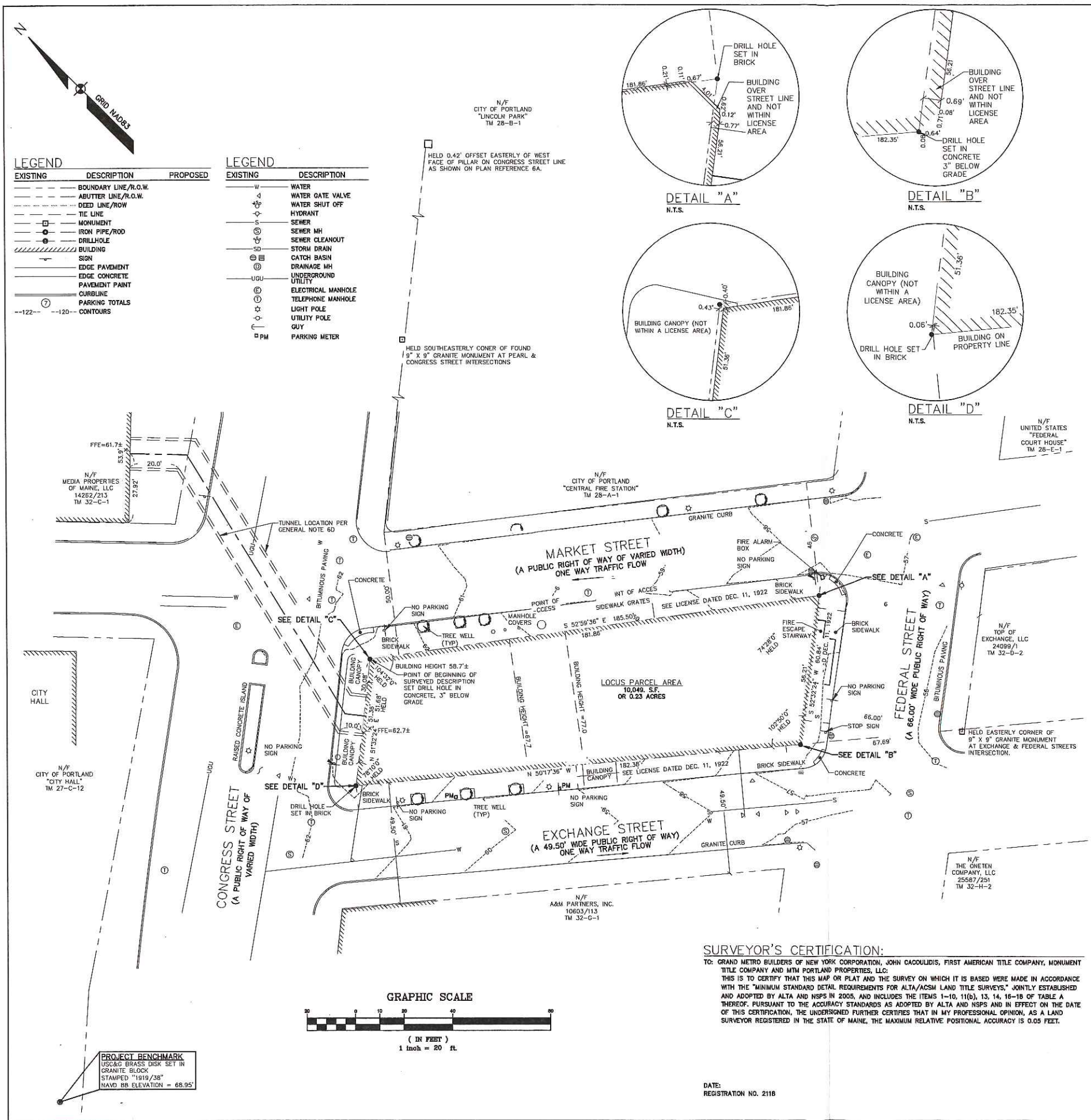
I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

**DH** DeLUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

Prepared For: 119 DEVELOPMENT LLC C/O DEVELOPERS COLLABORATIVE LLC 17 CHESTNUT STREET PORTLAND, ME 04101	Project: <b>HOTEL REDEVELOPMENT PORTLAND, ME</b>  119 EXCHANGE STREET PORTLAND, MAINE	Revisions:     09/18/12 Preliminary Site Plan Application
Architect: <b>ARCHETYPE Architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: SEPT. 2012	Scale: N.T.S.
		<b>C-1.0</b>
		<b>COVER SHEET</b>

PRELIMINARY - NOT FOR CONSTRUCTION



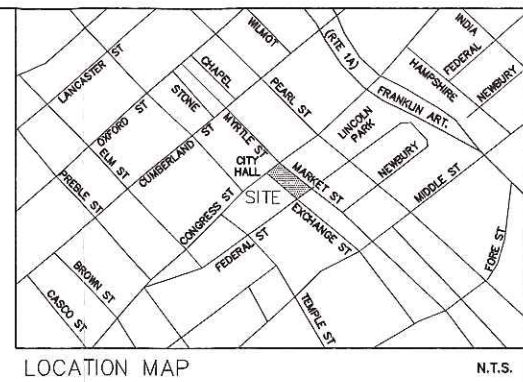


**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/R.O.W.	---
---	ABUTTER LINE/R.O.W.	---
---	DEED LINE/ROW	---
---	TIE LINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	CURBLINE	---
---	PARKING TOTALS	---
---	CONTOURS	---

**LEGEND**

EXISTING	DESCRIPTION
W	WATER
W	WATER GATE VALVE
W	WATER SHUT OFF
W	HYDRANT
W	SEWER
W	SEWER MH
W	SEWER CLEANOUT
W	STORM DRAIN
W	CATCH BASIN
W	DRAINAGE MH
W	UNDERGROUND UTILITY
W	ELECTRICAL MANHOLE
W	TELEPHONE MANHOLE
W	LIGHT POLE
W	UTILITY POLE
W	PARKING METER



- GENERAL NOTES:**
- THE RECORD OWNER OF THE LOCUS PARCEL IS MTM PORTLAND PROPERTIES, LLC C/O HM CAPITAL PARTNERS, LLC BY DEED FROM BLETHER MAINE NEWSPAPERS INC., DATED JUNE 15, 2009 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 26992 PAGE 159.
  - THE PROPERTY IS SHOWN AS LOTS 1 AND 2, BLOCK C ON THE CITY OF PORTLAND TAX MAP 32. THERE ARE NO DELINEATED PARKING SPACES ON THE LOCUS PROPERTY (THE ENTIRE PARCEL IS COVERED BY BUILDINGS). NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED OVER THE LOCUS PROPERTY. THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS NOT OBSERVED OVER THE LOCUS PROPERTY.
  - THE LOCUS PARCEL IS LOCATED IN THE DOWNTOWN BUSINESS B-3 ZONE, SEE THE CITY OF PORTLAND ORDINANCE FOR PARTICULAR INFORMATION CONCERNING SPACE AND BULK CRITERIA FOR THIS ZONE.
  - TOTAL AREA OF PARCEL IS APPROXIMATELY 10,049. SQUARE FEET OR 0.23 ACRES.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD SURVEY BY SEBAGO TECHNICS IN JULY OF 2009.
  - PLAN REFERENCES:
    - PLAN OF CONGRESS STREET FROM PEARL TO STATE STREET, STREET LINE DATA, DATED MAY 6, 1949 BY THE CITY OF PORTLAND MAINE PUBLIC WORKS DEPARTMENT, AND ON FILE WITH THE PORTLAND DEPARTMENT OF PUBLIC WORKS AS 456/43.
    - PORTLAND DEPARTMENT OF PUBLIC WORKS STREET LINE WORKSHEETS FOR STREETS BOUNDING THE LOCUS PARCEL, SEE SHEET NO. 13 FOR DETAILED INFORMATION, ON FILE WITH THE SAME.
    - PLAN OF PROPERTY IN PORTLAND, ME. MADE FOR GUY GANNETT PUBLISHING COMPANY BY H.I. & E.C. JORDAN - SURVEYORS, DATED JULY 1964 AND ON FILE WITH PORTLAND DEPARTMENT OF PUBLIC WORKS AS 663/2.
    - NEW MECHANICAL BUILDING, GUY GANNETT PUBLISHING COMPANY, PORTLAND, ME, TUNNEL PLAN AND SECTIONS BY LOCKWOOD, GREENE ENGINEERS, INC. REVISED THROUGH MAY 12, 1985 AND ON FILE WITH THE PORTLAND DEPARTMENT OF PUBLIC WORKS AS 303/2.
    - ALTA/ACSM LAND TITLE SURVEY OF CONGRESS STREET SITE 385 CONGRESS STREET PORTLAND, MAINE FOR GRAND METRO BUILDERS OF NEW YORK CORP. DATED 07-01-09 BY SEBAGO TECHNICS.
  - THE BASIS OF BEARING AND COORDINATE VALUES SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802. THE CONTOUR AND ELEVATION INFORMATION SHOWN HEREON IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AS VERIFIED BY A UNITED STATES COAST & GEODETIC SURVEY BRASS DISK LOCATED IN A GRANITE BLOCK OF THE CITY HALL BUILDING HAVING A PUBLISHED ELEVATION OF 68.95 FEET.
  - THE LOCUS PARCEL IS LOCATED IN ZONE C (AREA OF MINIMAL FLOOD) AS DEPICTED BY THE FLOOD INSURANCE RATE MAP(FIRM) COMMUNITY-PANEL NUMBER 230051 0013 B, WITH AN EFFECTIVE DATE OF JULY 17, 1986.
  - THE UTILITIES SHOWN HEREON ARE BASED ON A FIELD LOCATION OF VISIBLE SURFACE FEATURES AND VARIOUS PLANS PROVIDED, IN PART BY THE CITY OF PORTLAND'S ENGINEERING DEPARTMENT AND LOCAL UTILITY COMPANIES, AND MAY NOT REPRESENT ALL OF THE UTILITIES AFFECTING THE SUBJECT PARCEL. DIG-SAFE WAS NOT CONTACTED.
  - PUBLIC PARKING METERS EXIST ALONG A PORTION OF EXCHANGE STREET, IT APPEARS THAT EMPLOYEES OF THE BUSINESS LOCATED ON THE LOCUS PROPERTY PARK ON THE WESTERLY SIDE OF MARKET STREET IN A DIAGONAL PATTERN. NO STRIPING WAS NOTED ALONG MARKET STREET.

- SCHEDULE B - SECTION II EXCEPTIONS**
- PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE NO. 05179-01, FILE NO. 09010082, DATED JUNE 16, 2009
- EXCEPTION NO. 10:** LICENSE GRANTED BY THE CITY OF PORTLAND, DATED DECEMBER 11, 1922, TO OCCUPY UNDER THE SIDEWALKS IN FRONT OF 11-118 EXCHANGE STREET, 175-179 FEDERAL STREET AND 120-128 MARKET STREET, IS SUBJECT TO THE RIGHTS OF THE CITY TO CONSTRUCT OR MAINTAIN CONDUITS FOR WIRES OR SEWERS IN SUCH SPACES OR TO TAKE SPACE UNDER SUCH SIDEWALKS FOR ANY PUBLIC USE.
- SURVEY FINDINGS:** THE LICENSE AREA DESCRIBED AS BEING WITHIN EXCHANGE, FEDERAL AND MARKET STREETS ARE SHOWN BASED ON THE DIMENSIONAL ELEMENTS LISTED IN THIS DOCUMENT, THE AREA LYING WITHIN MARKET STREET HAS AN APPARENT WALL AREA WITH ASSOCIATED VENTS AS SHOWN. THE AREA LYING WITHIN FEDERAL STREET HAS A PORTION OF THE LOCUS BUILDING WITHIN THE LIMITS OF THE LICENSE, THE NORTHEAST AND SOUTHEAST PORTIONS OF THE BUILDING LIE OUTSIDE THIS LICENSE. THE AREA LYING WITHIN EXCHANGE STREET HAS A POSSIBLE SEWER SERVICE FROM THE BUILDING ON THE LOCUS PARCEL RUNNING INTO EXCHANGE STREET AS SHOWN.
- EXCEPTION NO. 11:** LICENSE WITH THE CITY OF PORTLAND TO INSTALL AND MAINTAIN A TUNNEL WITHIN AND ACROSS THE LIMITS OF CONGRESS STREET FROM THE SUBJECT PARCEL TO 390 CONGRESS STREET IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT LICENSE AGREEMENT WITH THE CITY.
- SURVEY FINDINGS:** A TUNNEL EXISTS WITHIN THE LIMITS OF CONGRESS STREET ALONG THE NORTHERLY PORTION OF THE SUBJECT PARCEL AS SHOWN HEREON. SEE ORDER 127 ISSUING A BUILDING PERMIT AS PASSED BY THE MUNICIPAL OFFICERS OF THE CITY OF PORTLAND DATED MARCH 1, 1985.

**SURVEYED DESCRIPTION:**

A CERTAIN LOT OR PARCEL OF LAND ON THE SOUTHEASTERLY SIDELINE OF CONGRESS STREET, SO CALLED, BOUNDED NORTHWESTERLY BY CONGRESS STREET, NORTHEASTERLY BY MARKET STREET, SOUTHEASTERLY BY FEDERAL STREET AND WESTERLY BY EXCHANGE STREET, IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHEASTERLY SIDELINE OF CONGRESS STREET AND THE SOUTHWESTERLY SIDELINE OF MARKET STREET BEING MARKED BY A DRILL HOLE SET IN CONCRETE;

THENCE S 52°-59'-36" E, 185.50 FEET BY AND ALONG THE SOUTHWESTERLY SIDELINE OF MARKET STREET TO THE NORTHWESTERLY SIDELINE OF FEDERAL STREET AND A DRILL HOLE SET IN BRICK;

THENCE S 52°-32'-24" W, 80.84 FEET BY AND ALONG THE NORTHWESTERLY SIDELINE OF FEDERAL STREET TO THE NORTHEASTERLY SIDELINE OF EXCHANGE STREET AND A DRILL HOLE SET IN BRICK.

THENCE N 50°-17'-36" W, 182.38 FEET BY AND ALONG THE NORTHEASTERLY SIDELINE OF EXCHANGE STREET TO THE SOUTHEASTERLY SIDELINE OF CONGRESS STREET AND A DRILL HOLE SET IN BRICK.

THENCE N 51°-32'-24" E, 51.68 FEET BY AND ALONG THE SOUTHEASTERLY SIDELINE OF CONGRESS STREET TO THE POINT OF BEGINNING.

**SURVEYOR'S CERTIFICATION:**

TO: GRAND METRO BUILDERS OF NEW YORK CORPORATION, JOHN CACOLIUDIS, FIRST AMERICAN TITLE COMPANY, MONUMENT TITLE COMPANY AND MTM PORTLAND PROPERTIES, LLC;

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES THE ITEMS 1-10, 11(6), 13, 14, 16-18 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF MAINE, THE MAXIMUM RELATIVE POSITIONAL ACCURACY IS 0.05 FEET.

DATE: \_\_\_\_\_  
REGISTRATION NO. 2118

NO.	DATE	BY	REVISION
1	7-30-09	WFS	ISSUED FOR CLIENT REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**Sebago Technics**  
 Estimation Experts. You Can Build On.  
 One Chubb Street  
 250 Gidner Rd., Suite B  
 Portland, ME 04107  
 Tel: (207) 864-0777  
 Fax: (207) 785-5695  
 www.sebago-technics.com

**ALTA/ACSM LAND TITLE SURVEY**  
 OF:  
**CONGRESS STREET SITE**  
 390 CONGRESS STREET  
 PORTLAND, MAINE  
 FOR:  
**GRAND METRO BUILDERS OF NEW YORK CORP.**  
 28 SOUTH SERVICE ROAD, SUITE 30  
 JERICHO, NY 11753

DATE	SCALE
7-20-09	1"=20'

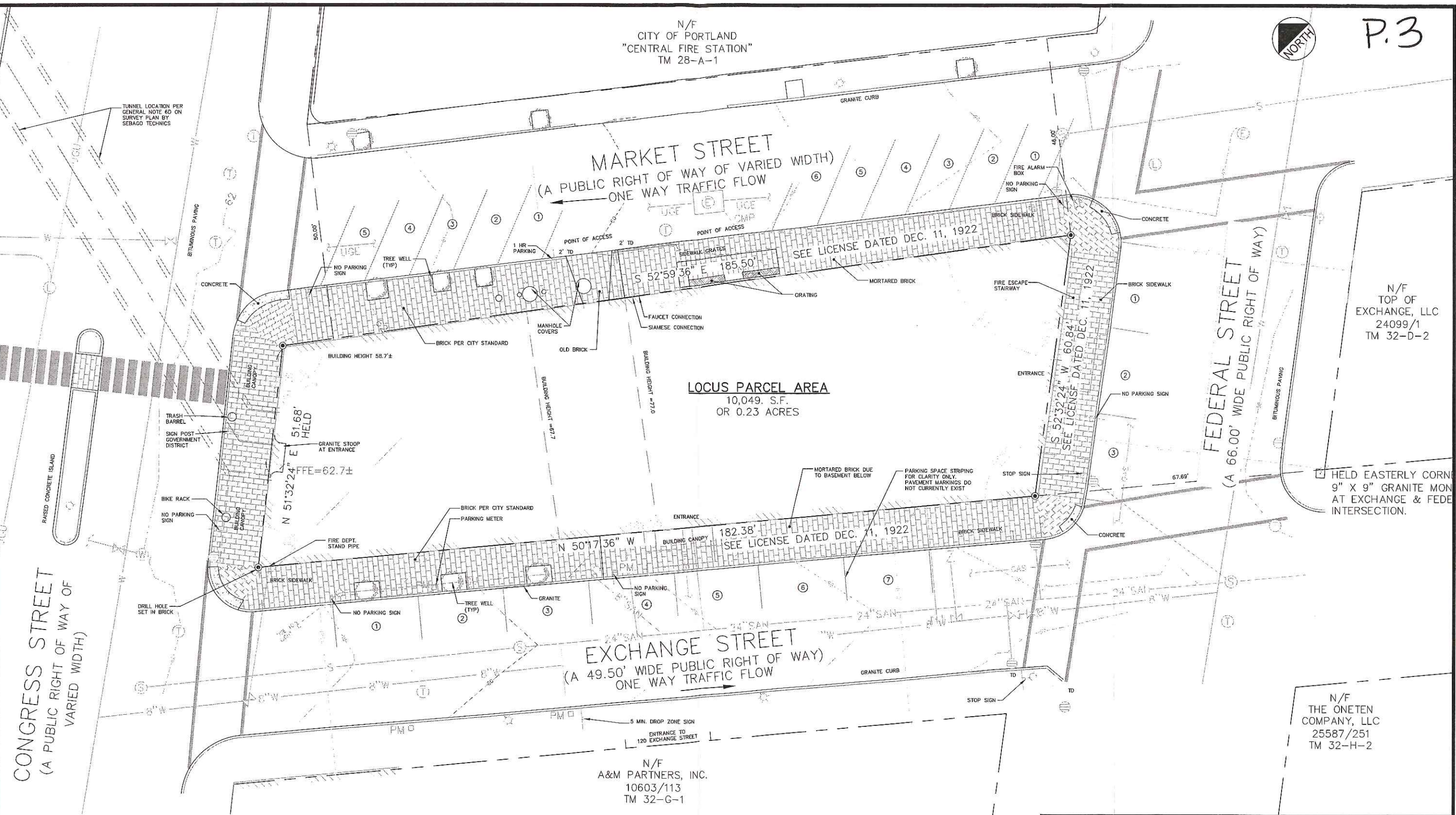
SHEET 1 OF 1



N/F  
CITY OF PORTLAND  
"CENTRAL FIRE STATION"  
TM 28-A-1



P.3



CONGRESS STREET  
(A PUBLIC RIGHT OF WAY OF  
VARIED WIDTH)

MARKET STREET  
(A PUBLIC RIGHT OF WAY OF VARIED WIDTH)  
ONE WAY TRAFFIC FLOW

LOCUS PARCEL AREA  
10,049 S.F.  
OR 0.23 ACRES

EXCHANGE STREET  
(A 49.50' WIDE PUBLIC RIGHT OF WAY)  
ONE WAY TRAFFIC FLOW

FEDERAL STREET  
(A 66.00' WIDE PUBLIC RIGHT OF WAY)

N/F  
TOP OF  
EXCHANGE, LLC  
24099/1  
TM 32-D-2

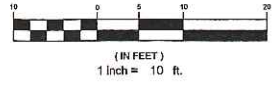
Held Easterly Corner  
9" X 9" Granite Mon  
at Exchange & Fede  
Intersection.

N/F  
THE ONETEN  
COMPANY, LLC  
25587/251  
TM 32-H-2

N/F  
A&M PARTNERS, INC.  
10603/113  
TM 32-G-1

**PLAN REFERENCE**

- "ALTA / ACSM LAND TITLE SURVEY OF CONGRESS STREET SITE, 390 CONGRESS STREET, PORTLAND, MAINE FOR: GRAND METRO BUILDERS OF NEW YORK CORP." BY SEBAGO TECHNICS, DATED 07.20.09.



**DH** DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.776.1121  
WWW.DELUCAHOFFMAN.COM

Prepared For: 119 DEVELOPMENT LLC C/O DEVELOPERS COLLABORATIVE LLC 17 CHESTNUT STREET PORTLAND, ME 04101	Project: <b>HOTEL REDEVELOPMENT PORTLAND, ME</b>  119 EXCHANGE STREET PORTLAND, MAINE	Revisions:     09/18/12 Preliminary Site Plan Application
Architect: <b>ARCHETYPE architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: SEPT. 2012  Scale: 1" = 10'	<b>C-2.1</b>
<b>STATE OF MAINE</b> STEPHEN R. BUSHEY LICENSED PROFESSIONAL ENGINEER LIC. # 7429	<b>EXISTING CONDITIONS PLAN</b>	





P.4

N/F CITY OF PORTLAND  
"CENTRAL FIRE STATION"  
TM 28-A-1

MARKET STREET

**LOCUS PARCEL AREA**  
10,049 S.F.  
OR 0.23 ACRES

FEDERAL STREET

EXCHANGE STREET

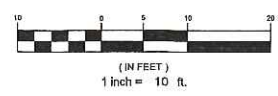
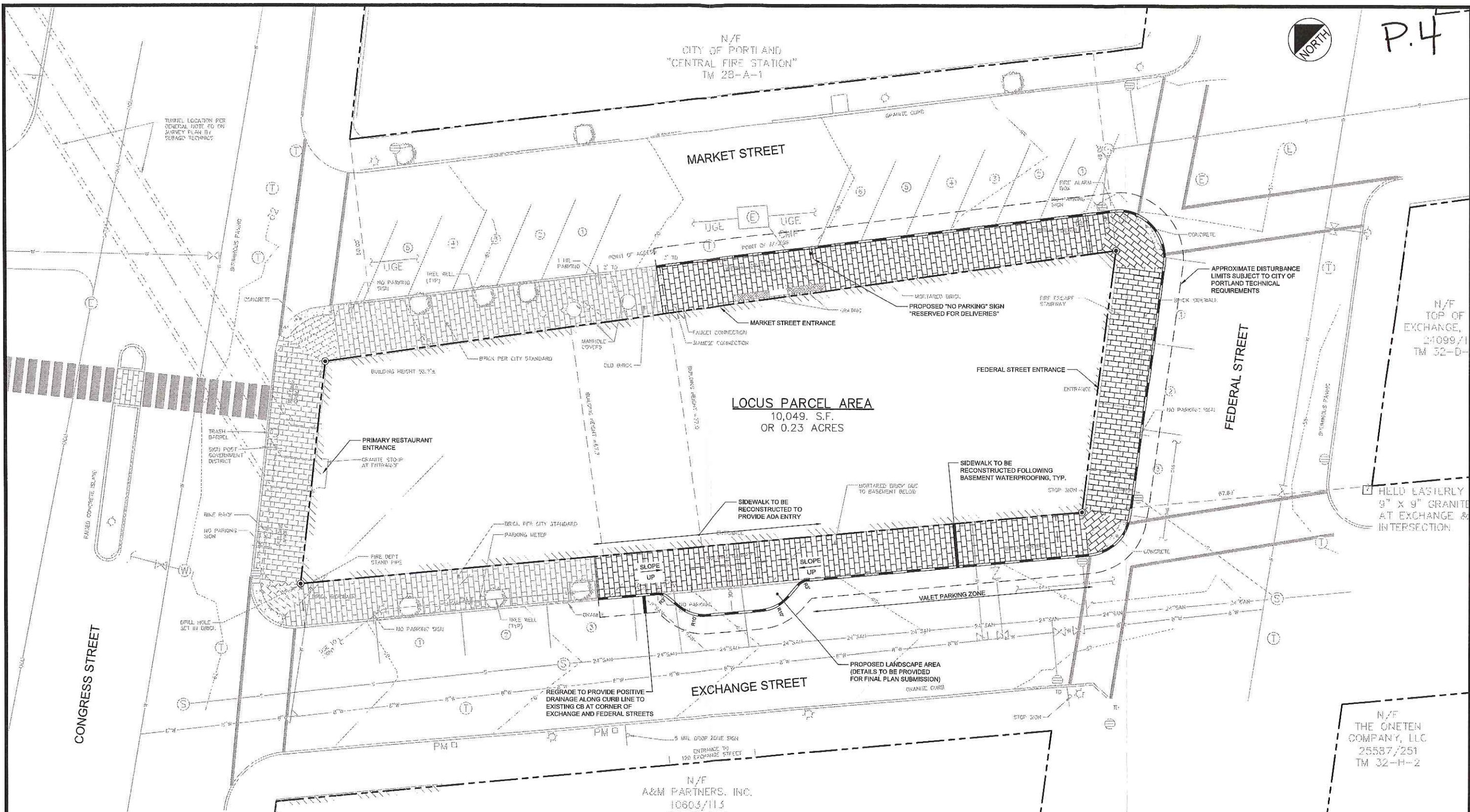
CONGRESS STREET

N/F A&M PARTNERS, INC.  
10603/113  
TM 32-C-1

N/F THE ONETEN COMPANY, LLC  
25537/251  
TM 32-H-2

N/F TOP OF EXCHANGE,  
24099/1  
TM 32-D-

HOLD LASTILRLY  
9" X 9" GRANITE  
AT EXCHANGE &  
INTERSECTION.

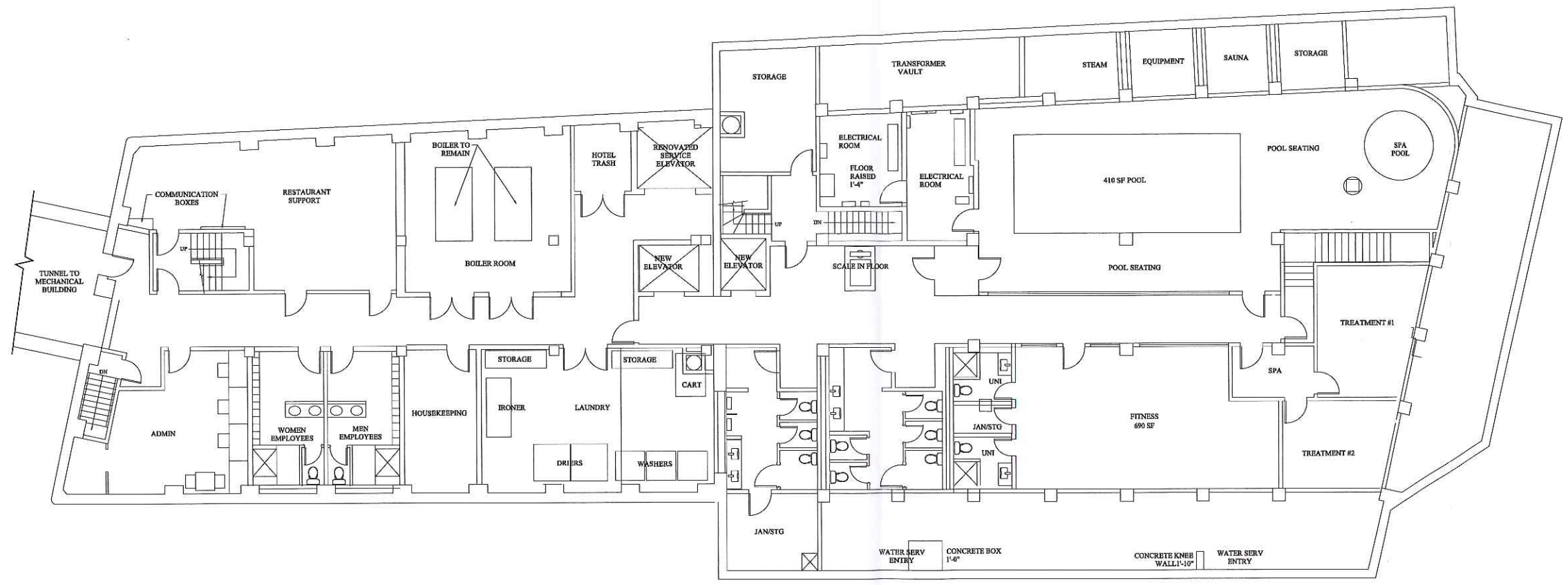


**DH** DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

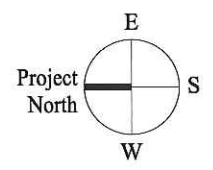
Prepared For: 119 DEVELOPMENT LLC C/O DEVELOPERS COLLABORATIVE LLC 17 CHESTNUT STREET PORTLAND, ME 04101	Project: <b>HOTEL REDEVELOPMENT PORTLAND, ME</b> 119 EXCHANGE STREET PORTLAND, MAINE	Revisions:       09/18/12 Preliminary Site Plan Application
Architect: <b>ARCHETYPE Architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: SEPT. 2012	Scale: 1" = 10'
		<b>C-3.0</b>
<b>SITE IMPROVEMENTS PLAN</b>		



P.5



1 | BASEMENT PLAN  
SCALE: 1/8"=1'-0"



Prepared For:



Architect: **ARCHETYPE** architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project: **390 CONGRESS STREET**  
PORTLAND, ME

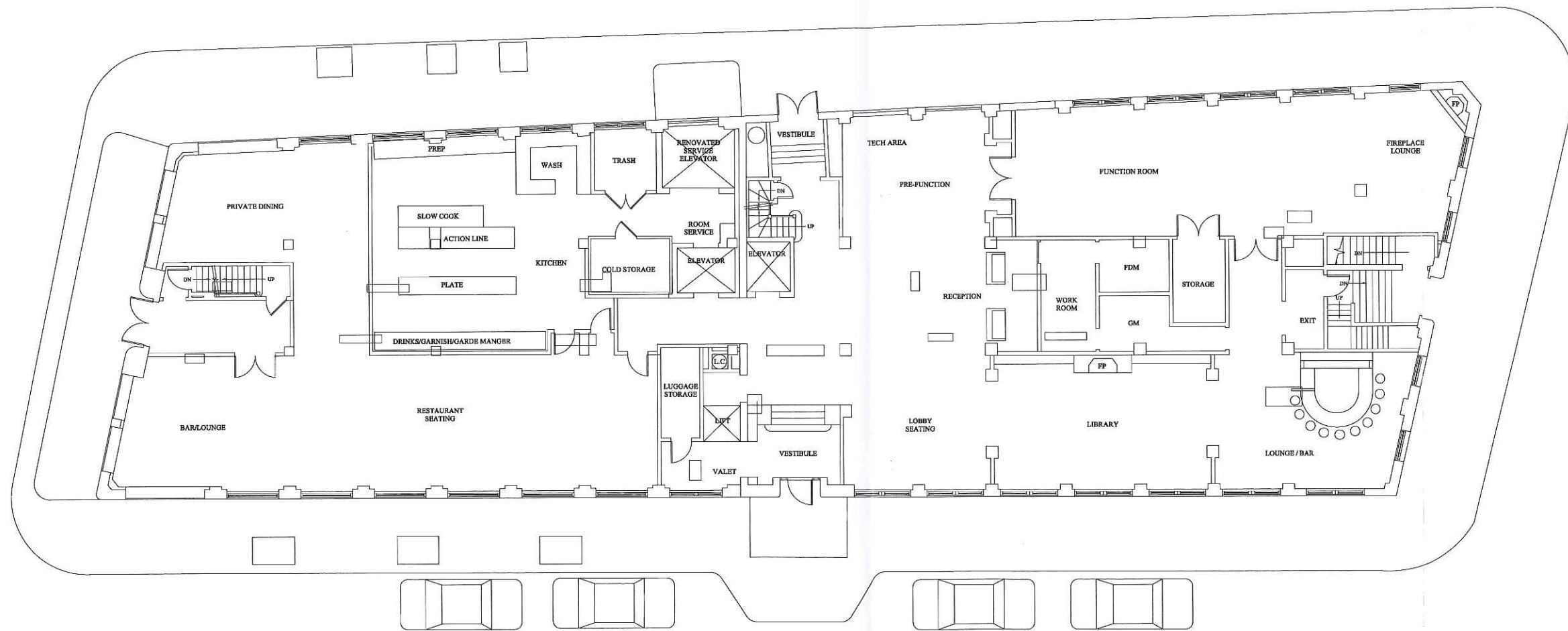
Revisions:

Date: 10 August 2012  
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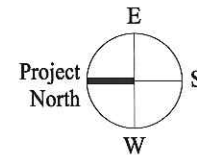
BASEMENT PLAN

ID-01





1 | FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



Prepared For:  
Address:  
City, State



Architect:  
**ARCHETYPE** architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
390 CONGRESS STREET  
PORTLAND, ME

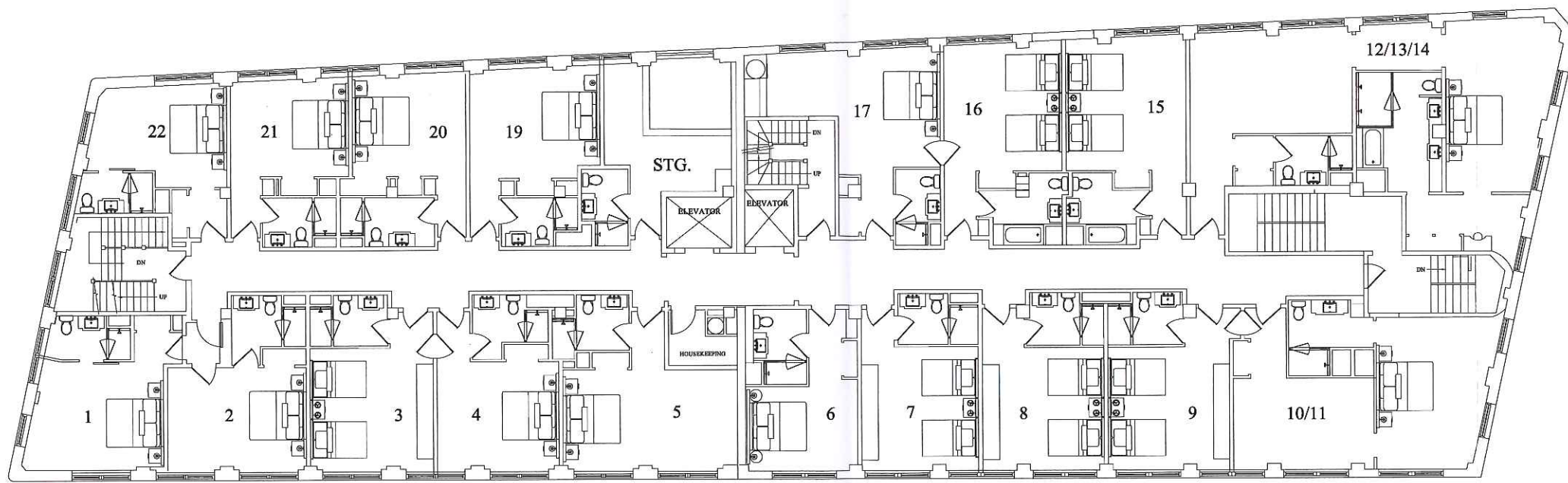
Revisions:

Date: 10 August 2012  
Scale: 1/8" = 1'-0"  
FIRST FLOOR PLAN

ID-02

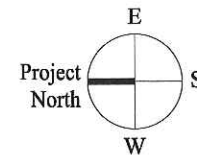


P.5b



9,841 GROSS SF

1 | SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"



Prepared For:



FORREST PERKINS  
defining luxury.

Architect:

**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:

390 CONGRESS  
STREET  
PORTLAND, ME

Revisions:

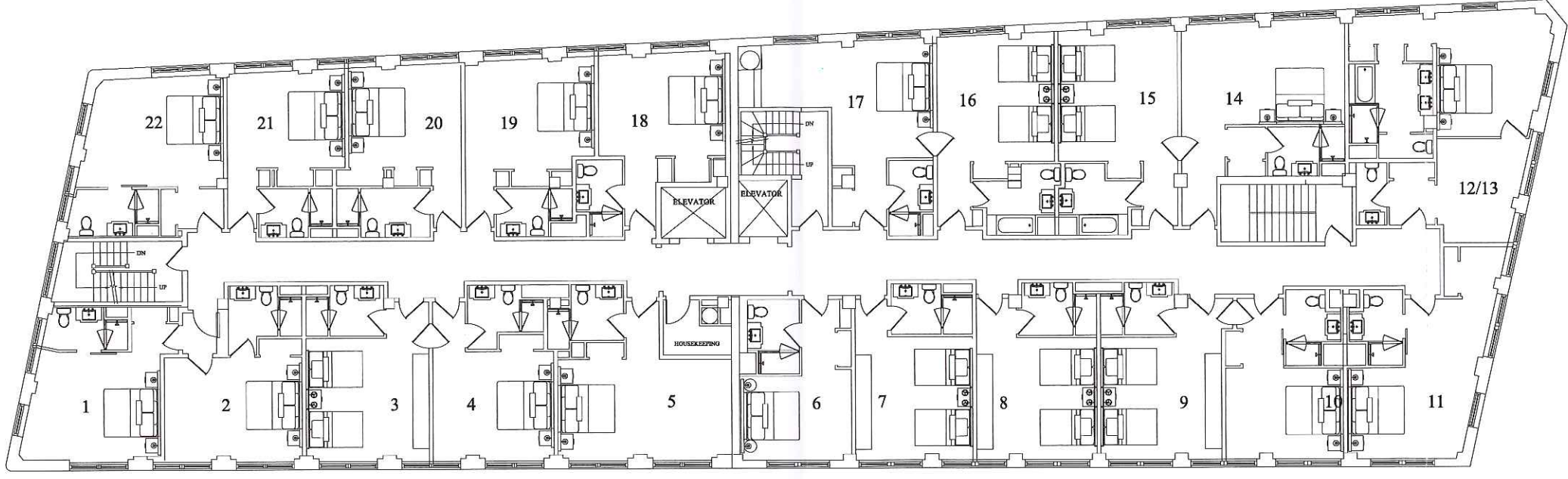
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Scale: 1/8" = 1'-0"

SECOND FLOOR PLAN

ID-03

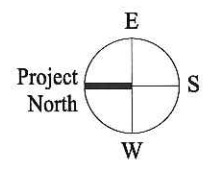


P.5c



9,841 GROSS SF

1 | THIRD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



Prepared For:



Architect: **ARCHETYPE** architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Project: **390 CONGRESS STREET**  
 PORTLAND, ME

Revisions:

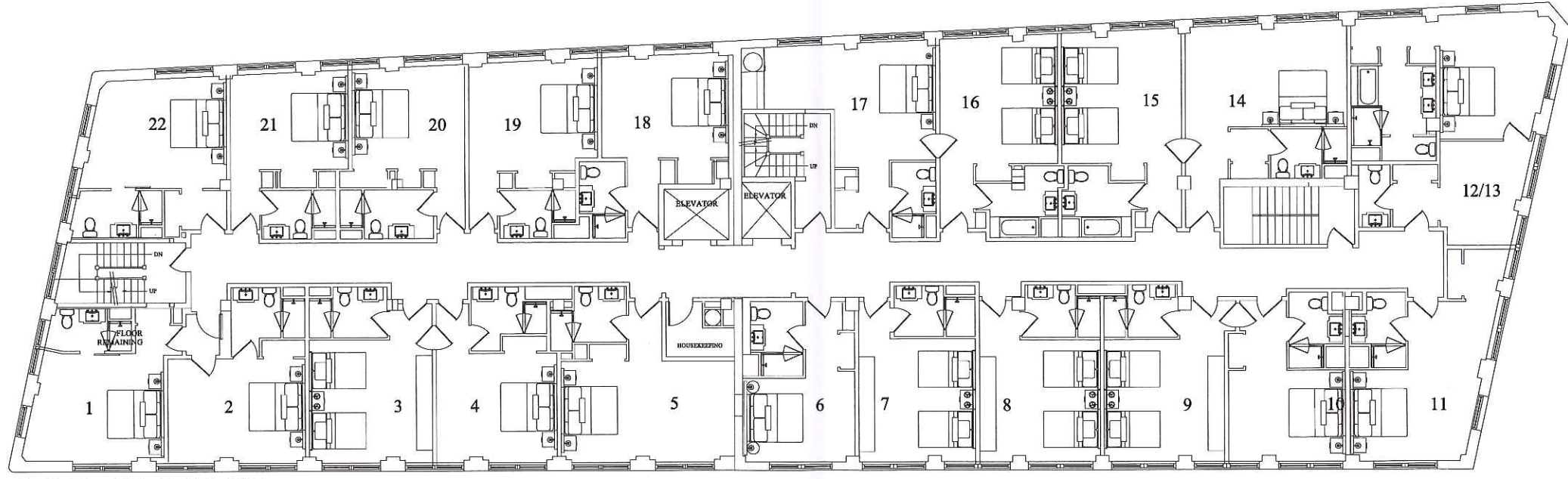
Date: 10 August 2012  
 Scale: 1/8" = 1'-0"

THIRD FLOOR PLAN

ID-04

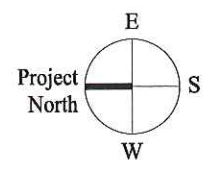


P. 5d



9,841 GROSS SF

1 | FOURTH FLOOR PLAN  
SCALE: 1/8"=1'-0"



Prepared For:



Architect: **ARCHETYPE** architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6002 Fax (207) 772-4056

Project: **390 CONGRESS STREET**  
 PORTLAND, ME

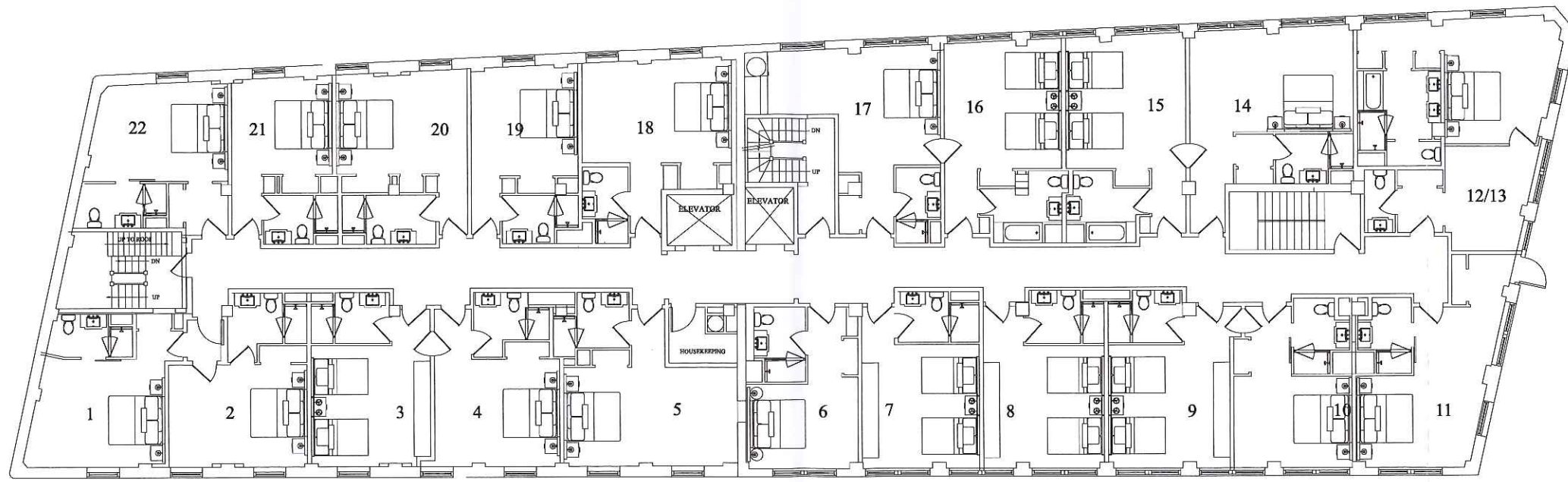
Revisions:


Date: 10 August 2012  
 Scale: 1/8" = 1'-0"  
**FOURTH FLOOR PLAN**

**ID-05**

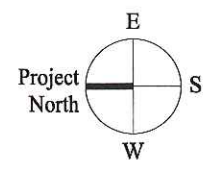


P.5e



9,841 GROSS SF

1 | FIFTH FLOOR PLAN  
SCALE: 1/8"=1'-0"



Prepared For:



Architect: **ARCHETYPE** architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project: 390 CONGRESS STREET  
PORTLAND, ME

Revisions:

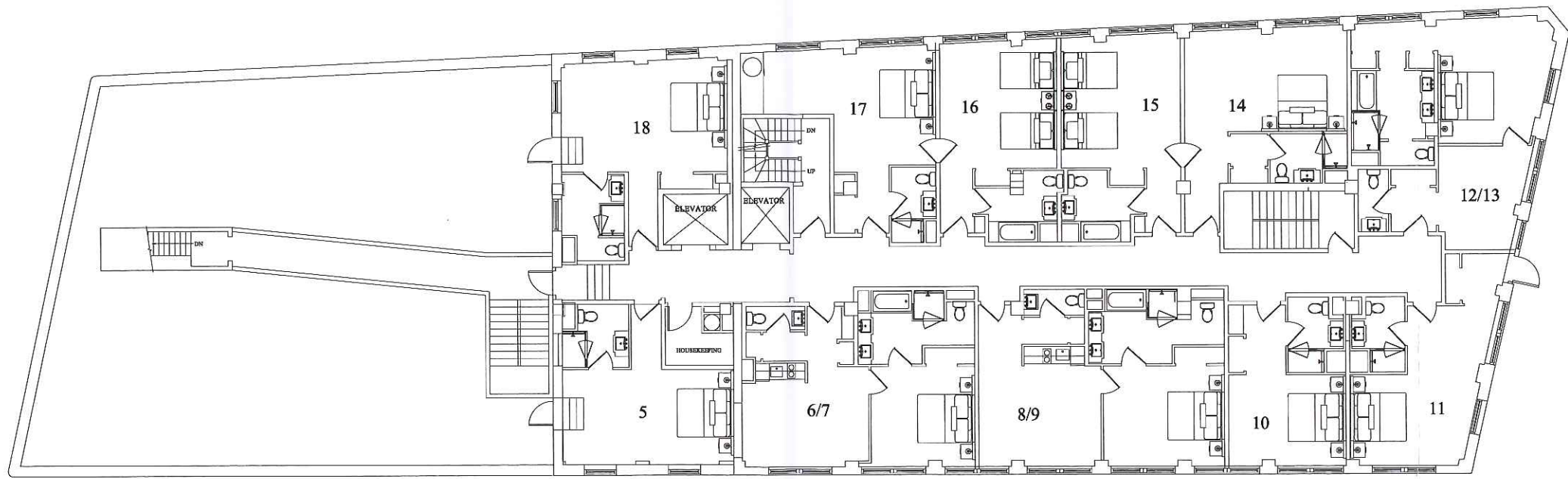
Date: 10 August 2012  
Scale: 1/8" = 1'-0"

FIFTH FLOOR PLAN

ID-06

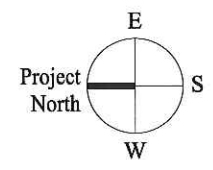


P.5f



6,652 GROSS SF

1 | SIXTH FLOOR PLAN  
 SCALE: 1/8"=1'-0"



Prepared For:



Architect:  
**ARCHETYPE**  
 architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Project:  
 390 CONGRESS STREET  
 PORTLAND, ME

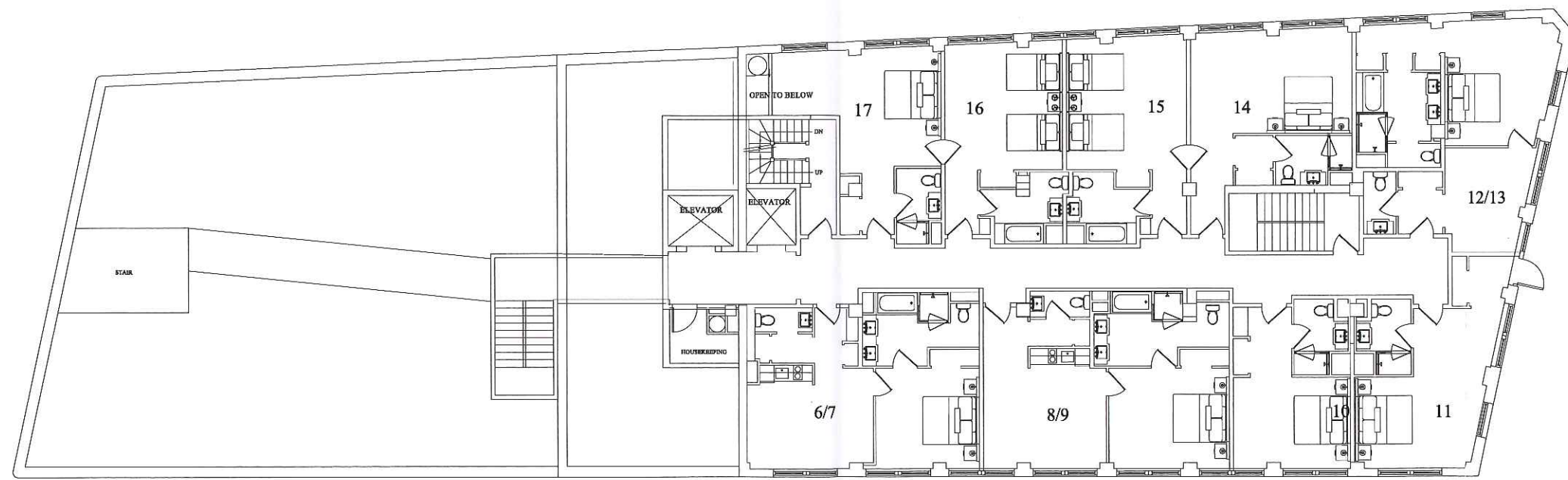
Revisions:

Date: 10 August 2012  
 Scale: 1/8" = 1'-0"  
 SIXTH FLOOR PLAN

ID-07

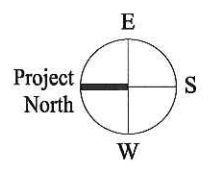


P.5g



5, 608 GROSS SF

1 | SEVENTH FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



Prepared For:



FORREST PERKINS  
DEFINING LUXURY.

Architect: **ARCHETYPE** architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Project: **390 CONGRESS STREET**  
 PORTLAND, ME

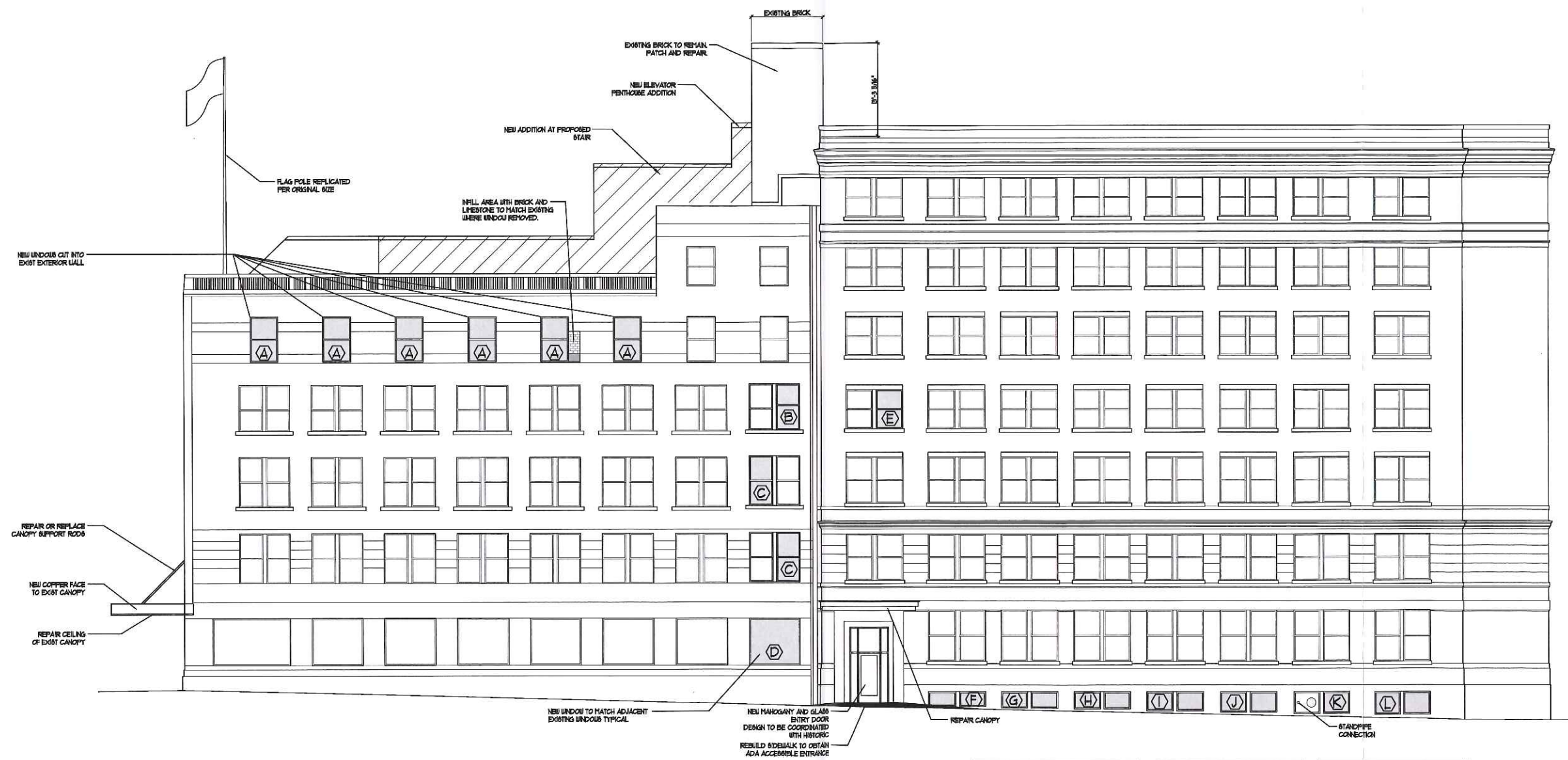
Revisions:

Date: 10 August 2012  
 Scale: 1/8" = 1'-0"

SEVENTH FLOOR PLAN

ID-08





1 | EXCHANGE STREET ELEVATION  
SCALE: 1/8"=1'-0"

NOTE:  
CONTRACTOR TO CARRY ALLOWANCE  
FOR REPOINTING 15% OF EXTERIOR MASONRY

TYPICAL ALL EXIST WINDOWS:  
EXISTING WINDOWS TO REMAIN,  
REPAIR AND LUBRICATE AS NECESSARY

LEGEND  
 NEW WINDOW TO MATCH EXISTING

Prepared For:

Consulting Engineer:

Architect:  
**ARCHETYPE**  
 architects  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

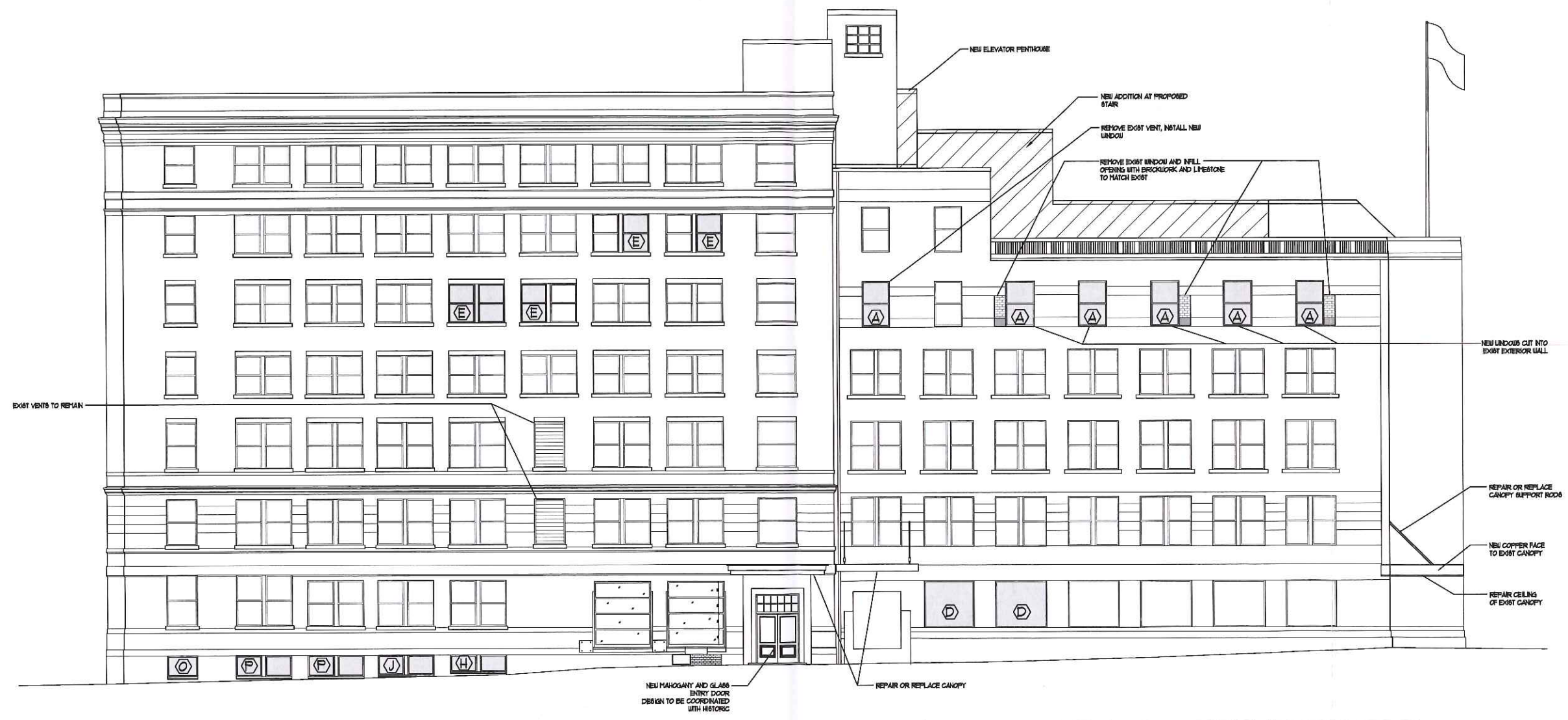
Project:  
 390 CONGRESS  
 STREET CORE &  
 SHELL DRAWINGS  
 PORTLAND, ME

Revisions:


Date: 10 AUGUST 2012  
 Scale: 1/8" = 1'-0"

ELEVATIONS

P. Lea



2 | MARKET STREET ELEVATION  
 SCALE: 1/8"=1'-0"

NOTE:  
 CONTRACTOR TO CARRY ALLOWANCE  
 FOR REPOINTING 15% OF EXTERIOR MASONRY

TYPICAL ALL EXIST WINDOWS:  
 EXISTING WINDOWS TO REMAIN,  
 REPAIR AND LUBRICATE AS NECESSARY

LEGEND:  
 ■ NEW WINDOWS TO MATCH EXISTING

Prepared For:

Consulting Engineer:

Architect:  
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 architects  
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Project:  
 390 CONGRESS  
 STREET CORE &  
 SHELL DRAWINGS  
 PORTLAND, ME

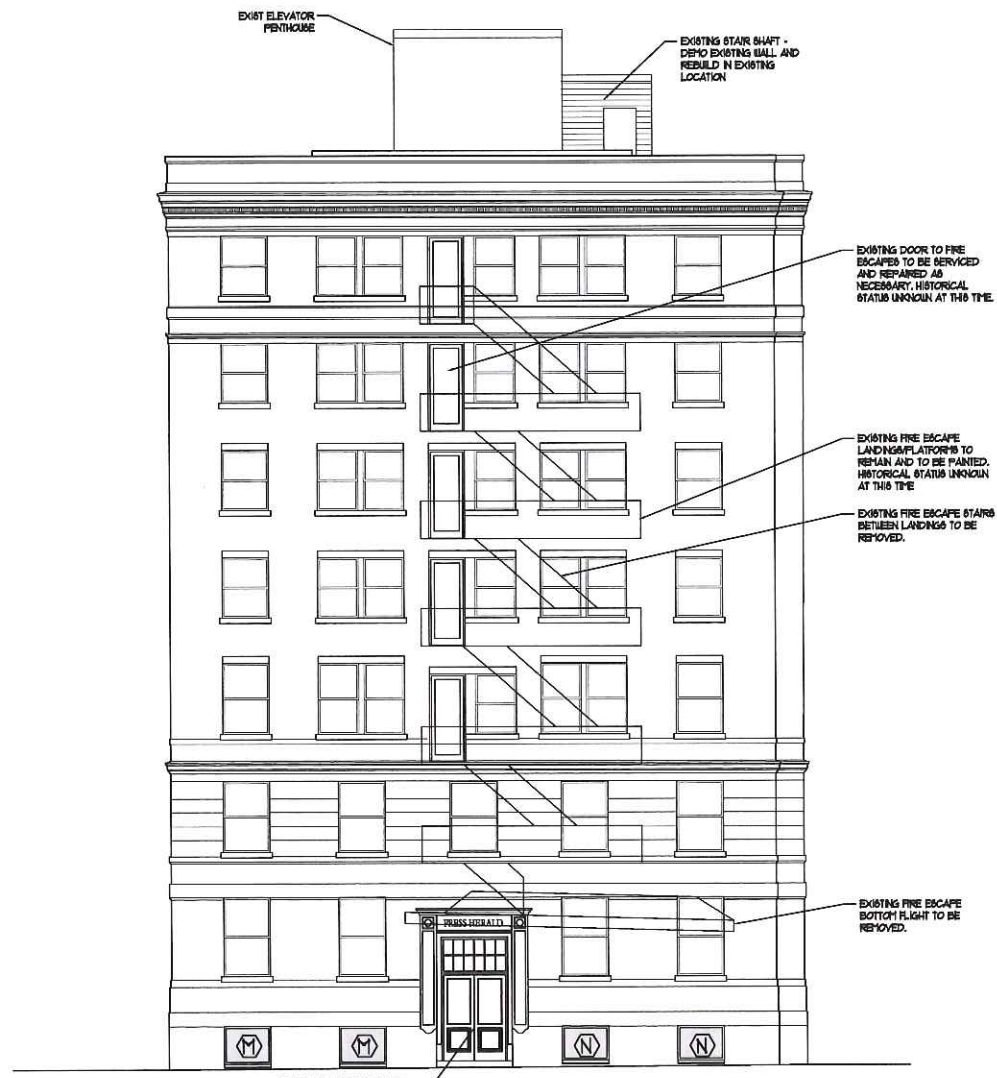
Revisions:

Date: 10 AUGUST 2012  
 Scale: 1/8" = 1'-0"

ELEVATIONS

A2.02



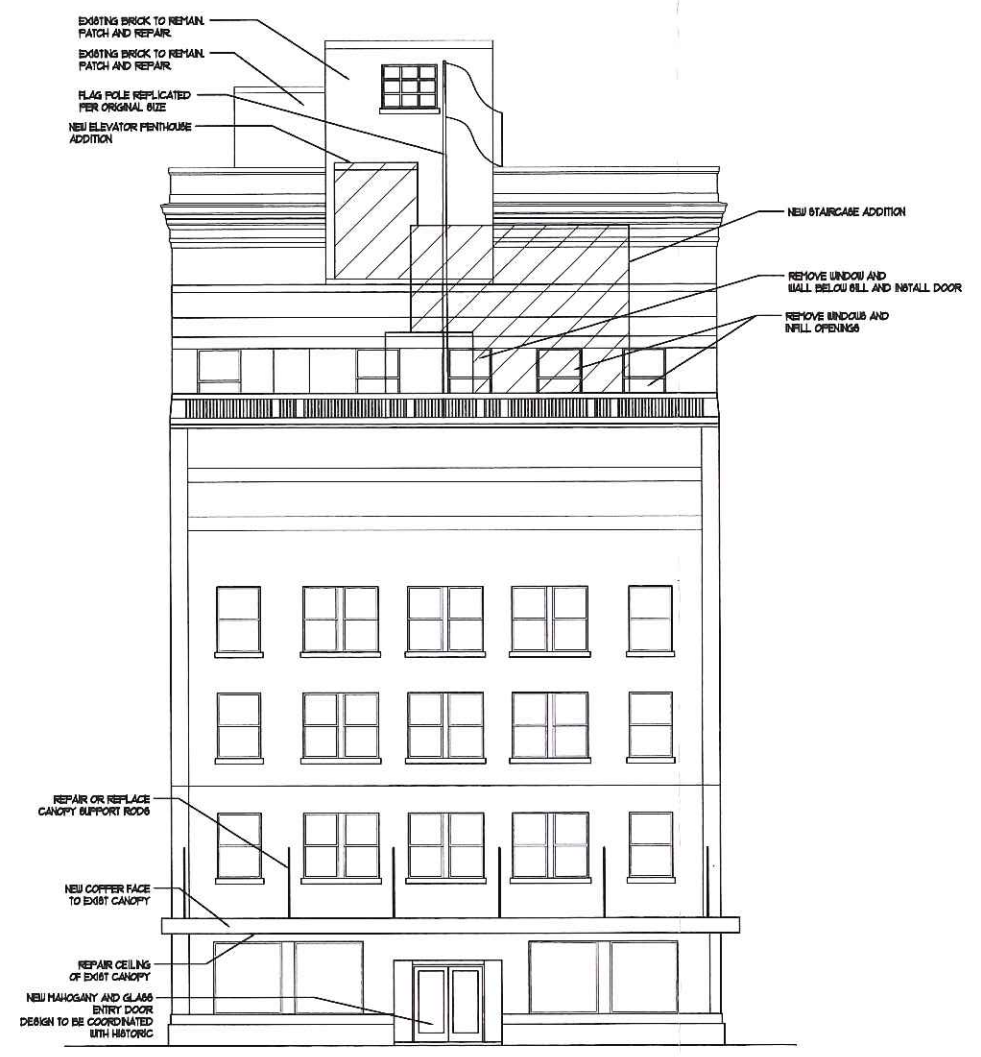


NOTE:  
CONTRACTOR TO CARRY ALLOWANCE  
FOR REPOINTING 15% OF EXTERIOR MASONRY

TYPICAL ALL EXIST WINDOWS:  
EXISTING WINDOWS TO REMAIN,  
REPAIR AND LUBRICATE AS NECESSARY

LEGEND  
■ NEW WINDOW TO MATCH EXISTING

3 | FEDERAL STREET ELEVATION  
SCALE: 1/8"=1'-0"



NOTE:  
CONTRACTOR TO CARRY ALLOWANCE  
FOR REPOINTING 15% OF EXTERIOR MASONRY

TYPICAL ALL EXIST WINDOWS:  
EXISTING WINDOWS TO REMAIN,  
REPAIR AND LUBRICATE AS NECESSARY

LEGEND  
■ NEW WINDOW TO MATCH EXISTING

4 | CONGRESS STREET ELEVATION  
SCALE: 1/8"=1'-0"

P.6b

Prepared For:

Consulting Engineer:

Architect:  
**ARCHETYPE**  
Architects  
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Project:  
390 CONGRESS  
STREET CORE &  
SHELL DRAWINGS  
PORTLAND, ME

Revisions:


Date:  
10 AUGUST 2012

Scale:  
1/8" = 1'-0"

ELEVATIONS

A2.03

Prepared For:

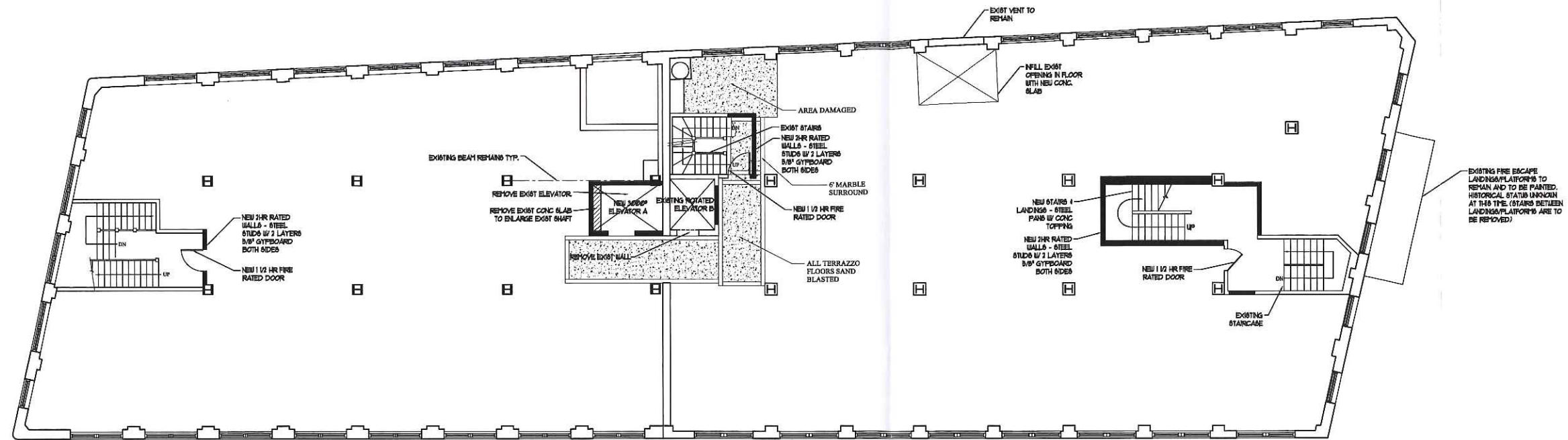
Consulting Engineer:

**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project: **390 CONGRESS STREET CORE & SHELL DRAWINGS**  
PORTLAND, ME

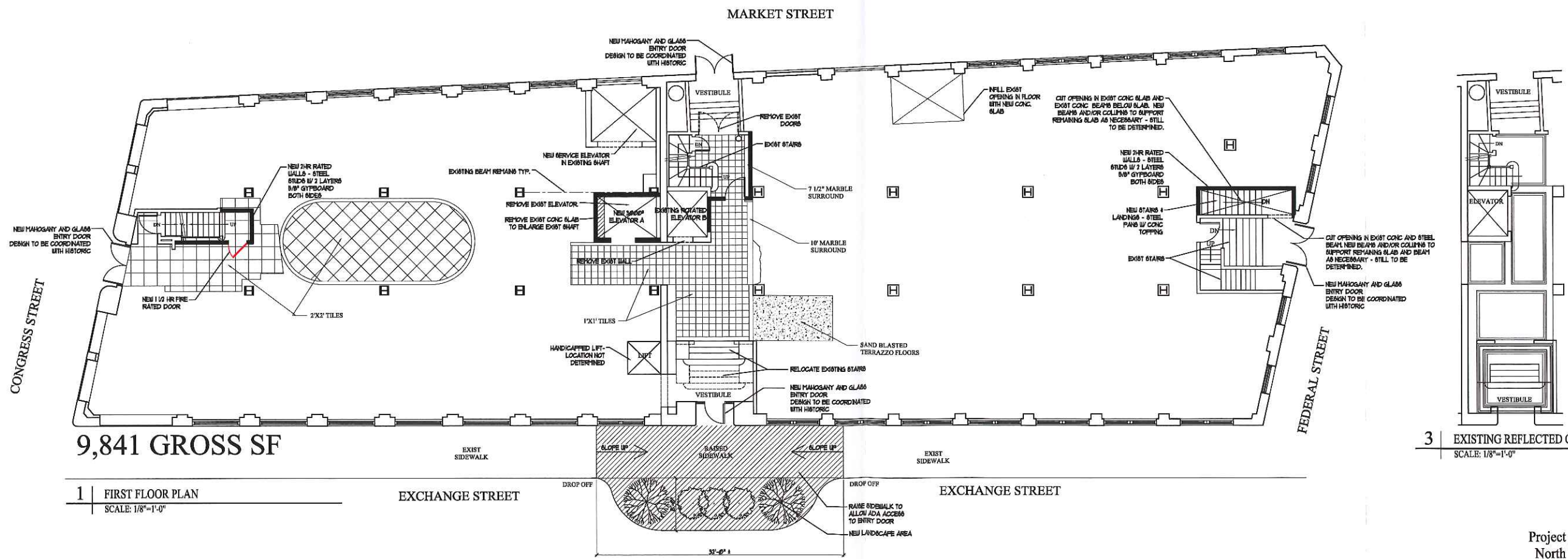
Revisions:


Date: 10 AUGUST 2012  
Scale: 1/8" = 1'-0"  
FIRST AND SECOND FLOOR PLAN



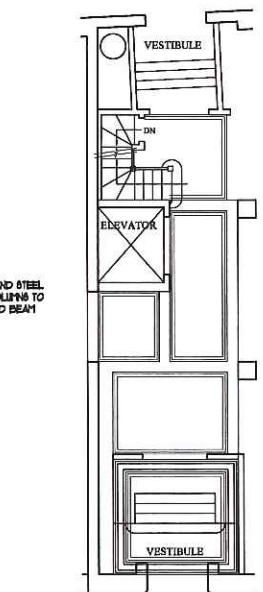
9,841 GROSS SF

2 SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"

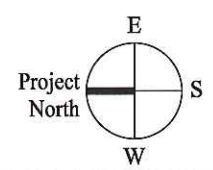


9,841 GROSS SF

1 FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



3 EXISTING REFLECTED CEILING PLAN  
SCALE: 1/8"=1'-0"

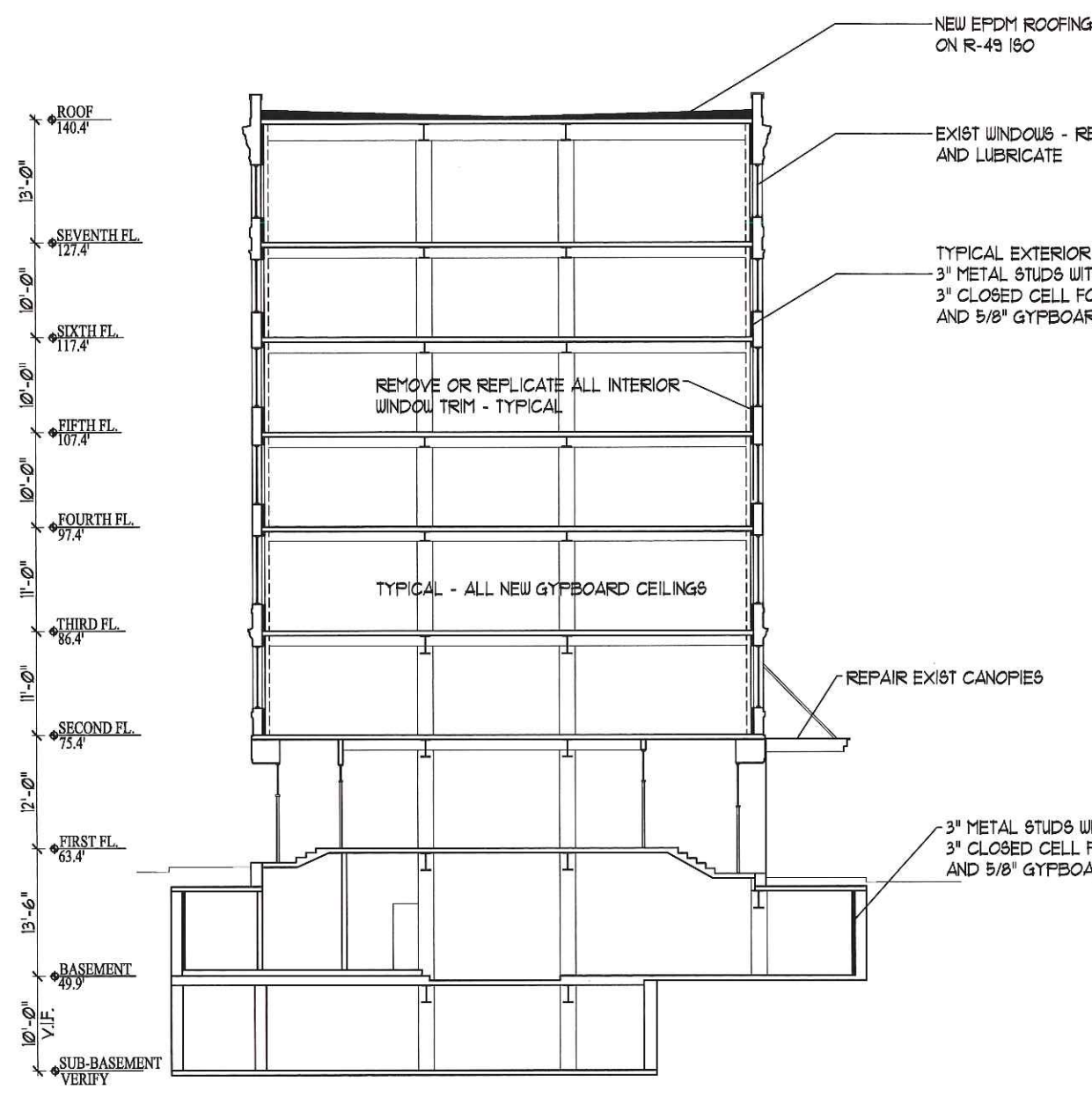




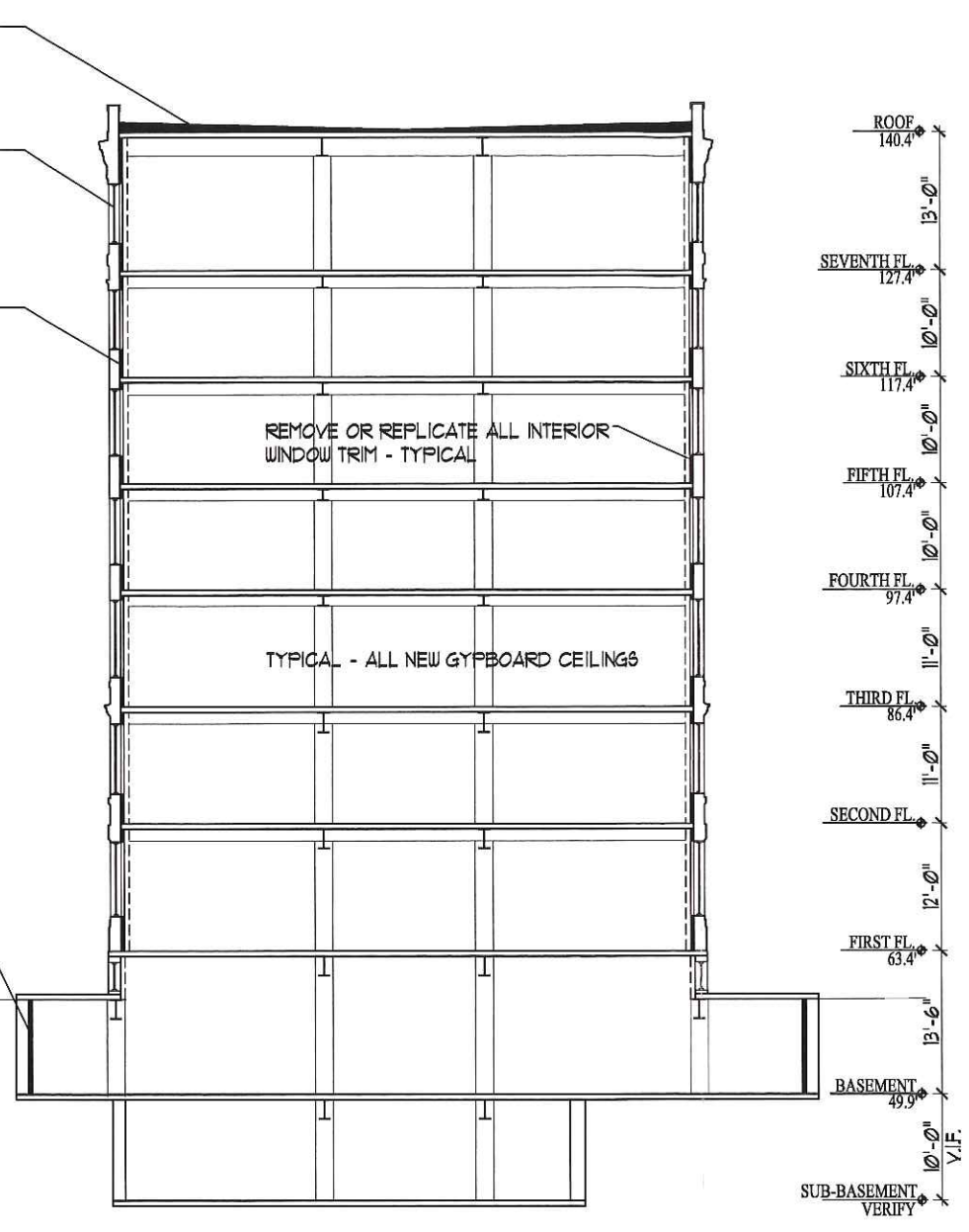






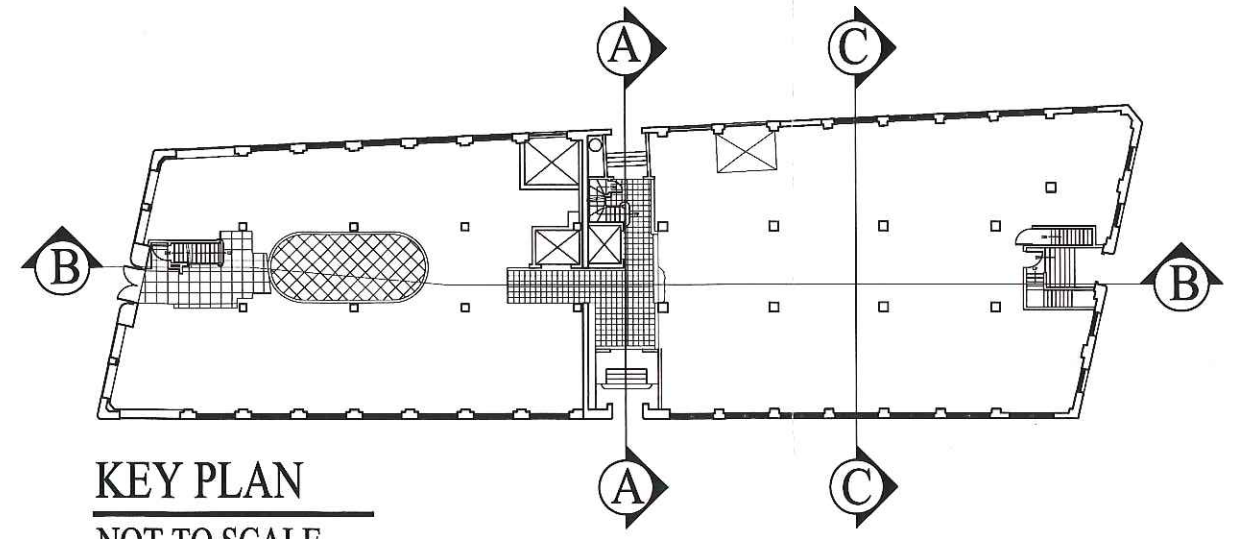


1 SECTION A-A  
SCALE: 1/8"=1'-0"



2 SECTION C-C  
SCALE: 1/8"=1'-0"

NOTE:  
ALL STEEL TO BE SPRAYED TO  
ACHIEVE 2 HR FIRE PROTECTION



KEY PLAN  
NOT TO SCALE

Prepared For:

Consulting Engineer:

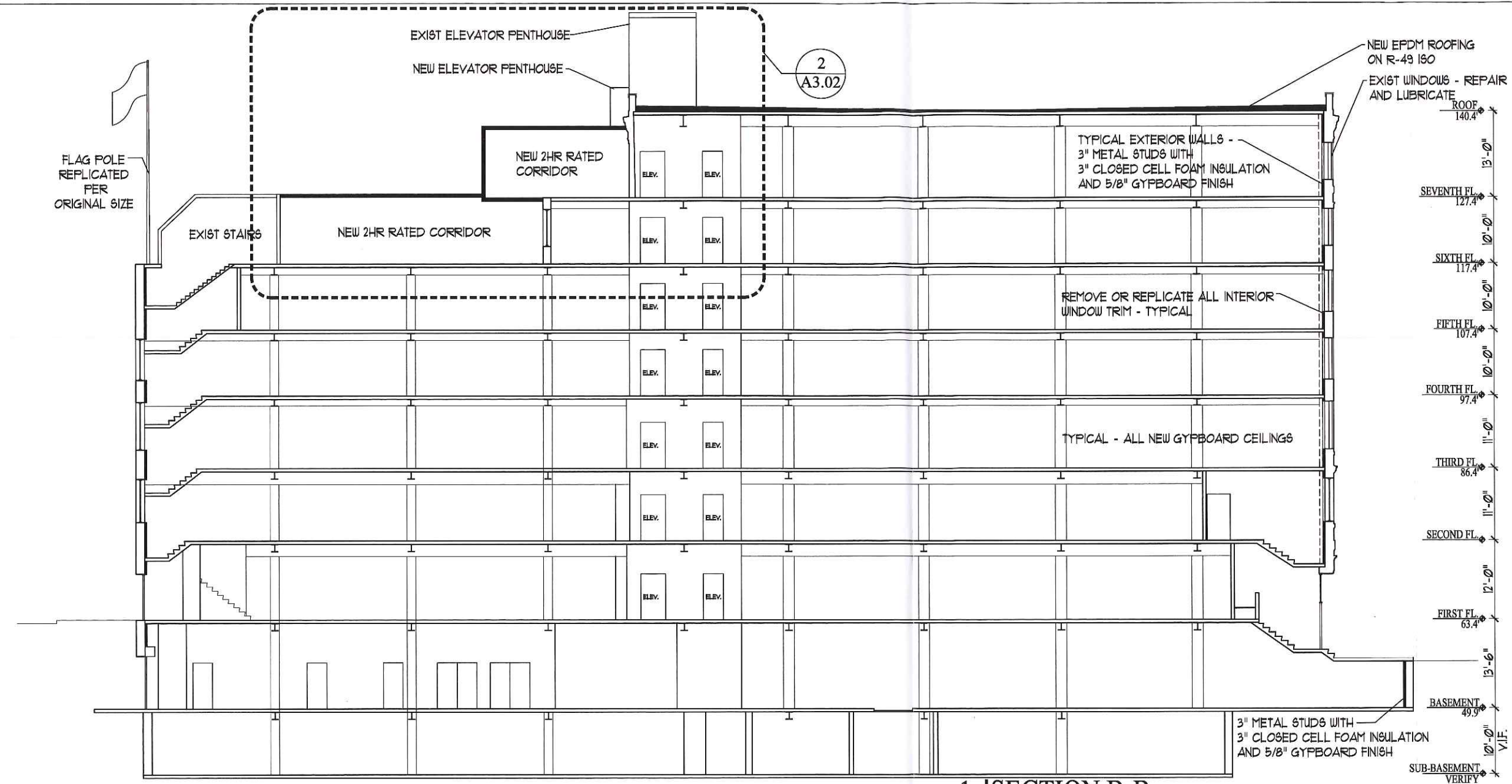
Architect:  
**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
390 CONGRESS  
STREET CORE &  
SHELL DRAWINGS  
PORTLAND, ME

Revisions:

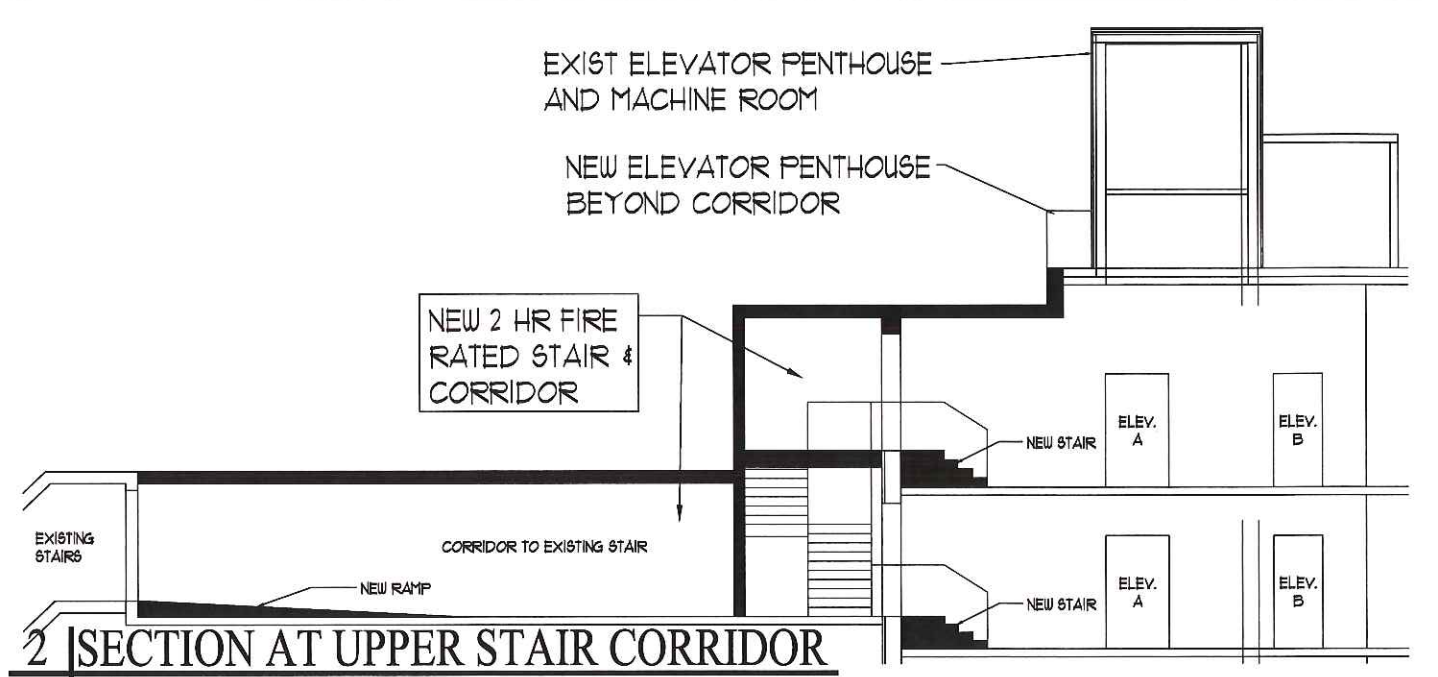
Date:  
10 AUGUST 2012  
Scale:  
1/8" = 1'-0"  
BUILDING SECTIONS

A3.01

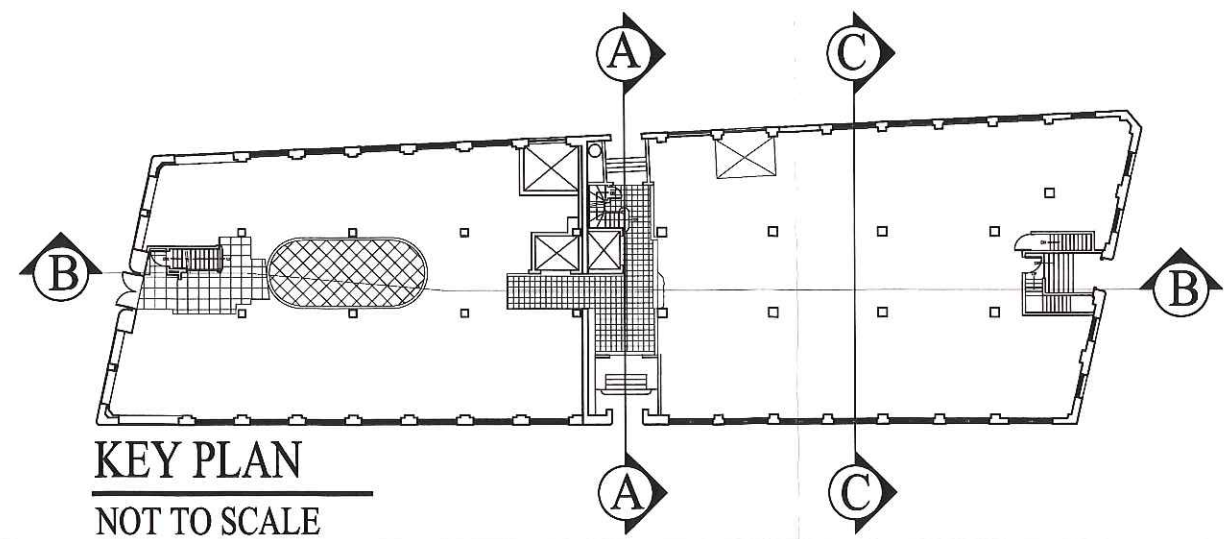


**1 SECTION B-B**  
SCALE: 1/8"=1'-0"

**NOTE:**  
ALL STEEL TO BE SPRAYED TO  
ACHIEVE 2 HR FIRE PROTECTION



**2 SECTION AT UPPER STAIR CORRIDOR**  
SCALE: 3/16"=1'-0"



**KEY PLAN**  
NOT TO SCALE

Prepared For:

Consulting Engineer:

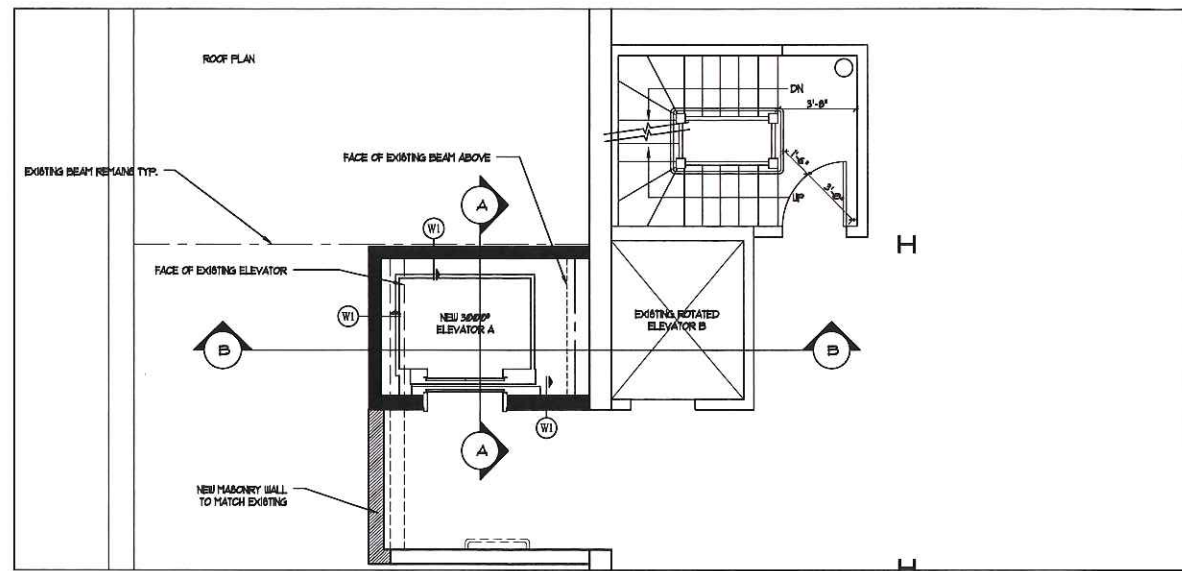
Architect:  
**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
**390 CONGRESS STREET CORE & SHELL DRAWINGS**  
PORTLAND, ME

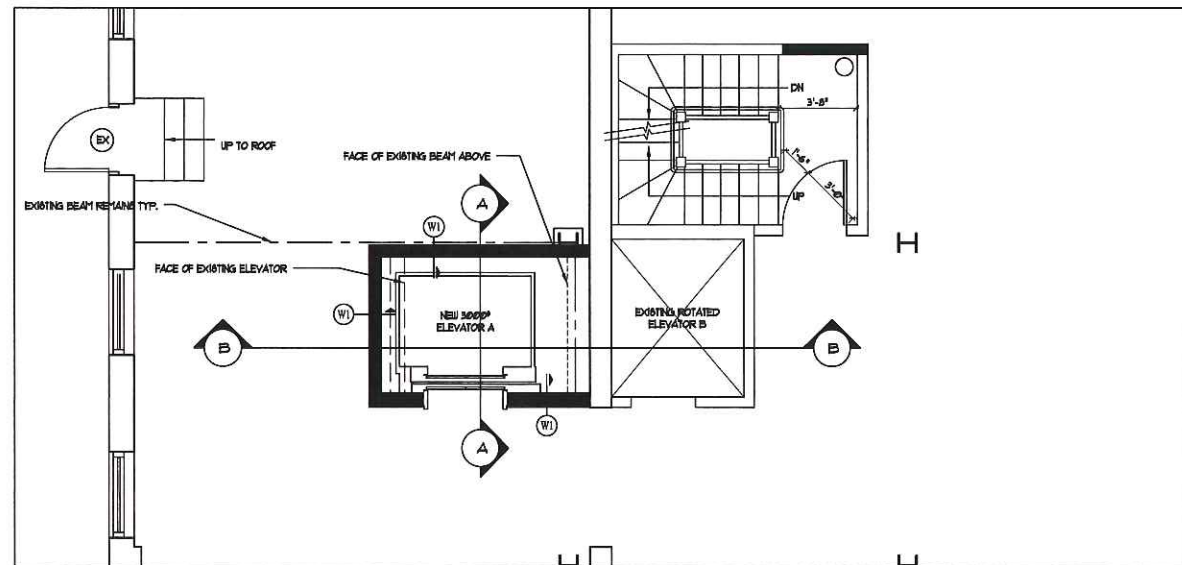
Revisions:

Date: 10 AUGUST 2012  
Scale: 1/8" = 1'-0"  
**BUILDING SECTIONS**

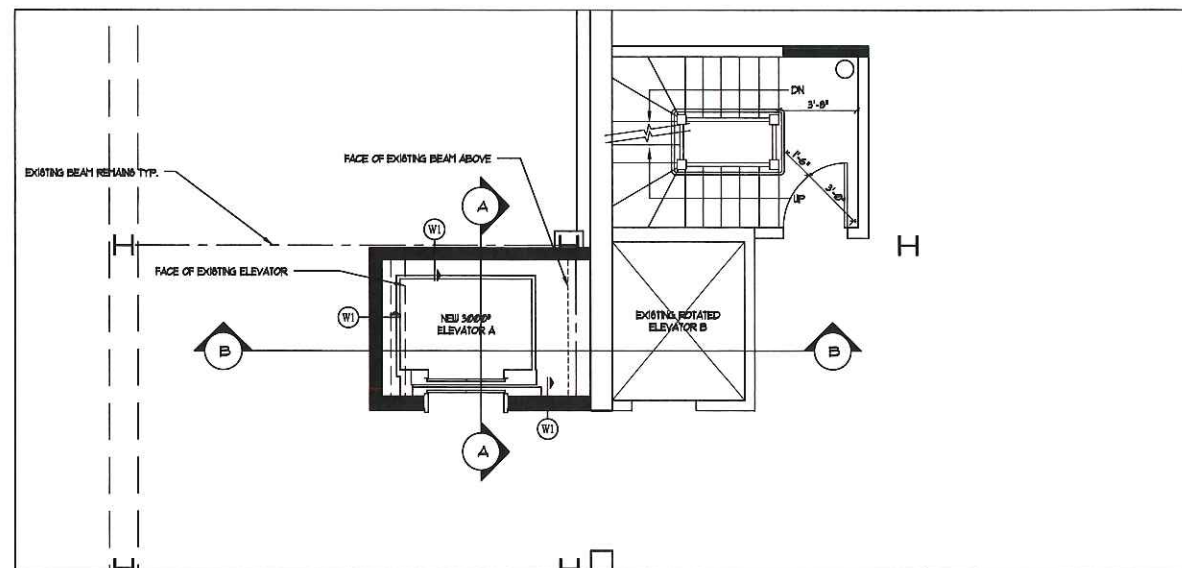




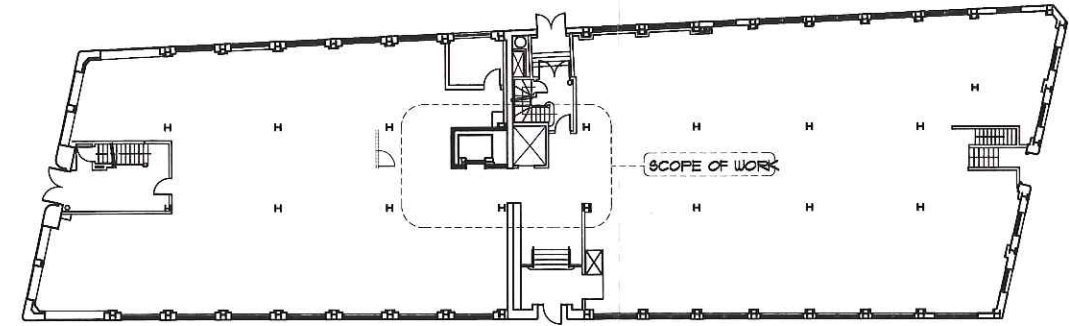
7 SEVENTH FLOOR PLAN  
SCALE: 1/4"=1'-0"



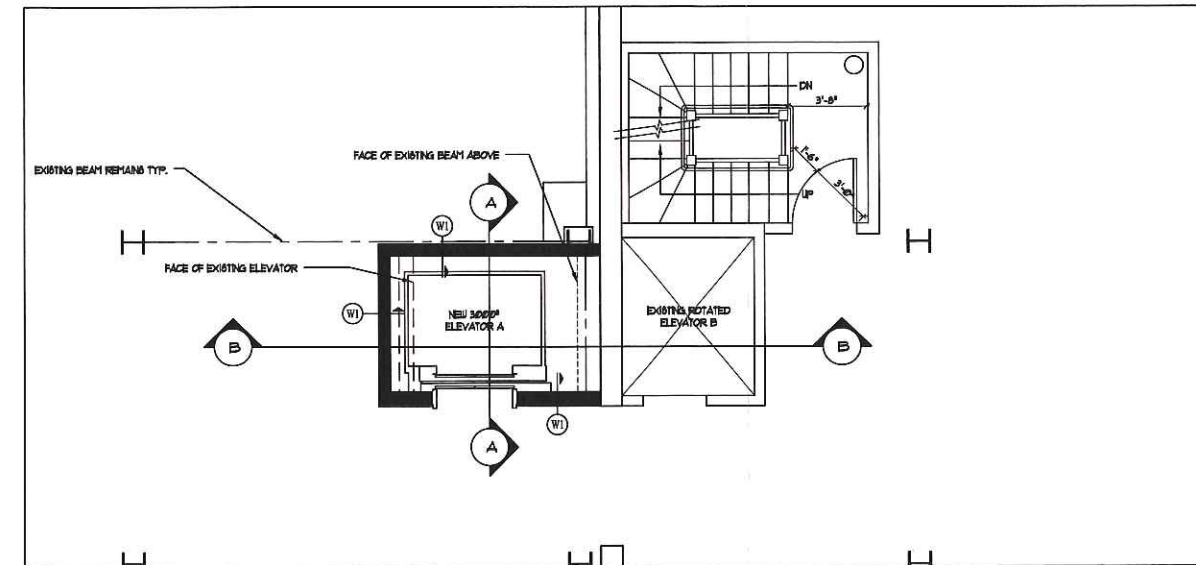
6 SIXTH FLOOR PLAN  
SCALE: 1/4"=1'-0"



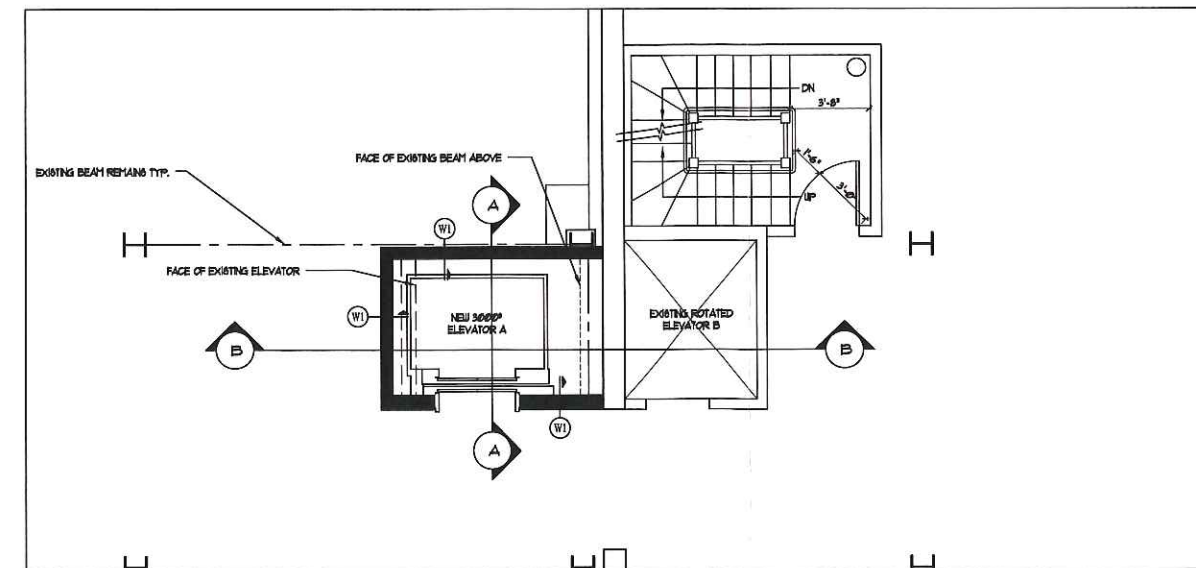
5 FIFTH FLOOR PLAN  
SCALE: 1/4"=1'-0"



KEY PLAN  
SCALE: 1/16"=1'-0"



4 FOURTH FLOOR PLAN  
SCALE: 1/4"=1'-0"



3 THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

P.9a

Prepared For:

Consulting Engineer:

Architect:  
**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

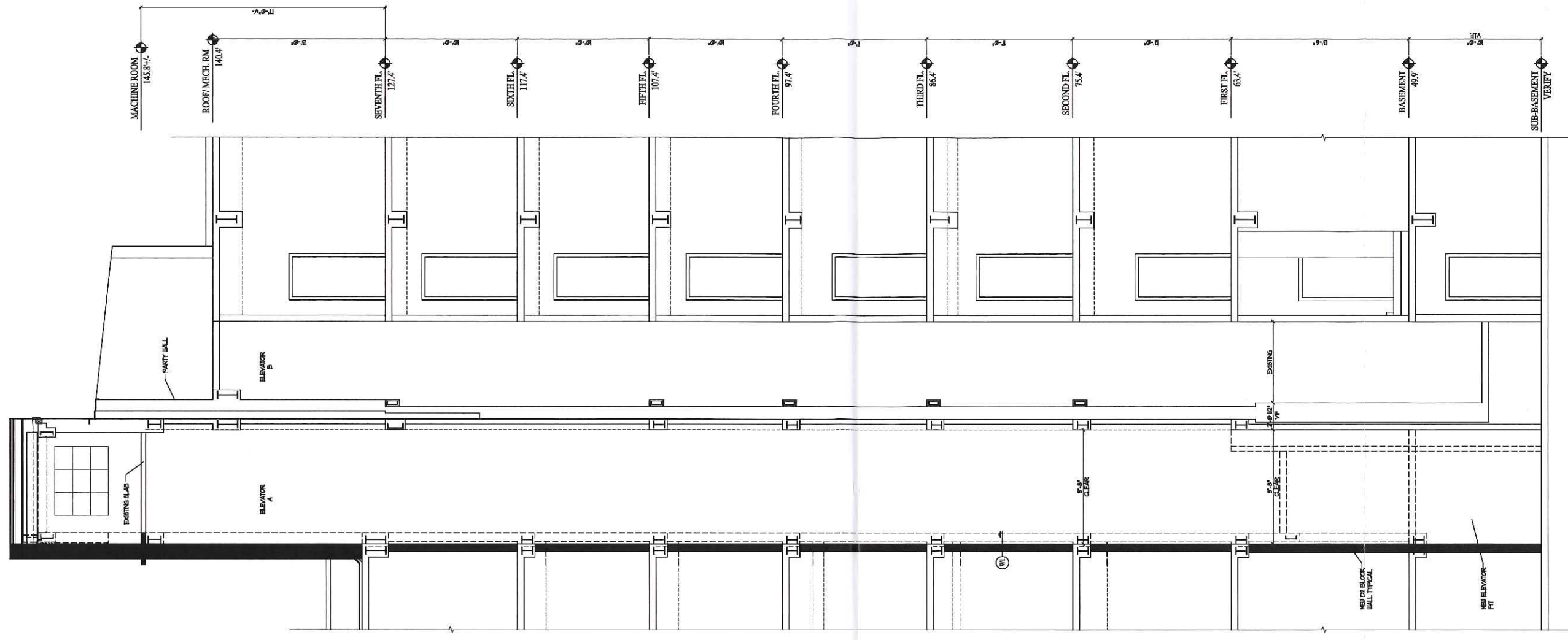
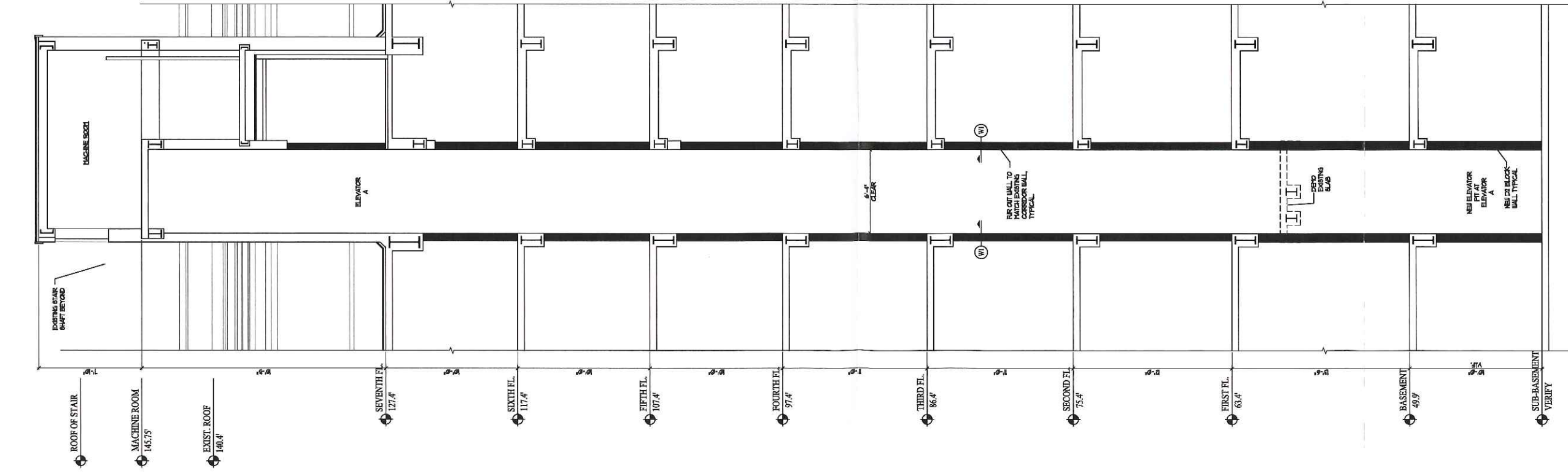
Project:  
390 CONGRESS  
STREET CORE &  
SHELL DRAWINGS  
PORTLAND, ME

Revisions:

Date: 10 AUGUST 2012  
Scale: 1/4" = 1'-0"

ELEVATOR FLOOR PLANS

A3.11



1 | SECTION A  
SCALE: 1/4"=1'-0"

2 | SECTION B  
SCALE: 1/4"=1'-0"

A3.12

Date: 10 AUGUST 2012  
Scale: 1/4" = 1'-0"

ELEVATOR SECTIONS

Revisions:

Project: 390 CONGRESS STREET CORE & SHELL DRAWINGS  
PORTLAND, ME

Architect: ARCHETYPE architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Consulting Engineer:

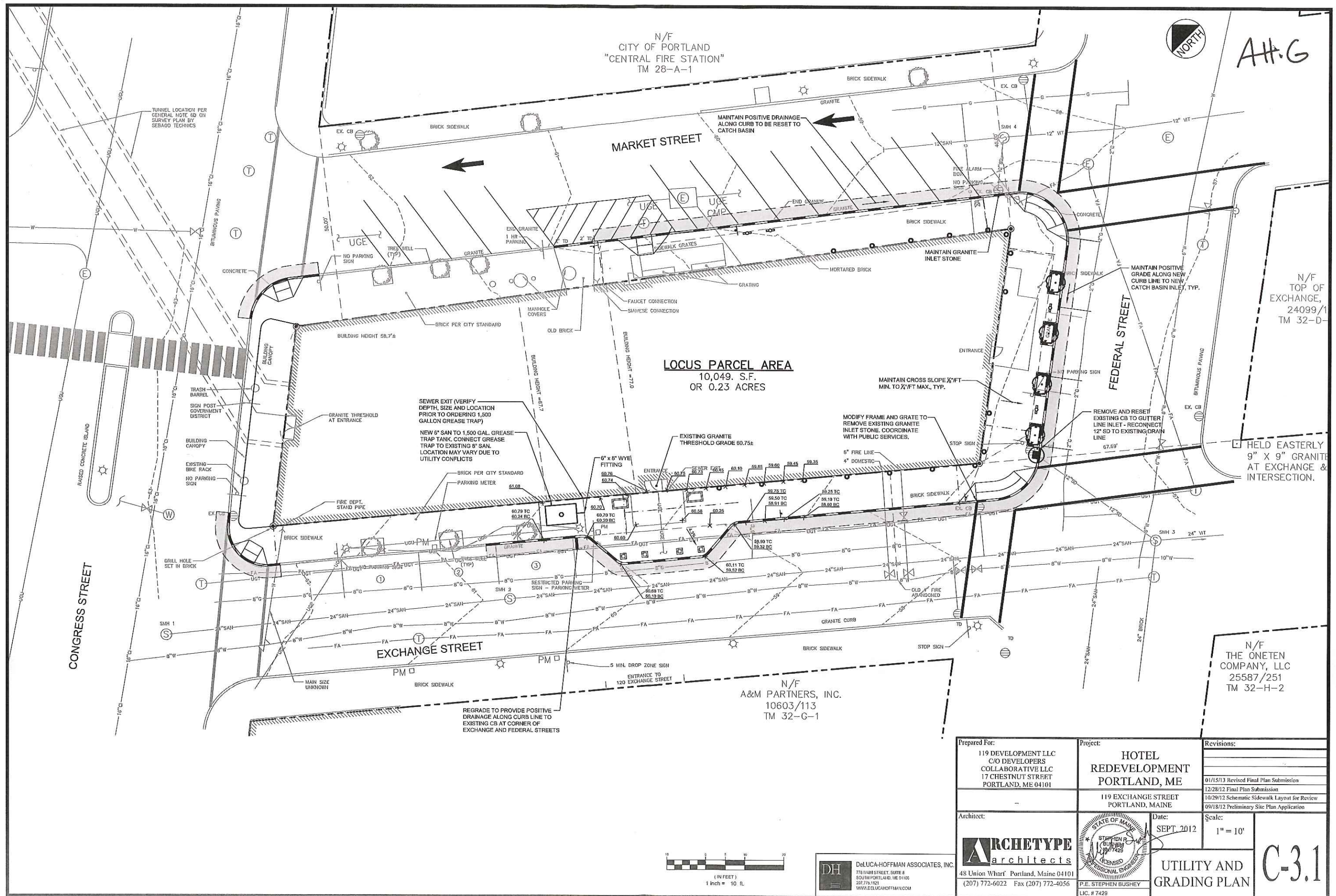
Prepared For:

P.9b

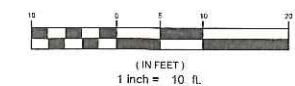








A.H.G



DL DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MARSH STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELUCAHOFFMAN.COM

Prepared For: 119 DEVELOPMENT LLC C/O DEVELOPERS COLLABORATIVE LLC 17 CHESTNUT STREET PORTLAND, ME 04101	Project: <b>HOTEL REDEVELOPMENT PORTLAND, ME</b>  119 EXCHANGE STREET PORTLAND, MAINE	Revisions:  01/15/13 Revised Final Plan Submission 12/28/12 Final Plan Submission 10/29/12 Schematic Sidewalk Layout for Review 09/18/12 Preliminary Site Plan Application
Architect: <b>ARCHETYPE Architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: <b>SEPT. 2012</b>	Scale: 1" = 10'
		<b>C-3.1</b>
<b>UTILITY AND GRADING PLAN</b>		



N/F  
CITY OF PORTLAND  
"CENTRAL FIRE STATION"  
TM 28-A-1



MARKET STREET

**LOCUS PARCEL AREA**  
10,049. S.F.  
OR 0.23 ACRES

FEDERAL STREET

N/F  
TOP OF  
EXCHANGE, LLC  
24099/1  
TM 32-D-2

Held Easterly Corner  
9" X 9" Granite Monum  
at Exchange & Federal  
Intersection.

N/F  
THE ONETEN  
COMPANY, LLC  
25587/251  
TM 32-H-2

N/F  
A&M PARTNERS, INC.  
10603/113  
TM 32-G-1

TUNNEL LOCATION PER  
GENERAL NOTE 6D ON  
SURVEY PLAN BY  
SEBAGO TECHNICS

TEMPORARY FENCE BARRIER  
OR BARRELS TO CLOSE  
MARKET STREET (MAY BE  
REQUIRED ON A DAILY BASIS)

SIGNAGE - SIDEWALK  
CLOSED DURING PERIODS  
WHEN WORK IS UNDERWAY

SIGNAGE - SIDEWALK CLOSED  
REROUTE PEDESTRIANS TO SOUTH  
SIDE OF EXCHANGE STREET

SIDEWALK CLOSED BARRICADES  
PLACED DURING WATERPROOFING  
AND SIDEWALK RECONSTRUCTION  
WORK, TYP

EXCHANGE STREET TO REMAIN OPEN - TEMPORARY  
CLOSING SHALL REQUIRE COORDINATION WITH  
PUBLIC SERVICES, FIRE DEPARTMENT AND TENANTS  
OF 120 EXCHANGE STREET (7 DAY ADVANCED NOTICE)

CONGRESS STREET

CONSTRUCTION WORK  
ZONE AHEAD SIGNAGE

CONSTRUCTION WORK  
ZONE AHEAD SIGNAGE

SIGNAGE  
OLD  
PORT

TEMPORARY FENCE BARRIER  
OR BARRELS TO CLOSE  
MARKET STREET (MAY BE  
REQUIRED ON A DAILY BASIS)

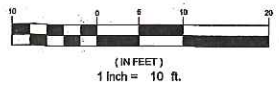
CONSTRUCTION WORK  
ZONE AHEAD SIGNAGE

CONSTRUCTION WORK  
ZONE AHEAD SIGNAGE

CONSTRUCTION WORK  
ZONE AHEAD SIGNAGE

CONSTRUCTION WORK  
ZONE AHEAD SIGNAGE

Prepared For: 119 DEVELOPMENT LLC C/O DEVELOPERS COLLABORATIVE LLC 17 CHESTNUT STREET PORTLAND, ME 04101	Project: <b>HOTEL REDEVELOPMENT PORTLAND, ME</b> 119 EXCHANGE STREET PORTLAND, MAINE	Revisions:
Architect: <b>ARCHETYPE architects</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: SEPT. 2012	Scale: 1" = 10'
		<b>MAINTENANCE OF TRAFFIC PLAN</b>



**DH** DeLUCA-HOFFMAN ASSOCIATES, INC.  
779 MAIN STREET, SUITE 8  
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C-