

NOT TO SCALE  
LOCATION MAP

# PORTLAND PRESS HERALD BUILDING RENOVATION

PORTLAND, ME

PERMIT APPLICATION- 5/3/2011

## CODE ANALYSIS

- Footprint 9841 +/- SF S-1 in Basements & B
- 7 Floors + Basement and Sub-Basement
- Floors 1-7 = 61,470 SF
- Lowest exterior grade to top floor = 69 FT +/- . Building does not meet highrise definition.
- Proposed use: S-1 in Basements, M or B use at 1st floor, B use for floors 2-7
- New work to meet standard of type 1B construction
- Frame, floors, and bearing walls -2 hours, roof and top floor columns -1 hour

### Scope of Work:

1. Demolition
2. New sprinkler and standpipes
3. New selected windows
4. New alarm, egress lighting, and exit signage
5. New plumbing, HVAC, and electrical
6. New fireproofing of beams and columns
7. Elevator (2) renovations
8. New toilet rooms and janitor closets
9. Re-roofing and new roof insulation
11. Floor leveling
13. Exterior wall insulation and finish
14. New core finish
15. Limited new and replacement windows

### General Notes

1. Verify existing conditions prior to pricing or doing any work.
2. Any discrepancies are to be brought to the attention of the owner.

## CONTACTS

### Developer:

GRAND METRO BUILDERS  
OF NEW YORK  
Suite 300  
25 South Service Road,  
Jericho, New York

### Architect:

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Bill Hopkins  
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### Structural Engineer:

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David Tetreault, Eng.  
djt@sdcinc.biz

### Plumbing Design/Build

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Sam Marcisso  
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samm@pinestateservices.com

### Mechanical Design/Build

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(603) 706-0622  
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### Electrical Design/Build

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## DRAWING LIST

### STRUCTURAL DRAWINGS

- S1.01 BASEMENT FRAMING PLAN
- S1.02 FIRST AND SECOND FLOOR FRAMING PLANS
- S1.03 THIRD AND FOURTH FLOOR FRAMING PLANS
- S1.04 FIFTH AND SIXTH FLOOR FRAMING PLANS
- S1.05 SEVENTH FLOOR AND UPPER ROOF FRAMING PLANS
- S1.06 MACHINE ROOM FLOOR AND ROOF FRAMING PLANS

### ARCHITECTURAL DRAWINGS

- D1.01 MACHINE ROOM DEMO PLAN
- A1.01 SUB-BASMENT AND BASEMENT FLOOR PLAN
- A1.02 FIRST AND SECOND FLOOR PLAN AND FIRST FLOOR REFLECTED CEILING PLAN
- A1.03 THIRD AND FOURTH FLOOR PLAN
- A1.04 FIFTH AND SIXTH FLOOR PLAN
- A1.05 SEVENTH AND EIGHTH FLOOR PLAN
- A1.06 MACHINE ROOM FLOOR PLAN
- A1.10 FLOOR DETAILS
- A2.01 EXISTING BUILDING ELEVATIONS
- A2.02 EXISTING BUILDING ELEVATIONS
- A2.03 PROPOSED BUILDING ELEVATIONS
- A2.04 PROPOSED BUILDING ELEVATIONS
- A3.01 BUILDING SECTION
- A3.02 ELEVATOR SECTIONS
- A3.03 ELEVATOR SECTIONS
- A4.01 WALL AND FLOOR TYPES
- A5.01 DETAILS
- A6.01 INTERIOR ELEVATIONS AND RESTROOM PLAN
- A6.02 INTERIOR ELEVATIONS
- A7.01 DOOR AND WINDOW SCHEDULE

### PLUMBING DRAWINGS

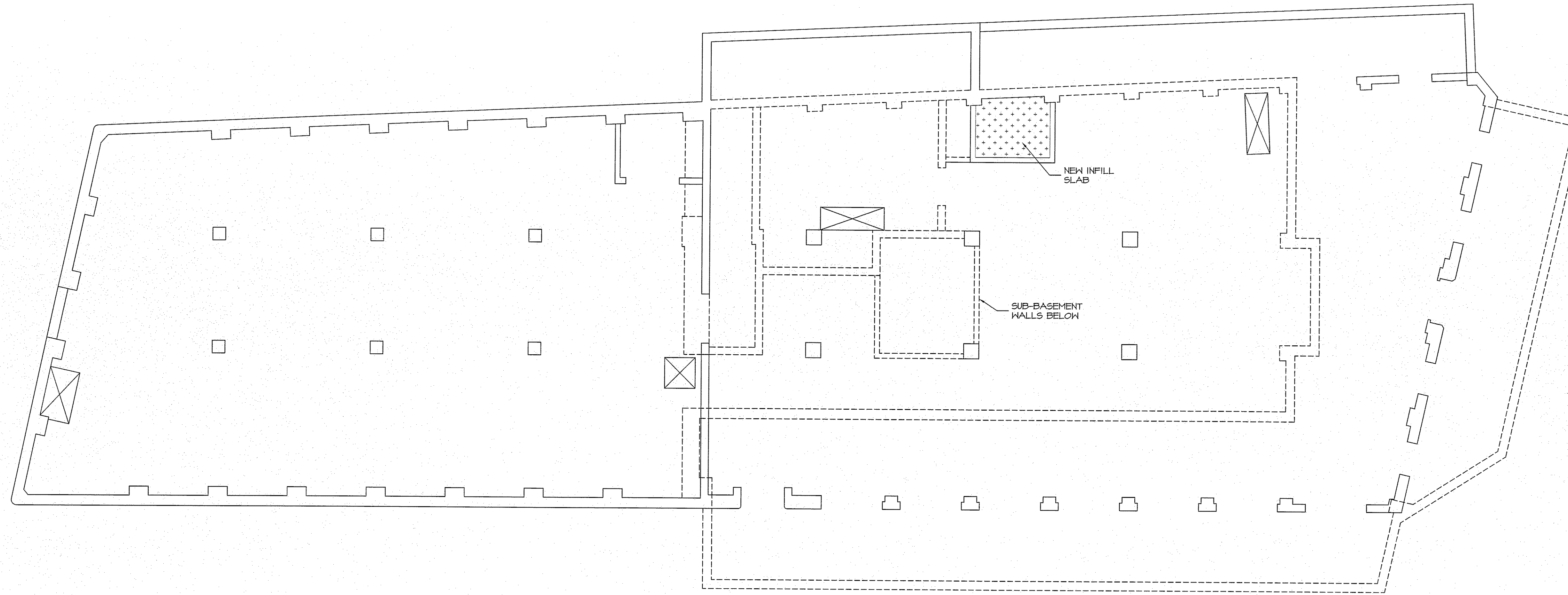
- M1 PARTIAL FIRST FLOOR PLAN
- M2 PARTIAL SECOND THRU SEVENTH FLOOR PLANS
- M3 DWV RISER DIAGRAM
- M4 DWV RISER DIAGRAM
- M5 WATER PIPING RISER DIAGRAM
- M6 TOILET ROOM VENTILATION FLOORS 4-7

### MECHANICAL DRAWINGS

- M1.01 SUB-BASEMENT & BASEMENT PLANS
- M1.02 1ST & 2ND FLOOR PLAN
- M1.03 3RD & 4TH FLOOR PLAN
- M1.04 5TH & 6TH FLOOR PLAN
- M1.05 DETAILS
- M1.06 RISERS
- M1.07 SCHEDULES

### ELECTRICAL DRAWINGS

- E1 FIRST AND SECOND FLOOR PLANS
- E2 THIRD AND FOURTH FLOOR PLANS
- E3 FIFTH AND SIXTH FLOOR PLANS
- E4 SEVENTH FLOOR PLAN



**BASEMENT FLOOR FRAMING PLAN**  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 49.9'

**GENERAL NOTES:**

ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.

IT IS SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

**DESIGN CRITERIA**

BUILDING CODE: 2004 INTERNATIONAL BUILDING CODE

**DESIGN LOADS:**

LIVE LOADS  
LOBBIES AND FIRST FLOOR CORRIDORS 100 PSF  
CORRIDORS ABOVE FIRST FLOOR 80 PSF  
OFFICES AREA 50 PSF

SNOW LOAD  
GROUND SNOW LOAD, P<sub>g</sub> 50 PSF  
SNOW EXPOSURE FACTOR, C<sub>e</sub> 1.0  
SNOW LOAD IMPORTANCE FACTOR, I<sub>s</sub> 1.0  
THERMAL FACTOR, C<sub>t</sub> 1.0  
FLAT ROOF SNOW LOAD, P<sub>f</sub> 35 PSF

WIND DESIGN DATA  
BASIC WIND SPEED (3 SEC GUST), V<sub>3s</sub> 100 MPH  
OCCUPANCY CATEGORY II  
WIND IMPORTANCE FACTOR, I<sub>w</sub> 1.0  
WIND EXPOSURE B

EARTHQUAKE DESIGN DATA N/A

**MATERIAL PROPERTIES:**

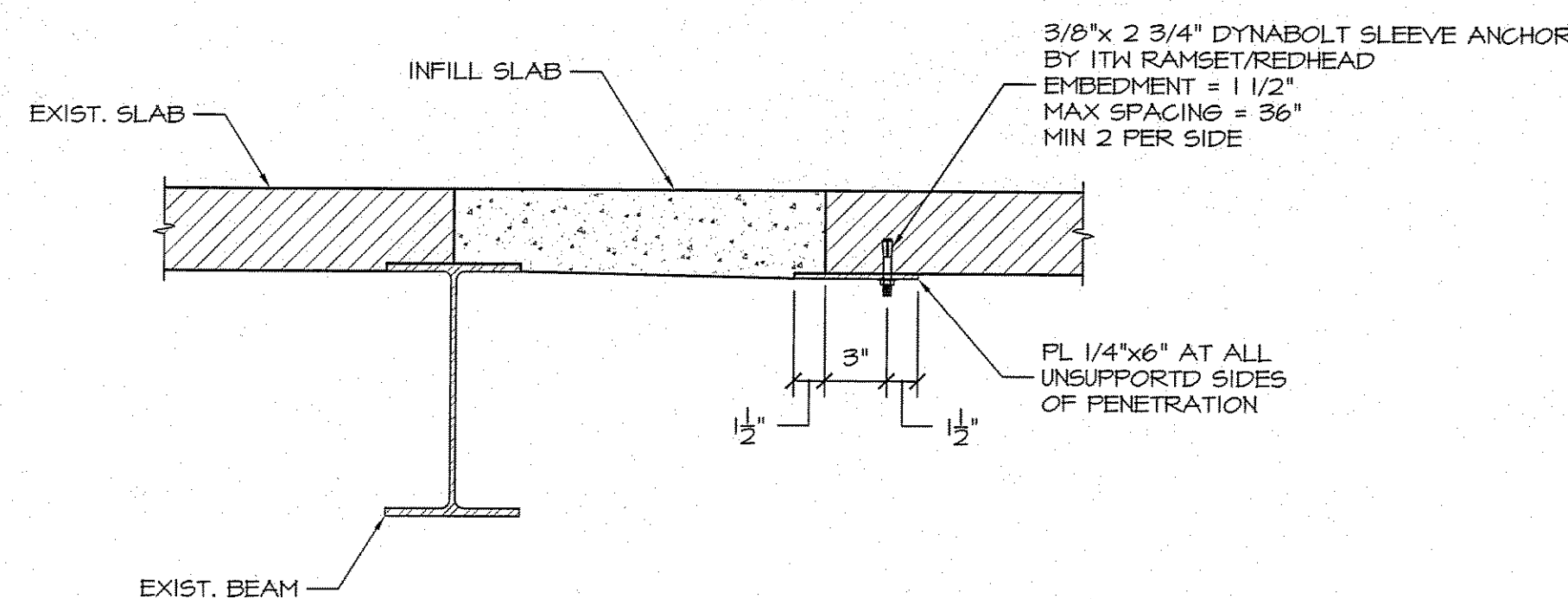
**CONCRETE**

PROPORTION DESIGN MIXES TO PROVIDE CONCRETE WITH THE FOLLOWING PROPERTIES:

NEW ELEVATED SLABS  
STRENGTH 4000 PSI@28 DAYS, 3/4" AGGREGATE  
MAX W/C RATIO 0.40  
ENTRAINED AIR 4% ±1%  
SLUMP 3" ±1"

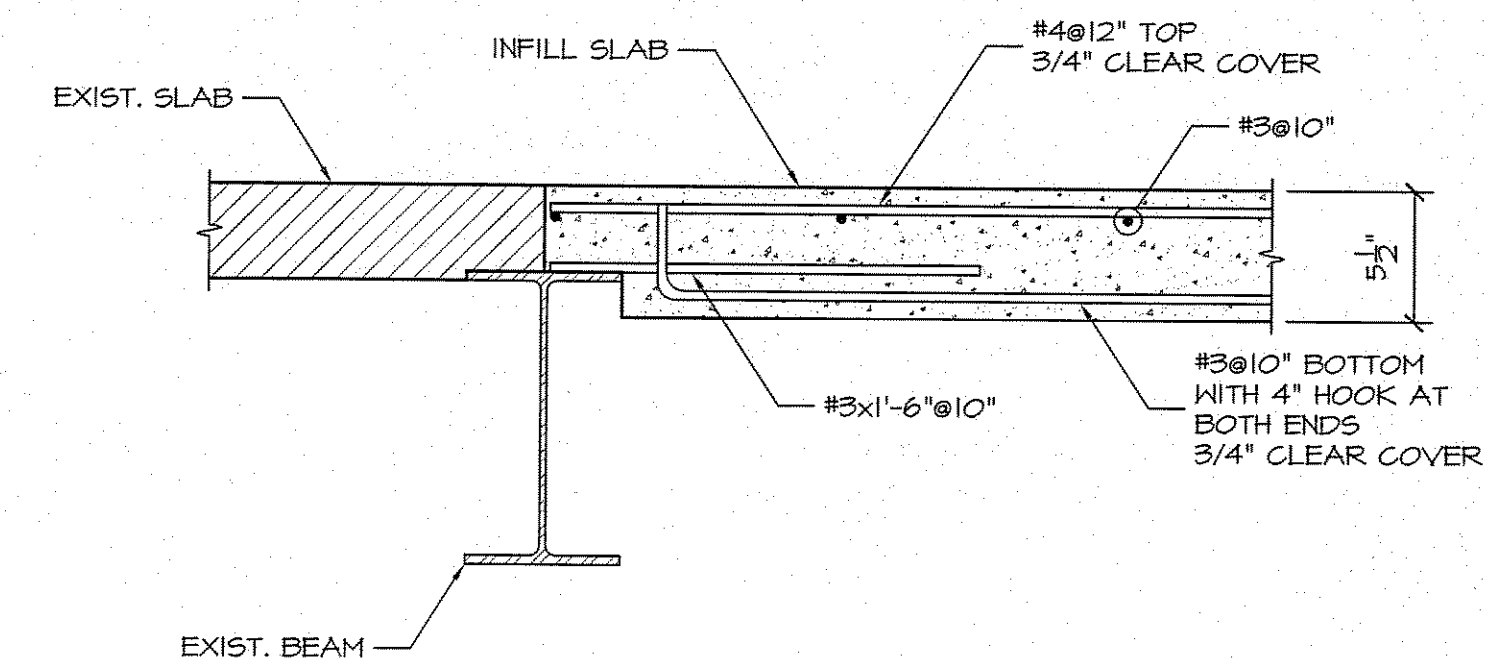
SLAB TOPPING  
STRENGTH 3000 PSI@28 DAYS, 3/8" AGGREGATE  
MAX W/C RATIO 0.50  
ENTRAINED AIR NONE  
SLUMP 5" ±1" (WITH MID-RANGE WATER-REDUCING ADMIXTURE)  
FIBER ASTM C-1116, TYPE III

STRUCTURAL STEEL ASTM A-992



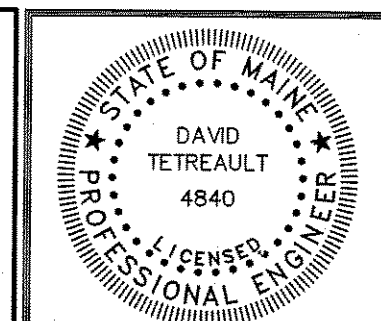
**TYPICAL SLAB PATCH DETAIL**  
1/2"=1'-0"

FORM BOTTOM OF SLAB WITH PLYWOOD.  
LEAVE FORM IN PLACE FOR MIN 7 DAYS.



**TYPICAL INFILL SLAB DETAIL**  
1/2"=1'-0"

FORM BOTTOM OF SLAB WITH PLYWOOD OR STEEL FORMS.  
SHORE FORMWORK FOR TWO FLOORS BELOW NEW SLAB.  
LEAVE FORMS AND SHORING IN PLACE FOR MIN 7 DAYS.



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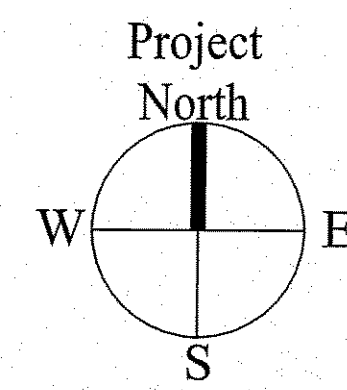
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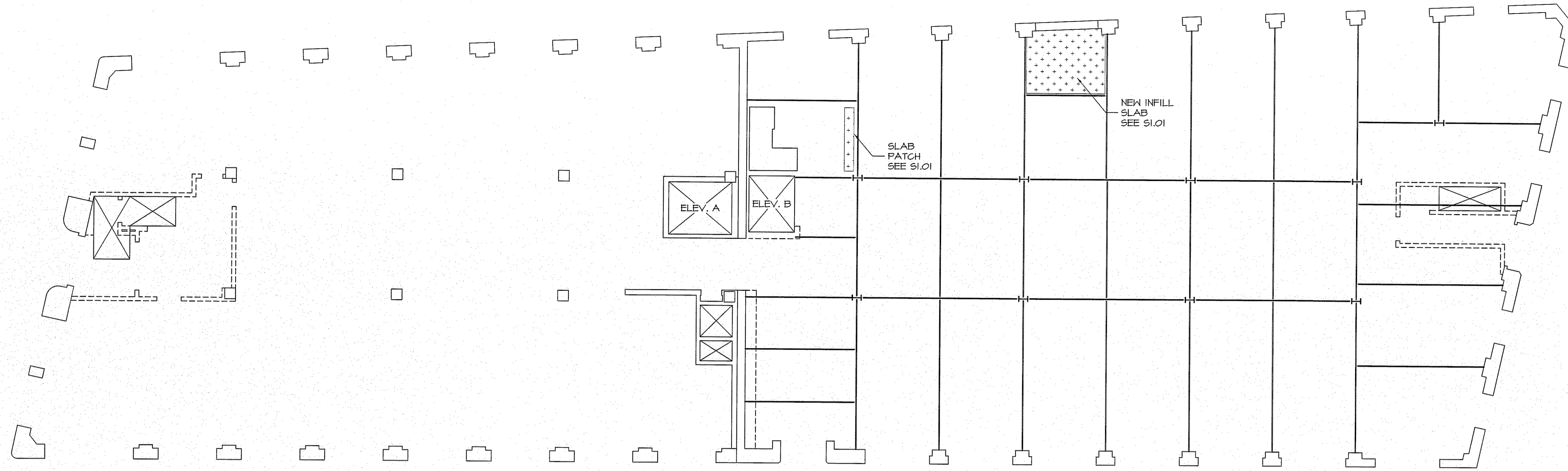
Revisions:  
Issued for Permit 04/27/11

Date: 01 April 2011  
Scale: 1/8"=1'-0"  
**BASEMENT FLOOR FRAMING PLAN**



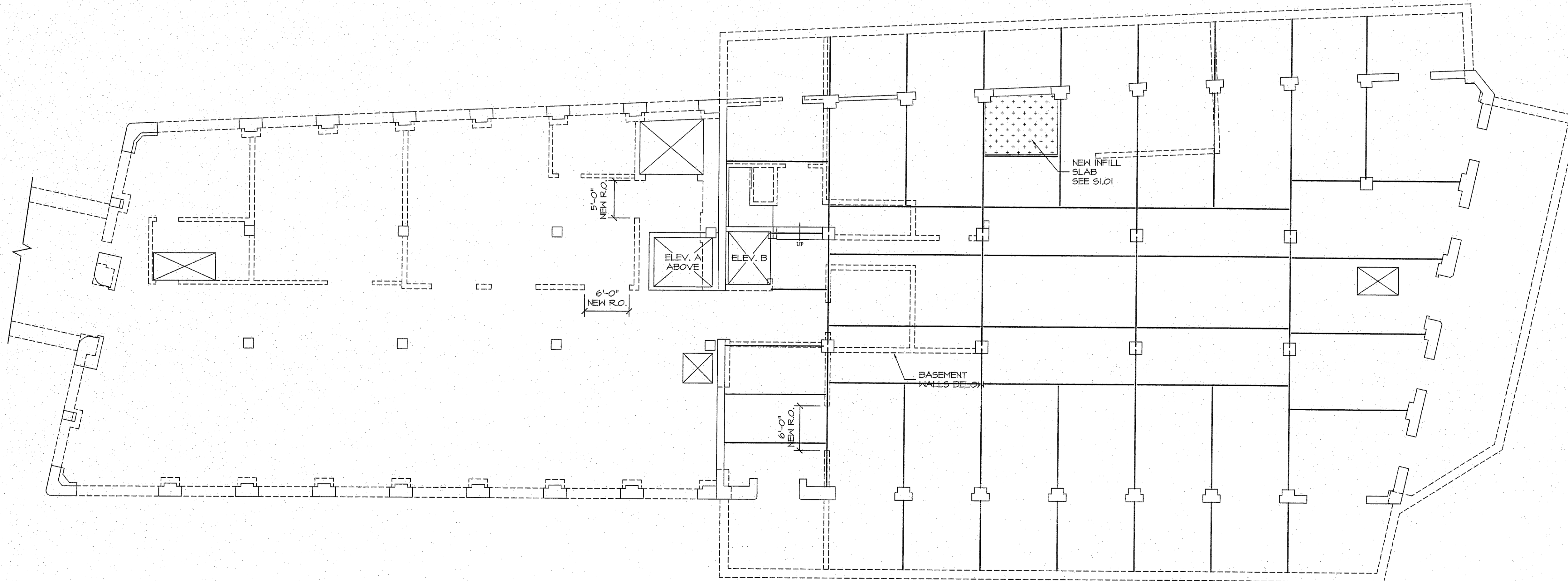
**S1.01**





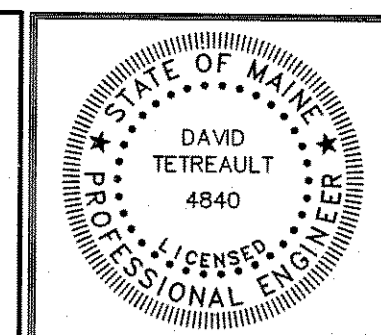
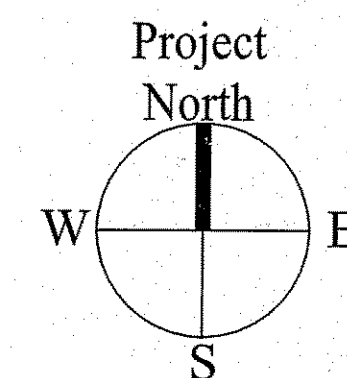
**SECOND FLOOR FRAMING PLAN**  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 75.4'  
 THE EXISTING SLAB IS TO BE LEVELED WITH CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELED. SCARIFY EXISTING SLAB AND BLOW CLEAN WITH COMPRESSED AIR. COAT WITH BONDING AGENT (ASTM C-981). PLACE TOPPING SLAB AND STEEL TROWEL FINISH. WET CURE FOR MIN 7 DAYS.



**FIRST FLOOR FRAMING PLAN**  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 63.4'  
 THE EXISTING SLAB IS TO BE LEVELED WITH CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELED. SCARIFY EXISTING SLAB AND BLOW CLEAN WITH COMPRESSED AIR. COAT WITH BONDING AGENT (ASTM C-981). PLACE TOPPING SLAB AND STEEL TROWEL FINISH. WET CURE FOR MIN 7 DAYS.



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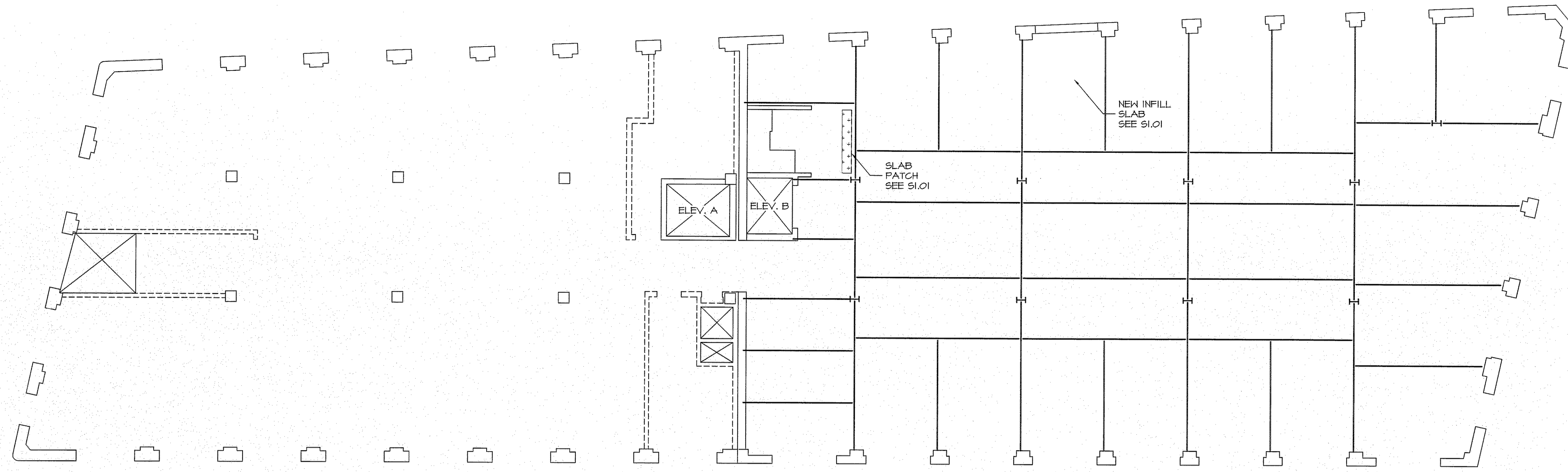
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Revisions:  
 Issued for Permit 04/27/11

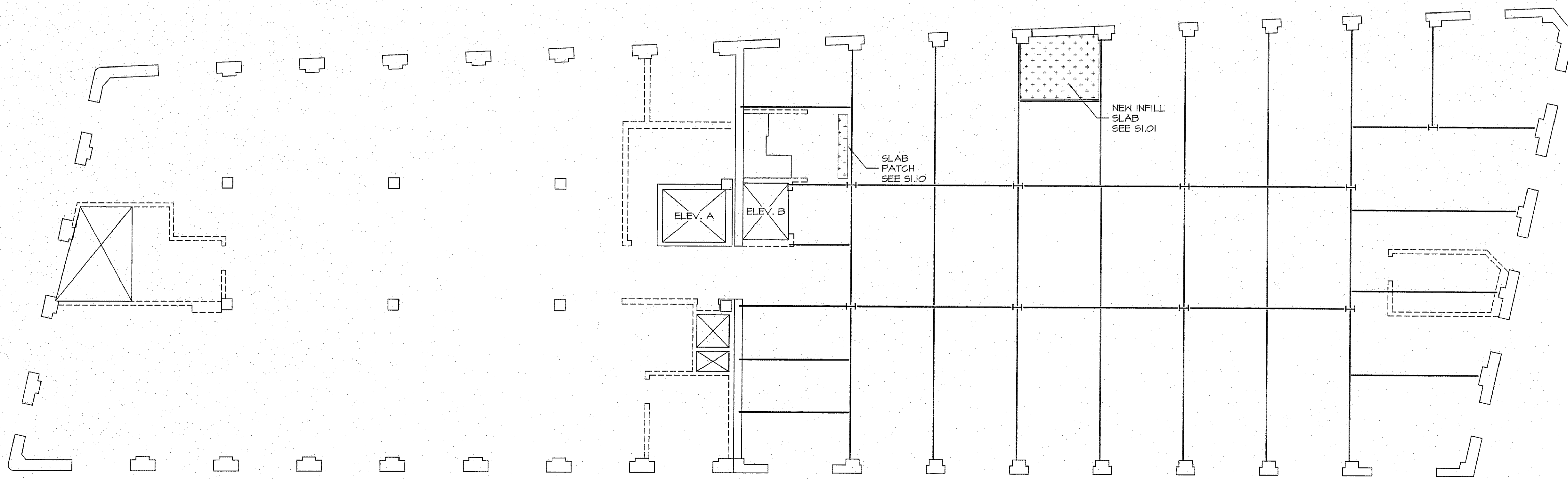
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**1ST AND 2ND FLOOR FRAMING PLANS**

**S1.02**



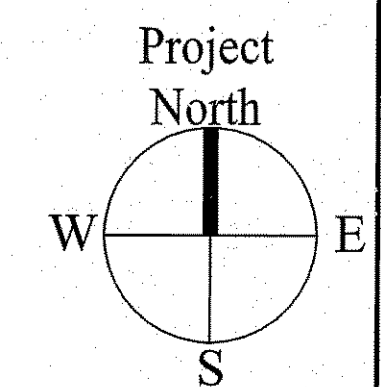
**FOURTH FLOOR FRAMING PLAN**  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 97.4'  
 THE EXISTING SLAB IS TO BE LEVELED WITH CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELED.  
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 WET CURE FOR MIN 7 DAYS.



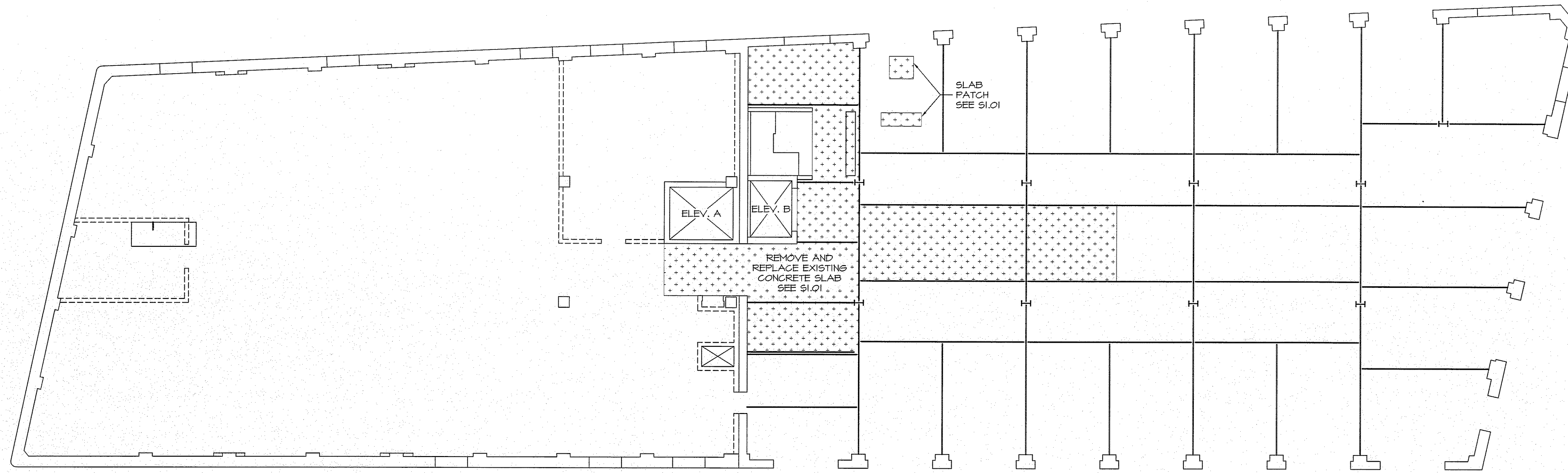
**THIRD FLOOR FRAMING PLAN**  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 86.4'  
 THE EXISTING SLAB IS TO BE LEVELED WITH CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELED.  
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 COAT WITH BONDING AGENT (ASTM C-881).  
 PLACE TOPPING SLAB AND STEEL TROWEL FINISH.  
 WET CURE FOR MIN 7 DAYS.



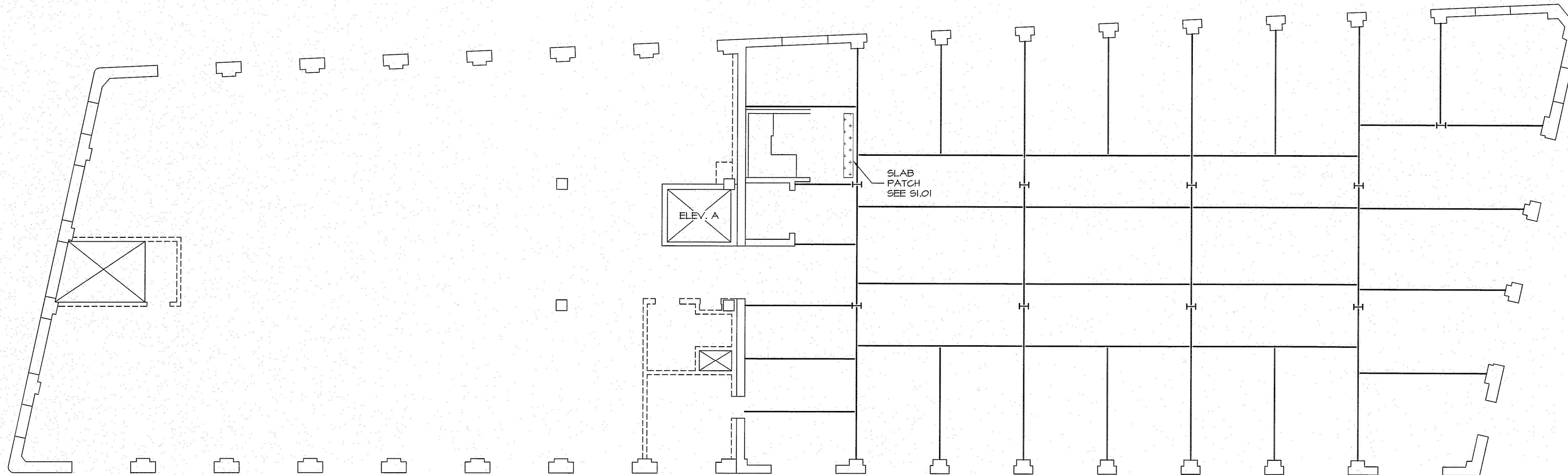
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Revisions:	Issued for Permit: 04/27/11
Date:	01 April 2011
Scale:	1/8"=1'-0"
<b>3RD AND 4TH FLOOR FRAMING PLANS</b>	
<b>S1.03</b>	





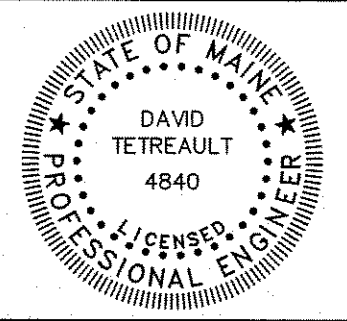
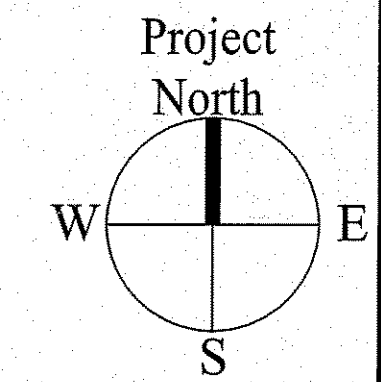
SIXTH FLOOR FRAMING PLAN  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 117.4'  
 THE EXISTING SLAB IS TO BE LEVELED WITH CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELED.  
 SCARIFY EXISTING SLAB AND BLOW CLEAN WITH COMPRESSED AIR.  
 COAT WITH BONDING AGENT (ASTM C-881).  
 PLACE TOPPING SLAB AND STEEL TROWEL FINISH.  
 WET CURE FOR MIN 7 DAYS.



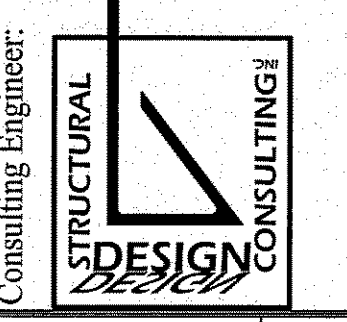
FIFTH FLOOR FRAMING PLAN  
1/8"=1'-0"

TOP OF EXIST. SLAB EL. = 107.4'  
 THE EXISTING SLAB IS TO BE LEVELED WITH CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELED.  
 SCARIFY EXISTING SLAB AND BLOW CLEAN WITH COMPRESSED AIR.  
 COAT WITH BONDING AGENT (ASTM C-881).  
 PLACE TOPPING SLAB AND STEEL TROWEL FINISH.  
 WET CURE FOR MIN 7 DAYS.



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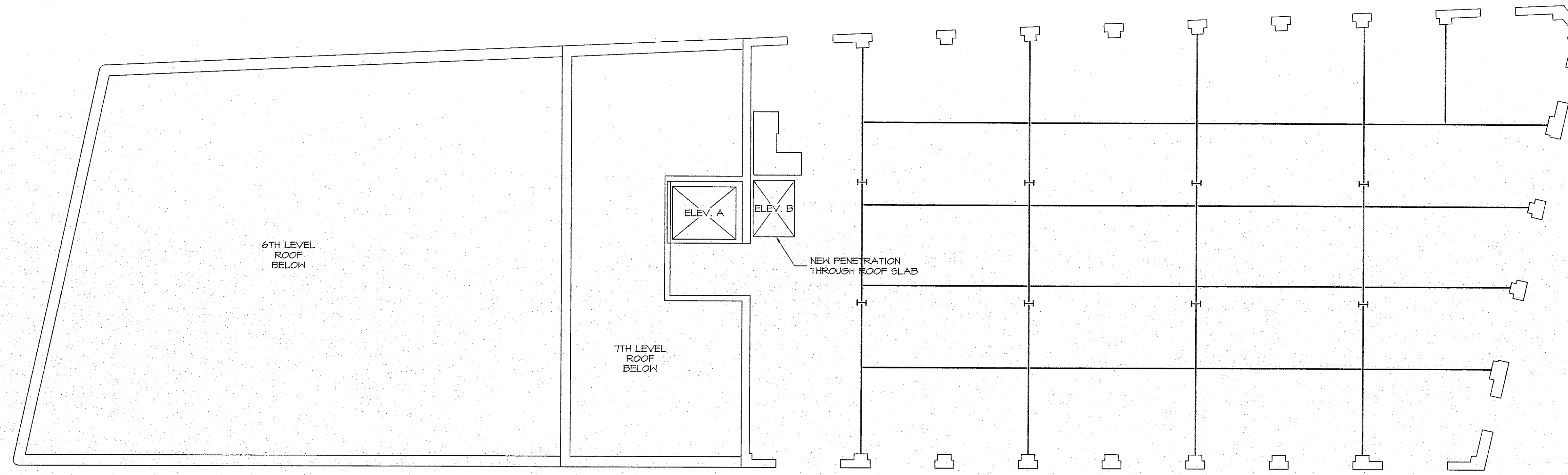
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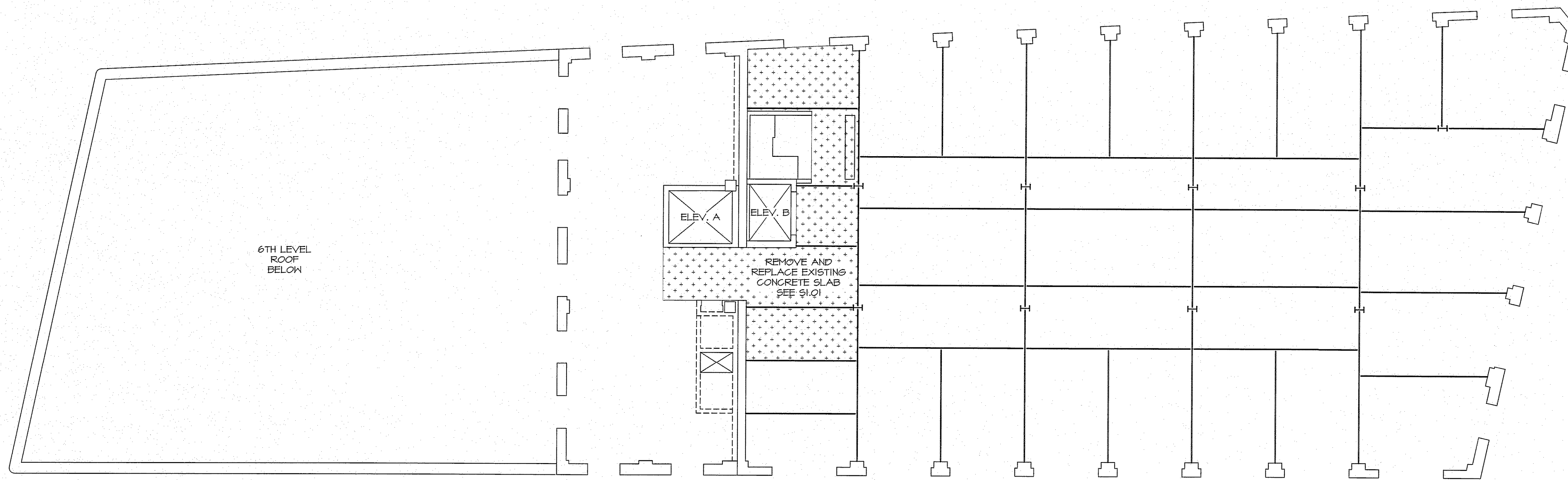
Revisions:  
 Issued for Permit 04/27/11

Date: 01 April 2011  
 Scale: 1/8"=1'-0"  
**5TH AND 6TH FLOOR FRAMING PLANS**

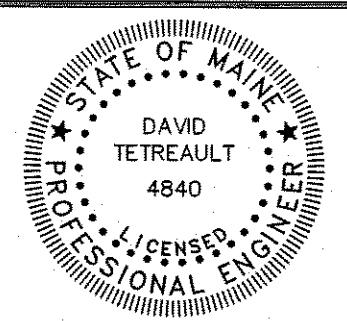
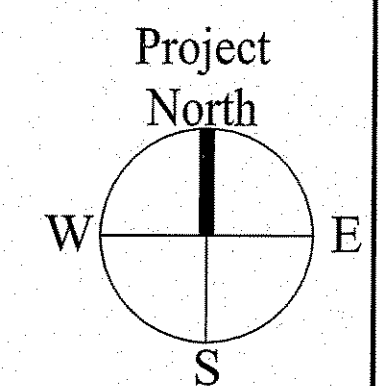
**S1.04**



**8TH LEVEL ROOF FRAMING PLAN**  
 1/8"=1'-0"  
 TOP OF EXIST. SLAB EL. = 140.4'



**SEVENTH FLOOR FRAMING PLAN**  
 1/8"=1'-0"  
 TOP OF EXIST. SLAB EL. = 127.4'  
 THE EXISTING SLAB IS TO BE LEVELLED WITH A CONCRETE TOPPING (SEE S1.01). TOPPING TO BE 1" THICK AT HIGH POINTS OF EXISTING SLAB AND UP TO APPROXIMATELY 2" THICK AT LOW POINTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS ADJACENT TO STAIRS THAT WILL NOT BE LEVELLED.  
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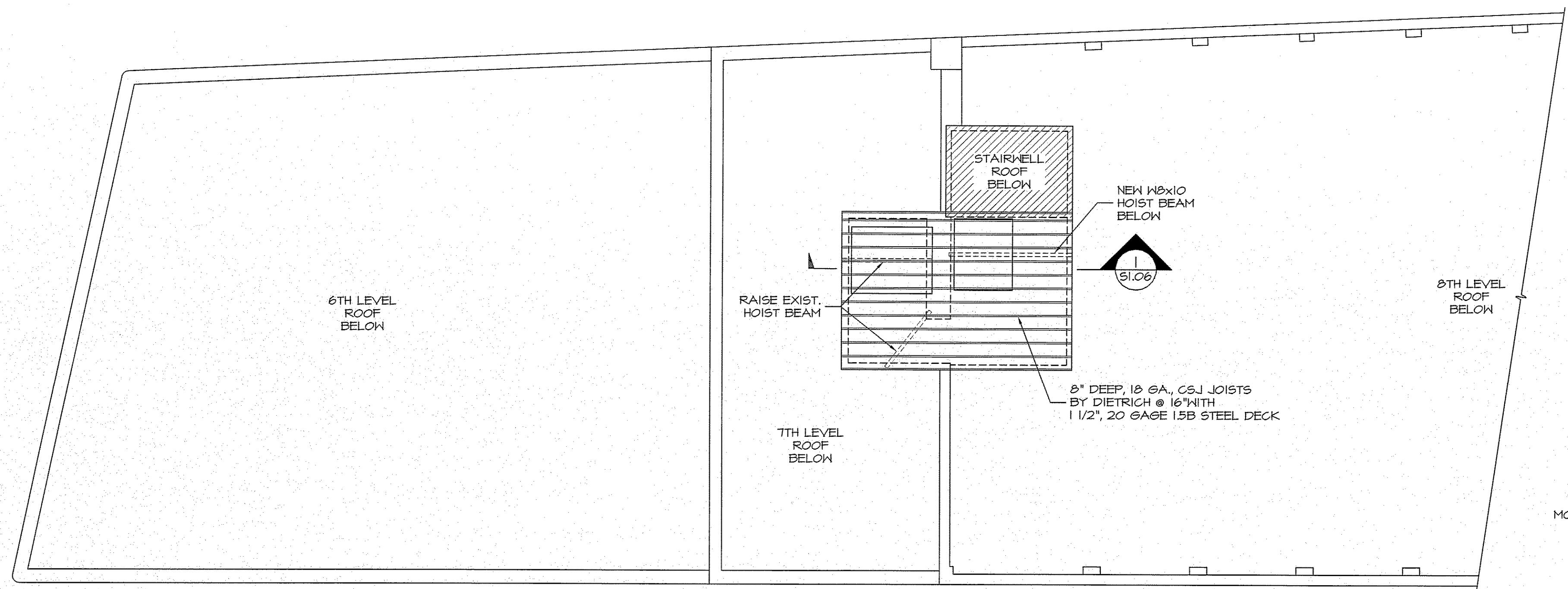
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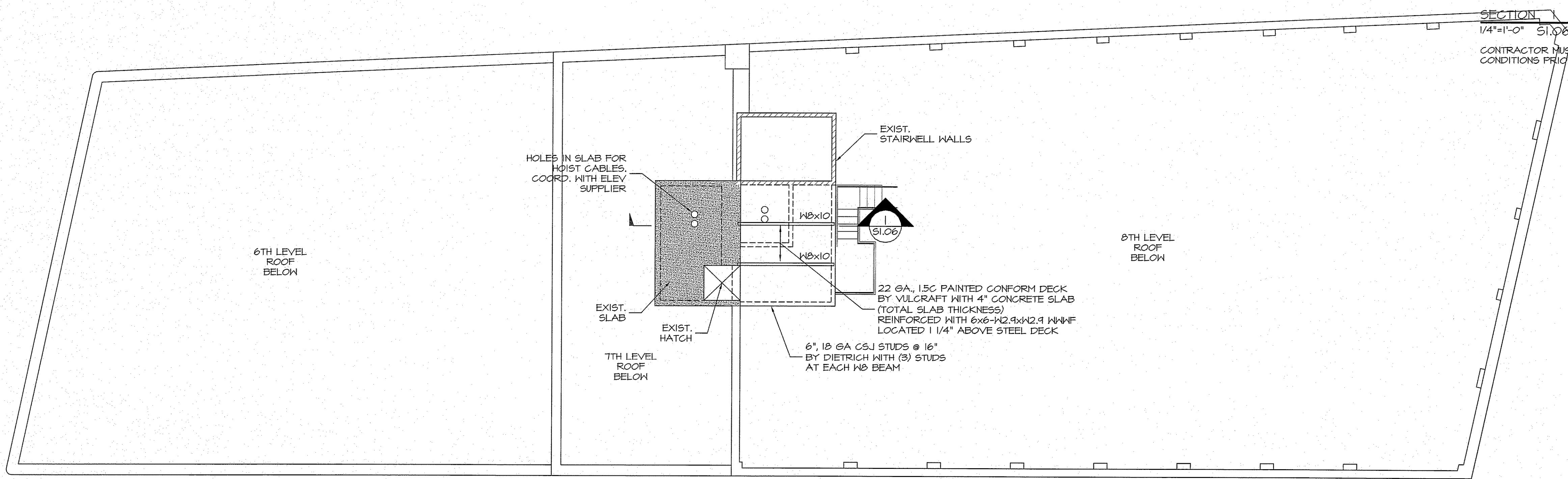
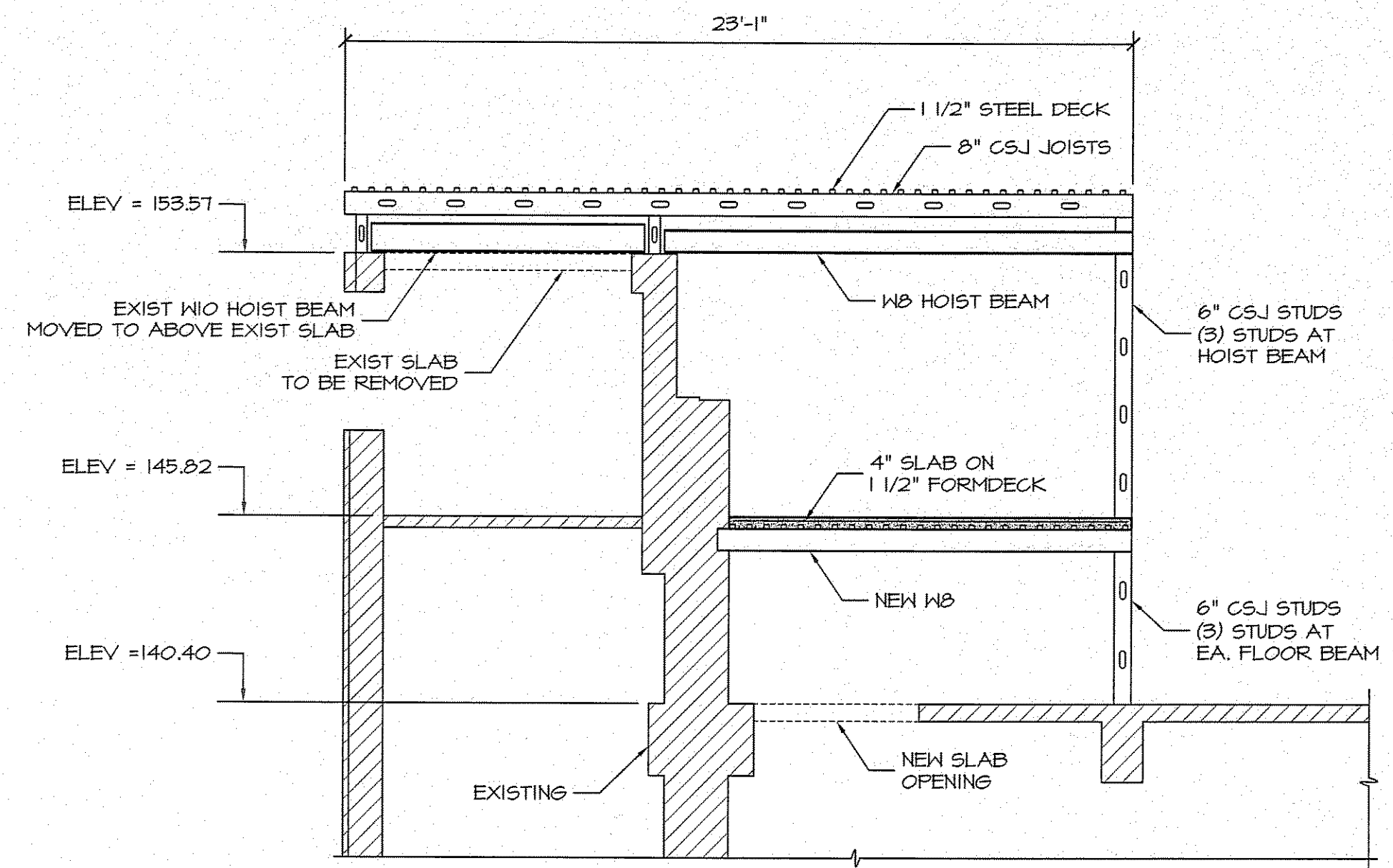
Date: 01 April 2011  
 Scale: 1/8"=1'-0"  
**7TH FLOOR AND UPPER ROOF FRAMING PLANS**

**S1.05**



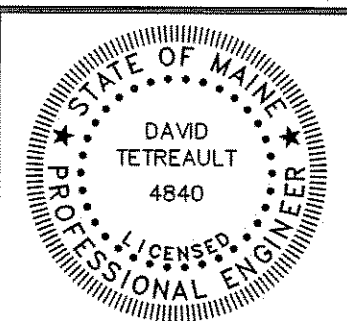
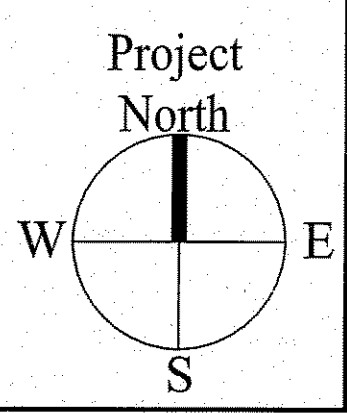


MACHINE ROOM ROOF FRAMING PLAN  
 1/8"=1'-0"  
 LOW POINT BOTTOM OF STEEL DECK EL. = 154.65



MACHINE ROOM FLOOR FRAMING PLAN  
 1/8"=1'-0"  
 TOP OF EXIST. AND NEW SLAB EL. = 145.82

SECTION  
 1/4"=1'-0" S1.06  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO FABRICATION.



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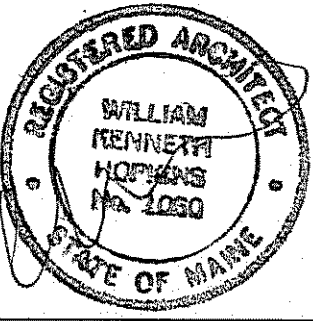
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Revisions:  
 Issued for Permit 04/27/11

Date: 05 April 2011  
 Scale: As Noted  
**MACHINE ROOM FLOOR AND ROOF FRAMING PLANS**

**S1.06**



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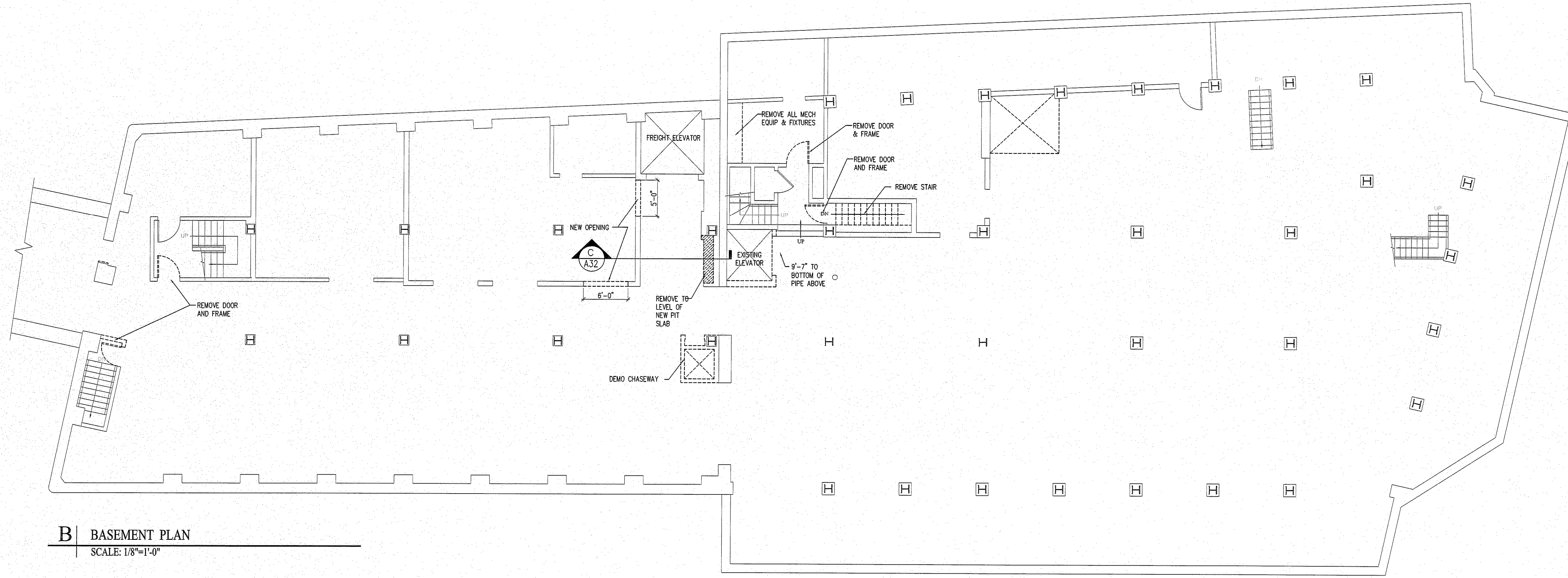
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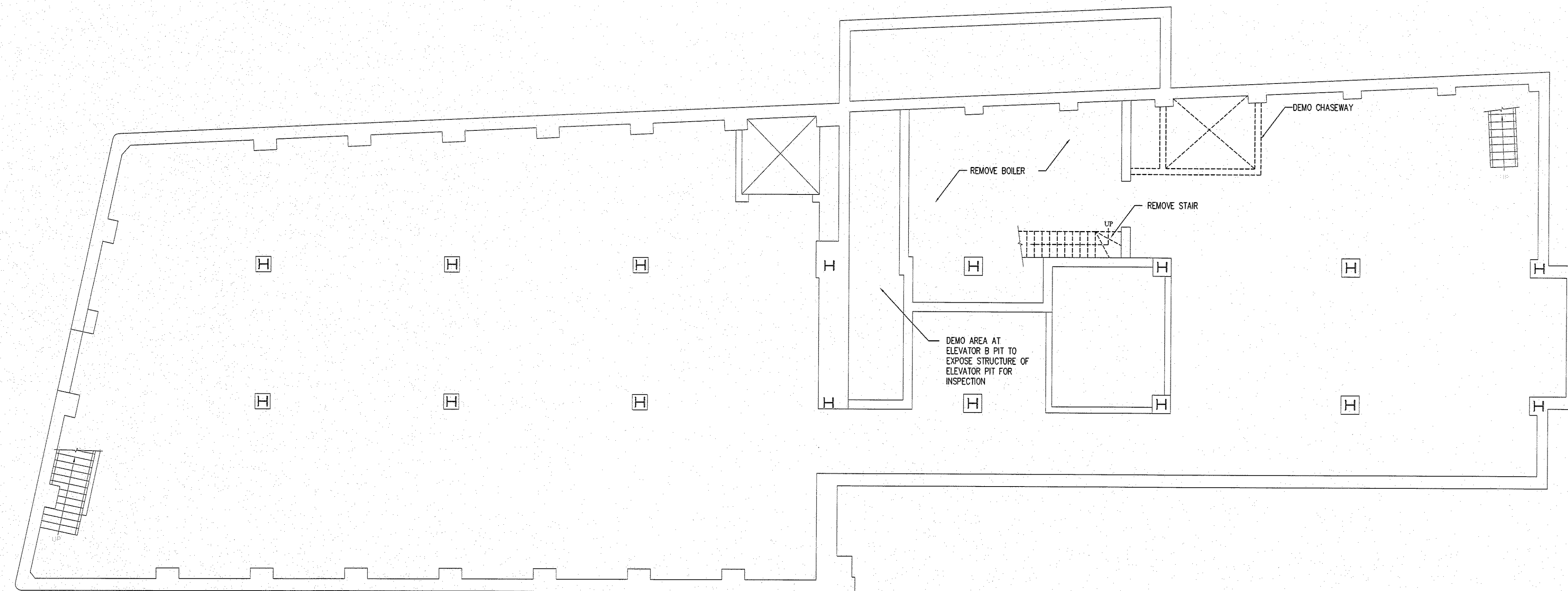
Revisions:  
Issued for Partial Permit - 2-14-2011  
**4-3-11 PERMIT APP**

Date: 14 February 2011  
Scale: 1/8" = 1'-0"  
**DEMOLITION  
PLANS**

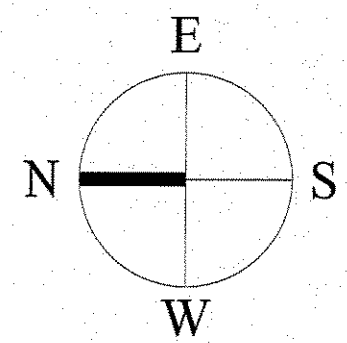
**D1.01**



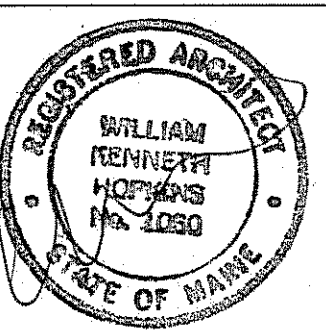
**B** BASEMENT PLAN  
SCALE: 1/8"=1'-0"



**SB** SUB-BASEMENT PLAN  
SCALE: 1/8"=1'-0"







Prepared For:  
**GRAND METRO BUILDERS  
OF NEW YORK**  
25 South Service Road, Suite 300  
Jericho, New York

Consulting Engineer:

Architect:  
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Project:  
**390 CONGRESS ST.**  
390 CONGRESS ST.  
PORTLAND, MAINE

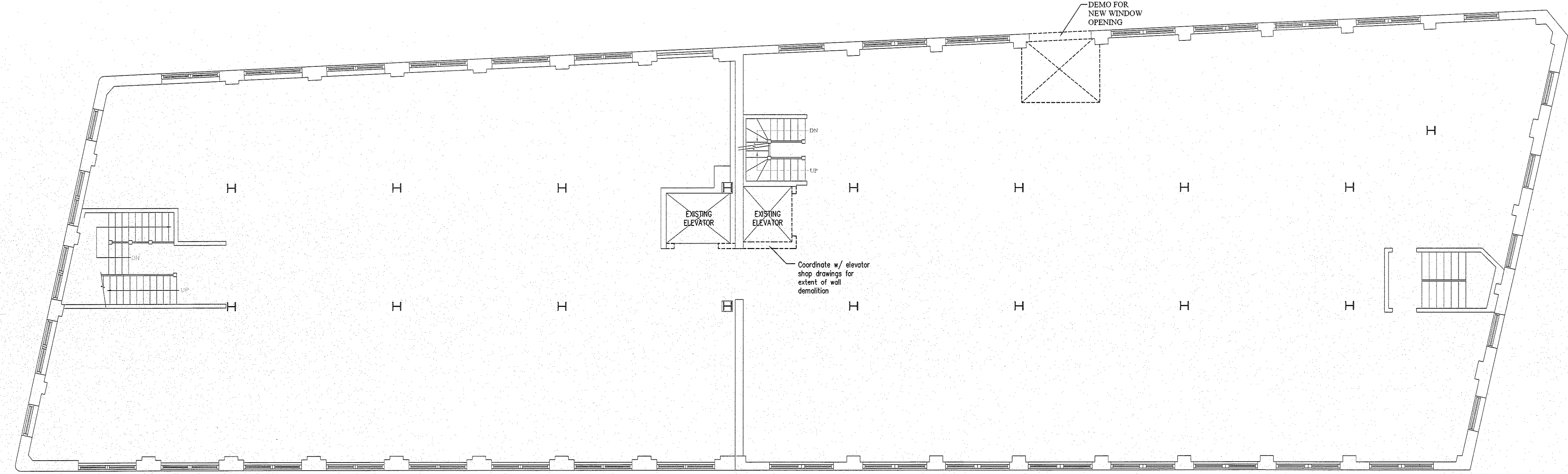
Revisions:  
Issued for Partial Permit - 2-14-2011  
**5-3-11 PERMIT APP**

Date:  
14 February 2011

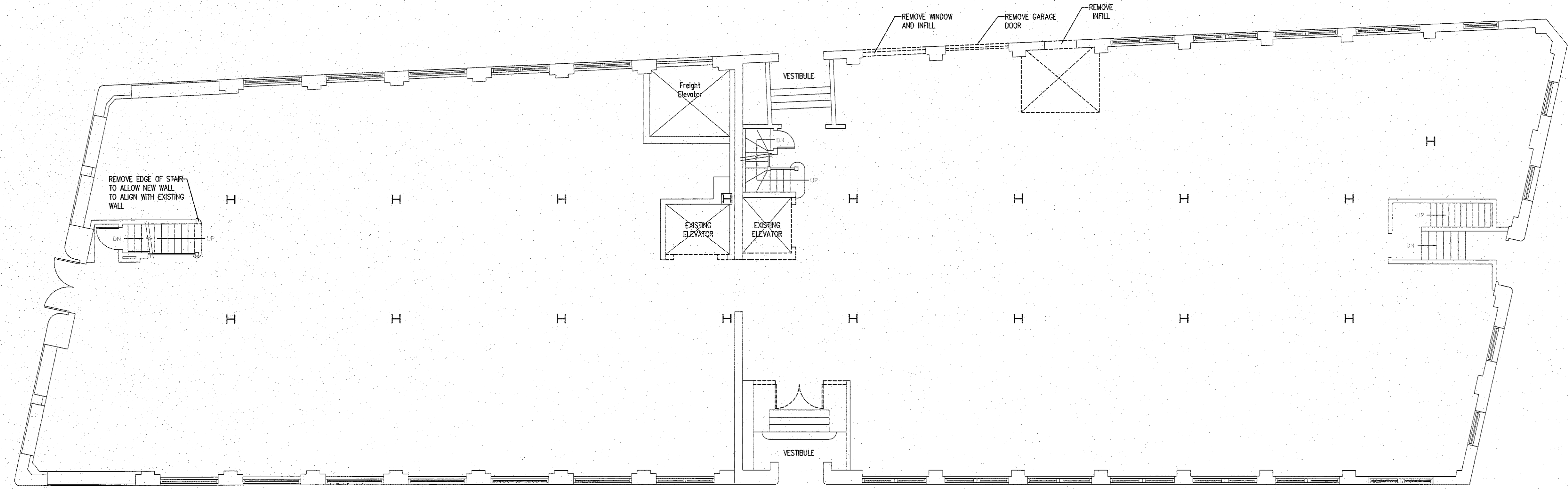
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**DEMOLITION  
PLANS**

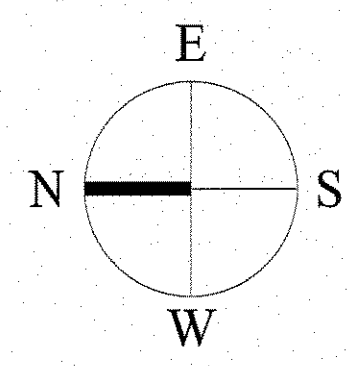
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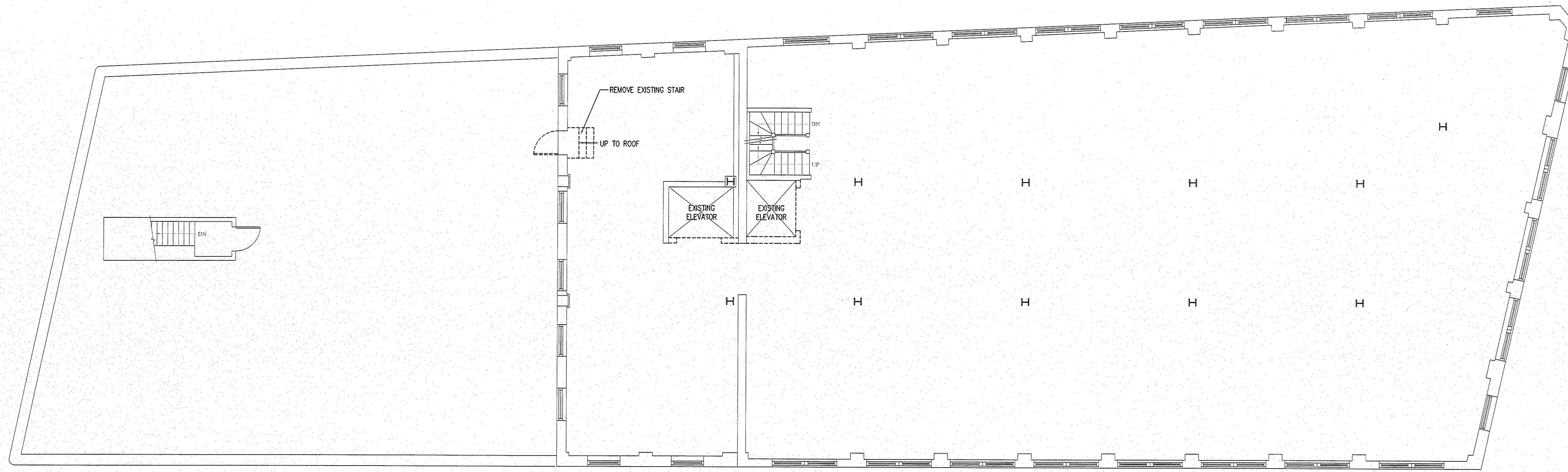
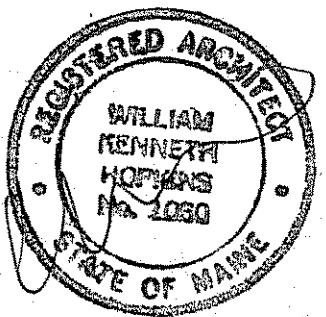


**2** SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"



**1** FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"





6 SIXTH FLOOR PLAN  
SCALE: 1/8"=1'-0"

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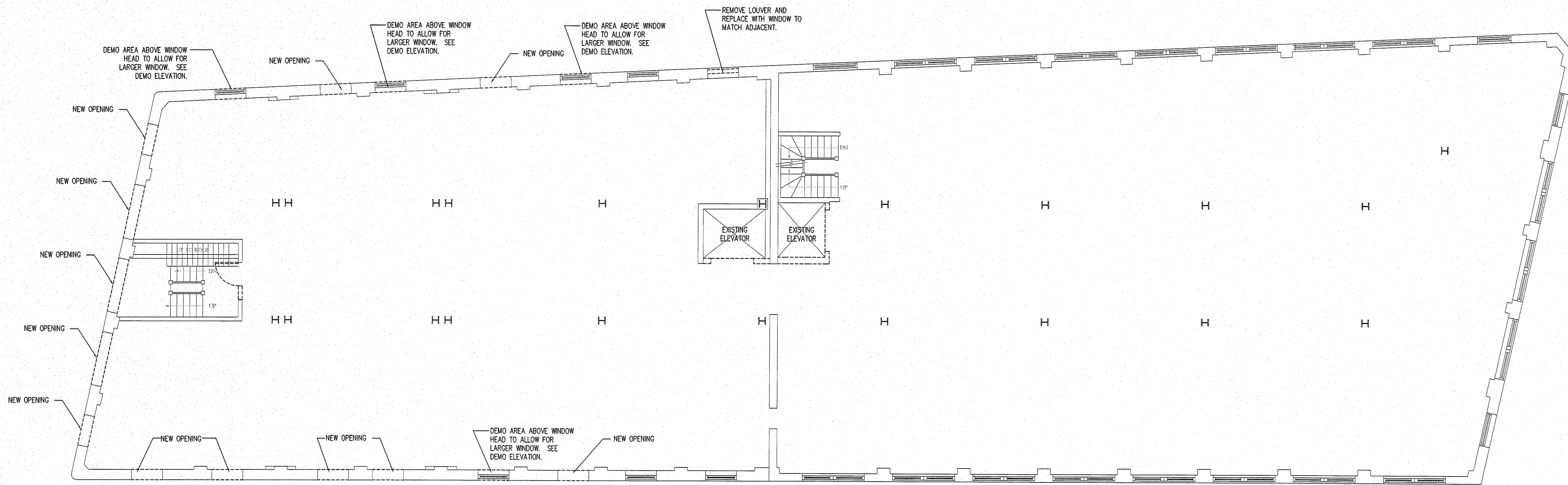
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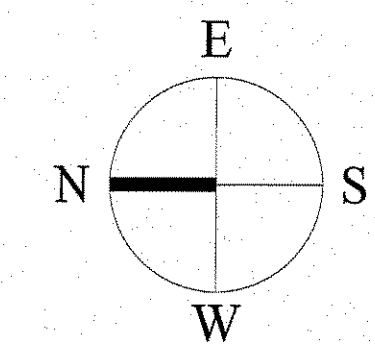
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**DEMOLITION  
PLANS**

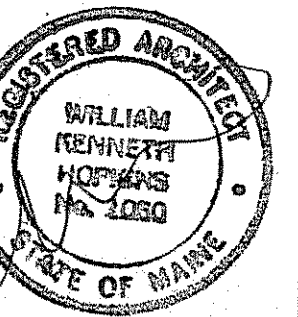
**D1.04**



5 FIFTH FLOOR PLAN  
SCALE: 1/8"=1'-0"







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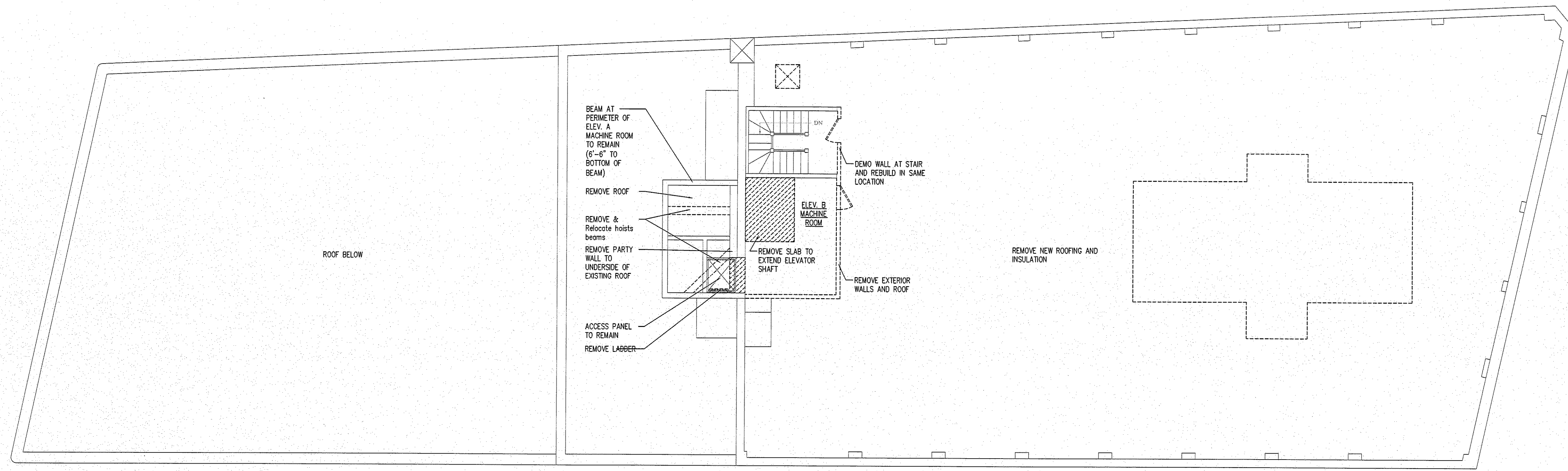
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Date: 14 February 2011

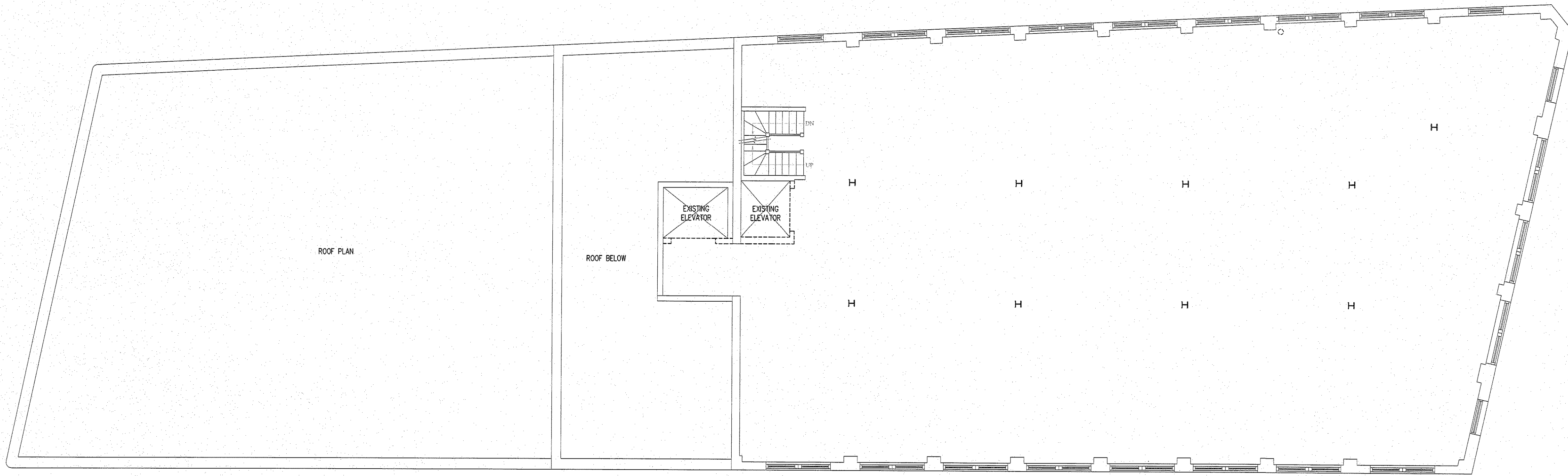
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**DEMOLITION  
PLANS**

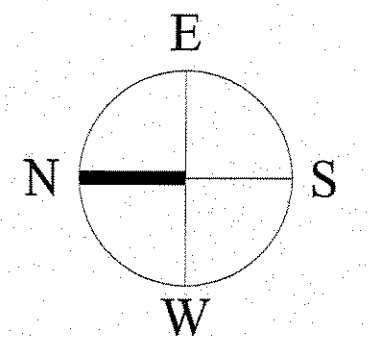
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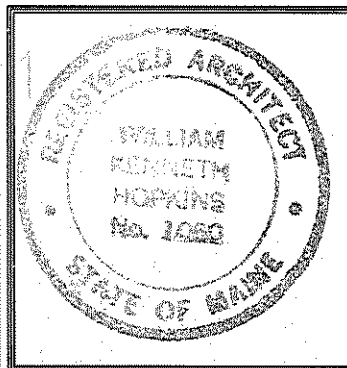


8 | MACHINE ROOM B/ROOF PLAN  
SCALE: 1/8"=1'-0"



7 | SEVENTH FLOOR PLAN  
SCALE: 1/8"=1'-0"





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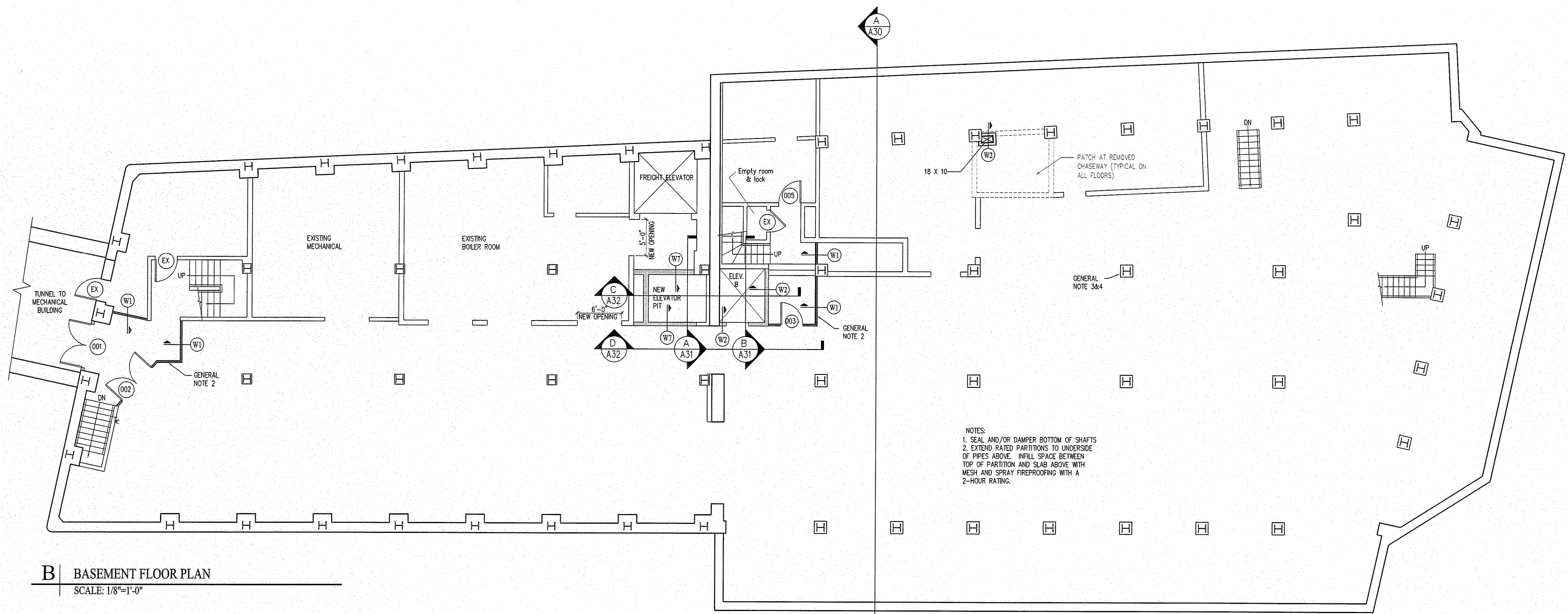
Architect:

Project:  
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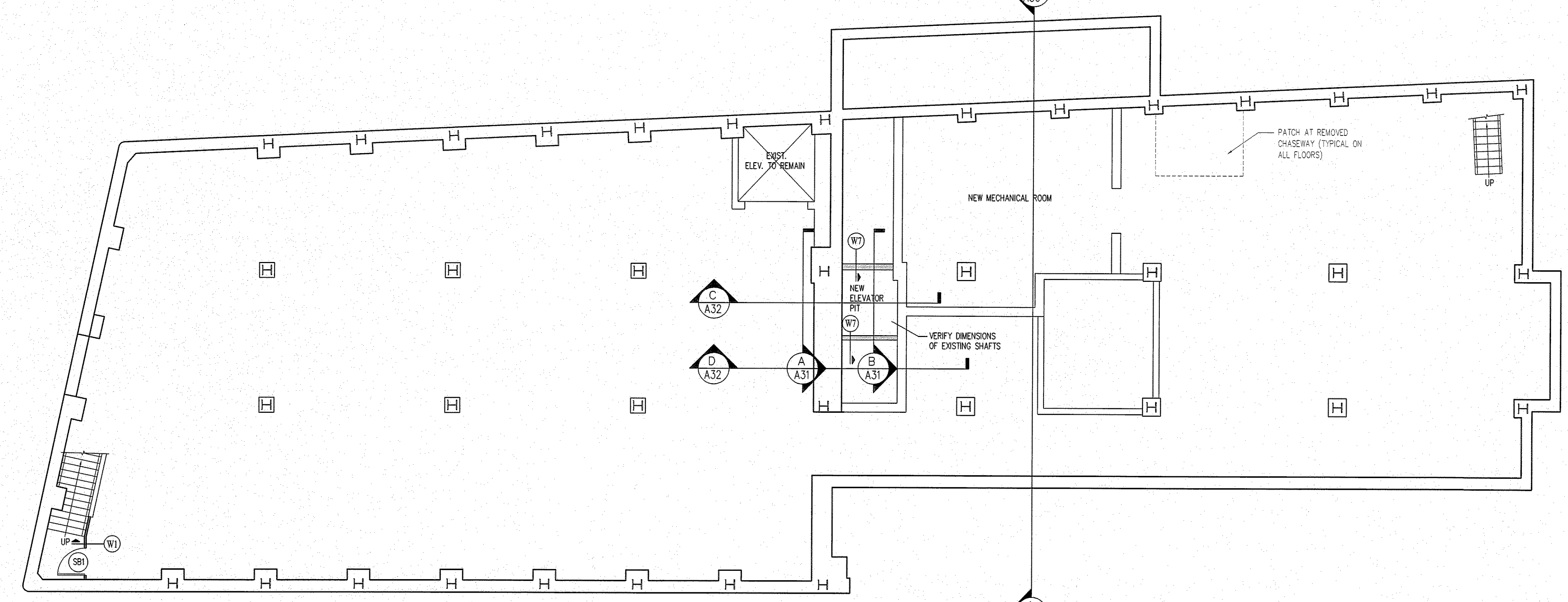
Revisions:  
SEM PERMIT - 2/22/2011  
5-3-11 PERMIT APP

Date: 22 February 2011  
Scale: 1/8" = 1'-0"  
**SUB-BASEMENT AND  
BASEMENT FLOOR PLAN**

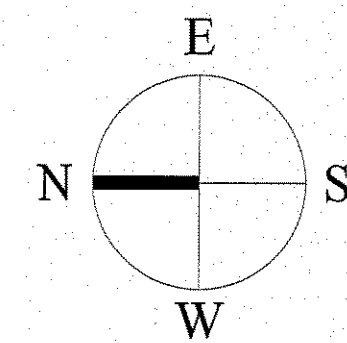
**A1.01**



**B** BASEMENT FLOOR PLAN  
SCALE: 1/8"=1'-0"



**SB** SUB-BASEMENT FLOOR PLAN  
SCALE: 1/8"=1'-0"







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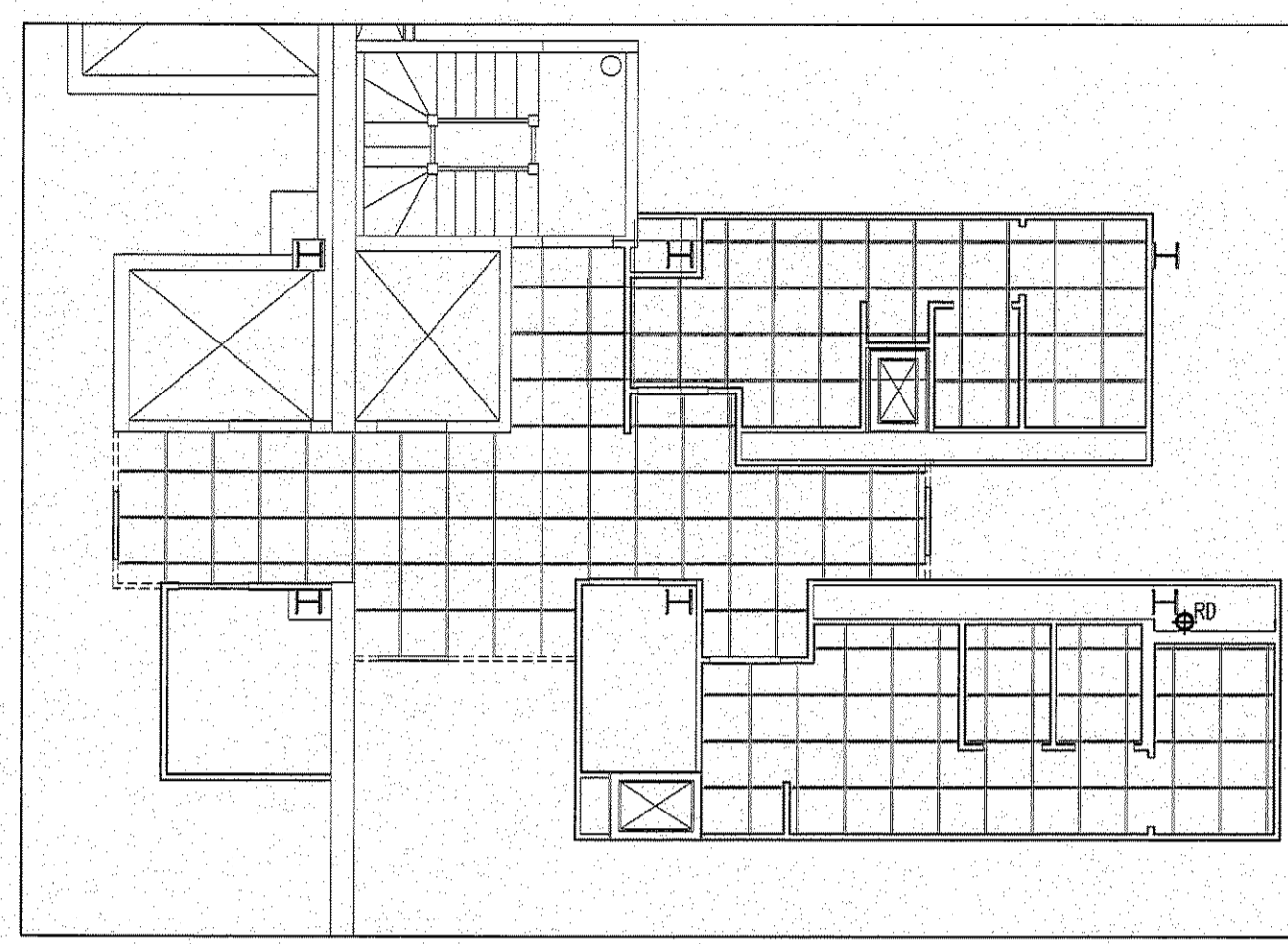
Consulting Engineer:  
**ARCHETYPE architects**  
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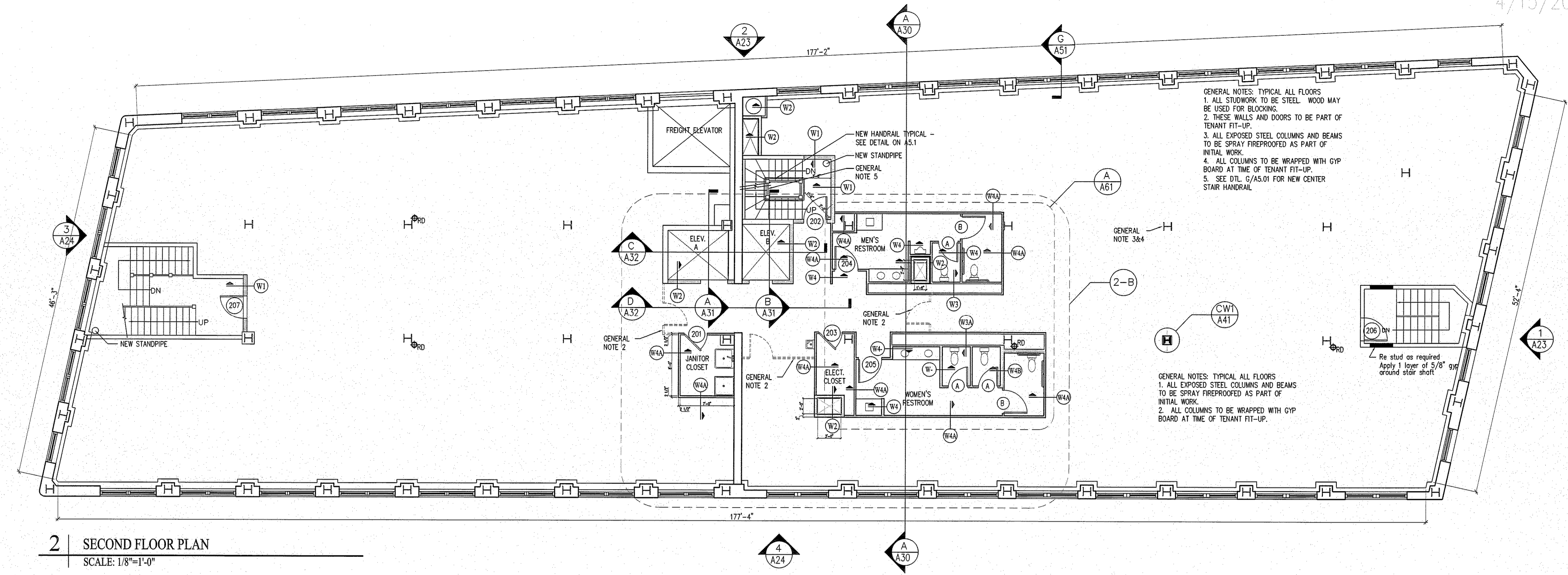
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22 February 2011  
Scale:  
1/8" = 1'-0"

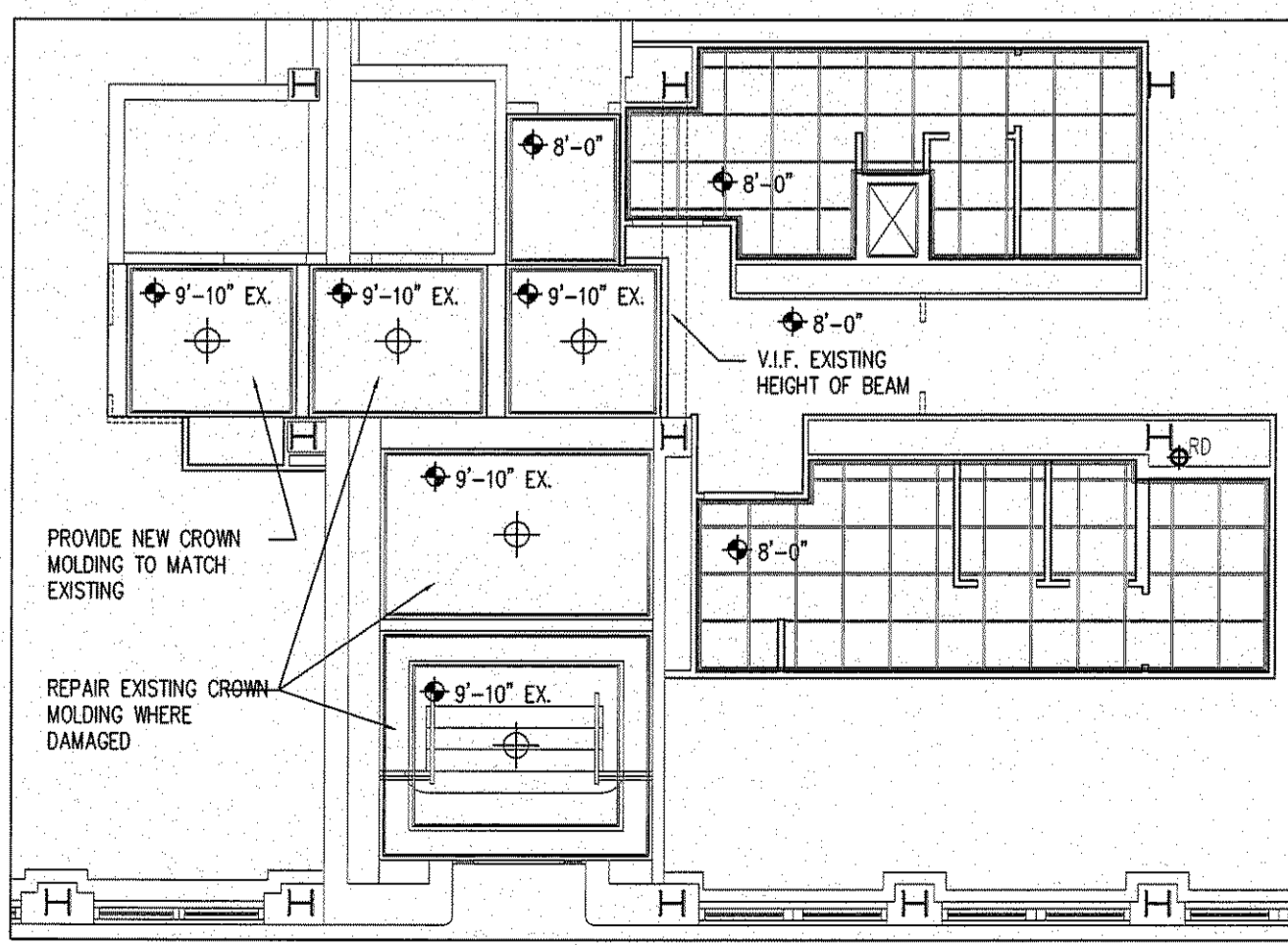
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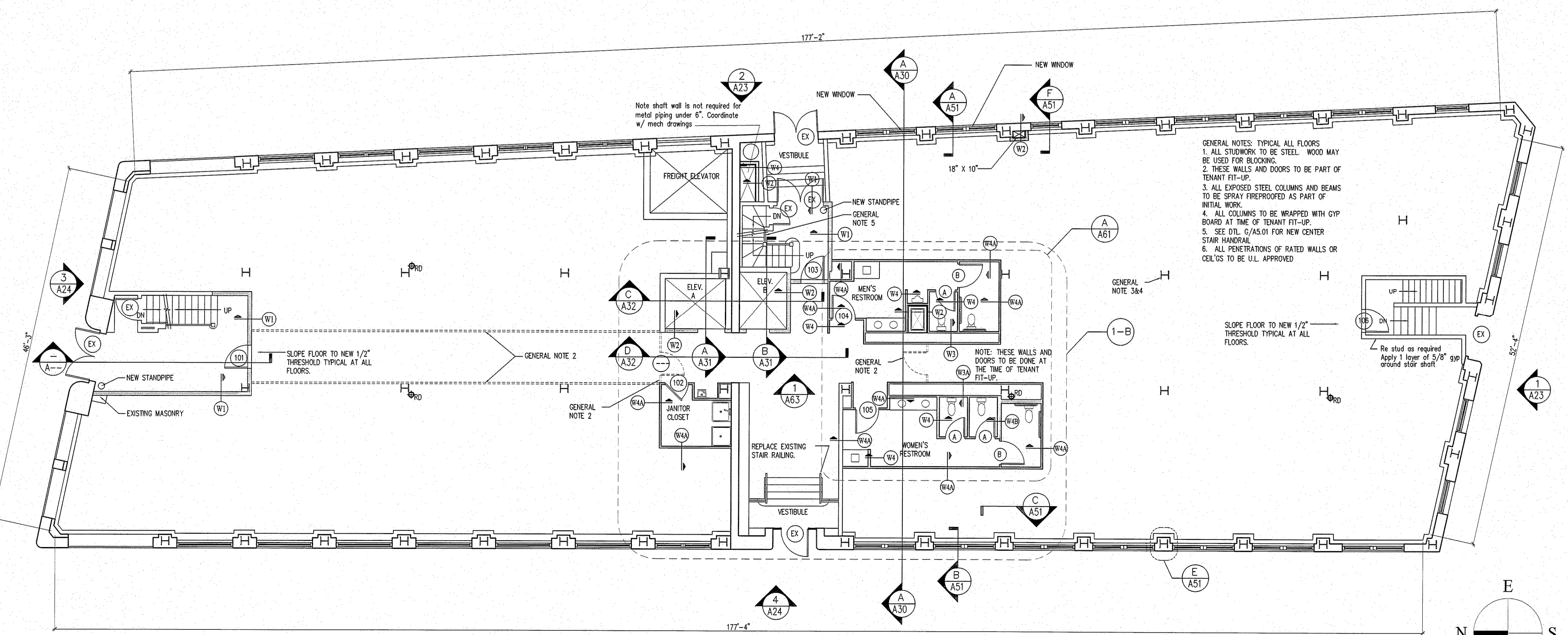
**2-B** TYPICAL UPPER FLOOR REFLECTED CEILING PLAN AT CORE  
SCALE: 1/8"=1'-0"



**2** SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"



**1-B** FIRST FLOOR REFLECTED CEILING PLAN AT CORE  
SCALE: 1/8"=1'-0"



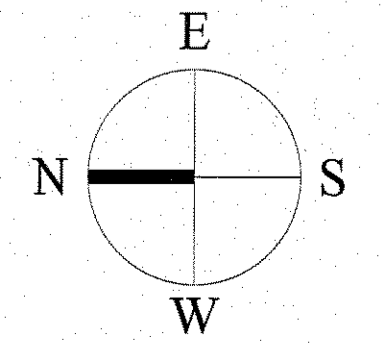
**1** FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

GENERAL NOTES: TYPICAL ALL FLOORS  
1. ALL STUDWORK TO BE STEEL. WOOD MAY BE USED FOR BLOCKING.  
2. THESE WALLS AND DOORS TO BE PART OF TENANT FIT-UP.  
3. ALL EXPOSED STEEL COLUMNS AND BEAMS TO BE SPRAY FIREPROOFED AS PART OF INITIAL WORK.  
4. ALL COLUMNS TO BE WRAPPED WITH GYP BOARD AT TIME OF TENANT FIT-UP.  
5. SEE DTL. G/A5.01 FOR NEW CENTER STAIR HANDRAIL.

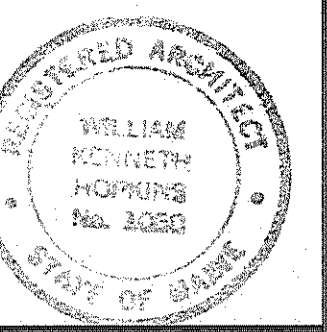
GENERAL NOTES: TYPICAL ALL FLOORS  
1. ALL EXPOSED STEEL COLUMNS AND BEAMS TO BE SPRAY FIREPROOFED AS PART OF INITIAL WORK.  
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4. ALL COLUMNS TO BE WRAPPED WITH GYP BOARD AT TIME OF TENANT FIT-UP.  
5. SEE DTL. G/A5.01 FOR NEW CENTER STAIR HANDRAIL.  
6. ALL PENETRATIONS OF RATED WALLS OR CEILINGS TO BE U.L. APPROVED

GENERAL NOTES: TYPICAL ALL FLOORS  
1. ALL STUDWORK TO BE STEEL. WOOD MAY BE USED FOR BLOCKING.







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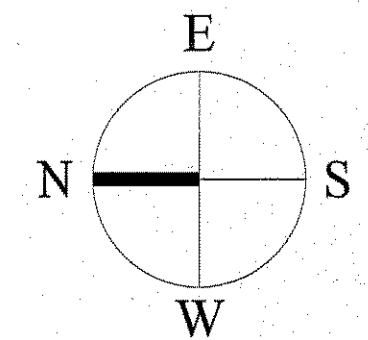
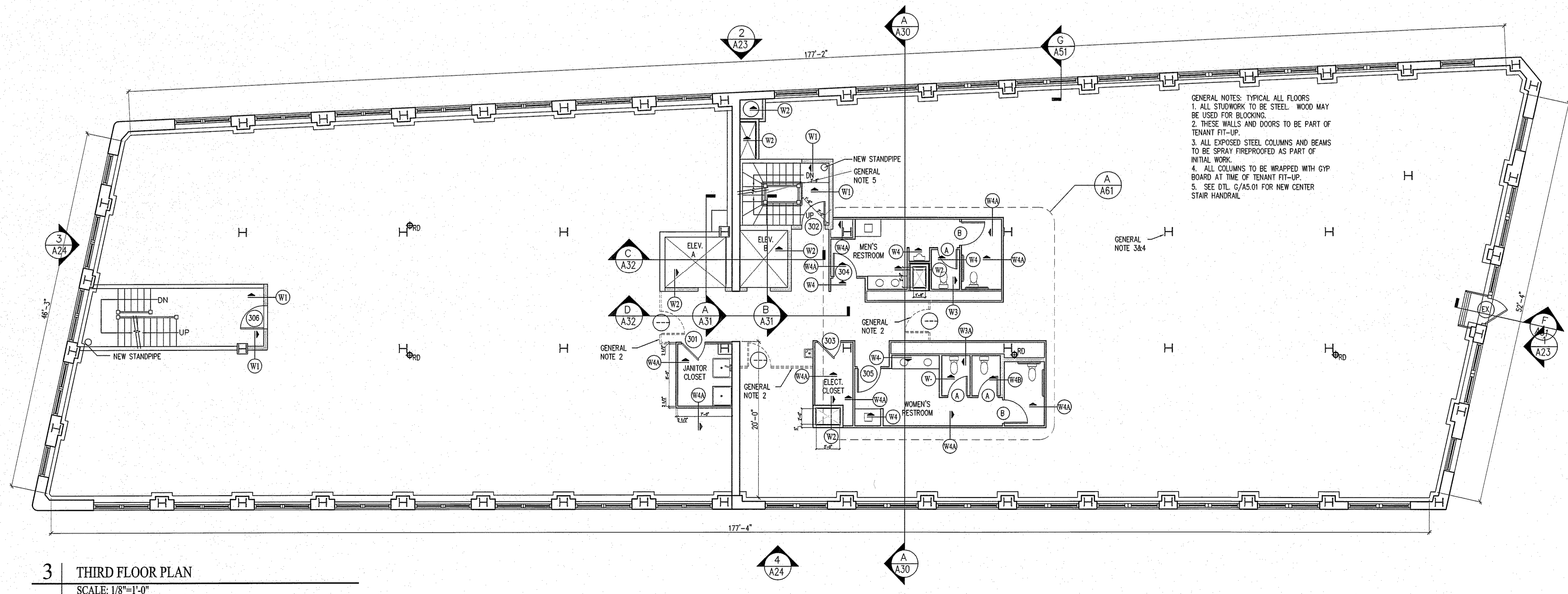
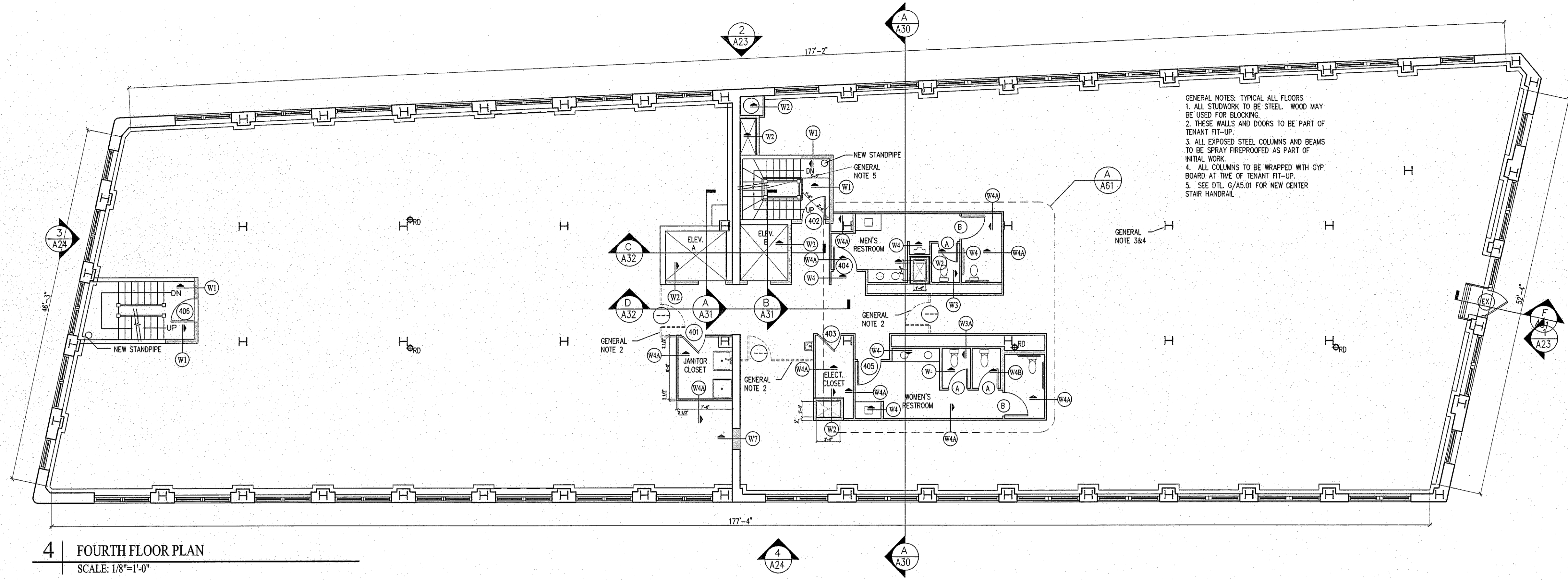
Date:  
22 February 2011

Scale:

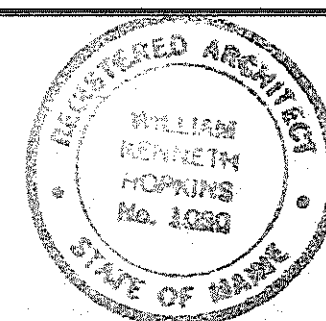
1/8" = 1'-0"

THIRD AND FOURTH  
FLOOR PLAN

A1.03







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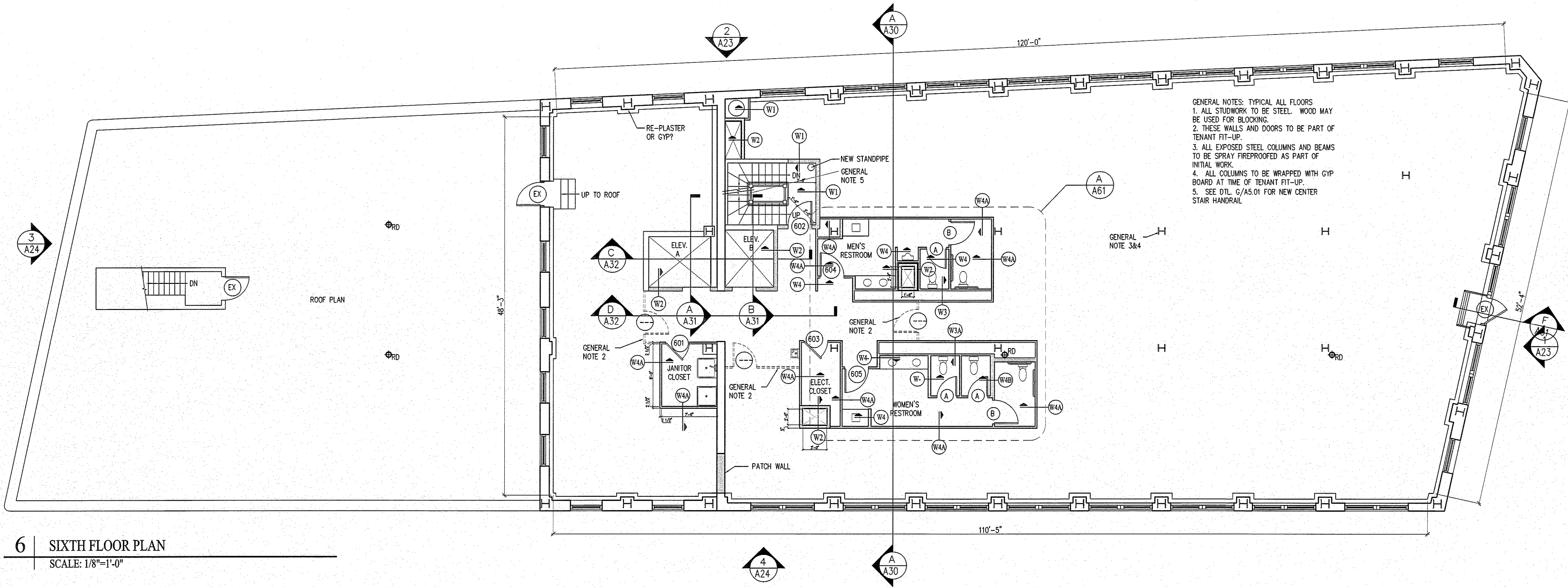
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5-3-11 PERMIT APP

Date:  
22 February 2011  
Scale:  
1/8" = 1'-0"  
FIFTH AND SIXTH  
FLOOR PLAN

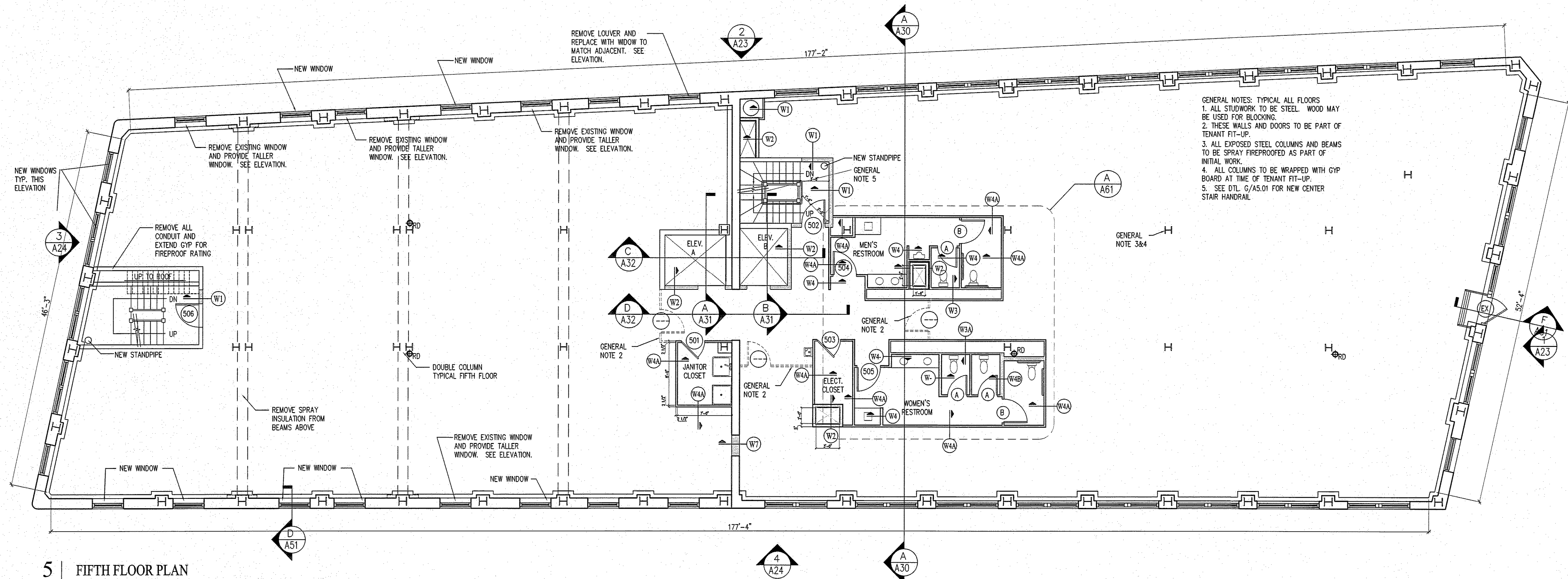
A1.04

6 SIXTH FLOOR PLAN  
SCALE: 1/8"=1'-0"

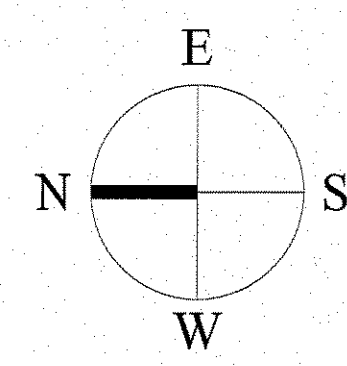


GENERAL NOTES: TYPICAL ALL FLOORS  
1. ALL STUDWORK TO BE STEEL. WOOD MAY BE USED FOR BLOCKING.  
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5. SEE DTL. G/A5.01 FOR NEW CENTER STAIR HANDRAIL.

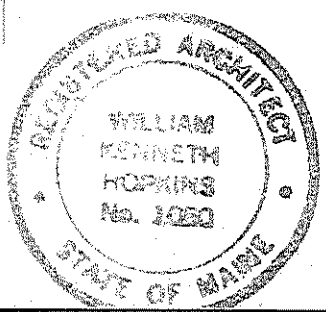
5 FIFTH FLOOR PLAN  
SCALE: 1/8"=1'-0"



GENERAL NOTES: TYPICAL ALL FLOORS  
1. ALL STUDWORK TO BE STEEL. WOOD MAY BE USED FOR BLOCKING.  
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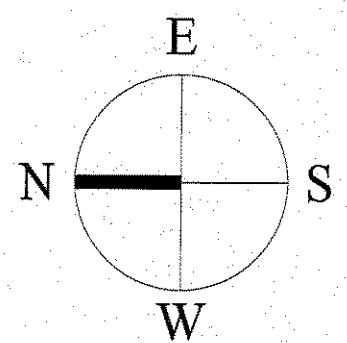
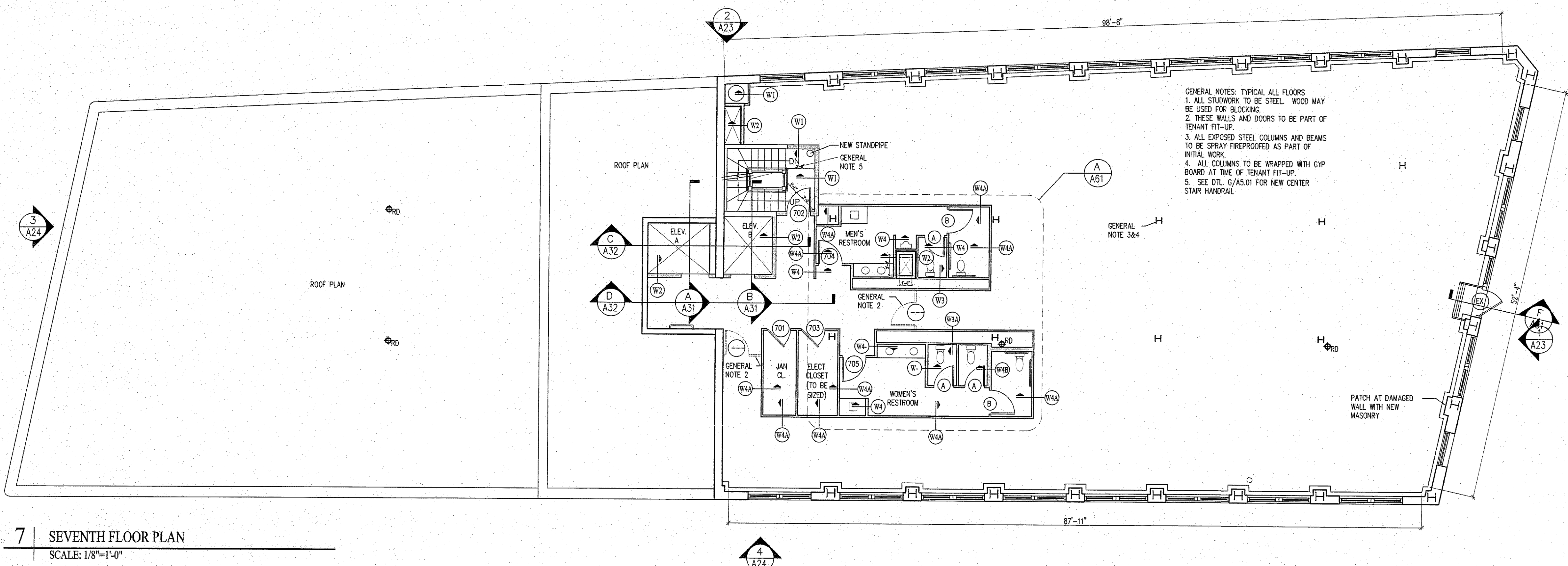
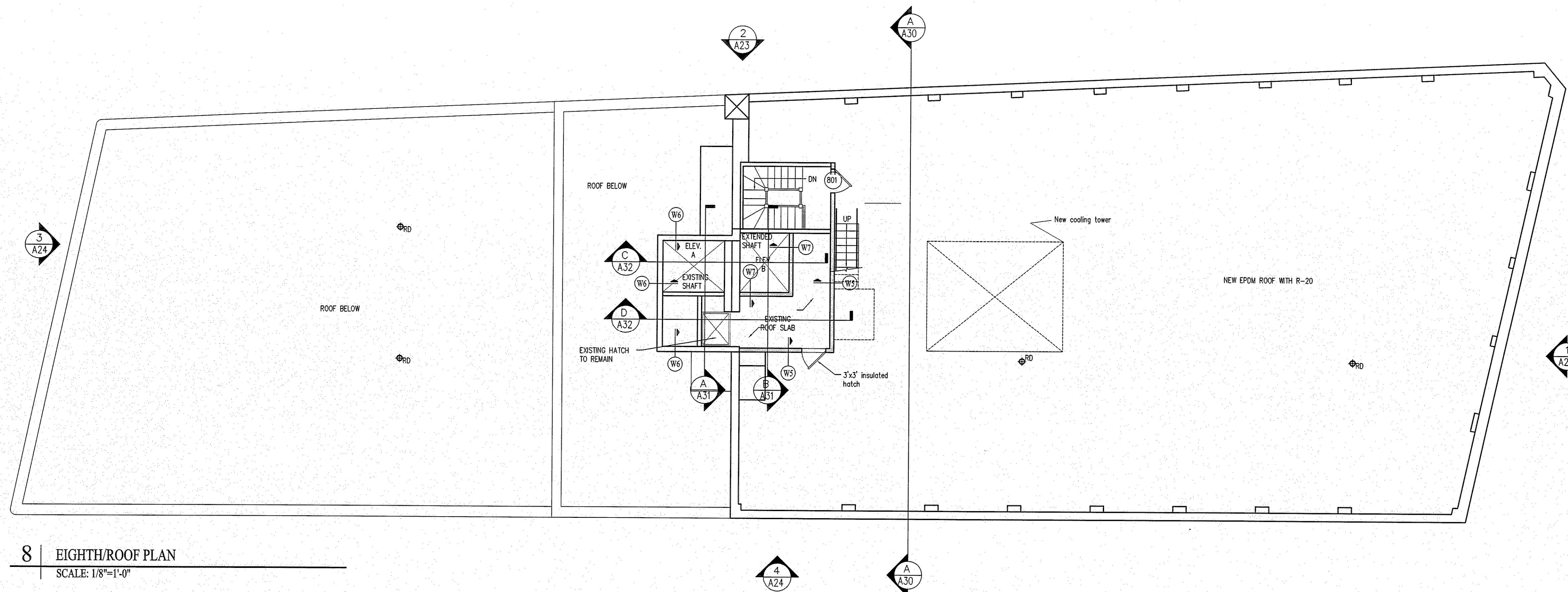
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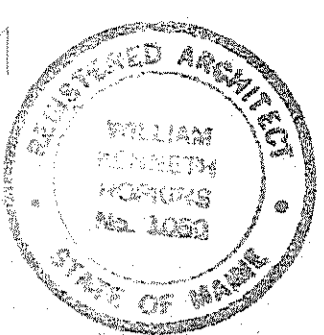
Date:  
22 February 2011

Scale:  
1/8" = 1'-0"

**A1.05**







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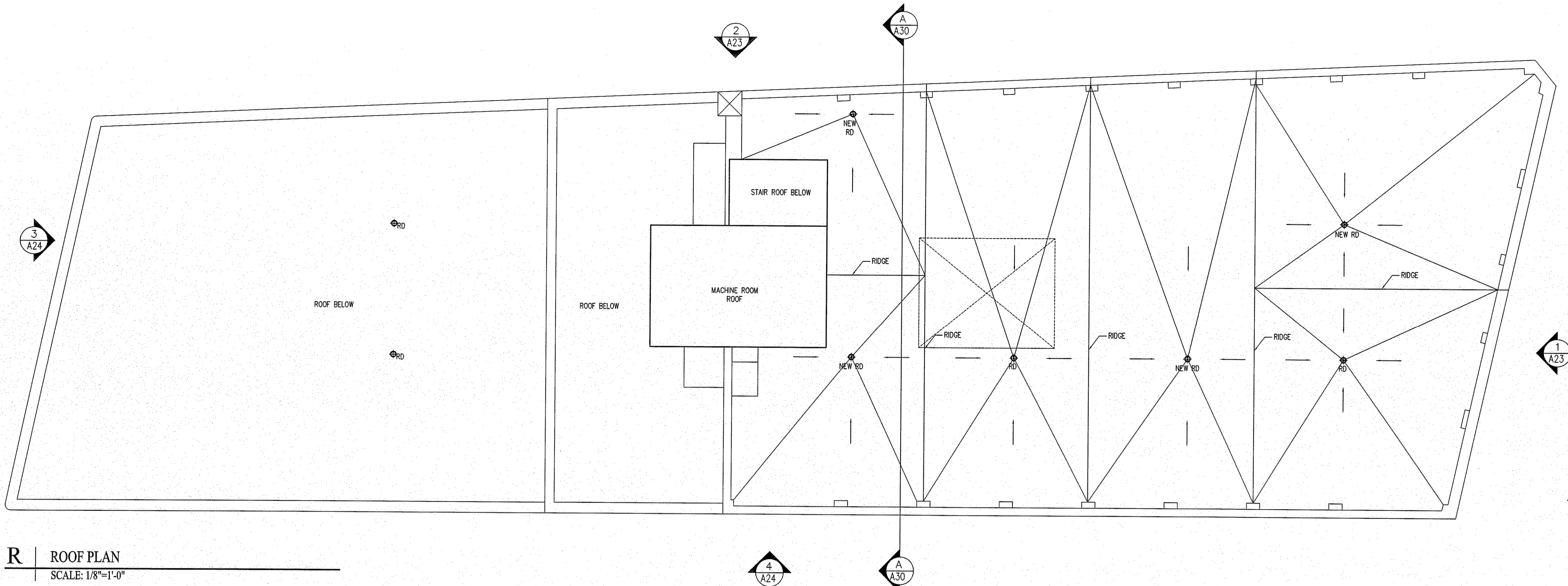
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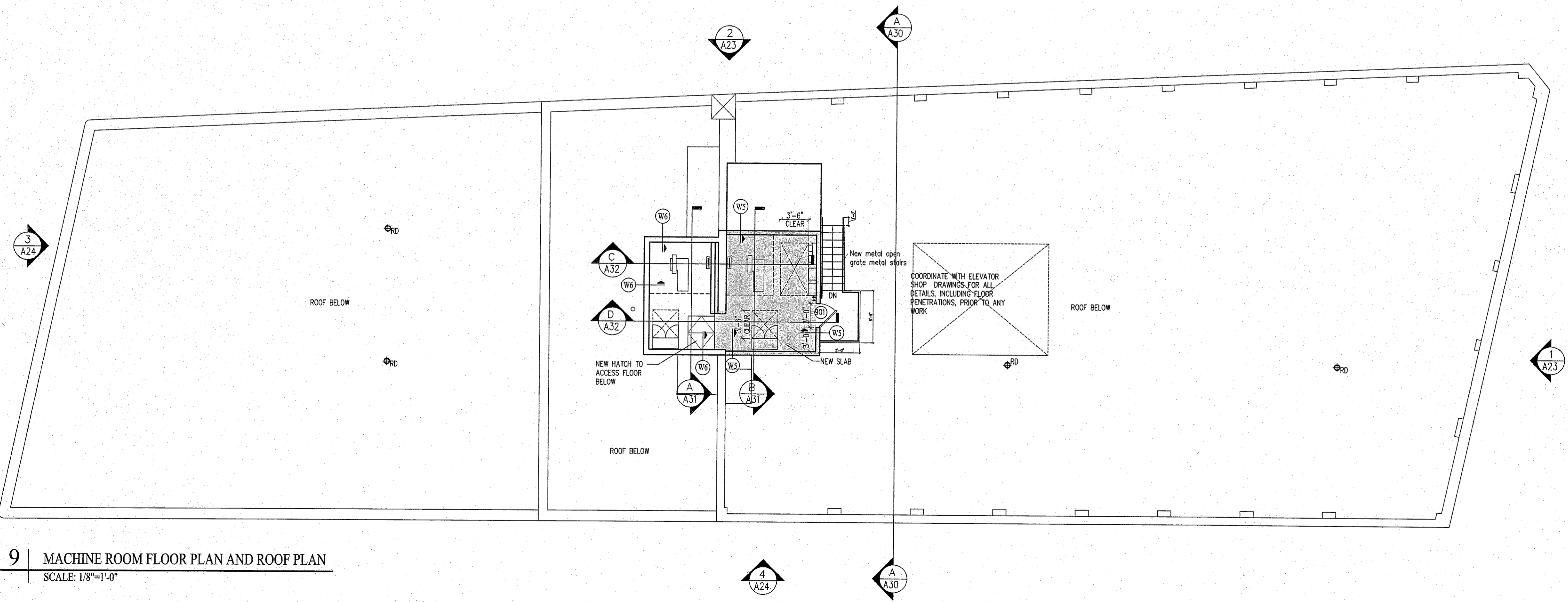
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Date: 22 February 2011  
Scale: 1/8" = 1'-0"  
**ELEV. MACHINE ROOM  
& ROOF PLAN**

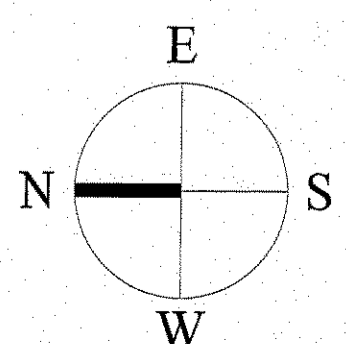
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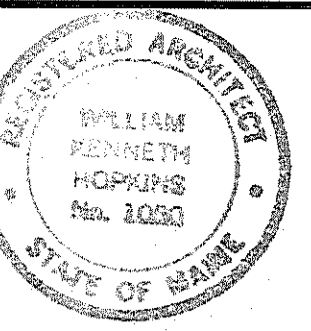
**R** | ROOF PLAN  
SCALE: 1/8"=1'-0"



**9** | MACHINE ROOM FLOOR PLAN AND ROOF PLAN  
SCALE: 1/8"=1'-0"







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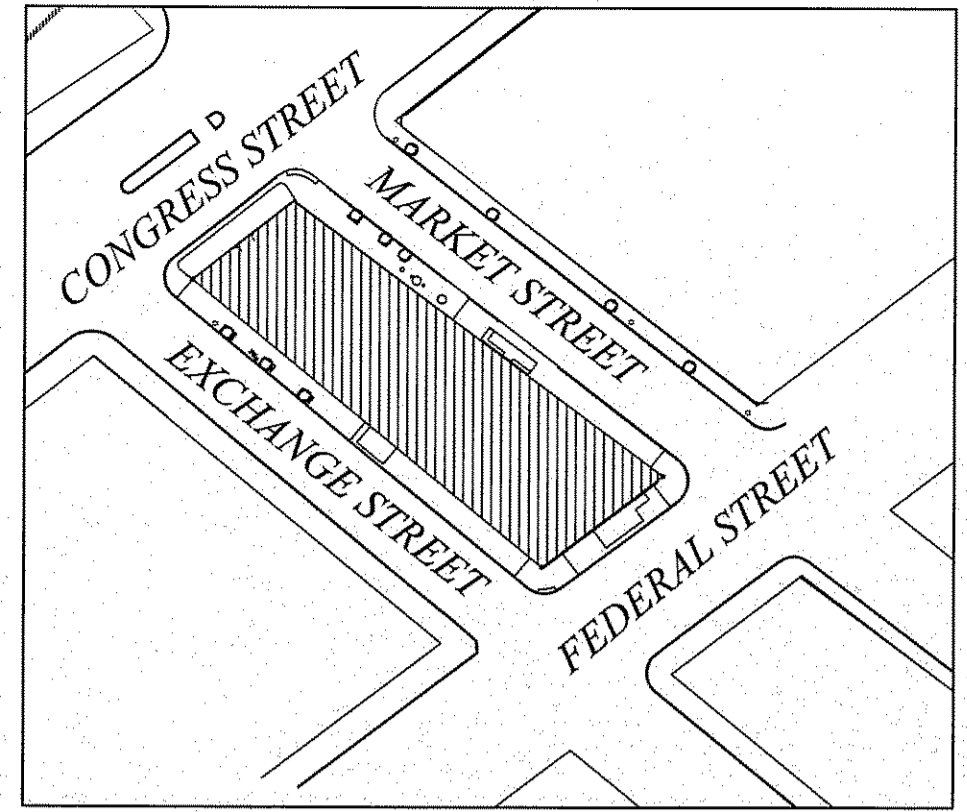
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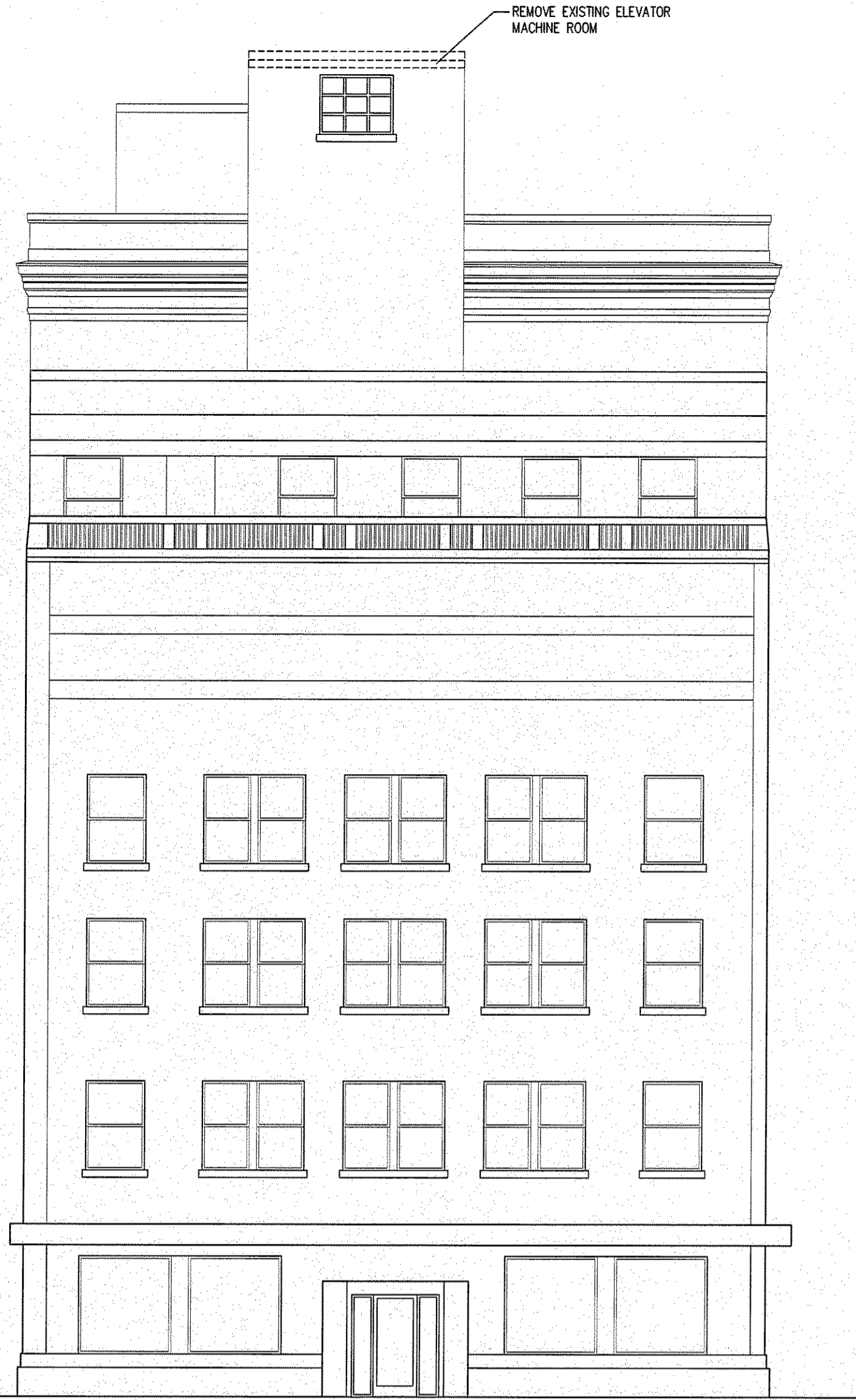
Date: 14 February 2011  
 Scale: 1/8" = 1'-0"  
**DEMOLITION  
 ELEVATIONS**

**A2.01**



**DEMOLITION LEGEND**

1. REMOVE LOUVER AND INFILL TO PRECAST.
2. REMOVE ALL INFILL TO PRECAST.
3. DEMO EXISTING EXTERIOR WALL FOR NEW WINDOW OPENING.
4. REMOVE WINDOW AND DEMO EXISTING EXTERIOR WALL ABOVE FOR NEW WINDOW OPENING..



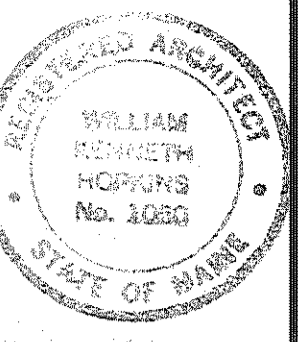
**1 | CONGRESS STREET DEMOLITION ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 | EXCHANGE STREET DEMOLITION ELEVATION**  
 SCALE: 1/8"=1'-0"

STANDPIPE CONNECTION  
 TO REMAIN





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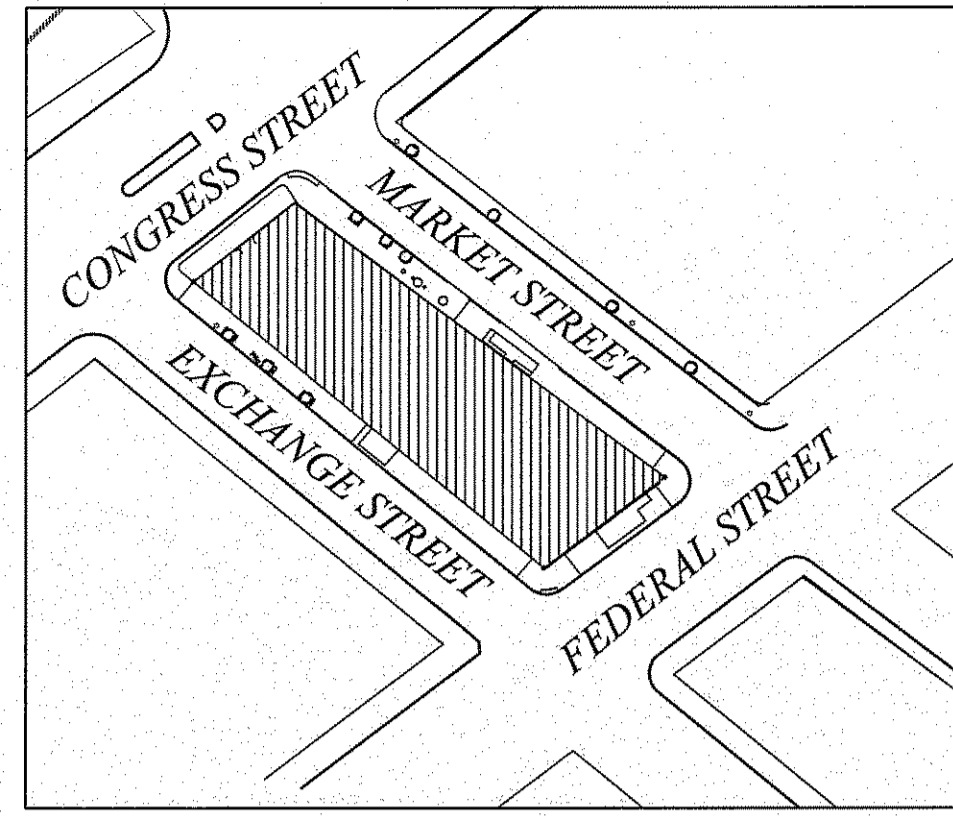
Architect:  
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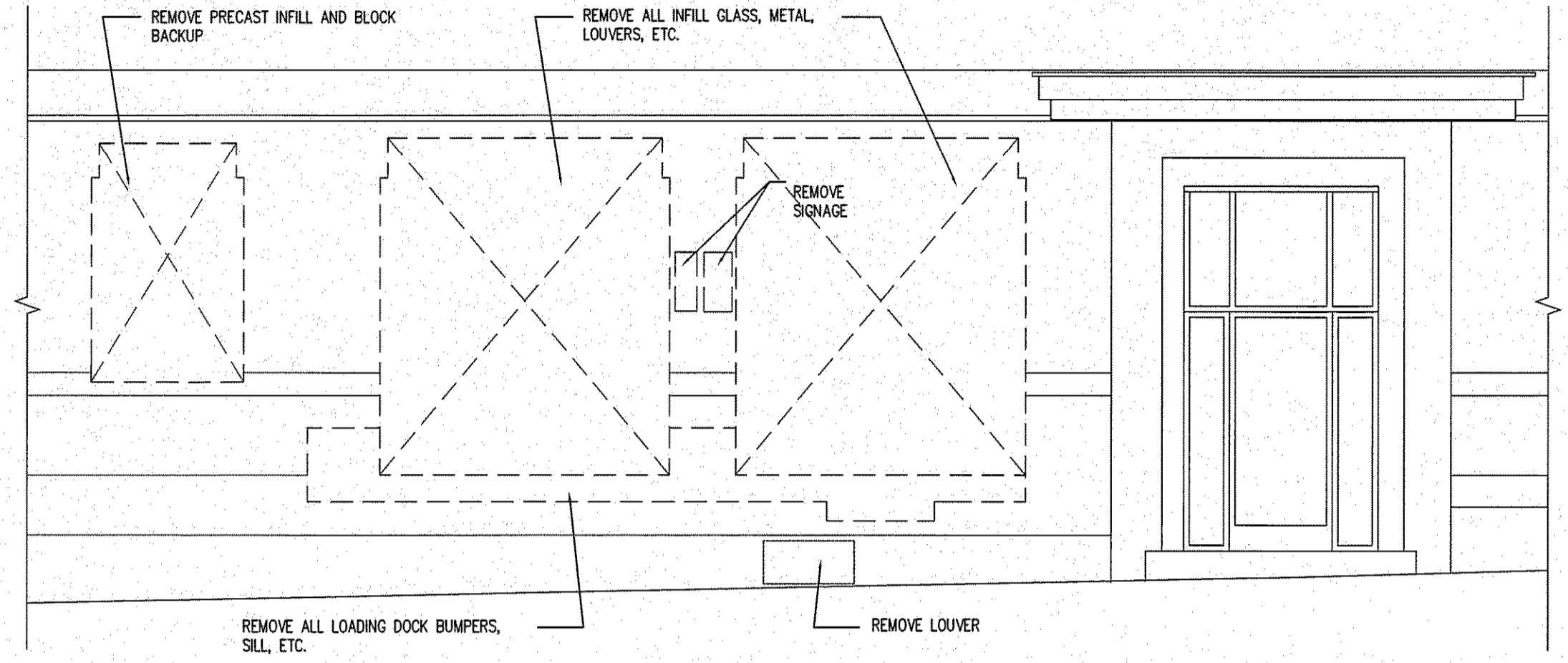
Revisions:  
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**5-3-11 PERMIT 200**

Date: 14 February 2011  
Scale: 1/8" = 1'-0"  
**DEMOLITION  
ELEVATIONS**

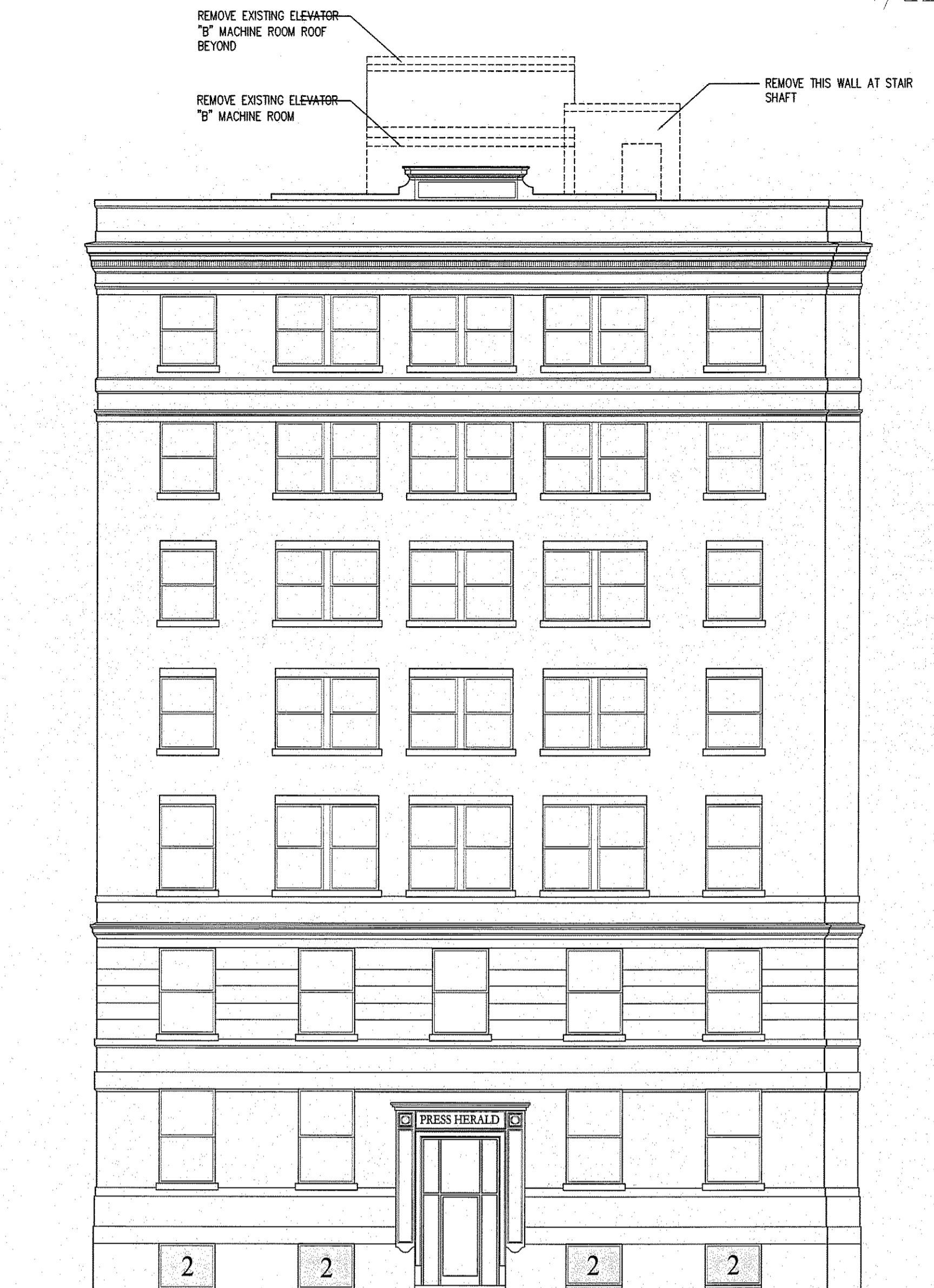
**A2.02**



- DEMOLITION LEGEND**
1. REMOVE LOUVER AND INFILL TO PRECAST.
  2. REMOVE ALL INFILL TO PRECAST.
  3. DEMO EXISTING EXTERIOR WALL FOR NEW WINDOW OPENING.
  4. REMOVE WINDOW AND DEMO EXISTING EXTERIOR WALL ABOVE FOR NEW WINDOW OPENING.



**5 | DEMOLITION DETAIL**  
SCALE: 1/4"=1'-0"



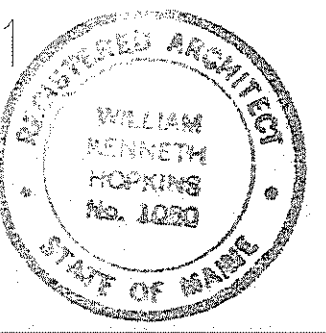
**3 | FEDERAL STREET DEMOLITION ELEVATION**  
SCALE: 1/8"=1'-0"



**4 | MARKET STREET DEMOLITION ELEVATION**  
SCALE: 1/8"=1'-0"



4/22/2011



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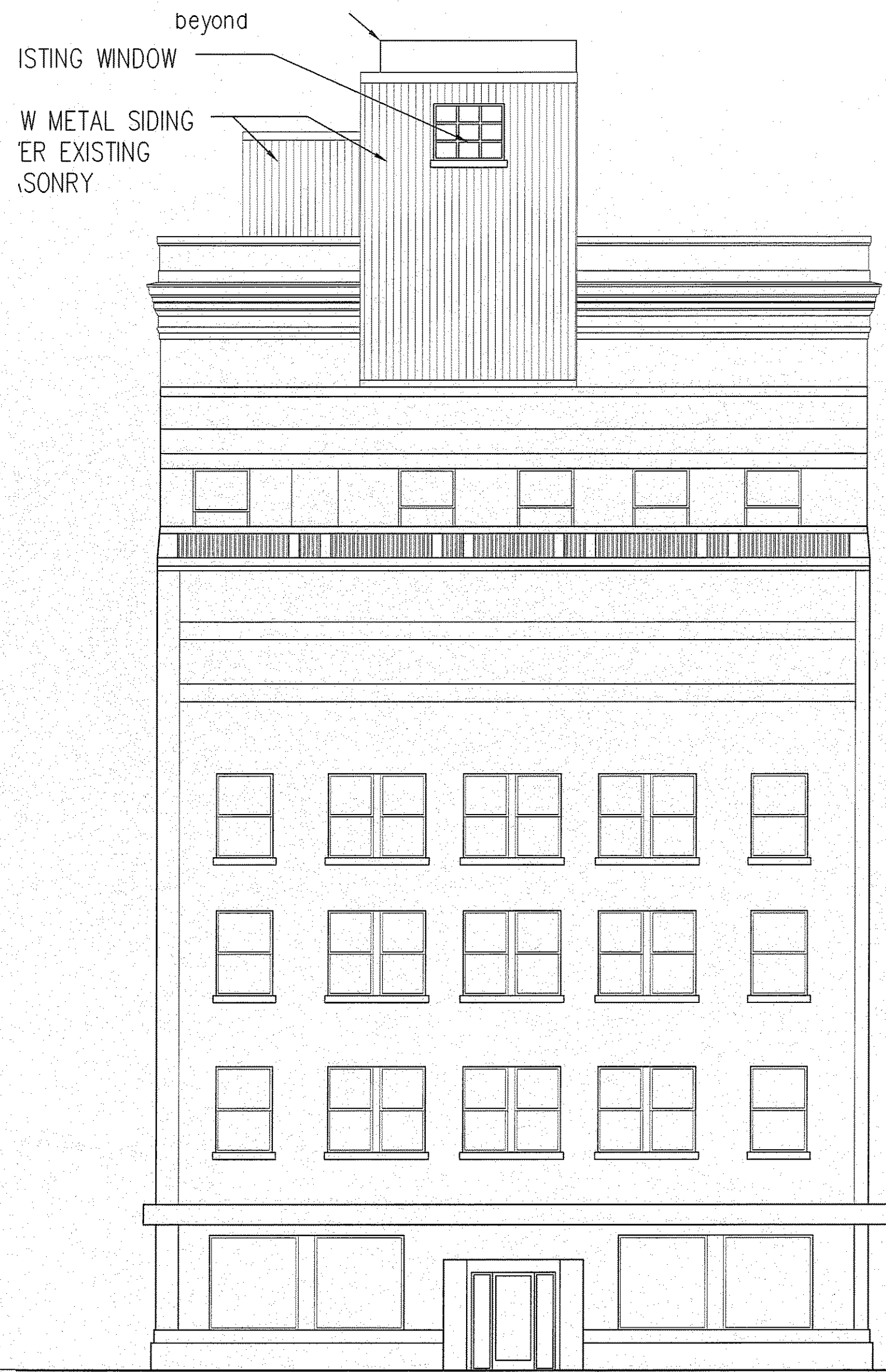
Architect:  
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PORTLAND, MAINE

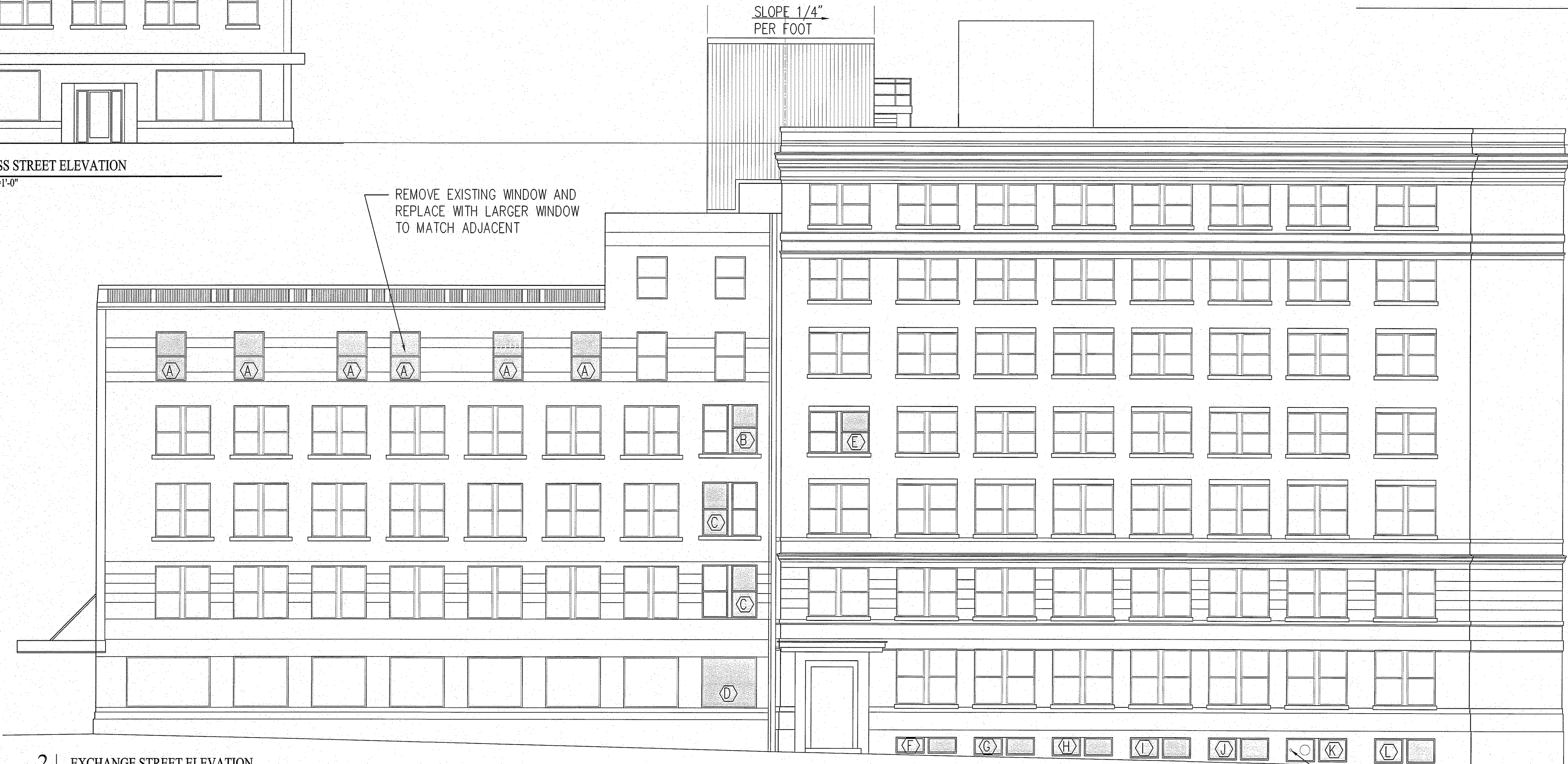
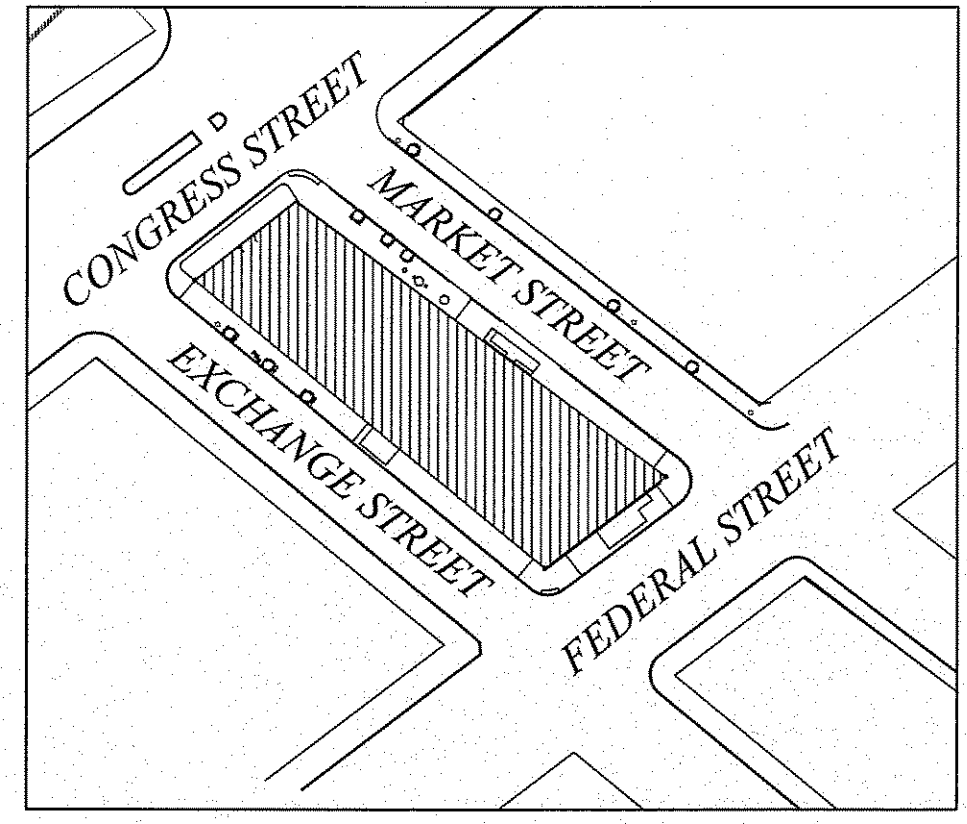
Revisions:  
Issued for Partial Permit - 2-14-2011  
SPM PERMIT - 2/22/2011  
**5-3-11 PERMIT APP**

Date: 14 February 2011  
Scale: 1/8" = 1'-0"  
**BUILDING ELEVATIONS**

**A2.03**



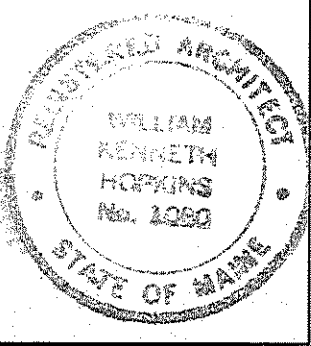
**1** CONGRESS STREET ELEVATION  
SCALE: 1/8"=1'-0"



**2** EXCHANGE STREET ELEVATION  
SCALE: 1/8"=1'-0"

STANDPIPE CONNECTION





Prepared For:  
**GRAND METRO BUILDERS  
OF NEW YORK**  
25 South Service Road, Suite 300  
Jericho, New York

Consulting Engineer:

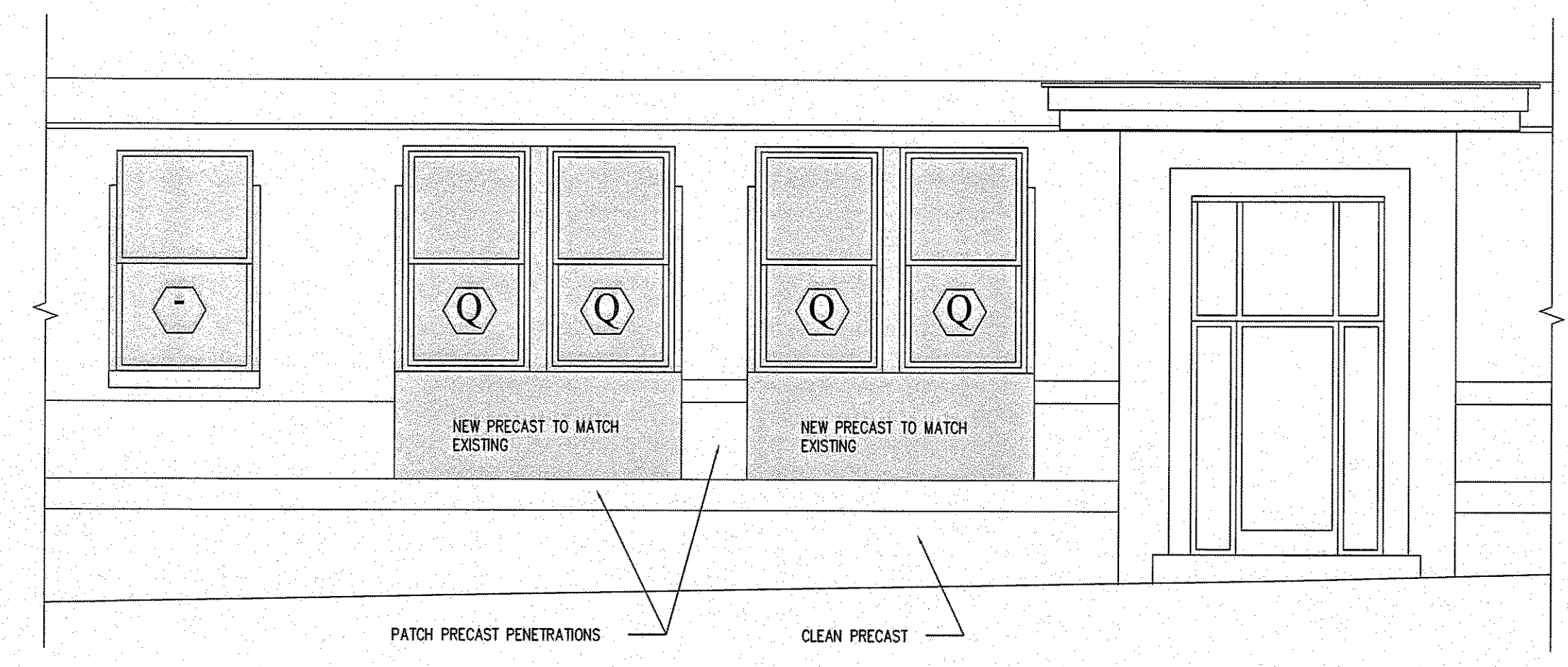
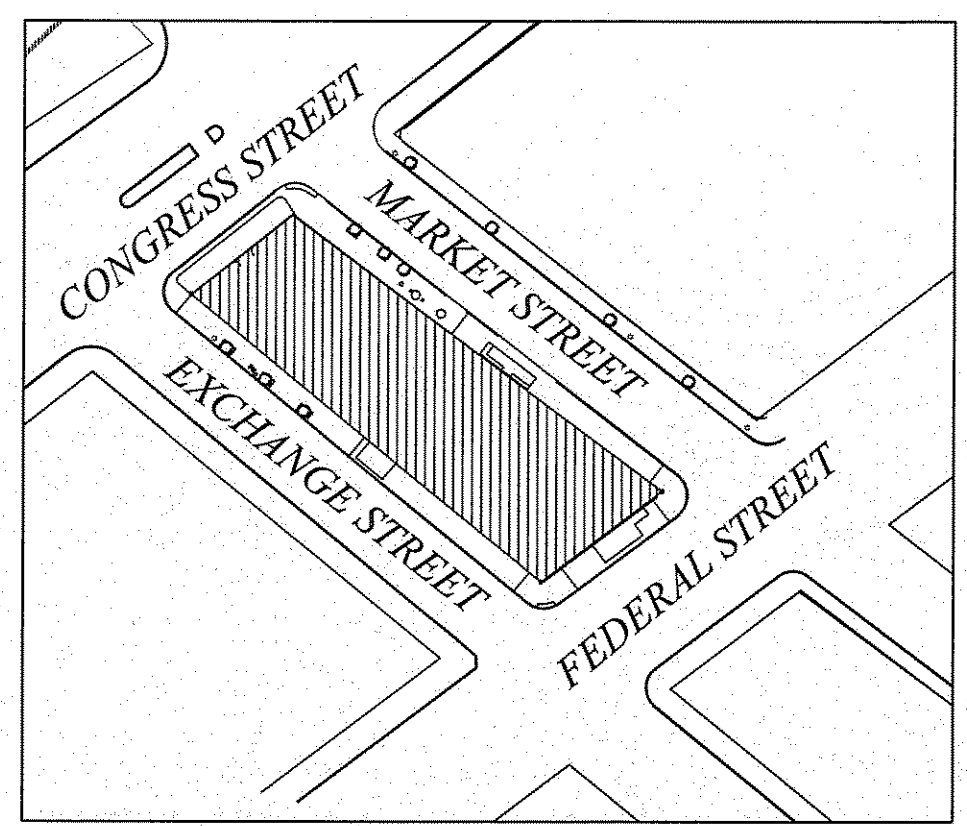
Architect:  
**ARCHETYPE  
architects**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
**390 CONGRESS ST.**  
390 CONGRESS ST.  
PORTLAND, MAINE

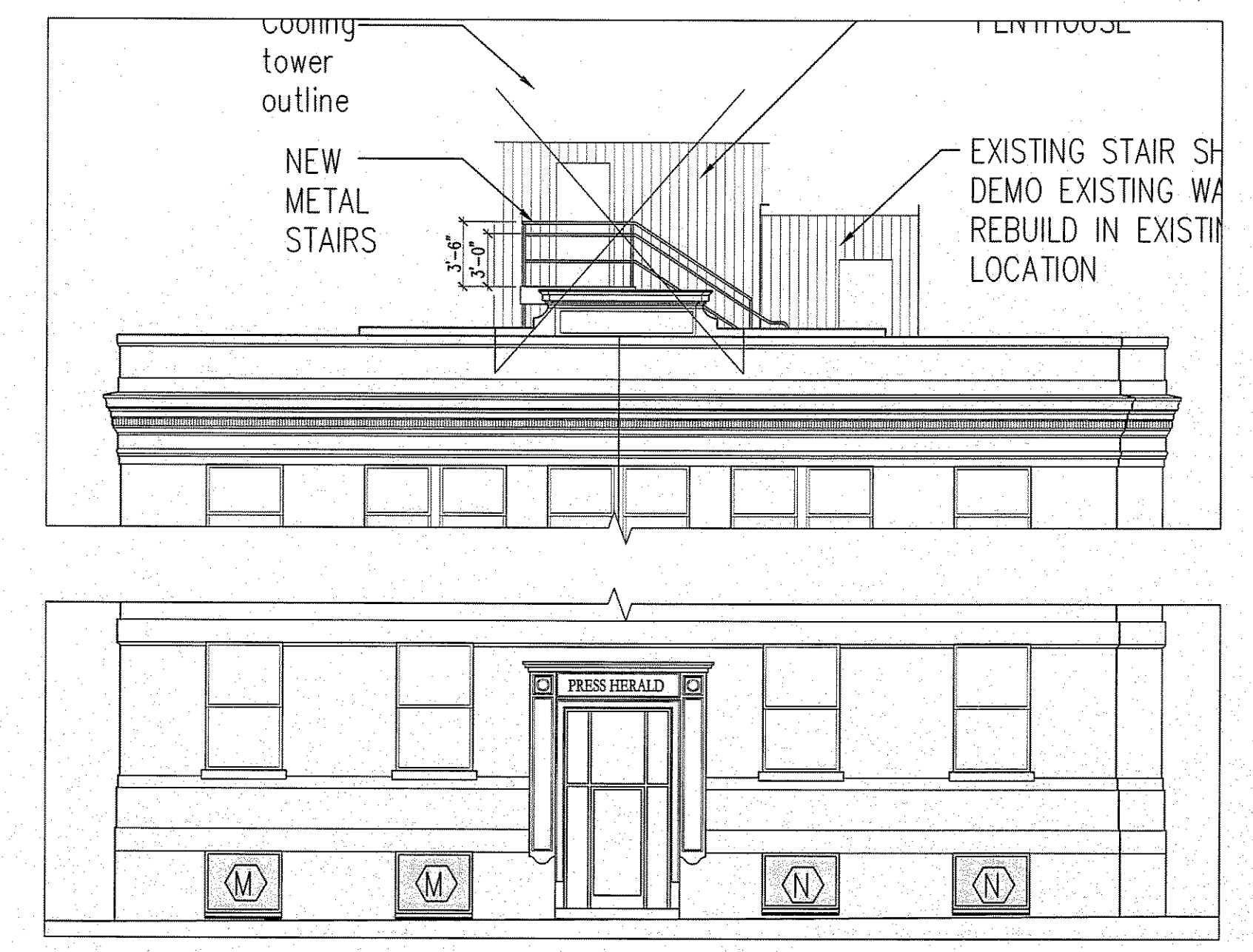
Revisions:  
Issued for Partial Permit - 2-14-2011  
SFM PERMIT - 2/22/2011  
**5-3-11 PERMIT APP**

Date:  
14 February 2011  
Scale:  
1/8" = 1'-0"  
**BUILDING ELEVATIONS**

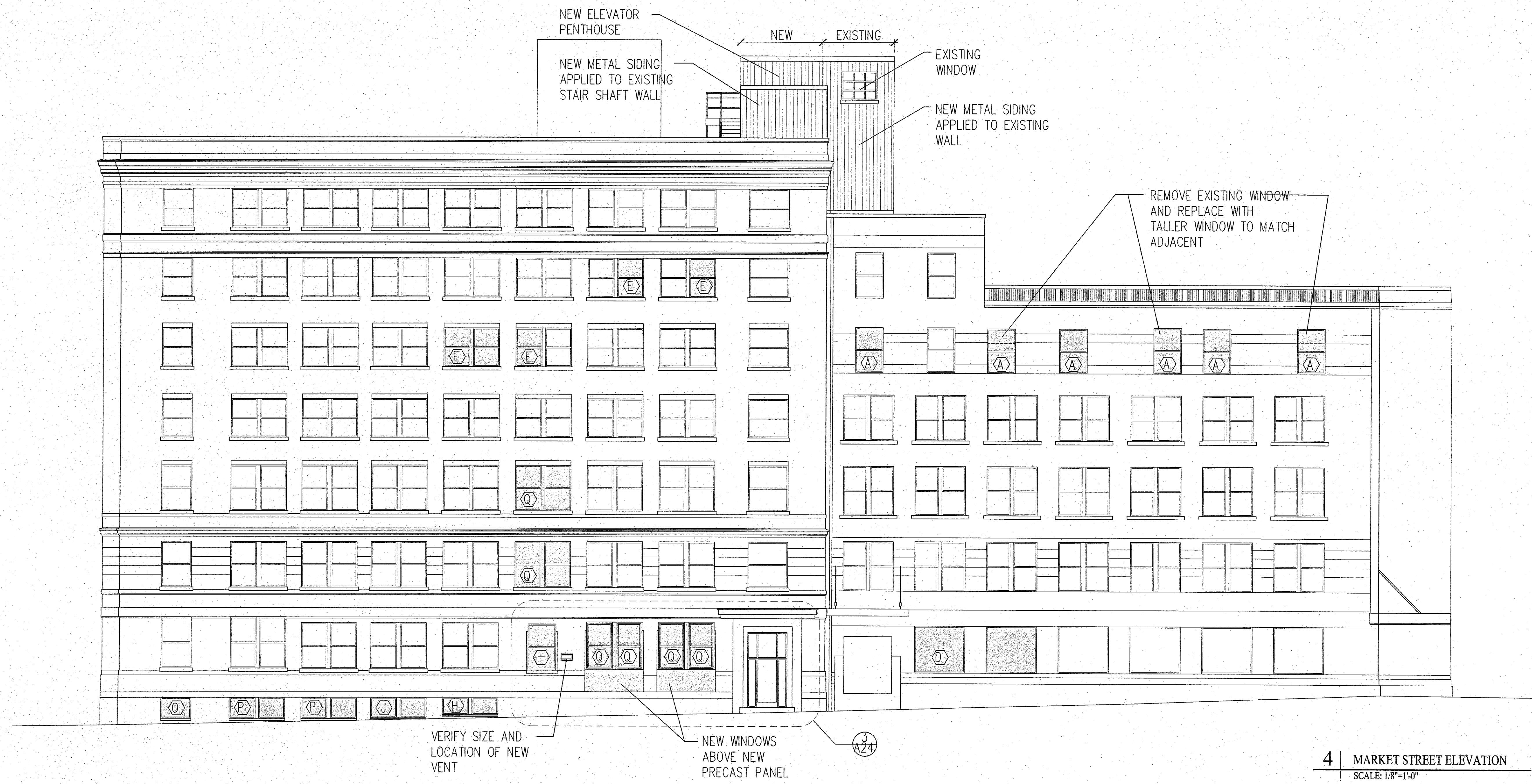
**A2.04**



**5 | PROPOSED ELEVATION DETAIL**  
SCALE: 1/4"=1'-0"



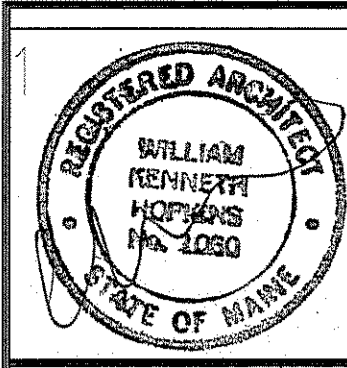
**3 | PARTIAL FEDERAL STREET ELEVATION**  
SCALE: 1/8"=1'-0"



VERIFY SIZE AND LOCATION OF NEW VENT  
NEW WINDOWS ABOVE NEW PRECAST PANEL

**4 | MARKET STREET ELEVATION**  
SCALE: 1/8"=1'-0"





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**ARCHETYPE Architects**  
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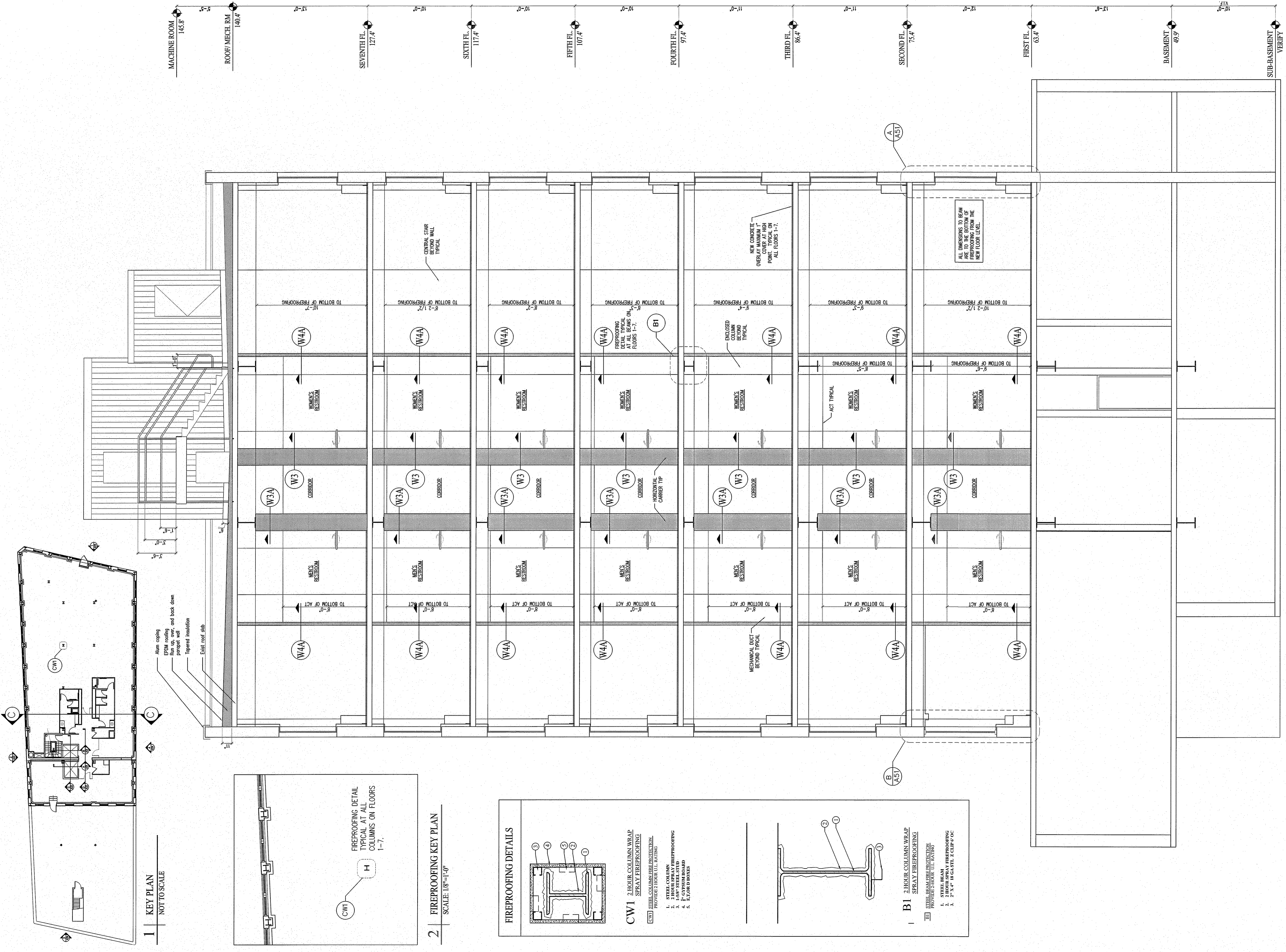
Architect:  
**ARCHETYPE Architects**  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

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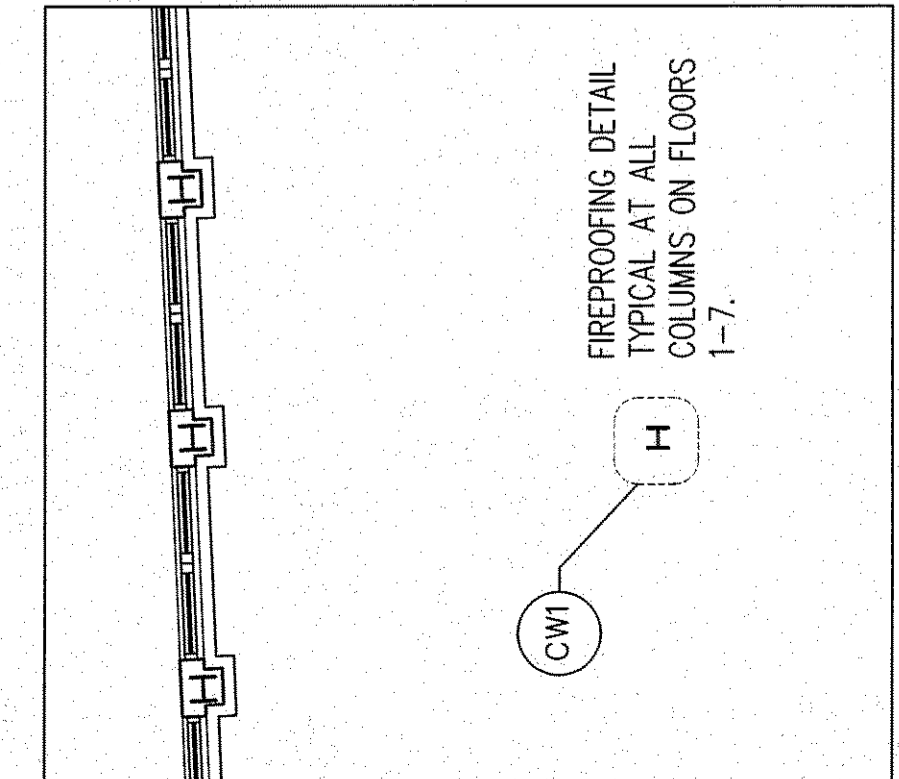
Revisions:  
 Issued for Partial Permit - 2-14-2011  
 SFM - 2-22-2011  
**5-3-11 Permit App**

Date: 14 February 2011  
 Scale: AS NOTED  
**PARTIAL BUILDING PERMIT FOR FIREPROOFING AND LEVELING**

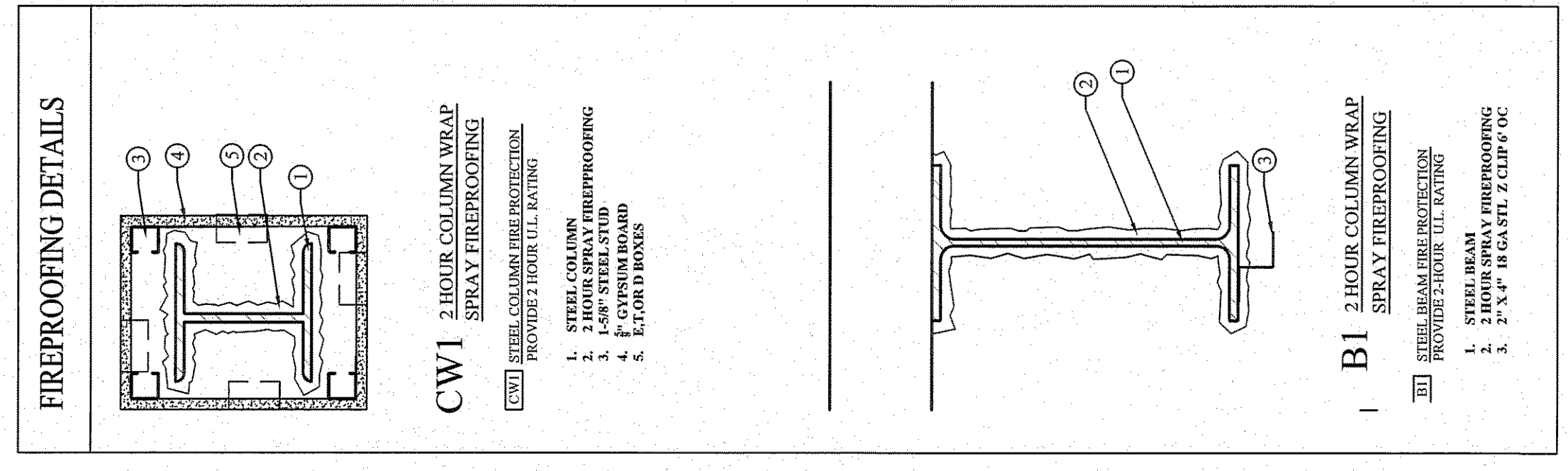
**A3.00**



**1** KEY PLAN  
 NOT TO SCALE

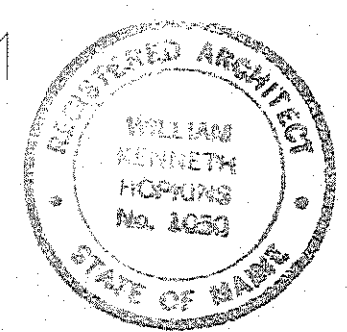


**2** FIREPROOFING KEY PLAN  
 SCALE: 1/8"=1'-0"



**A** BUILDING SECTION  
 SCALE: 1/4"=1'-0"





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 Jericho, New York

Consulting Engineer:

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 architects**  
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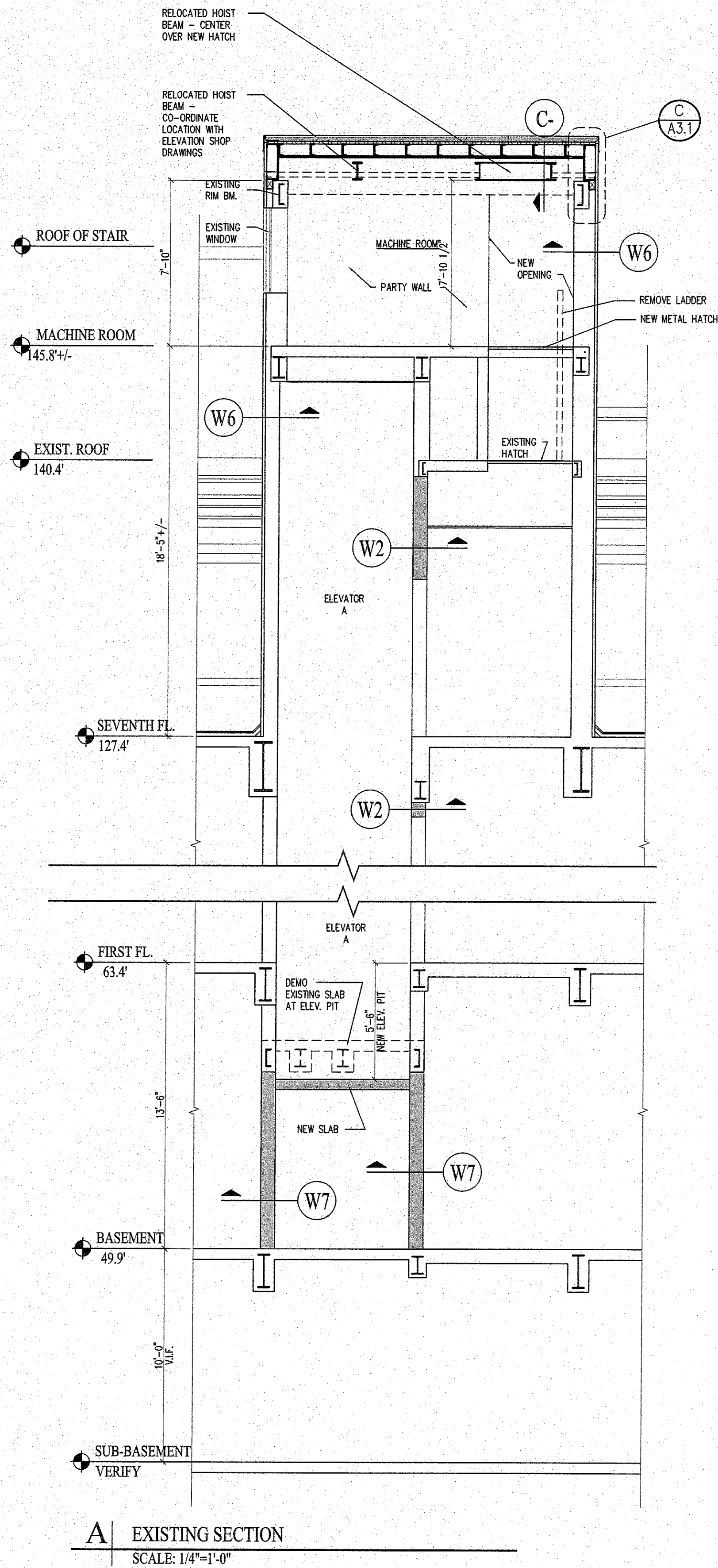
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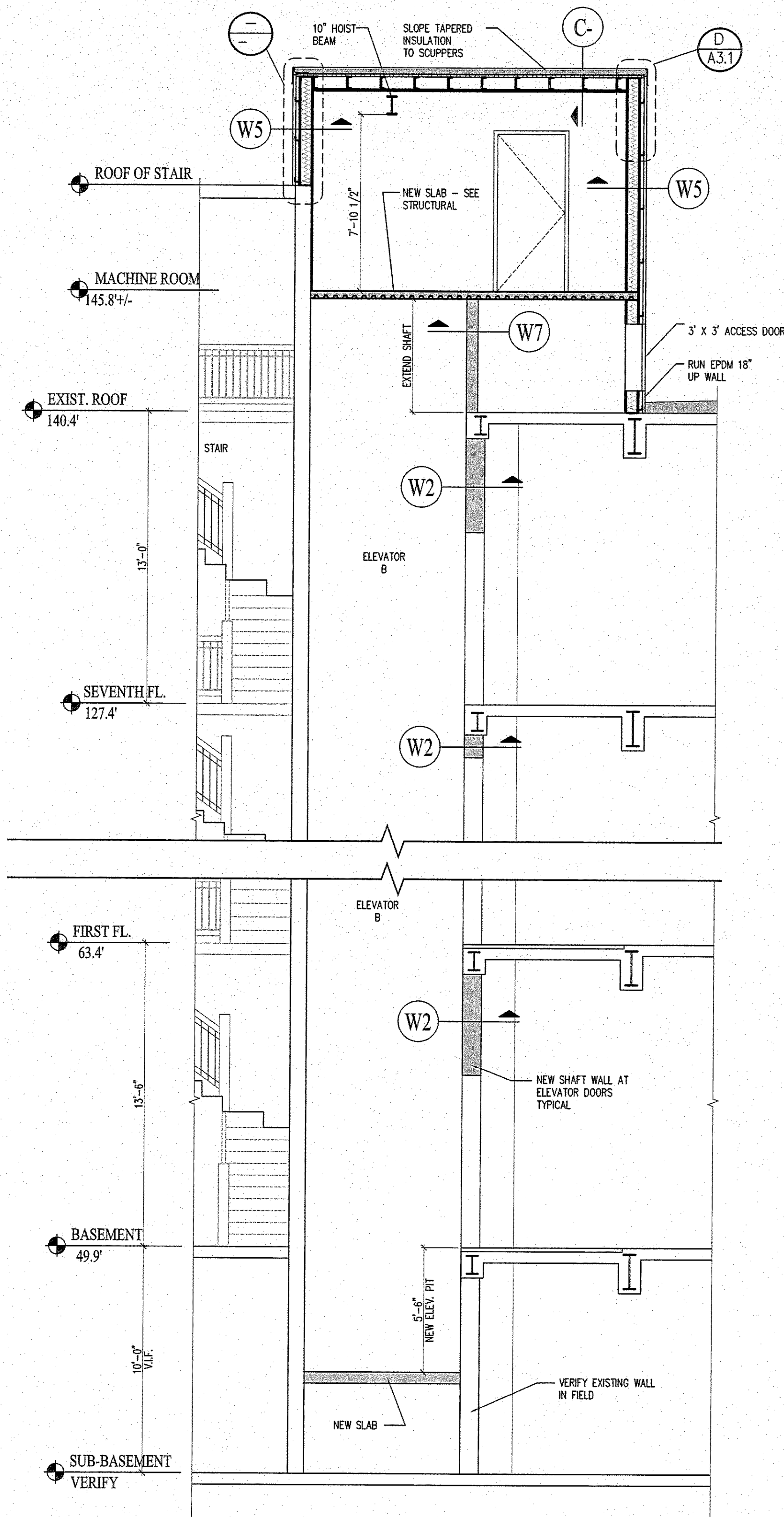
Date: 22 February 2011  
 Scale: AS NOTED

**ELEVATOR  
 SECTIONS**

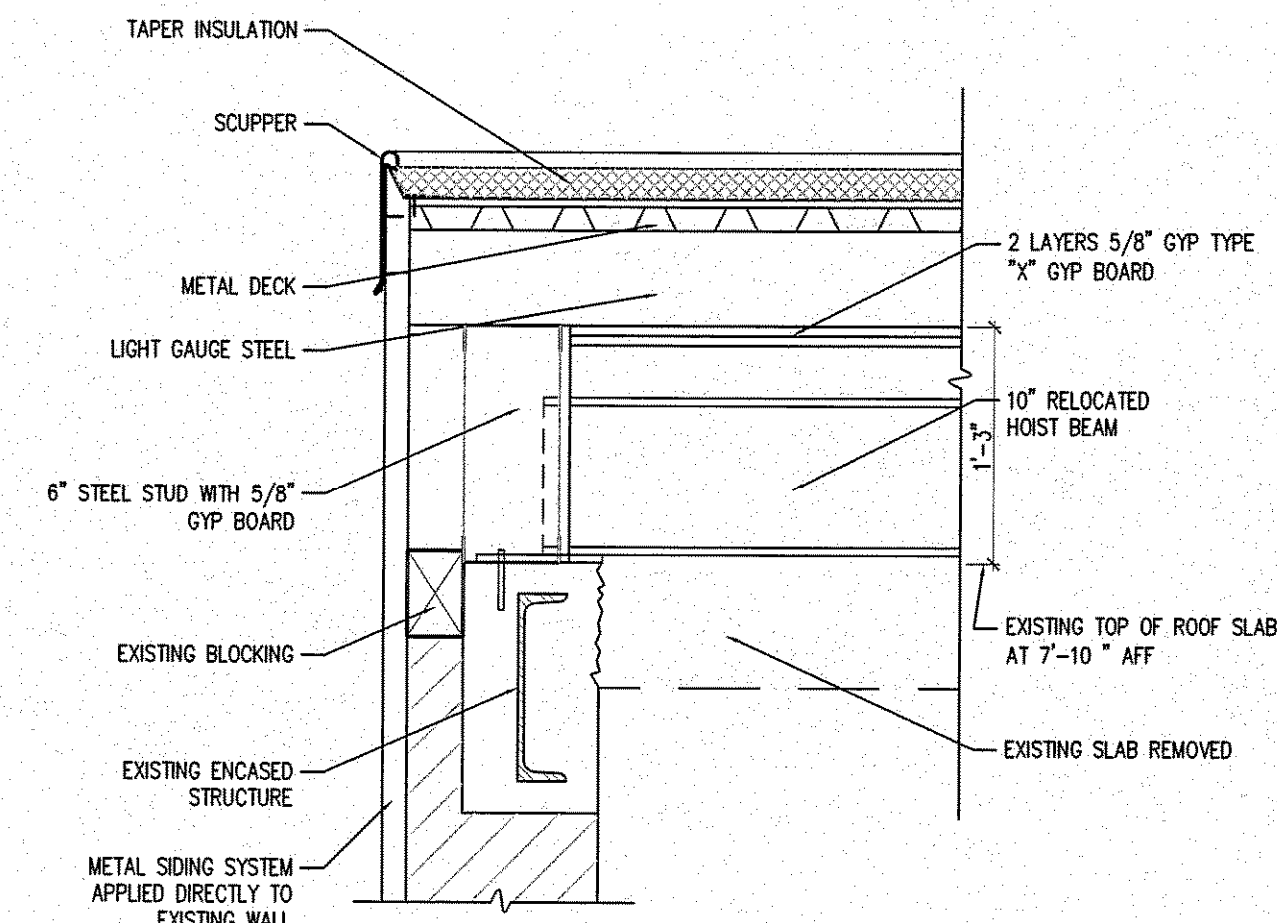
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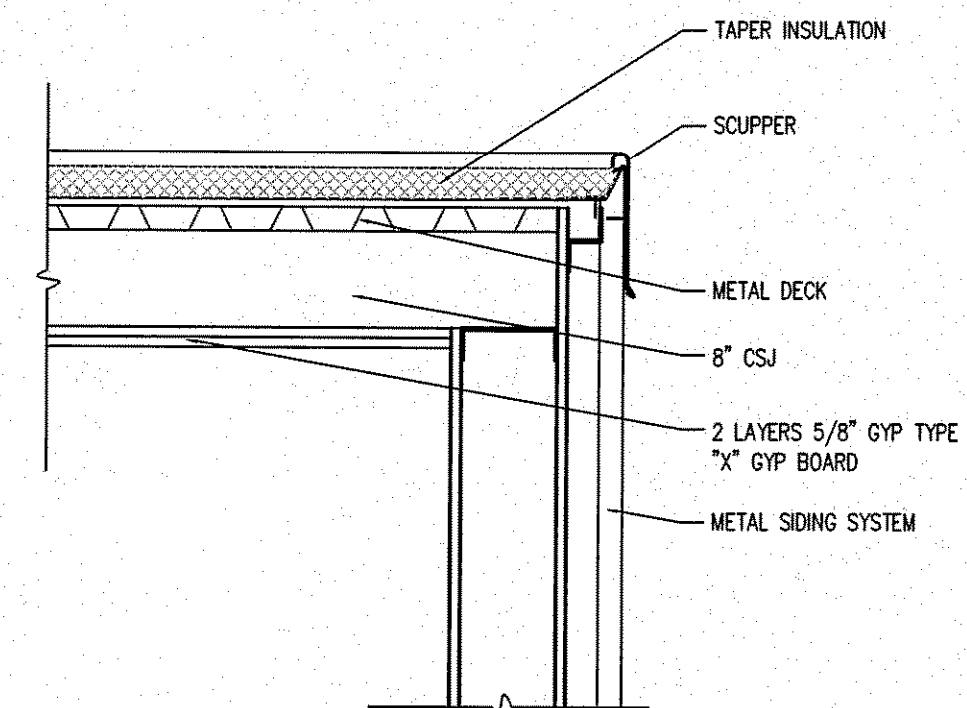
**A** | EXISTING SECTION  
 SCALE: 1/4"=1'-0"



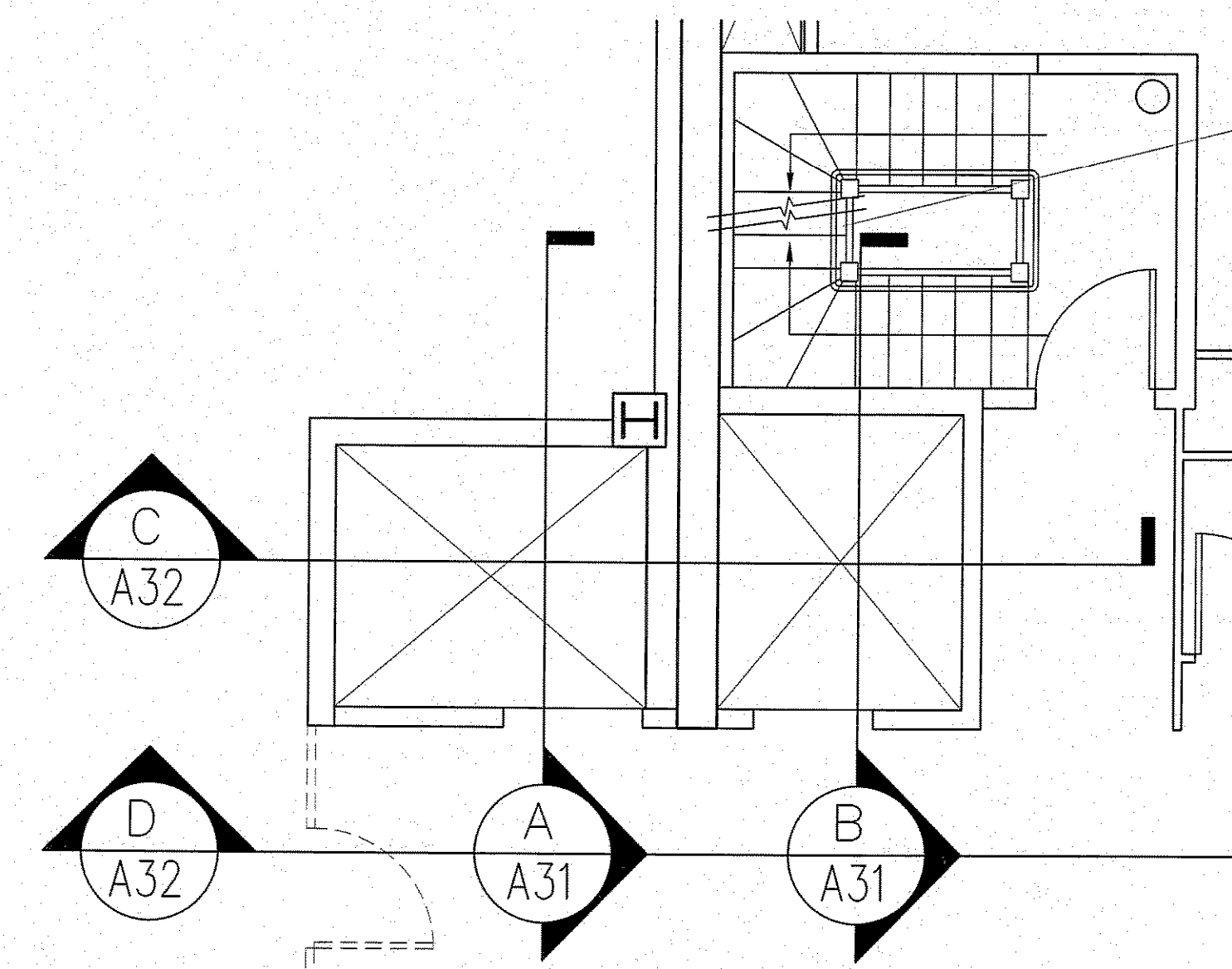
**B** | PROPOSED SECTION  
 SCALE: 1/4"=1'-0"



**C** | ROOF DETAIL AT EXISTING WALL  
 SCALE: 1"=1'-0"

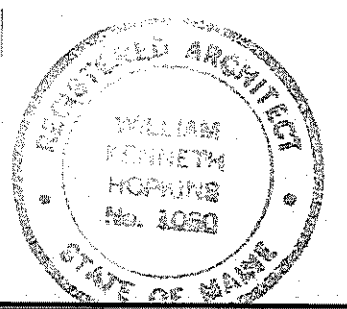


**D** | ROOF DETAIL AT NEW WALL  
 SCALE: 1"=1'-0"



**1** | KEY PLAN AT ELEVATORS  
 SCALE: 1/2"=1'-0"





# WALL TYPES

GRAND METRO BUILDERS  
OF NEW YORK  
25 South Service Road, Suite 300  
Jeriicho, New York

Architect:  
**ARCHETYPE**  
architects  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax: (207) 772-4056

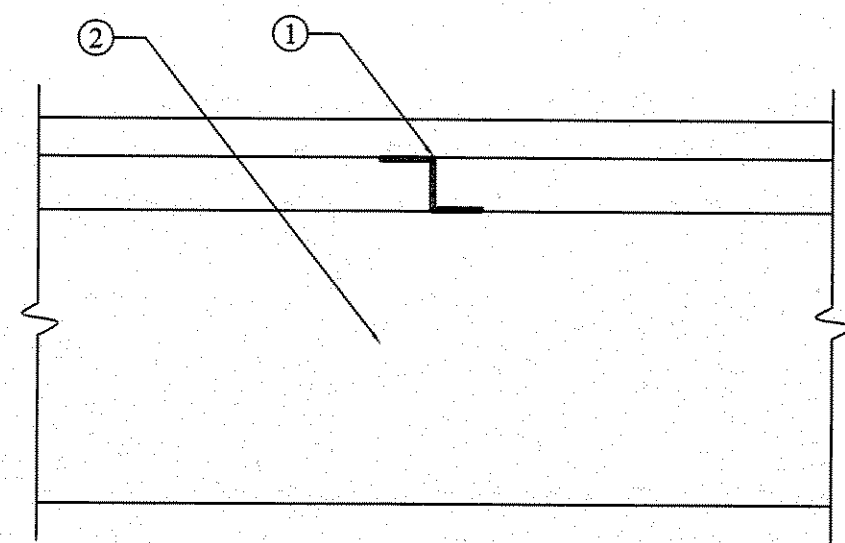
Project:  
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SFM PERMIT - 2/22/2011  
**5-3-11 PERMIT APP**

Date: 22 February 2011  
Scale: 1 1/2" = 1'-0"

WALL TYPES

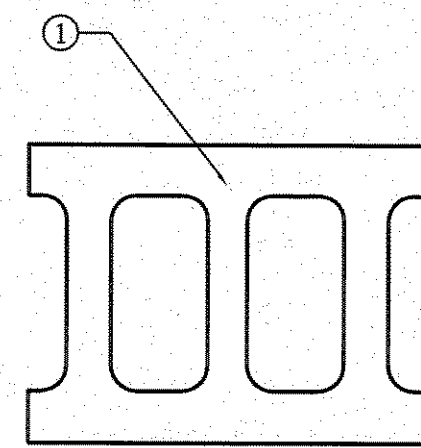
A4.01



**W6** EXISTING PENTHOUSE WALL

- 1. METAL SIDING SYSTEM
- 2. EXISTING MASONRY

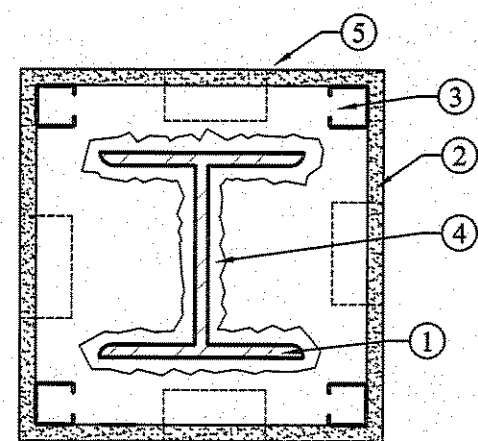
**W6** EXISTING PENTHOUSE WALL



**W7** 2 HOUR BLOCK WALL

- 1. D-2 BLOCK

**W7** 2 HOUR BLOCK WALL

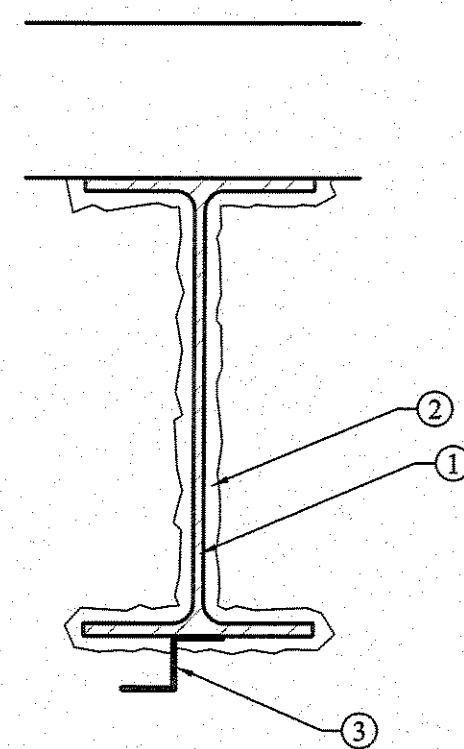


**CW1** STEEL COLUMN FIRE PROTECTION - 2 HOUR RATED  
DESIGN NUMBER U.I. X528

- 1. STEEL COLUMN
- 2. 2 HOUR SPRAY FIREPROOFING
- 3. STEEL STUD - 1-5/8 IN.
- 4. 5/8" GYPSUM BOARD
- 5. E, T, or D BOXES

NOTE: INSTALLATION OF GYP. BD ON COLS. SHALL BE COORDINATED W/ TENANT FIT UP

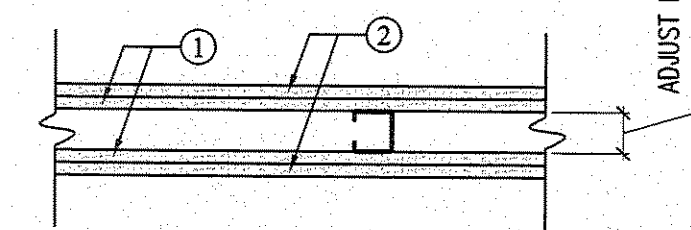
**CW1** STEEL COLUMN FIRE PROTECTION



**B1** STEEL BEAM FIRE PROTECTION - 2 HOUR RATED

- 1. STEEL BEAM
- 2. 2 HOUR SPRAY FIREPROOFING
- 3. 2" Z-CLIP 20 GA. 6'-0" O.C.

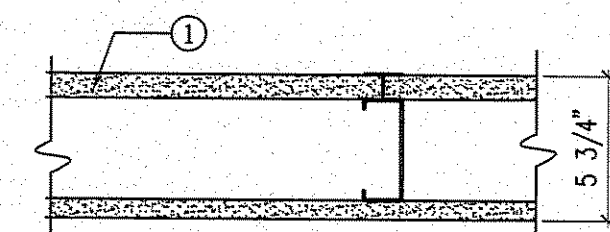
**B1** STEEL BEAM FIRE PROTECTION



**W1** 2 HOUR RATED PARTITION WALL

**W1** 2 HOUR RATED PARTITION WALL

- G.A. FILE NO. WP1599  
ONE HOUR RATED  
50 TO 54 FSTC SOUND
- 1. BASE LAYER 1/2" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE OF 1-5/8" TO 6" STEEL STUDS 24" O.C. WITH TYPE S DRYWALL SCREWS 12" O.C.
- 2. FACE LAYER 1/2" TYPE X GYPSUM WALL BOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE WITH 1-5/8" TYPE S DRYWALL SCREWS 12" O.C.

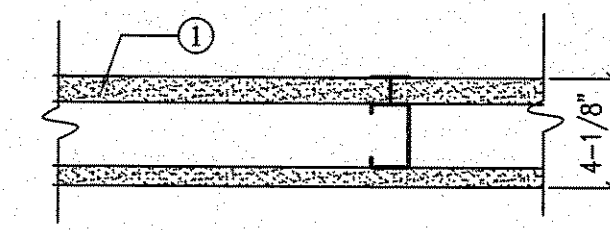


**W2** 2 HOUR SHAFT WALL

**W2** 2 HOUR SHAFT WALL - NON-BEARING  
G.A. FILE NO. WP7053 TWO HOUR RATED

- GYPSUM WALLBOARD, STEEL C-H STUDS, MINERAL FIBER INSULATION
- 1. ONE LAYER 1" X 24" TYPE X GYPSUM PANELS INSERTED BETWEEN 4" FLOOR AND CEILING RUNNERS WITH H SECTION OF 4" PROPRIETARY VENTED C-H STEEL STUDS BETWEEN PANELS.
- 2. OPPOSITE SIDE ONE LAYER 3/4" PROPRIETARY TYPE X GYPSUM WALLBOARD APPLIED PARALLEL TO STUDS WITH 1-1/4" TYPE S DRYWALL SCREWS 8" O.C. AT EDGES AND ENDS AND 12" O.C. AT INTERMEDIATE STUDS. (N.L.B)

PROPRIETARY GYPSUM BOARD  
UNITES STATES GYPSUM COMPANY  
3/4" SHEETROCK BRAND GYPSUM PANELS, ULTRACODE CORE  
1" SHEETROCK BRAND GYPSUM LINER PANELS

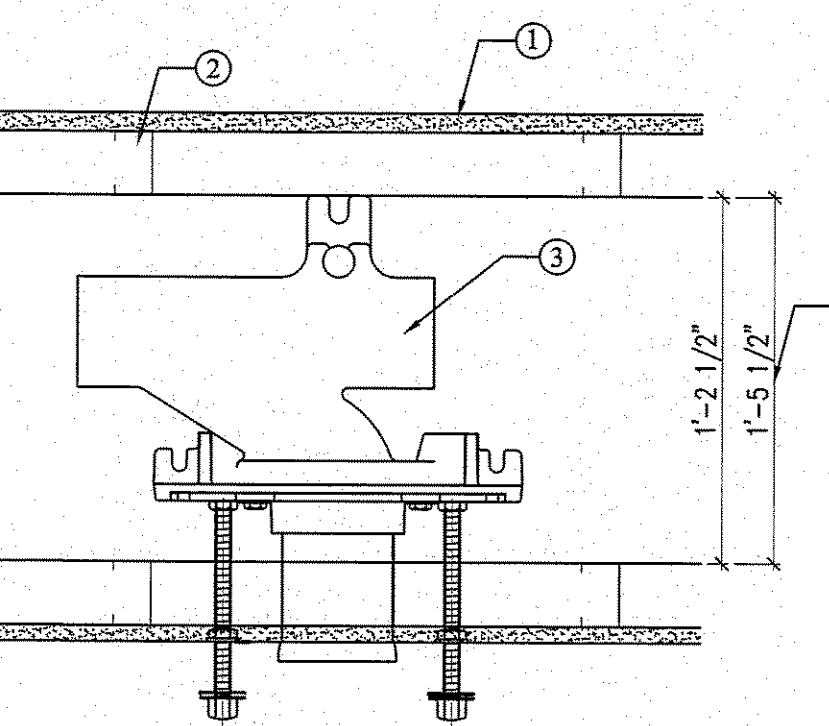


**W2A** 2 HOUR SHAFT WALL

**W2** 2 HOUR SHAFT WALL - NON-BEARING  
G.A. FILE NO. WP7053 TWO HOUR RATED

- GYPSUM WALLBOARD, STEEL C-H STUDS, MINERAL FIBER INSULATION
- 1. ONE LAYER 1" X 24" TYPE X GYPSUM PANELS INSERTED BETWEEN 4" FLOOR AND CEILING RUNNERS WITH H SECTION OF 4" PROPRIETARY VENTED C-H STEEL STUDS BETWEEN PANELS.
- 2. OPPOSITE SIDE ONE LAYER 3/4" PROPRIETARY TYPE X GYPSUM WALLBOARD APPLIED PARALLEL TO STUDS WITH 1-1/4" TYPE S DRYWALL SCREWS 8" O.C. AT EDGES AND ENDS AND 12" O.C. AT INTERMEDIATE STUDS. (N.L.B)

PROPRIETARY GYPSUM BOARD  
UNITES STATES GYPSUM COMPANY  
3/4" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE  
1" SHEETROCK BRAND GYPSUM LINER PANELS

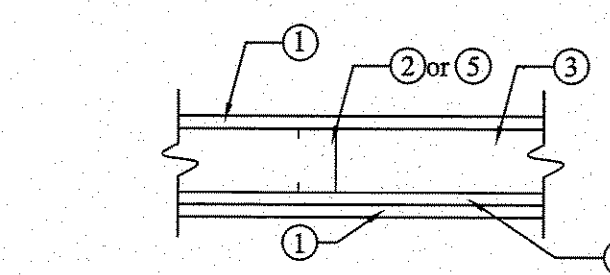


**W3** INTERIOR STEEL STUD CAVITY PARTITION

**W3** INTERIOR STEEL STUD CAVITY PARTITION

- 1. Gypsum Board: (1) One layer 5/8" "Type X", 4 ft wide, applied parallel to each side of steel studs o.c. with 1" Type S drywall screws 8" o.c. at vertical joints and 12" o.c. at intermediate studs.
- 2. 2 1/2" steel studs
- 3. Zurr 21203-N Carrier

4. Dimension between 2-1/2 and 6" studs: 1'-5 1/2"



**W4** 0-1 HOUR PARTITION

**W4** INTERIOR STEEL STUD PARTITION  
G.A. File No. WP1340 ONE HOUR RATED

- 1. Gypsum Board: (1) One layer 5/8" "Type X", 4 ft wide, applied parallel to each side of steel studs o.c. with 1" Type S drywall screws 8" o.c. at vertical joints and 12" o.c. at intermediate studs.
- 2. 2 1/2" steel studs

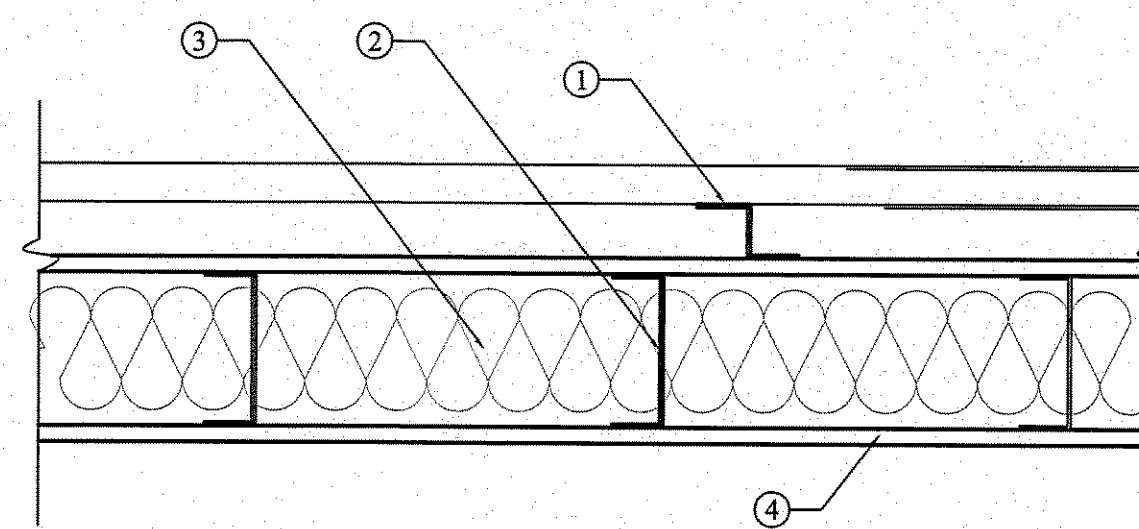
Joints staggered 24" on opposite sides. (N.L.B)

**W4A** INTERIOR STEEL STUD PARTITION  
G.A. File No. WP1340 ONE HOUR RATED

- 3. 2-3/4" Fiberglass Bat
- 4. 1" sound channel

**W4B** INTERIOR STEEL STUD PARTITION  
G.A. File No. WP1340 ONE HOUR RATED

- 5. 6" STEEL STUD

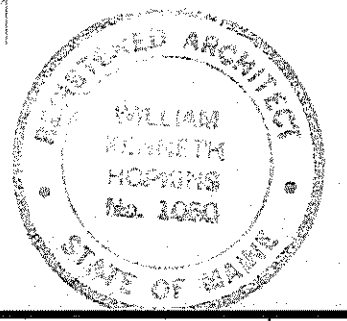


**W5** NEW EXTERIOR WALL

**W5** NEW EXTERIOR WALL

- 1. METAL SIDING SYSTEM
- 2. 6" METAL STUD
- 3. 6" BAT INSULATION
- 4. 5/8" GYPSUM BOARD





Prepared For:  
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25 South Service Road, Suite 300  
Jericho, New York

Consulting Engineer:

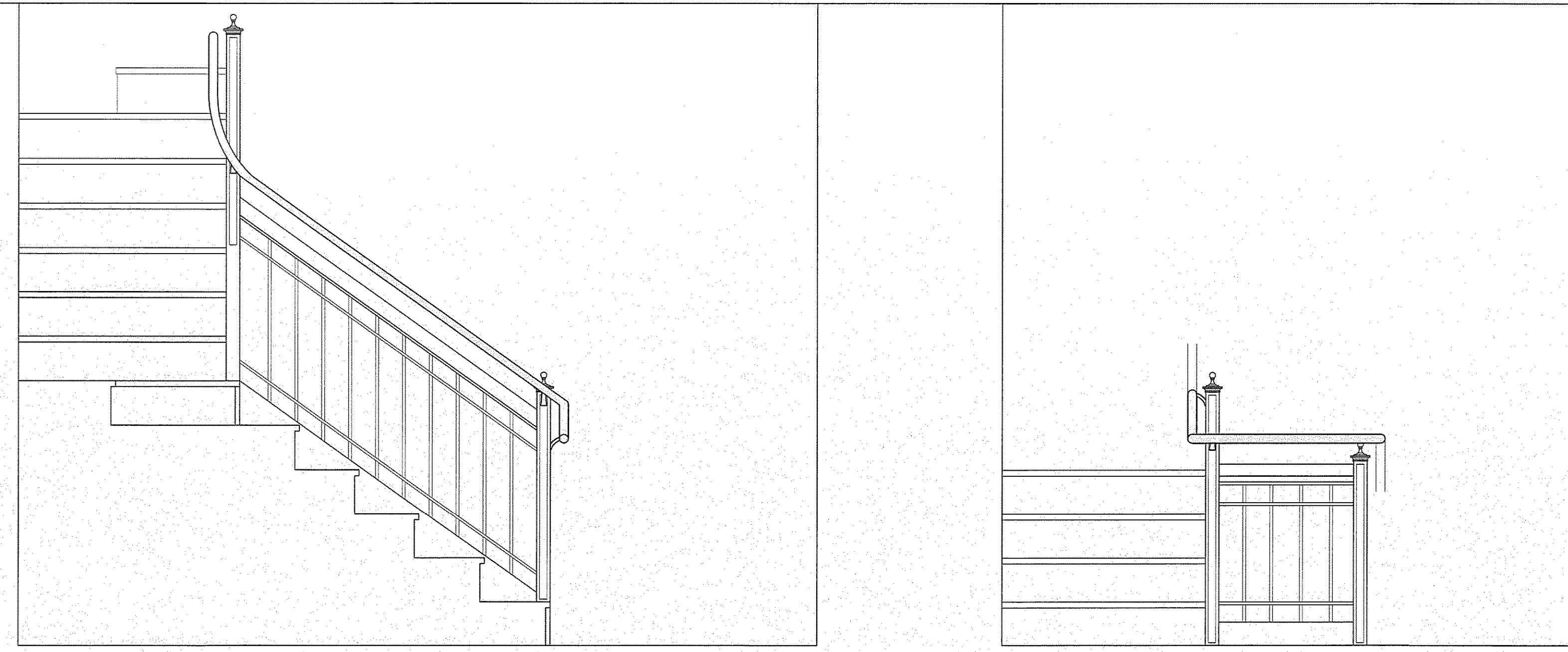
Architect:  
**ARCHETYPE architects**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
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390 CONGRESS ST.  
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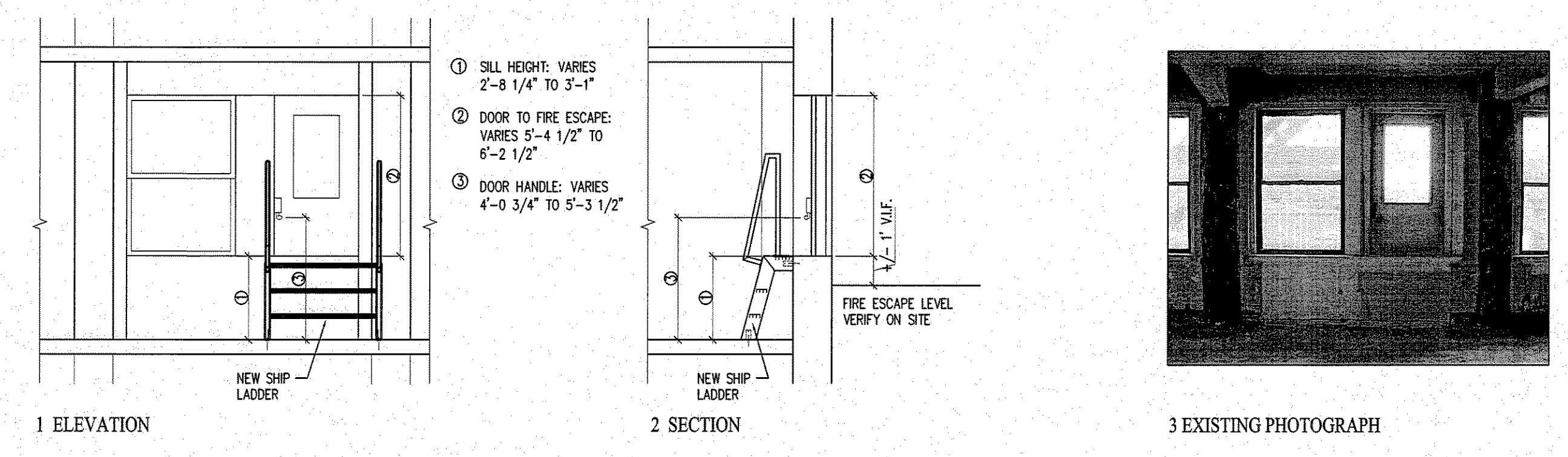
Revisions:  
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Date:  
22 February 2011  
AS NOTED

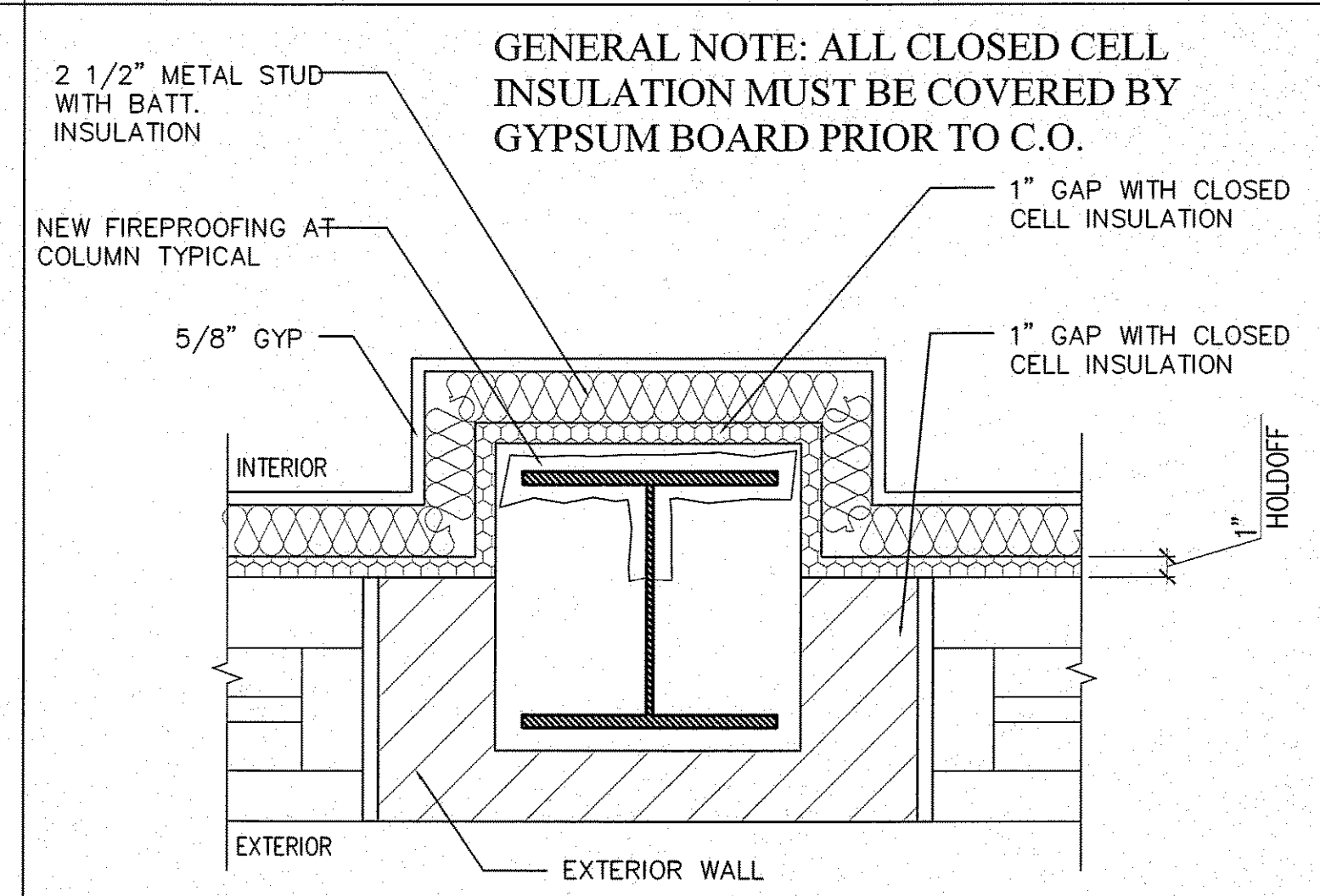
**DETAILS**  
**A5.01**



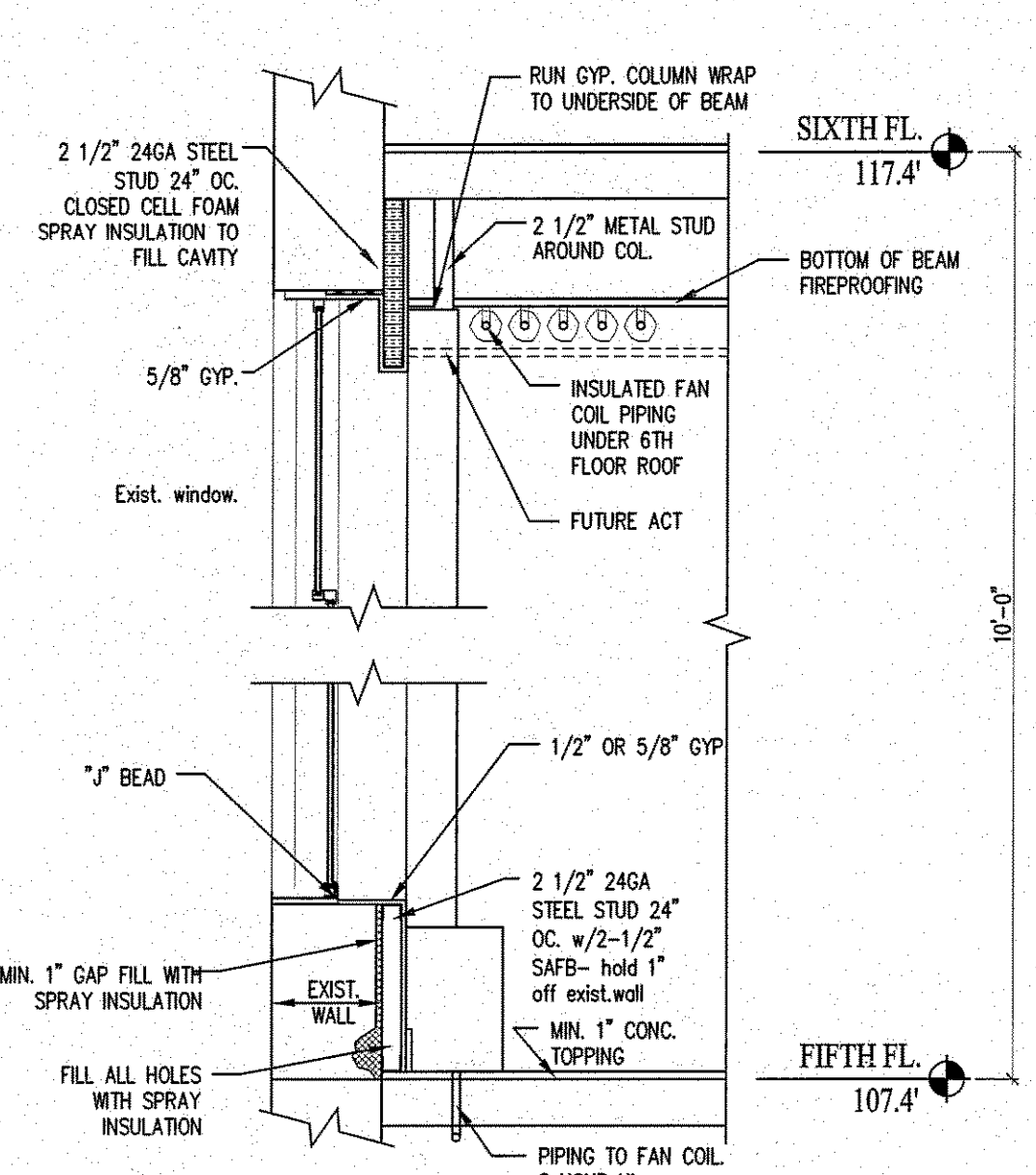
**G** RAILING DETAILS AT CENTER STAIR  
SCALE: 3/4"=1'-0"



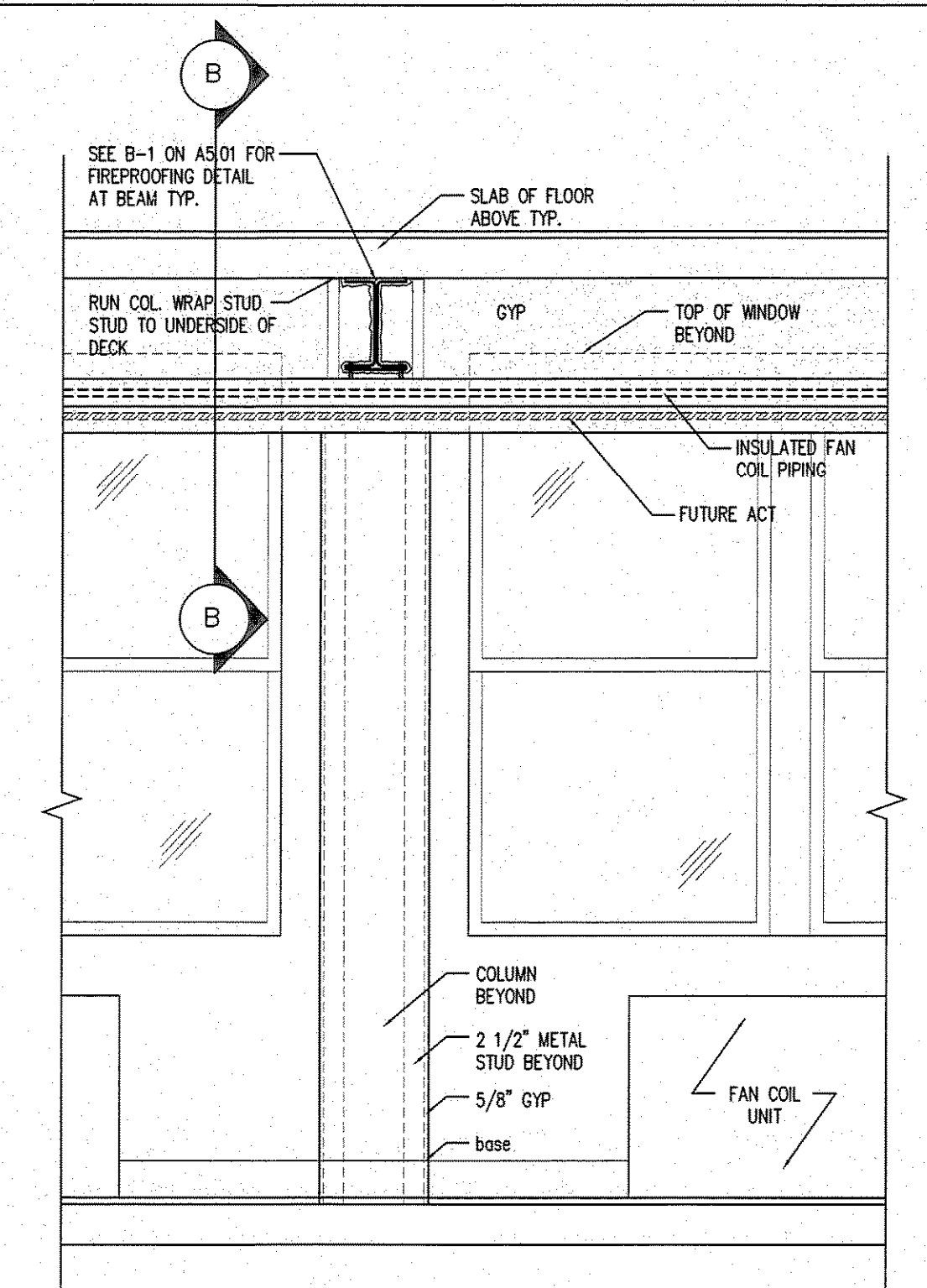
**F** FIRE ESCAPE  
SCALE: 1/4"=1'-0"



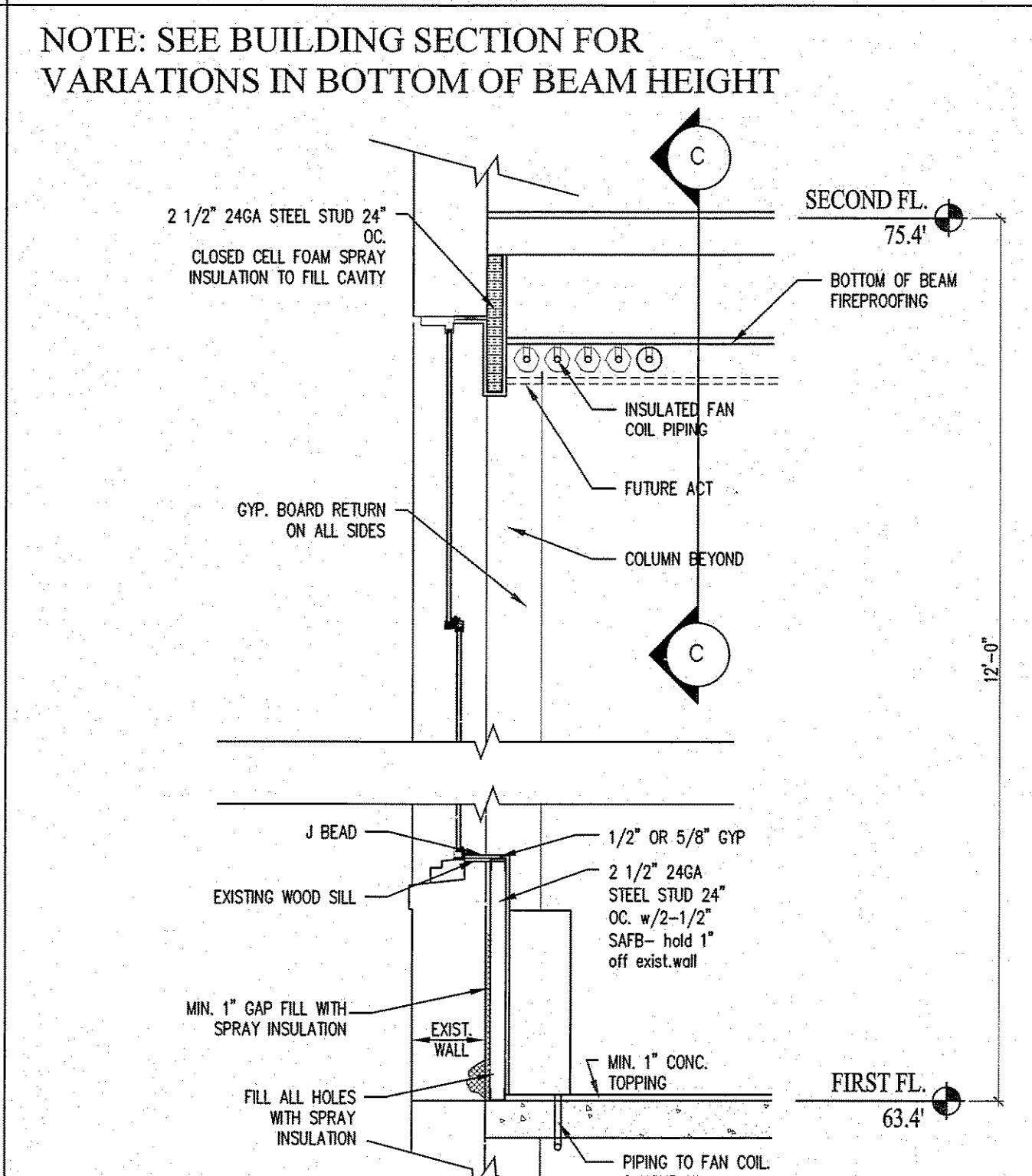
**E** PLAN: TYPICAL EXTERIOR WALL DETAIL  
SCALE: 1-1/2"=1'-0"



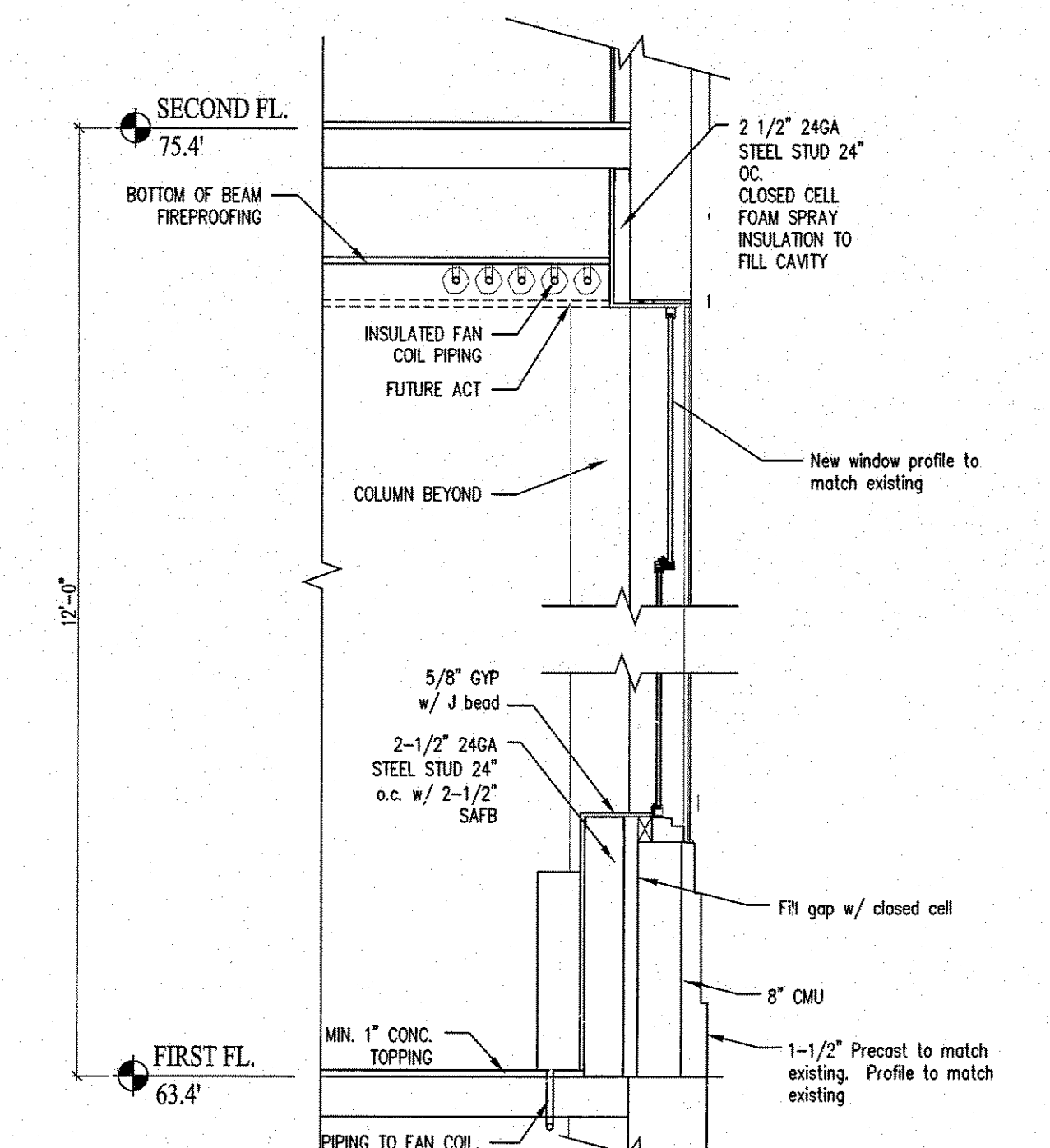
**D** SECTION AT NEW 5TH FLOOR WINDOWS  
SCALE: 1/2"=1'-0"



**C** TYPICAL SECTION/ELEVATION AT WINDOW  
SCALE: 1/2"=1'-0"



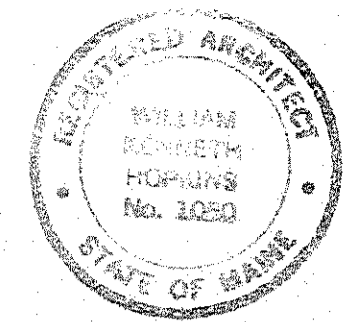
**B** TYPICAL WALL SECTION AT WINDOW  
SCALE: 1/2"=1'-0"



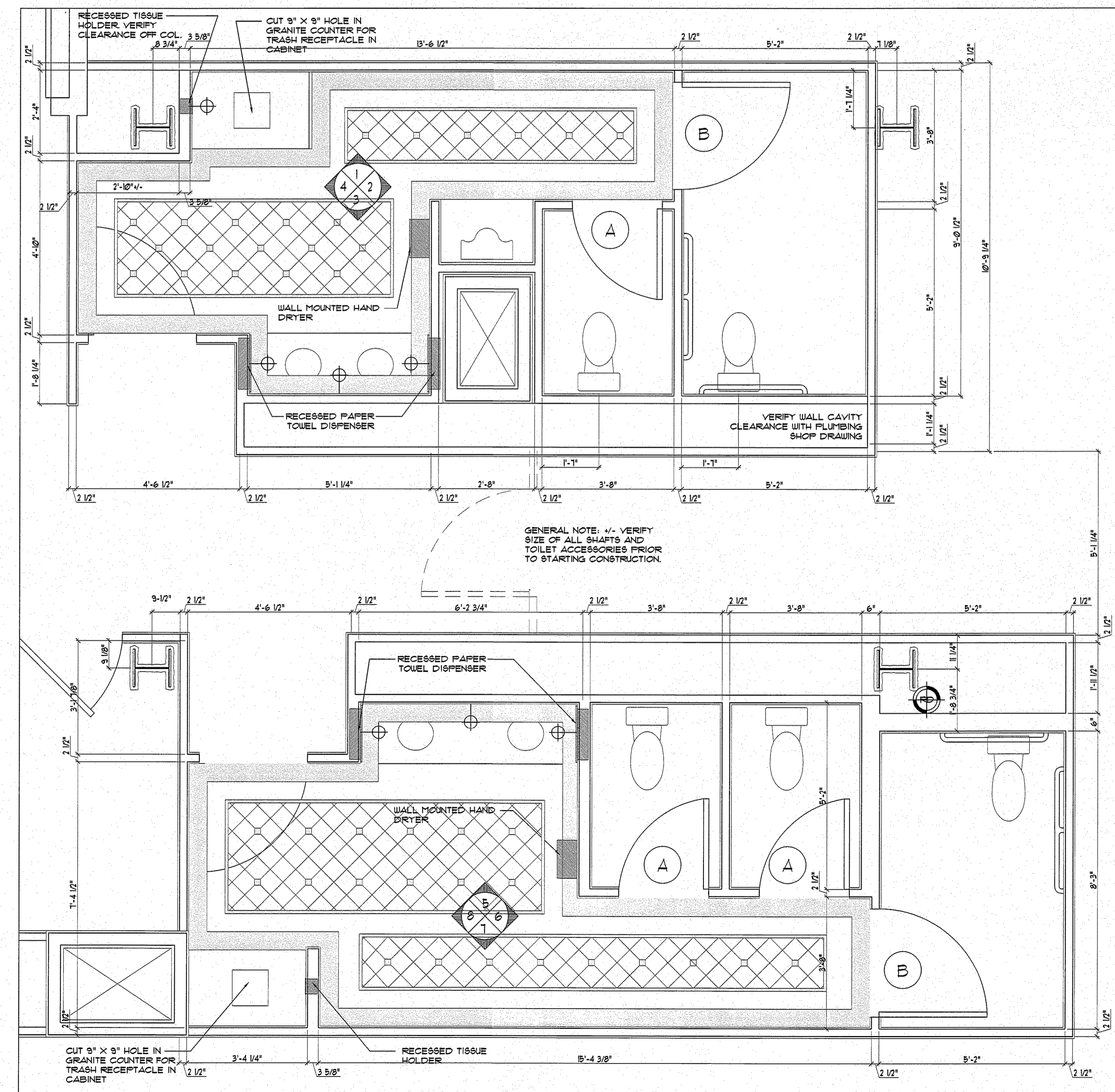
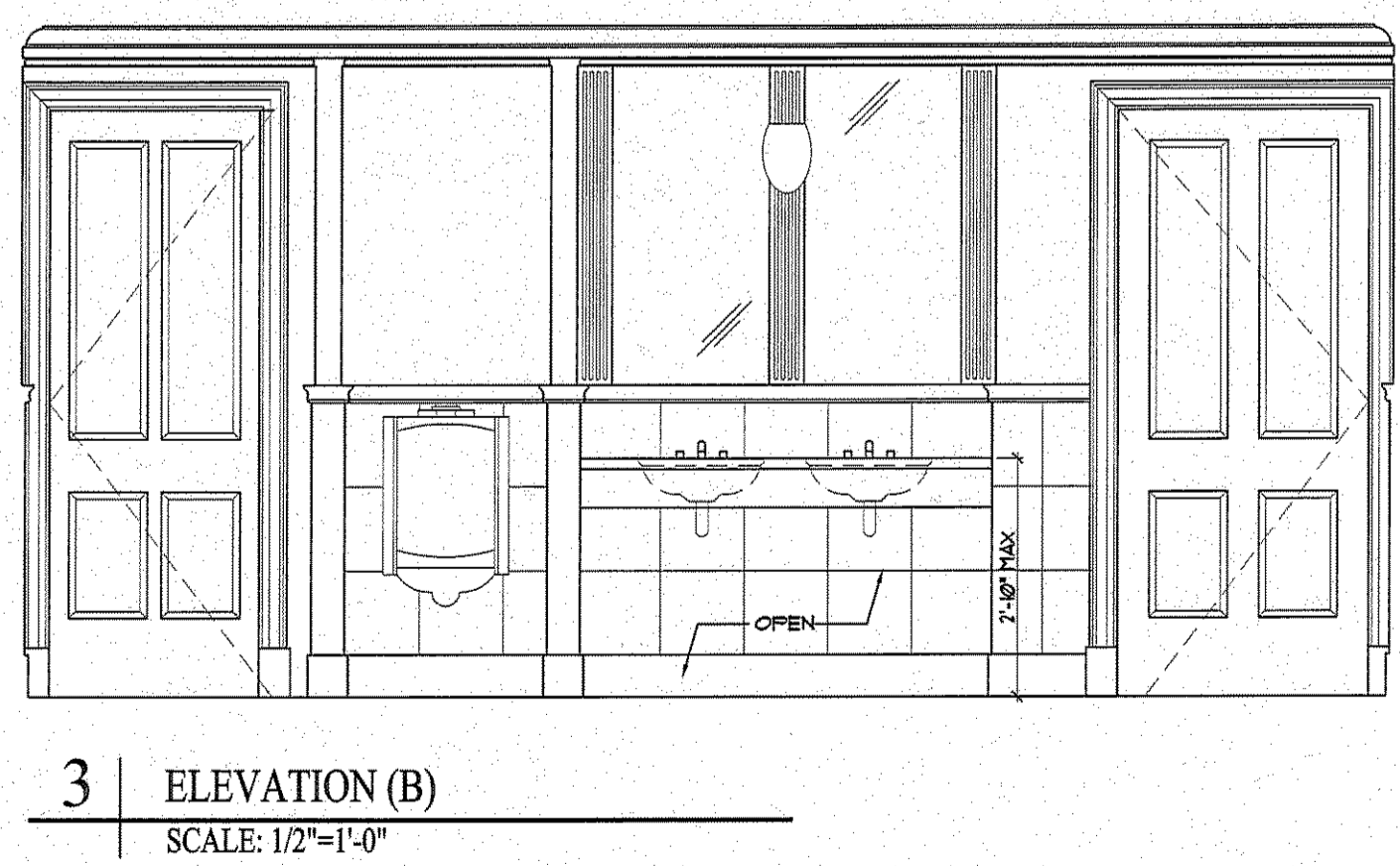
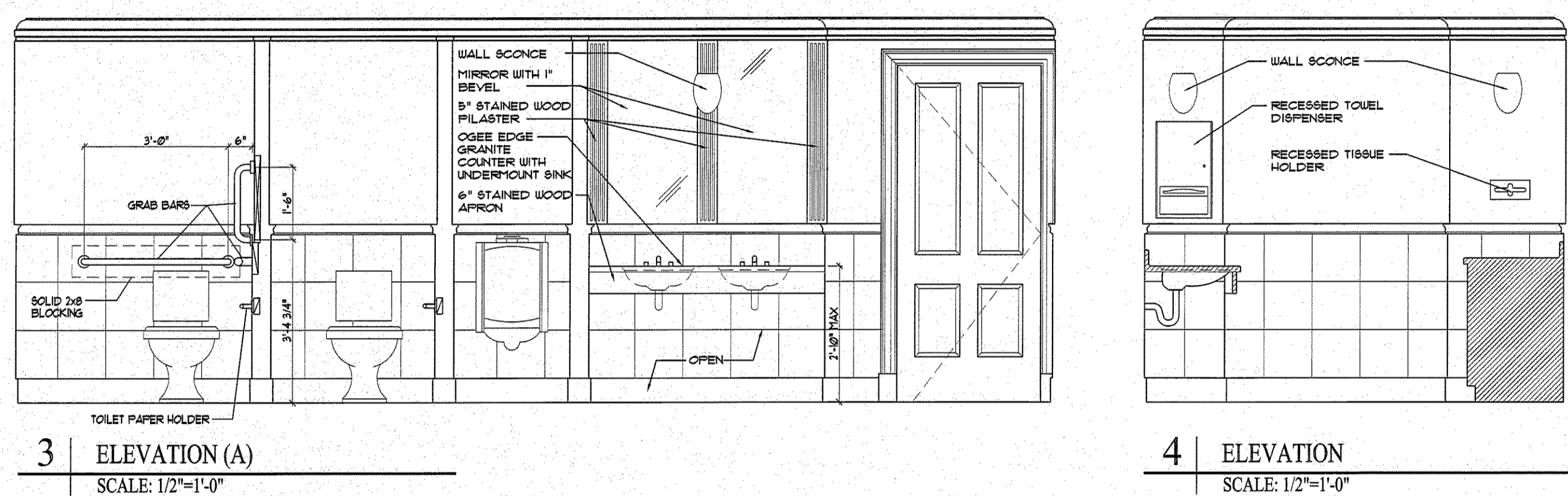
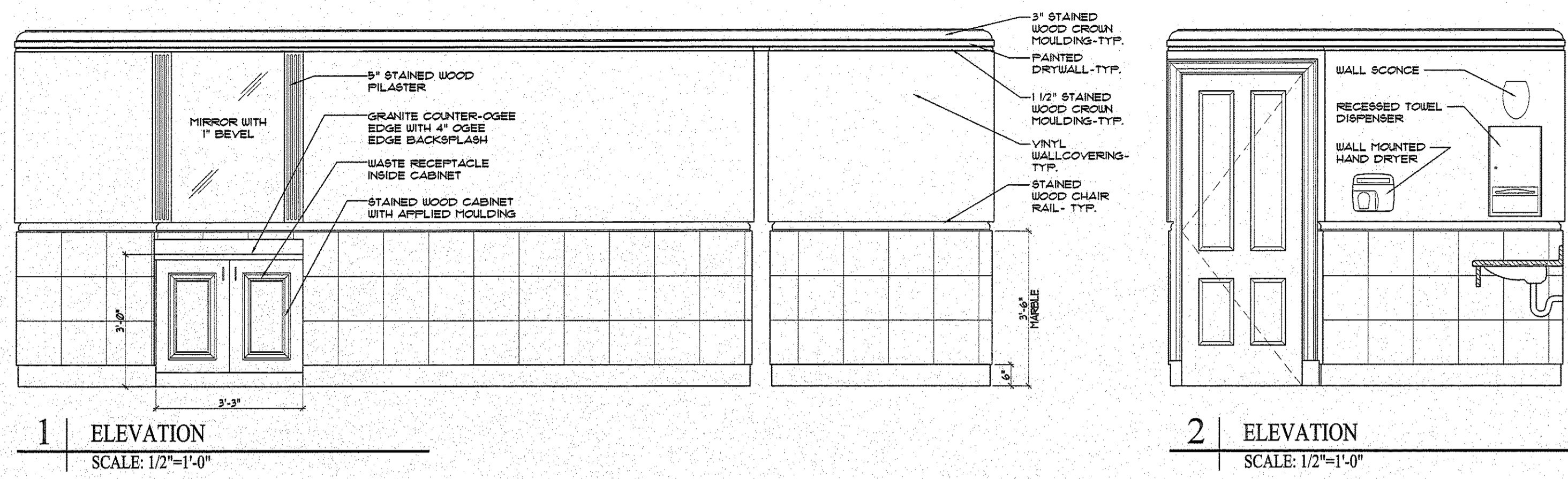
**A** WALL SECTION AT WINDOW TO REPLACE GARAGE DR.  
SCALE: 1/2"=1'-0"

NOTE: SEE BUILDING SECTION FOR VARIATIONS IN BOTTOM OF BEAM HEIGHT





MEN'S RESTROOM



Prepared For:  
**GRAND METRO BUILDERS OF NEW YORK**  
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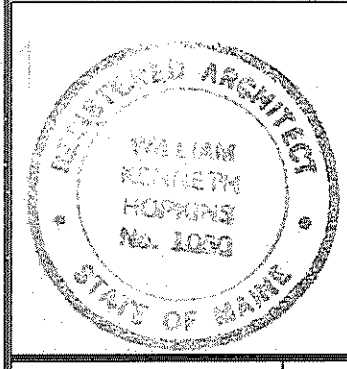
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**5-3-11 PERMITS APP**

Date: 22 February 2011  
 Scale: 1/2" = 1'-0"  
**INTERIOR ELEVATIONS**  
**TYPICAL ALL FLOORS**

**A6.01**





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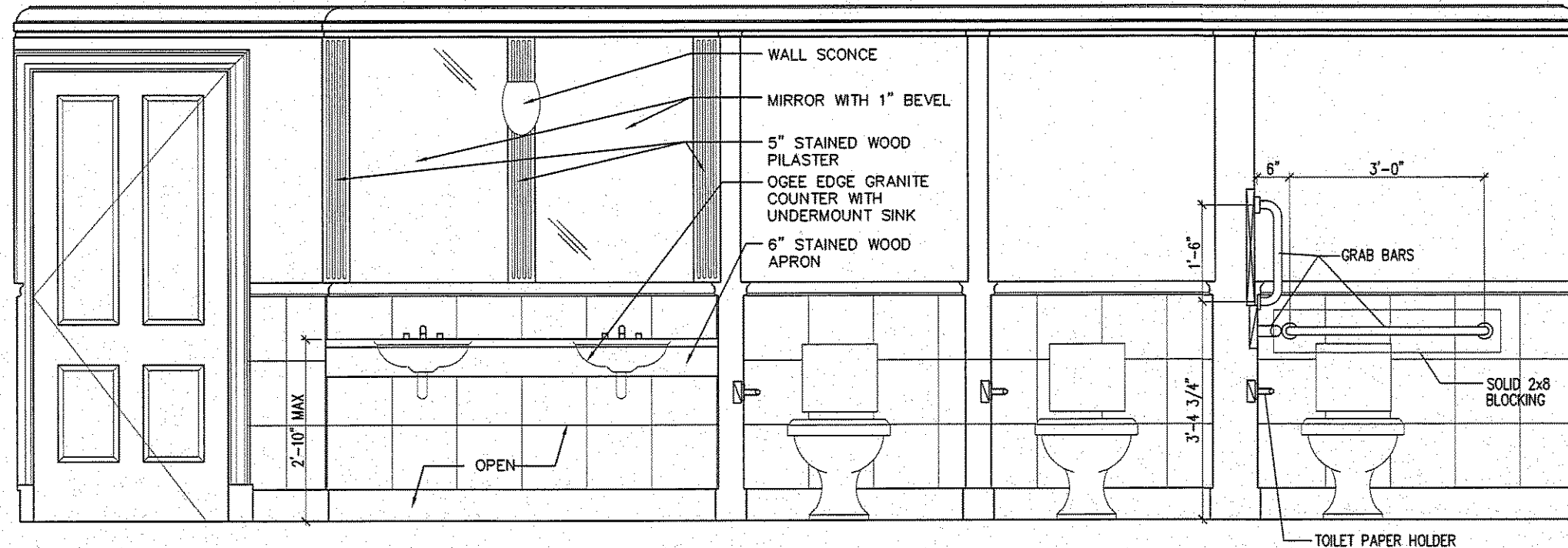
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**5-3-11 PERMIT APP**

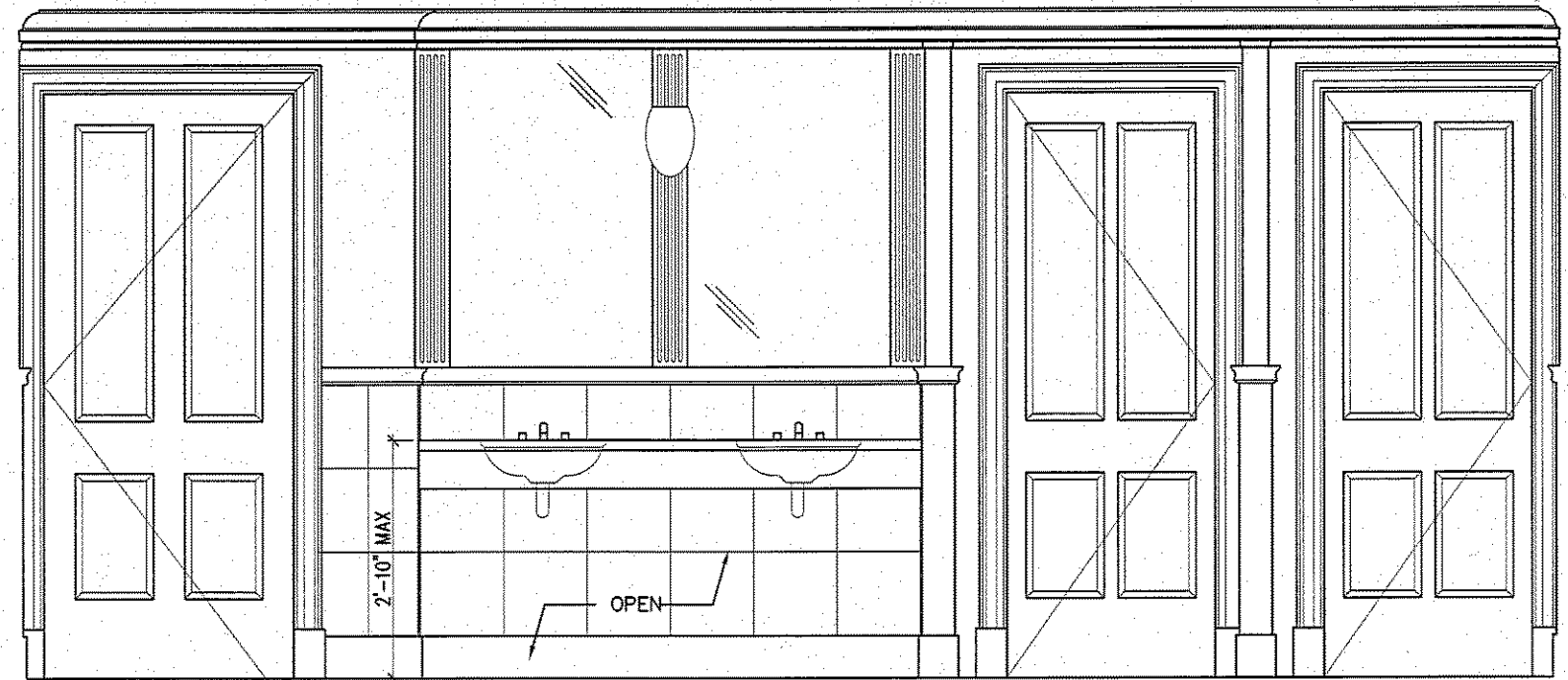
Date: 22 February 2011  
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**INTERIOR ELEVATIONS  
TYPICAL ALL FLOORS**

**A6.02**

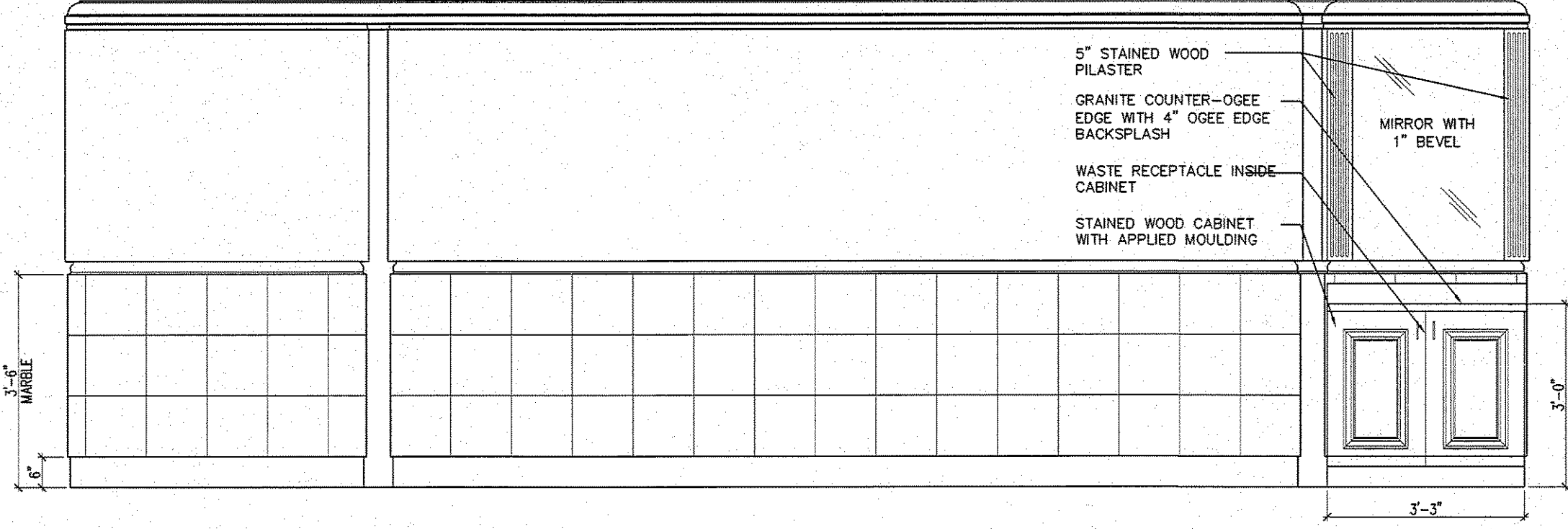
**WOMEN'S RESTROOM**



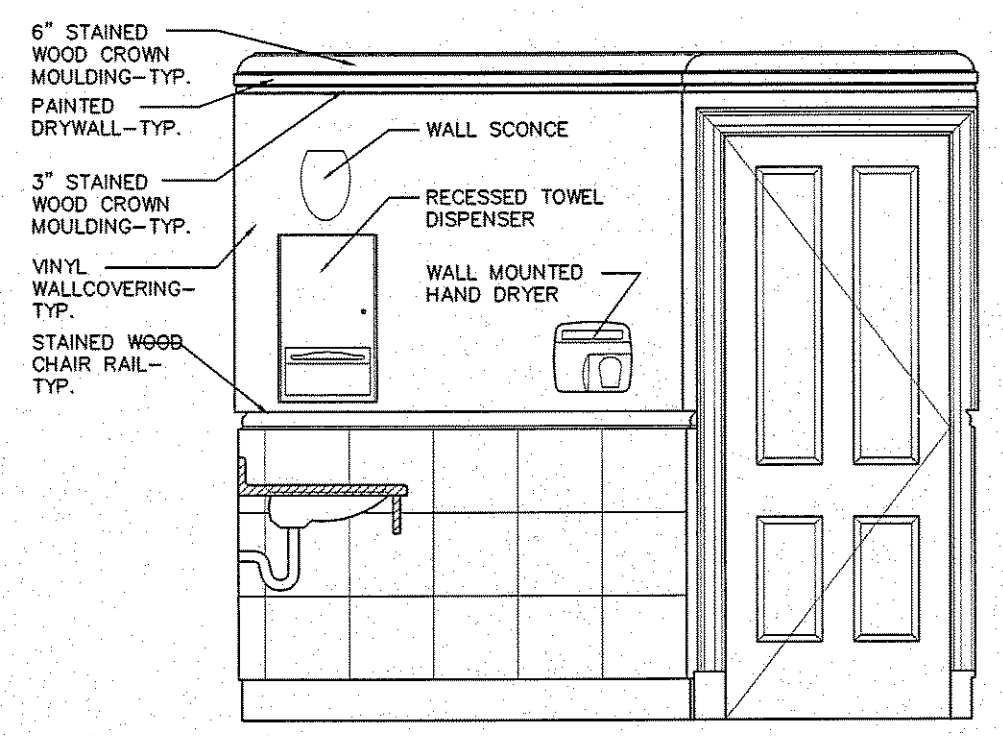
**5 | ELEVATION (A)**  
SCALE: 1/2"=1'-0"



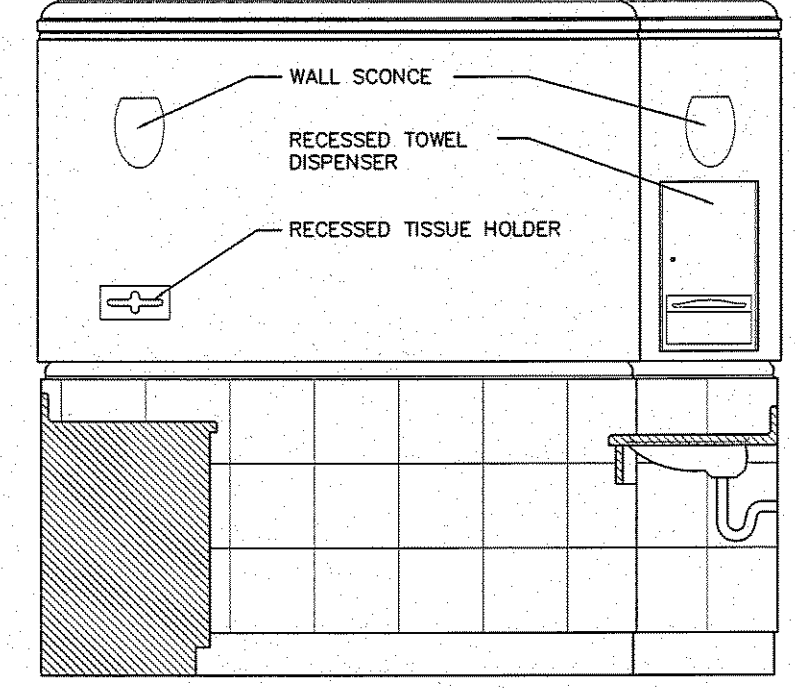
**5 | ELEVATION (B)**  
SCALE: 1/2"=1'-0"



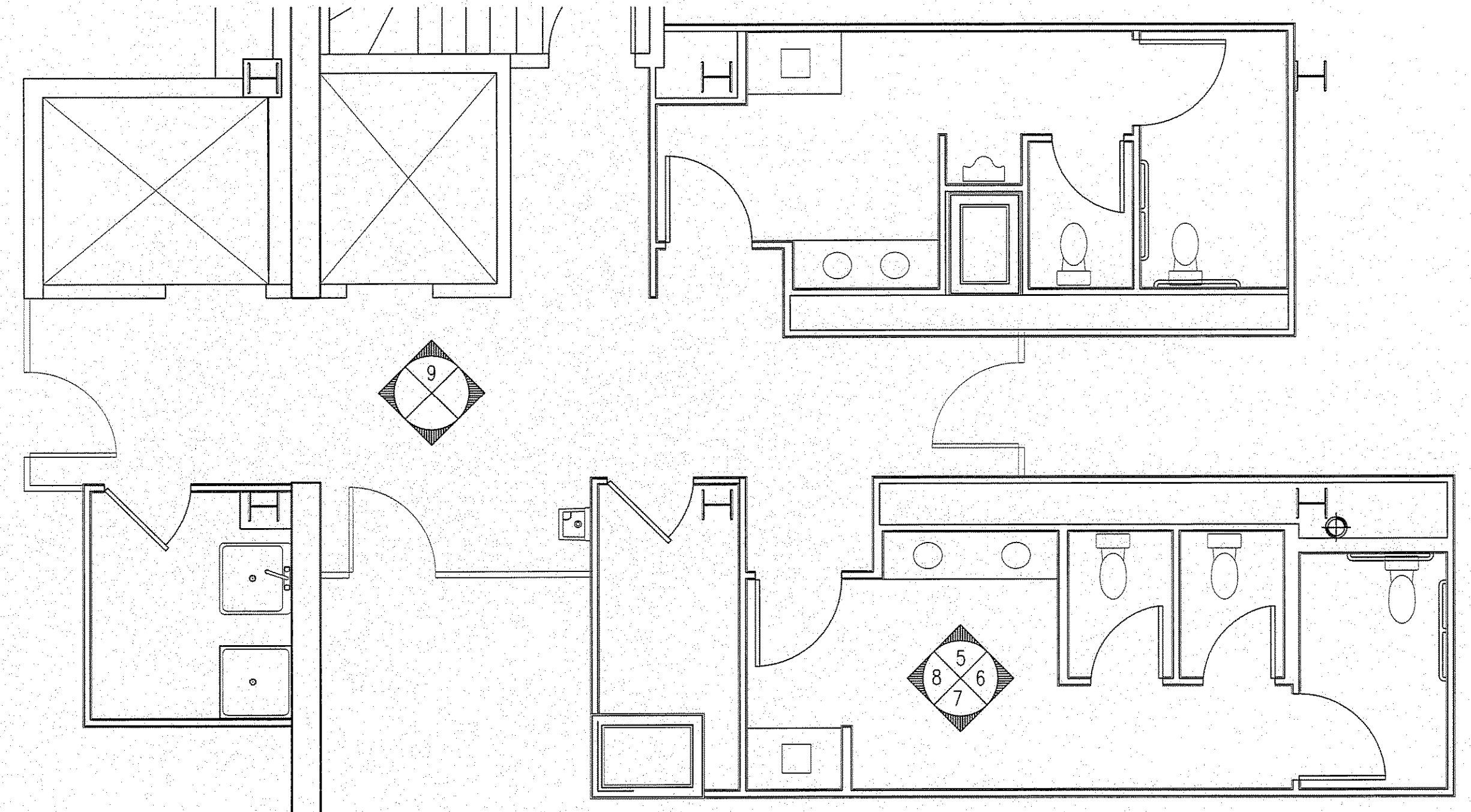
**7 | ELEVATION**  
SCALE: 1/2"=1'-0"



**6 | ELEVATION**  
SCALE: 1/2"=1'-0"



**8 | ELEVATION**  
SCALE: 1/2"=1'-0"

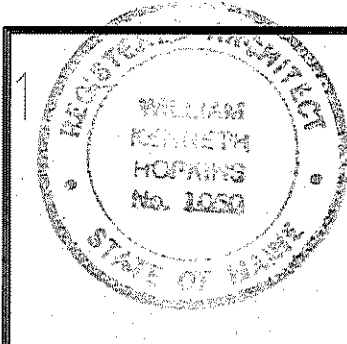


**A | KEY PLAN**  
SCALE: 1/4"=1'-0"



**9 | MAIN CORRIDOR**  
SCALE: 1/2"=1'-0"





Prepared For:  
**GRAND METRO BUILDERS OF NEW YORK**  
 25 South Service Road, Suite 300  
 Jericho, New York

Construction Manager:

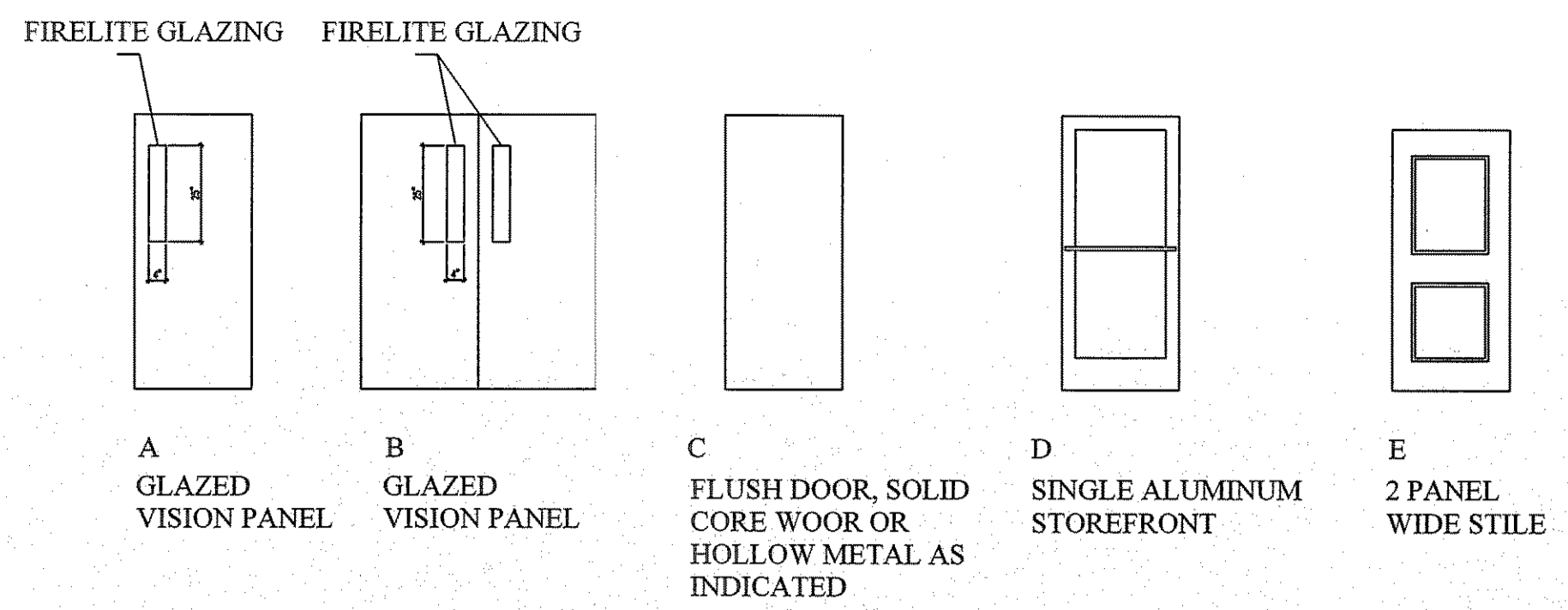
Architect:  
**ARCHETYPE architects**  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

Project:  
**390 CONGRESS ST.**  
 390 CONGRESS ST.  
 PORTLAND, MAINE

Revisions:  
 SEM PERMIT - 2/22/2011  
**5-3-11 PENALT APF**

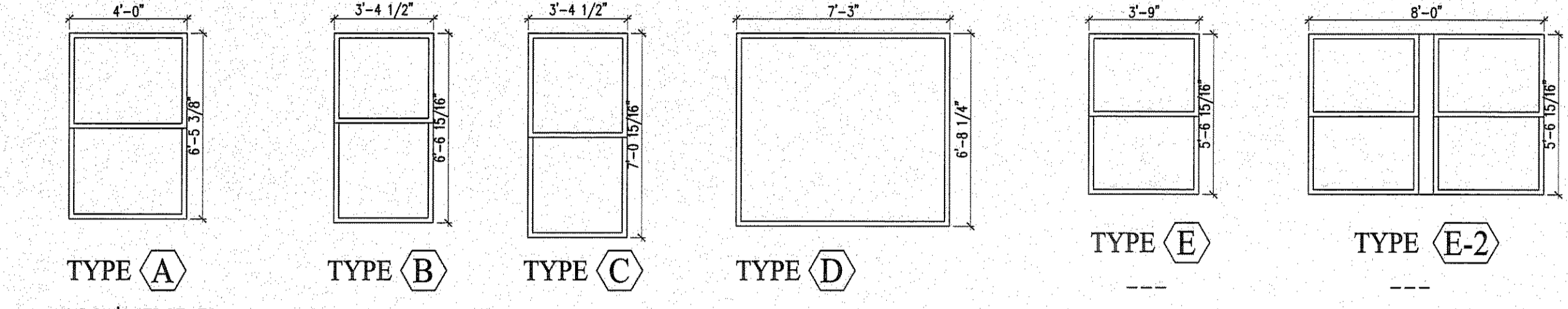
Date: 22 February 2011  
 Scale: As noted  
**DOOR AND WINDOW SCHEDULE**

**A7.01**



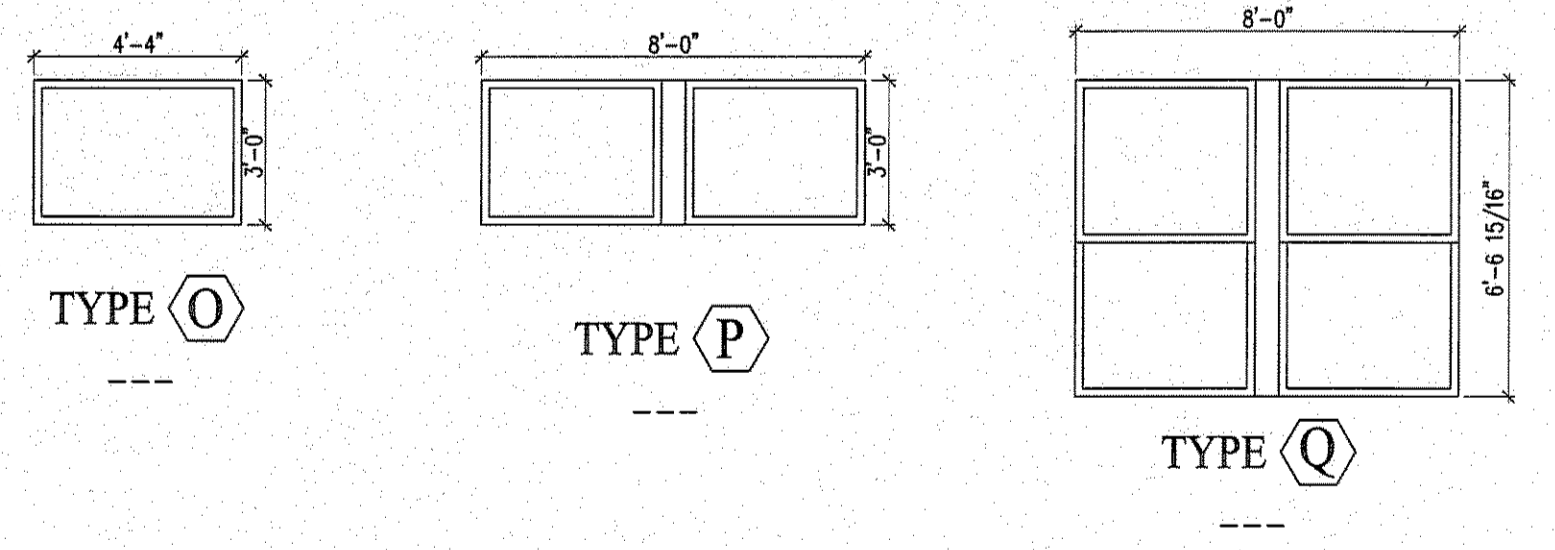
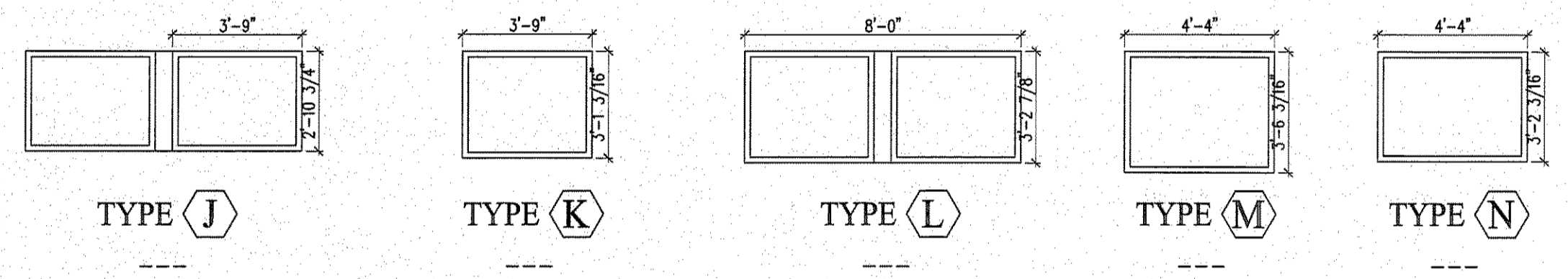
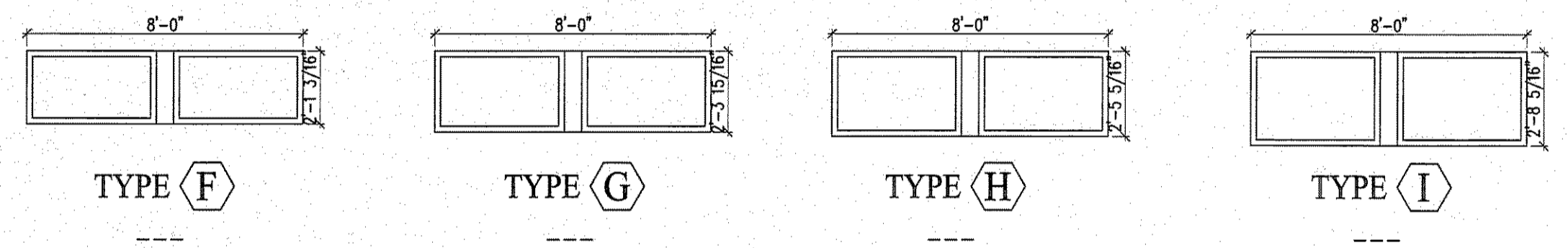
**\* WINDOW SCHEDULE \***

ALL NEW WINDOWS ARE TO ALIGN WITH ADJACENT EXISTING WINDOWS.



A WINDOW'S EDGE TO ALIGN WITH EDGE OF WINDOWS BELOW. SEE ELEVATIONS.

General Note:  
 Profile of new windows are to match those of adjacent existing windows



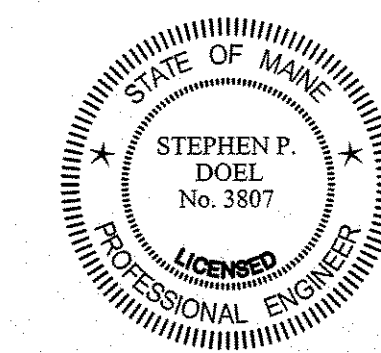
NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD AND ALIGN WITH CENTERLINE OF THE EXISTING WINDOW BELOW OR MADE TO FIT THE EXISTING FRAME (IF EXISTS).

**\* DOOR SCHEDULE \***

DOOR No.	SIZE W x H x T	DOOR		FINISH	THRESH	FRAME		LABEL	HARDWARE	REMARKS
		Type	Material			Material	Type			
SB1	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted		Steel		90- min.	Passage	
001	(2)3'-0" x 7'-0" x 1 3/4"	B	Steel	Painted		Steel		90- min.	Passage	
002	(2)3'-0" x 7'-0" x 1 3/4"	B	Steel	Painted		Steel		90- min.	Passage	
003	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted		Steel		90- min.	Passage	
004	3'-0" x 7'-0" x 1 3/4"	C	Steel	Painted		Steel		90- min.	Passage	
005	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted		Steel		90- min.	Storage	
101	3'-0" x 7'-0" x 1 3/4"	D	Steel/Glass	Painted	Aluminum	Steel		90- min.	Passage	Bulletproof/Fire Glass.
102	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
103	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
104	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
105	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
106	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage/lock	
201	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
202	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
203	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
204	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
205	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
206	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage/lock	
207	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage/lock	
301	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
302	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
303	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
304	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
305	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
306	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage/lock	
401	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
402	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
403	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
404	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
405	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
406	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage/lock	
501	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
502	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
503	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
504	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
505	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
506	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage/lock	
601	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
602	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
603	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
604	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
605	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
701	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
702	3'-0" x 7'-0" x 1 3/4"	A	Steel	Painted	Aluminum	Steel		90- min.	Passage	
703	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Storage	
704	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
705	3'-0" x 7'-0" x 1 3/4"	E	Wood	Stained		Wood			Passage	
801	3'-0" x 7'-0" x 1 3/4"		Steel	Painted	Aluminum	Steel		90- min.	Passage	Insulated
901	3'-0" x 7'-0" x 1 3/4"		Steel	Painted	Aluminum	Steel			Storage	Insulated
RESTROOM DOORS										
A	2'-6" x 7'-0" x 1 3/4"		Wood	Stained		Wood			Passage	
B	3'-0" x 7'-0" x 1 3/4"		Wood	Stained		Wood			Passage	

GENERAL NOTES:  
 1. All rated doors to be gasketed.  
 2. All doors to have closers

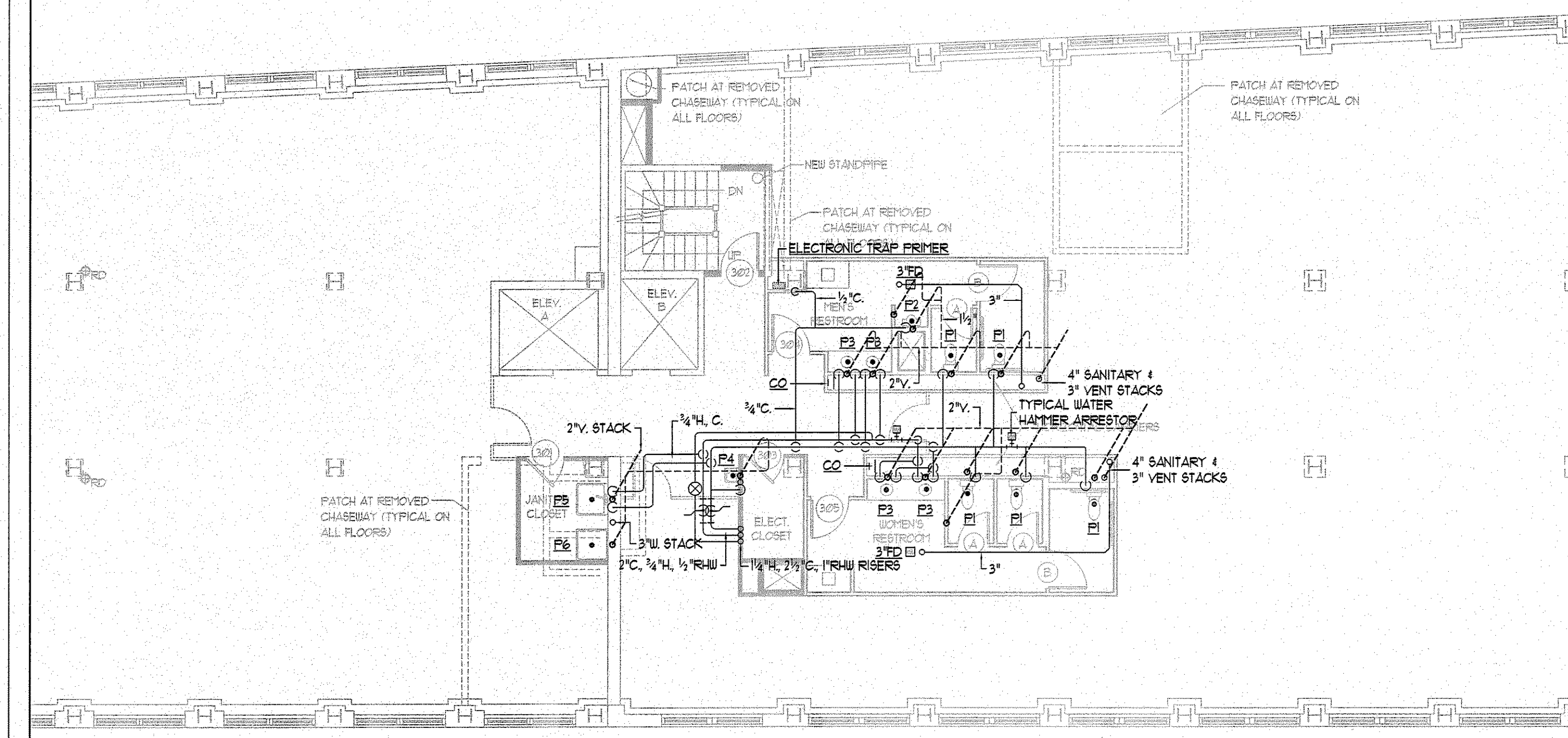




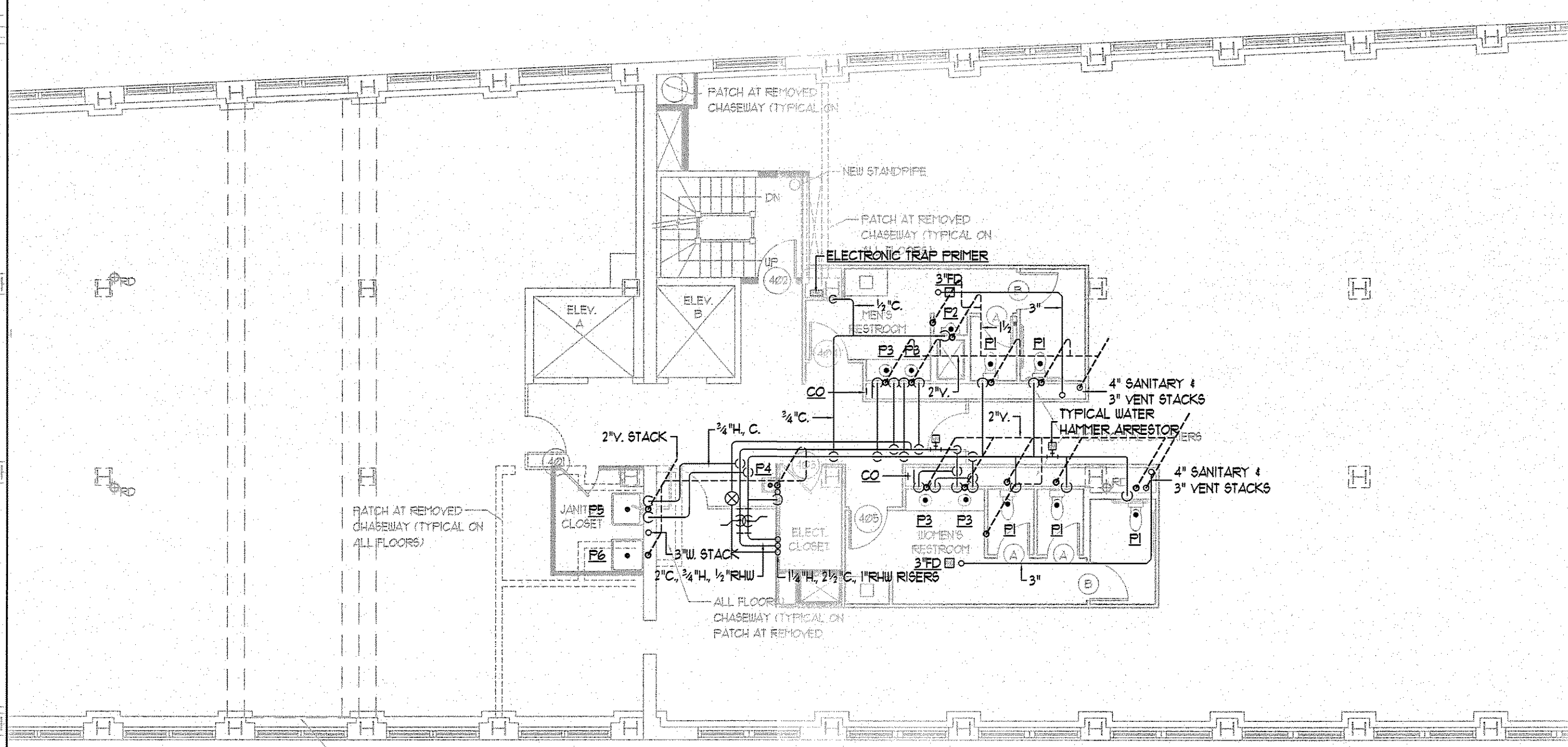
Revisions

370 Congress Street  
Renovations

Portland, ME

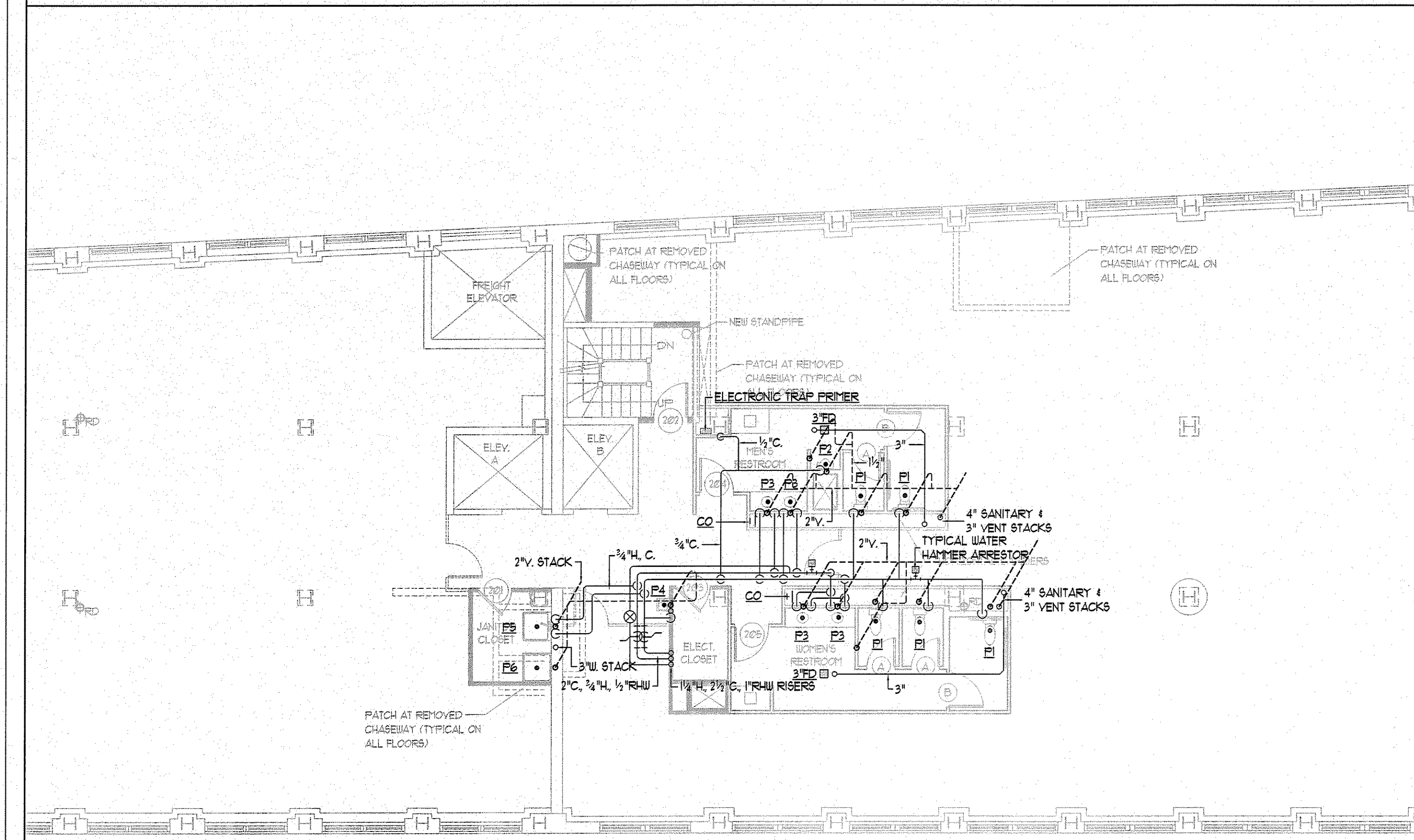


Third Floor Plumbing Plan

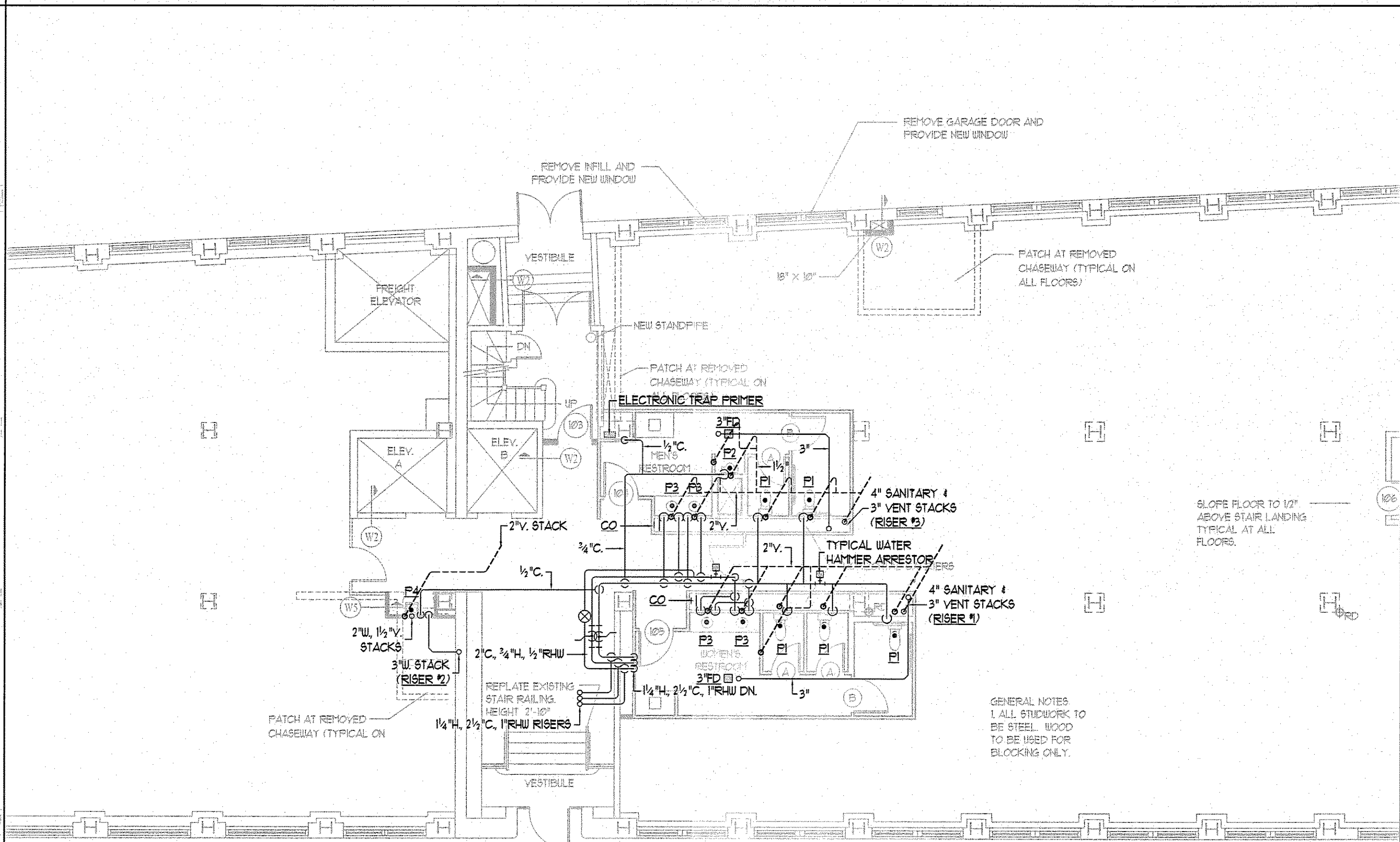


Fourth Floor Plumbing Plan

STRUCTURAL QUESTION  
IS THIS CHANNEL  
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4TH FLOOR  
NECESSARY?

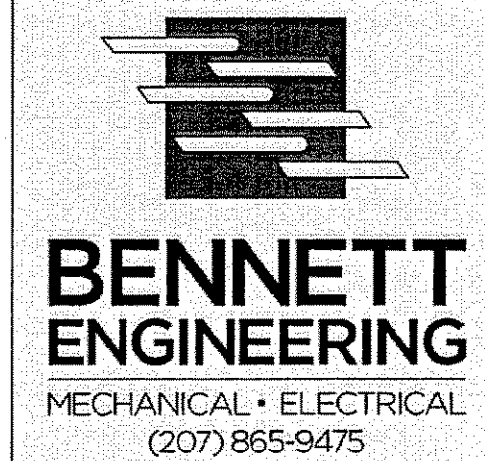


Second Floor Plumbing Plan



First Floor Plumbing Plan

GENERAL NOTES  
1. ALL STEELWORK TO  
BE STEEL WOOD  
TO BE USED FOR  
BLOCKING ONLY.



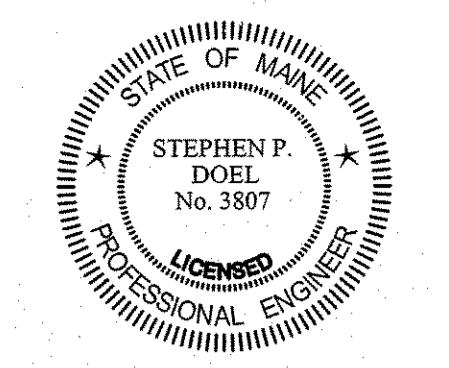
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Checked by: SP Doel

Drawing Title:  
**Plumbing  
Floor Plans**



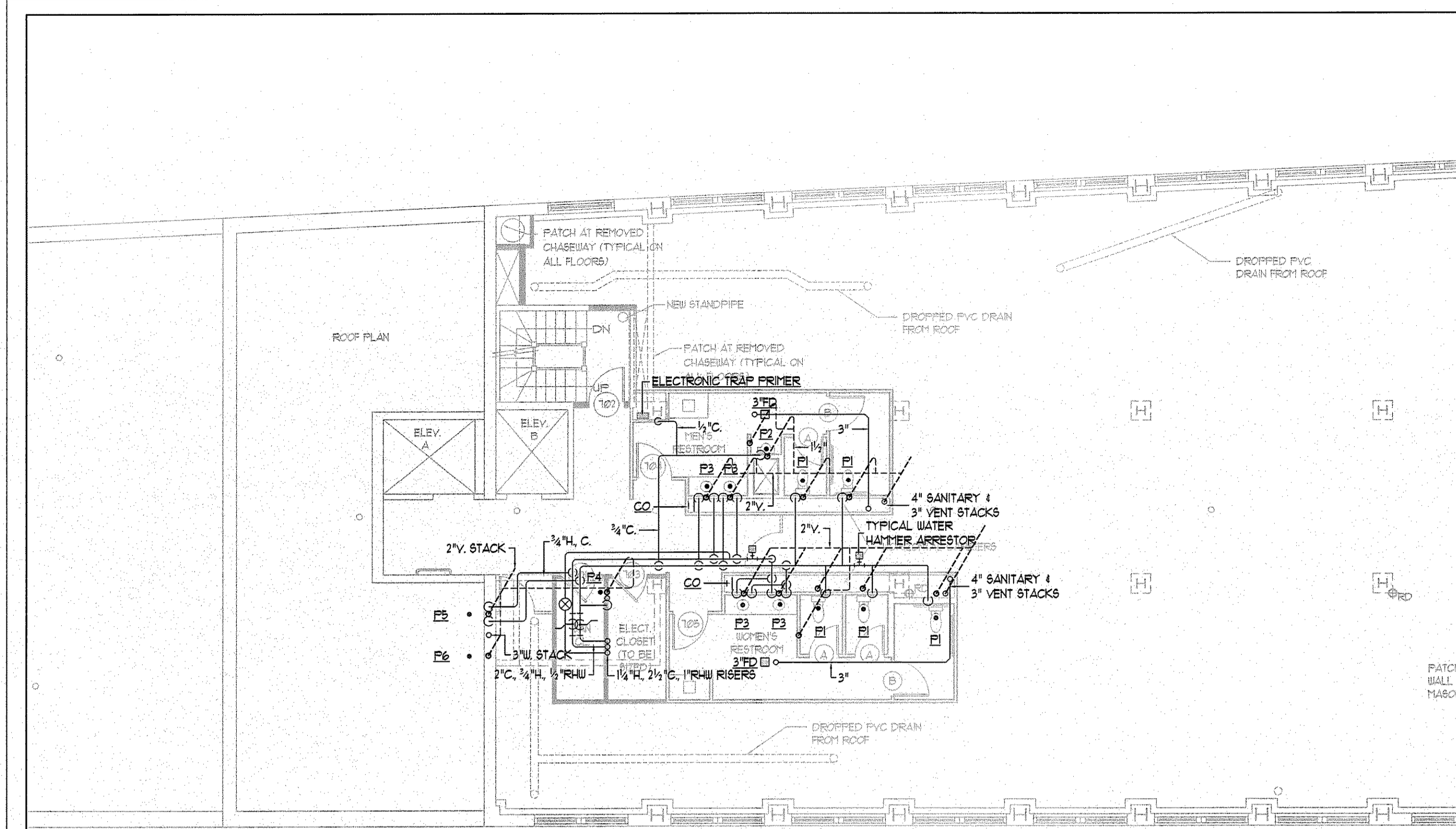
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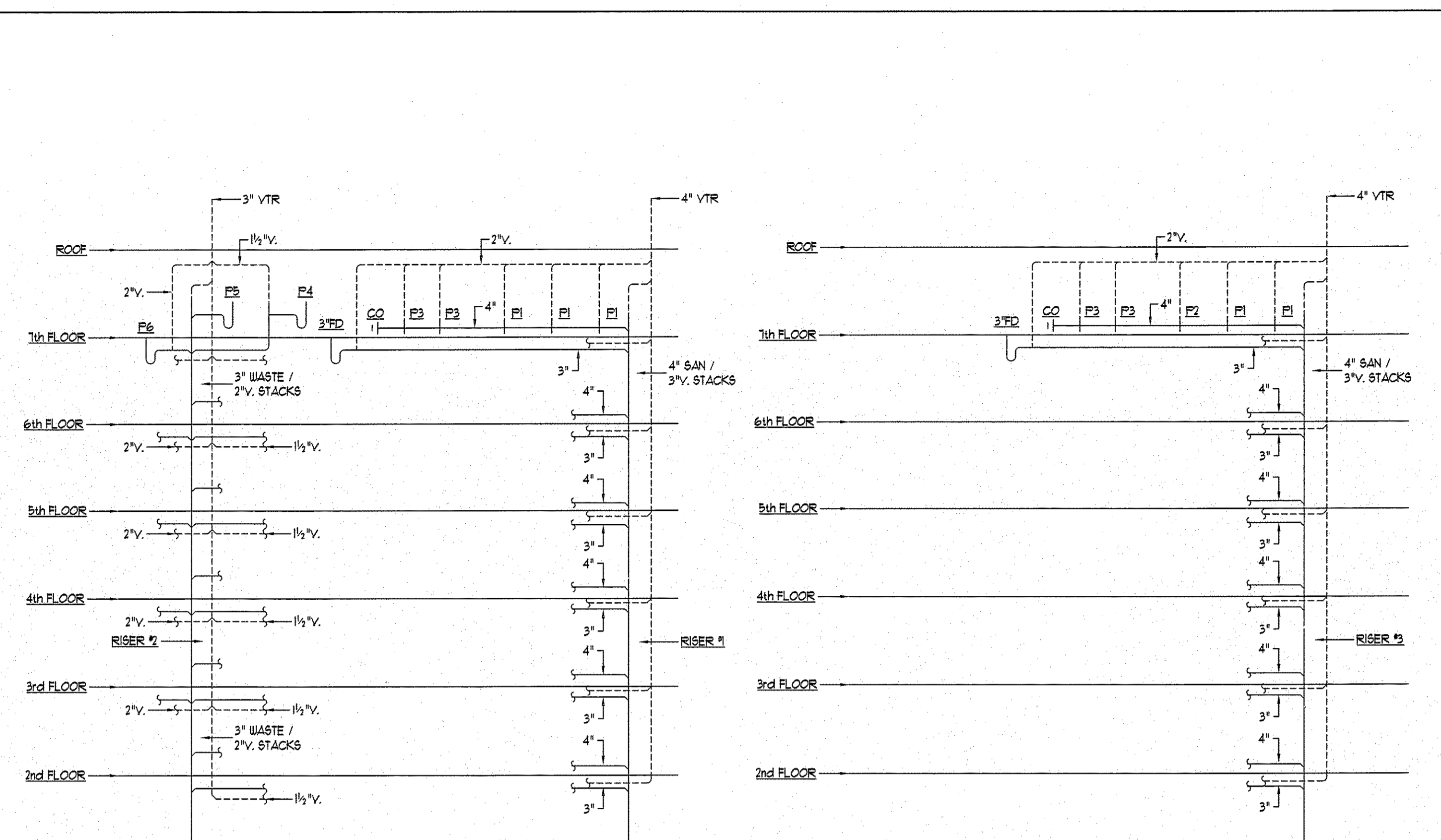


Revisions

370 Congress Street  
Renovations  
Portland, ME

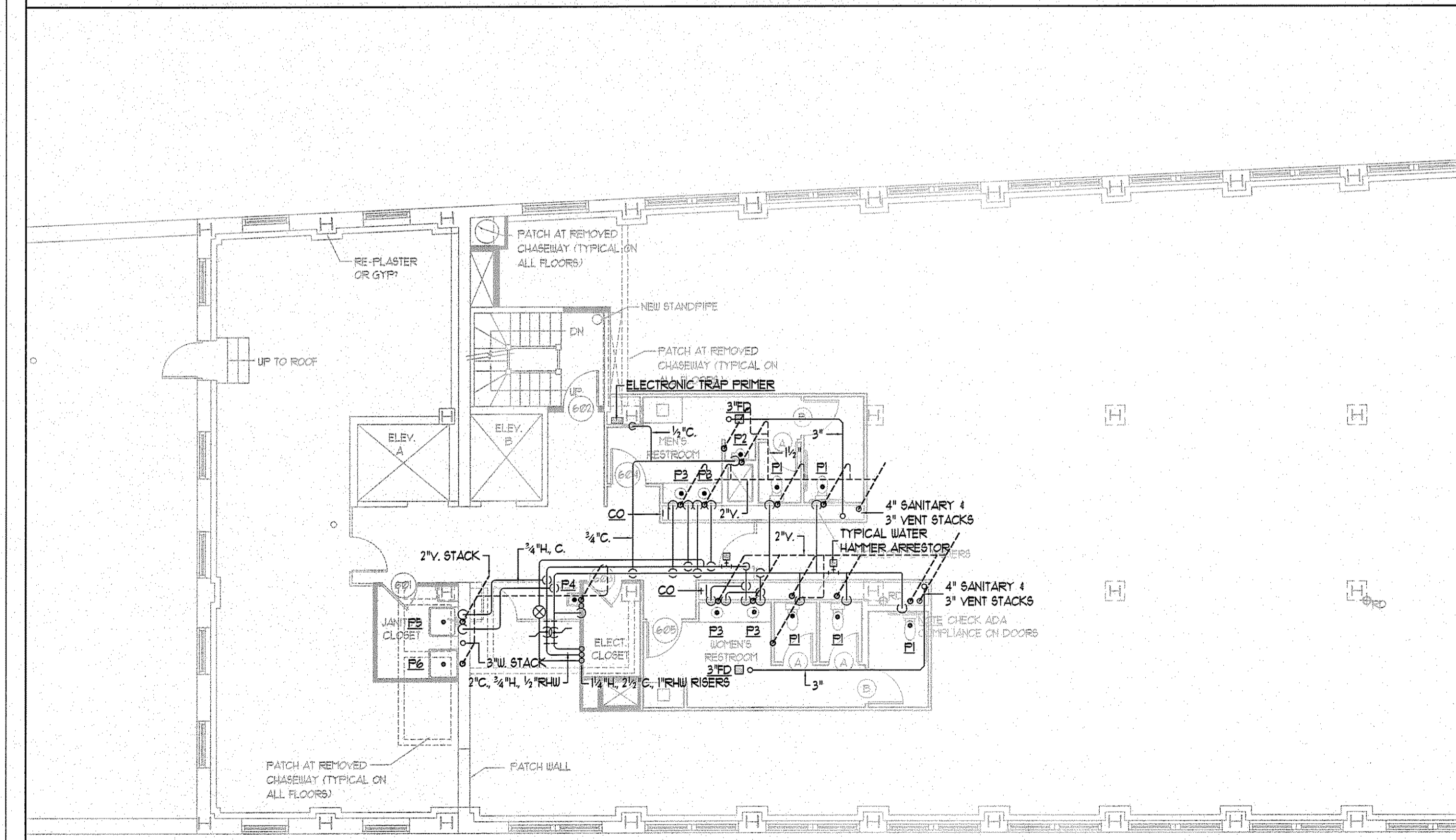


Seventh Floor Plan

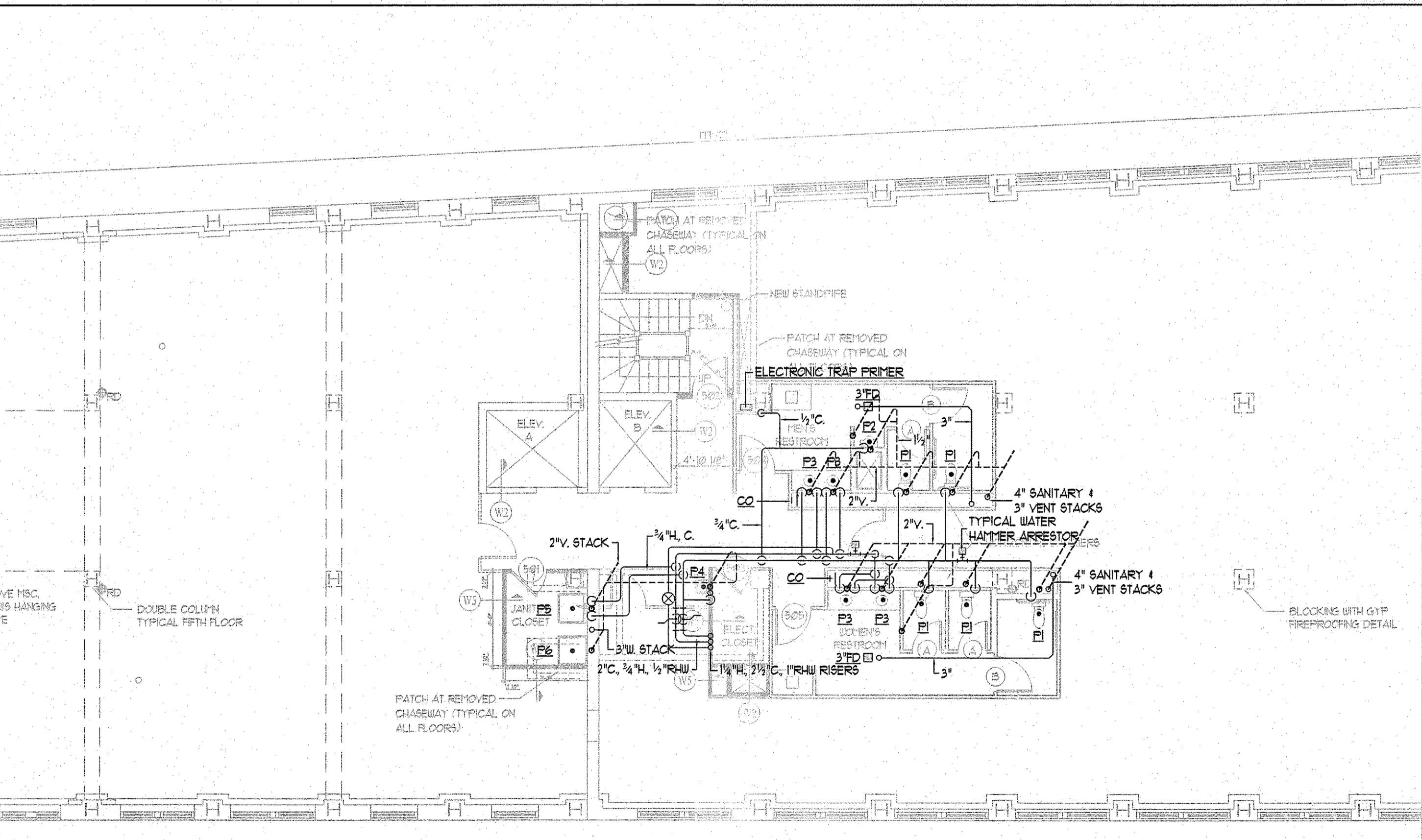


DWV RISER DIAGRAM

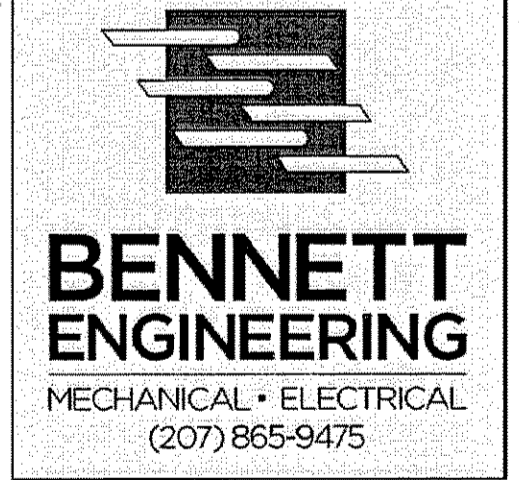
DWV RISER DIAGRAM



Sixth Floor Plan



Fifth Floor Plan

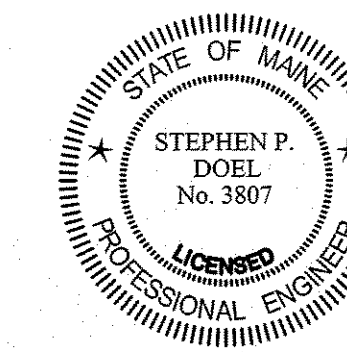


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Drawn by: SP Doel  
Checked by: SP Doel

Drawing Title:  
**Floor Plans and Riser Diagrams**

**M.2**

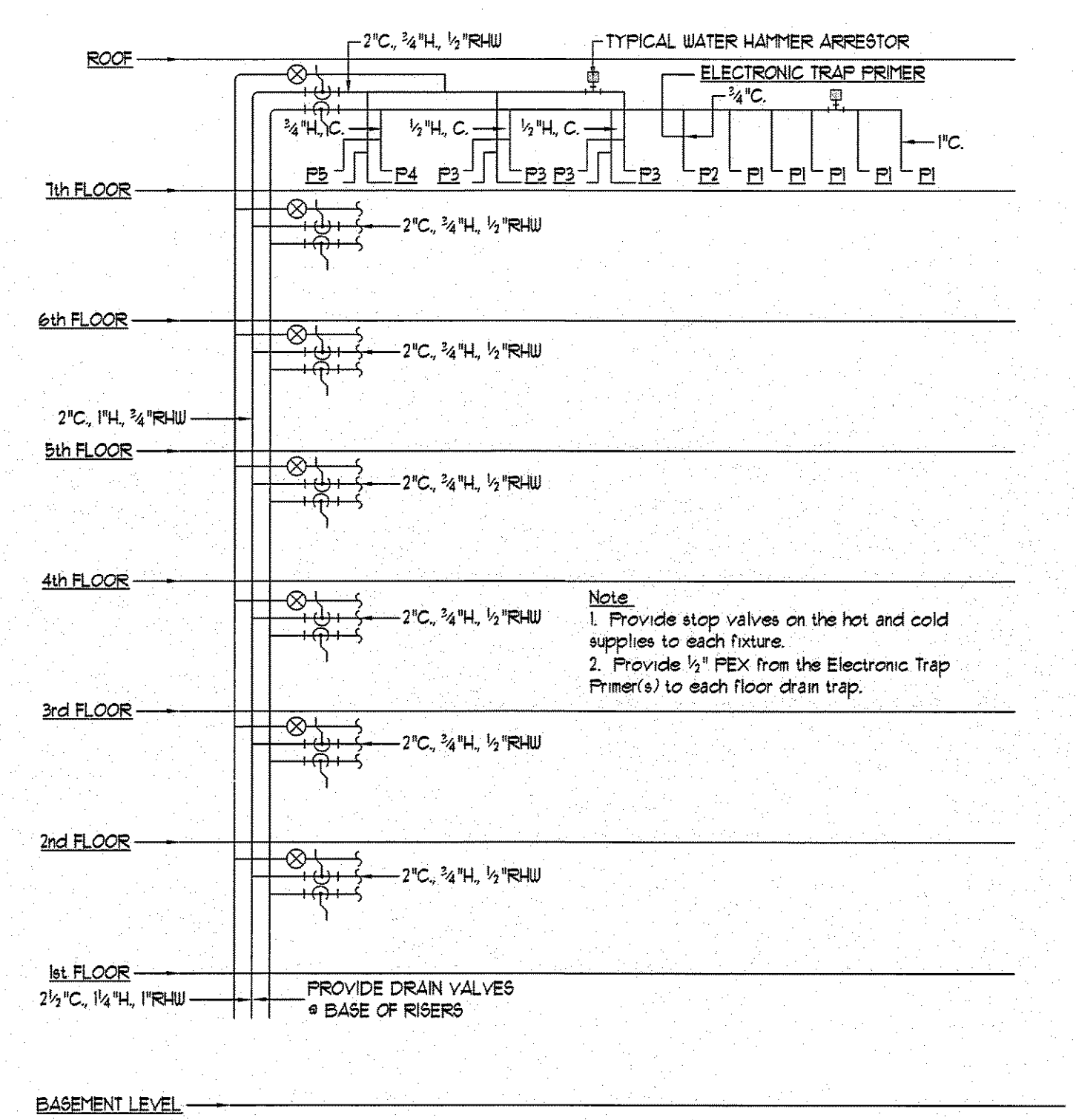




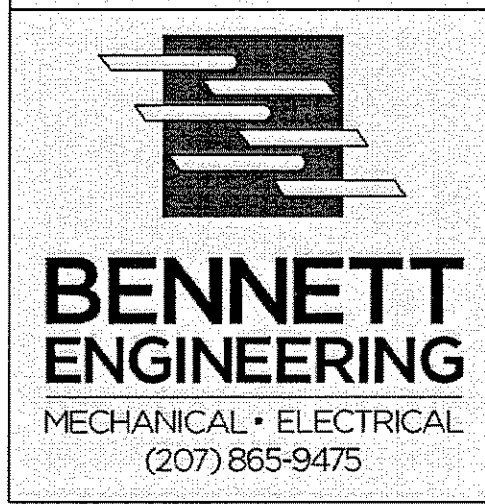
Revisions

370 Congress Street  
Renovations

Portland, ME



WATER PIPING RISER DIAGRAM



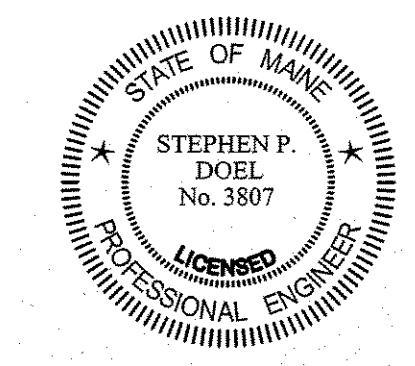
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Drawing Title:  
**Plumbing  
Riser Diagrams**



M.3

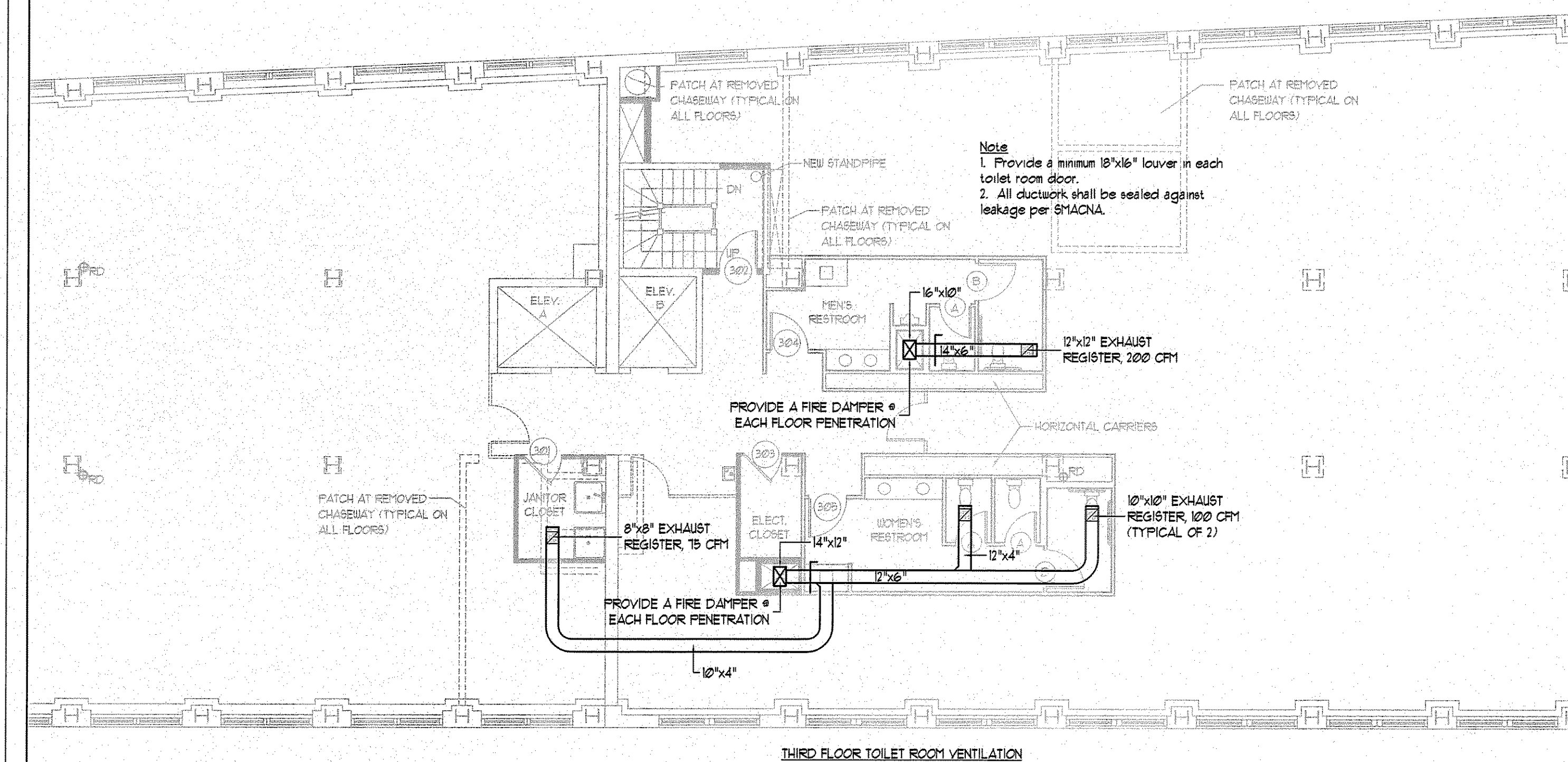




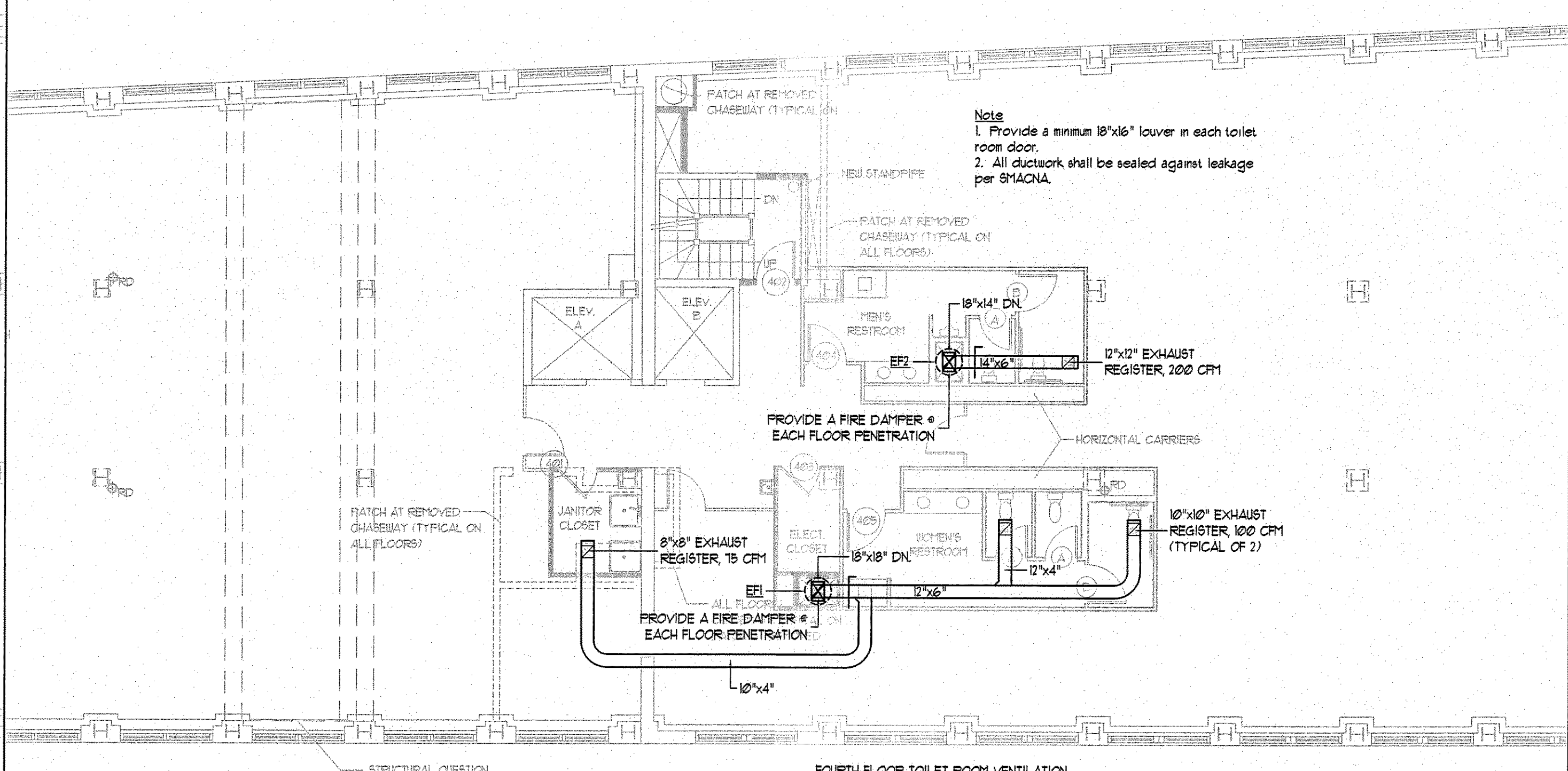
Revisions

370 Congress Street  
Renovations

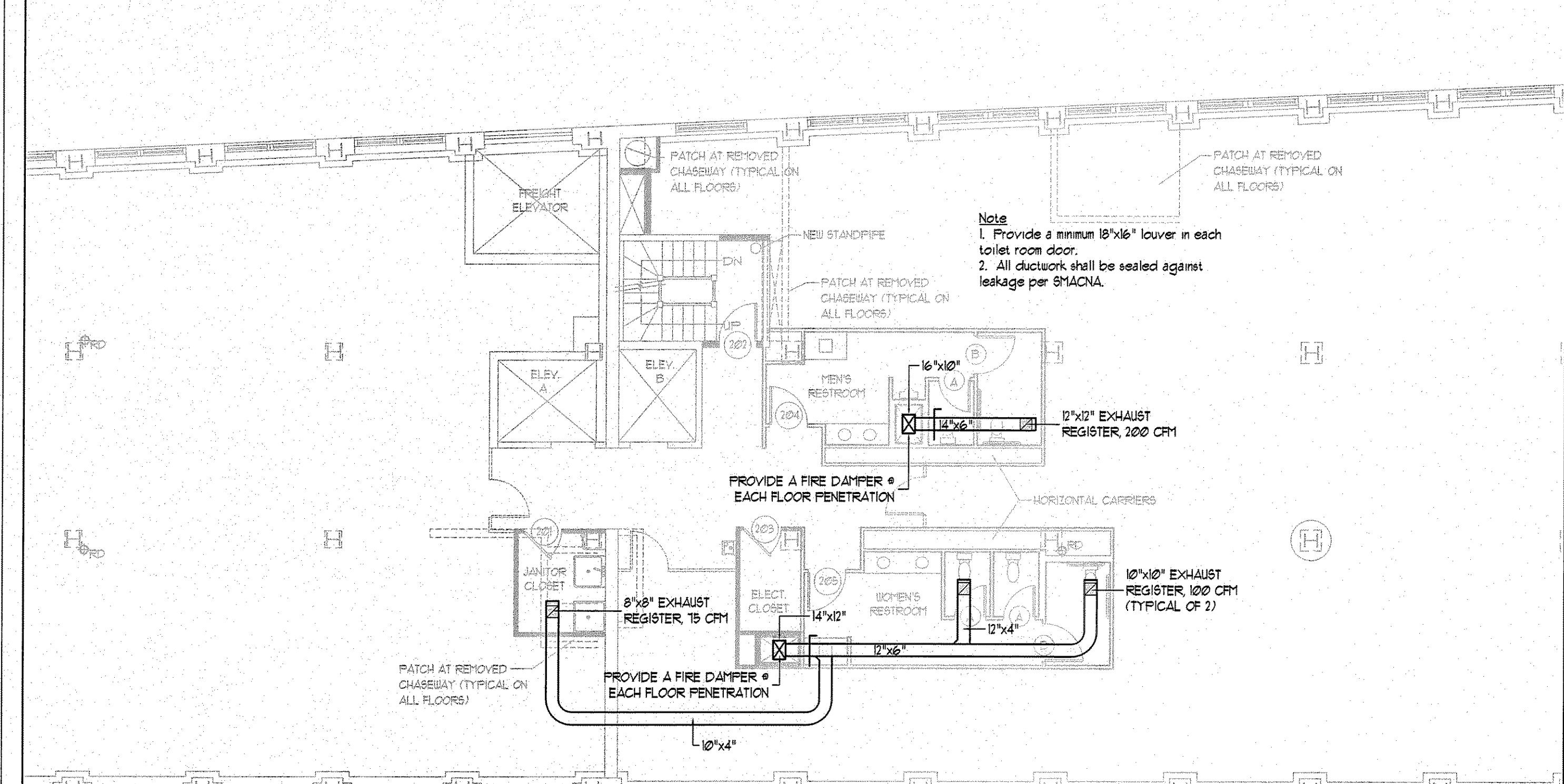
Portland, ME



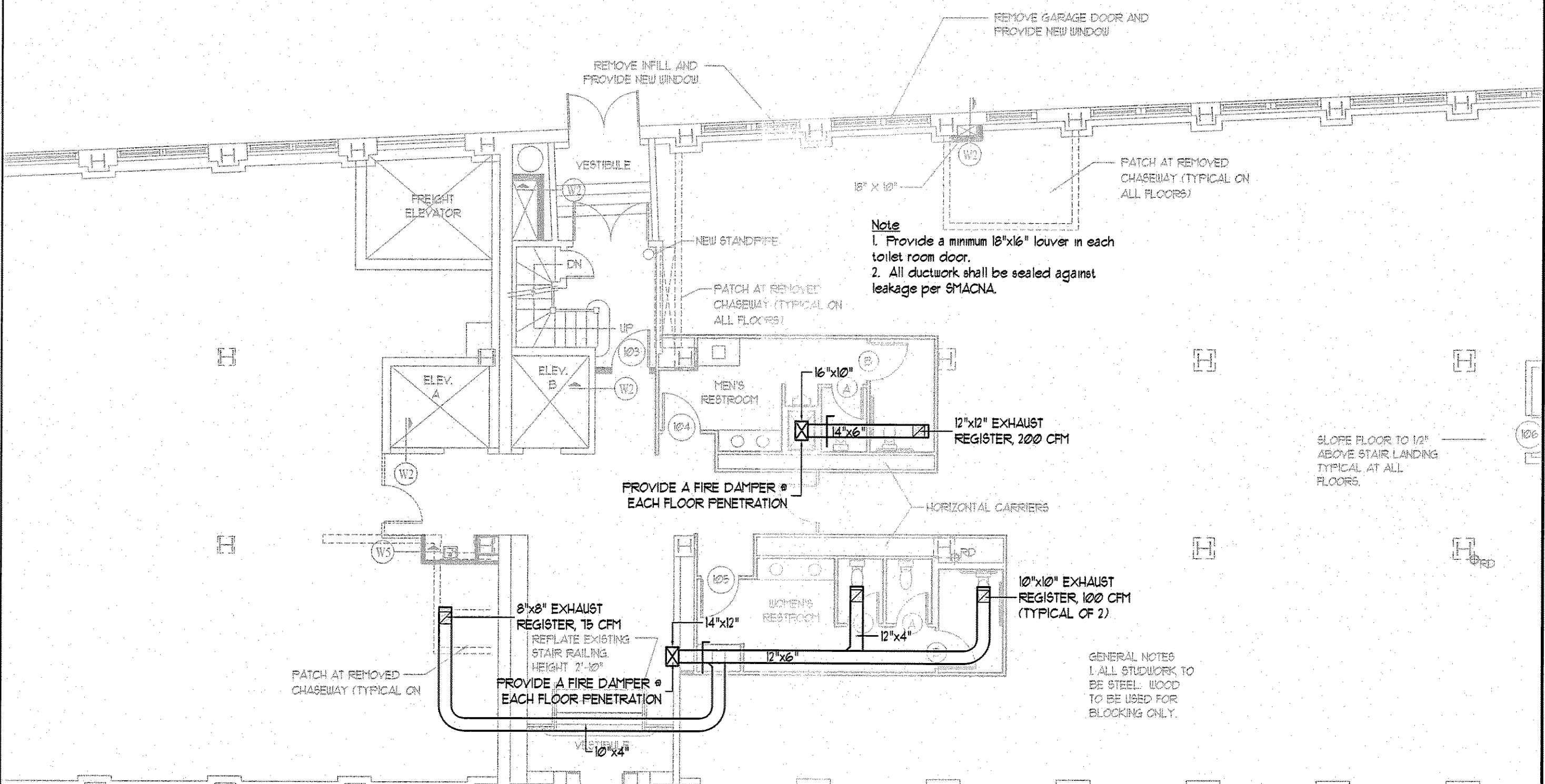
THIRD FLOOR TOILET ROOM VENTILATION



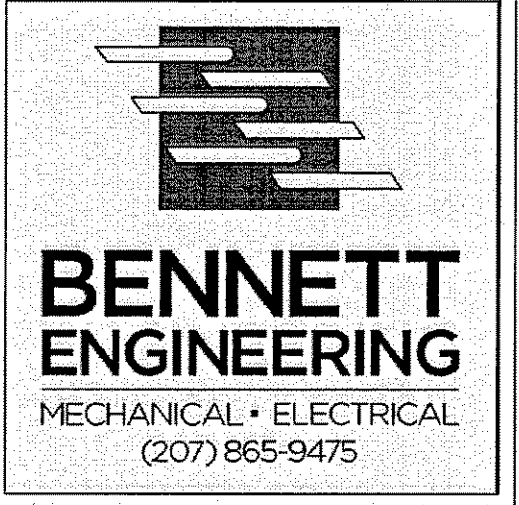
FOURTH FLOOR TOILET ROOM VENTILATION



SECOND FLOOR TOILET ROOM VENTILATION



FIRST FLOOR TOILET ROOM VENTILATION



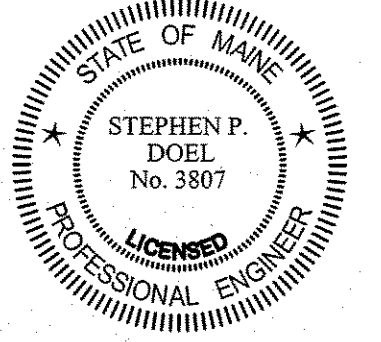
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Checked by: SP Doel

Drawing Title:  
HVAC  
Floor Plans



M.4

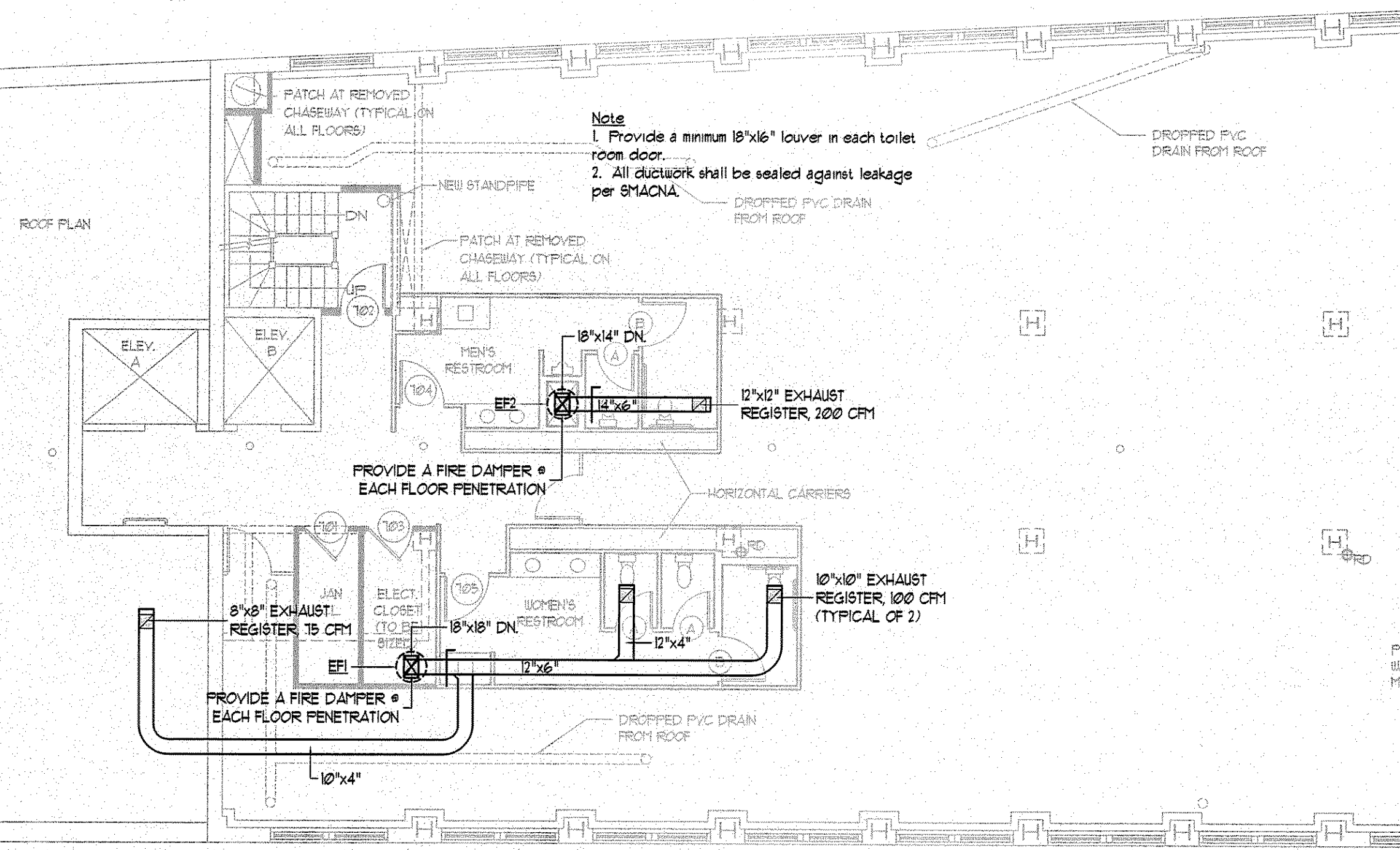




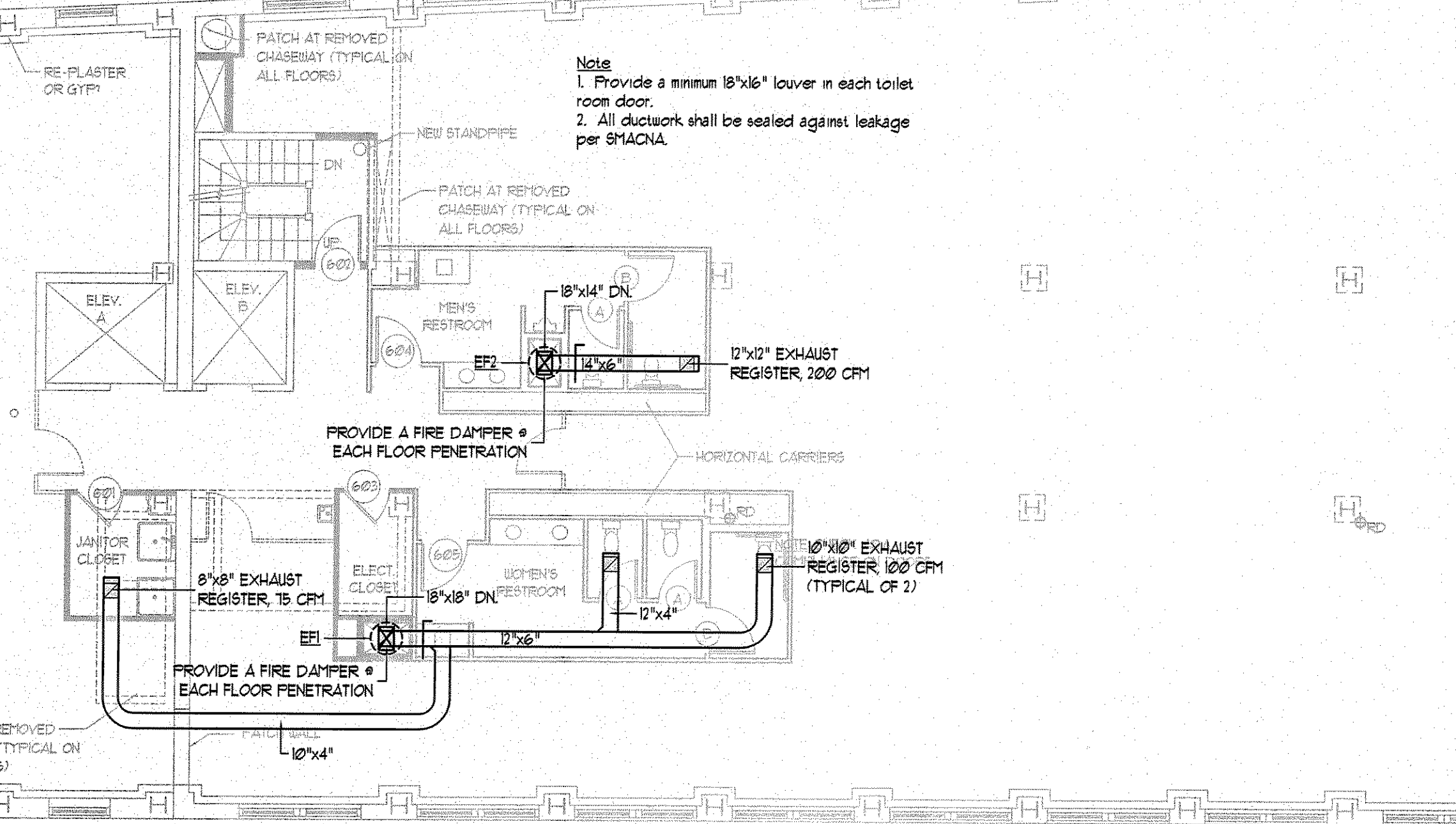
Revisions

370 Congress Street  
Renovations

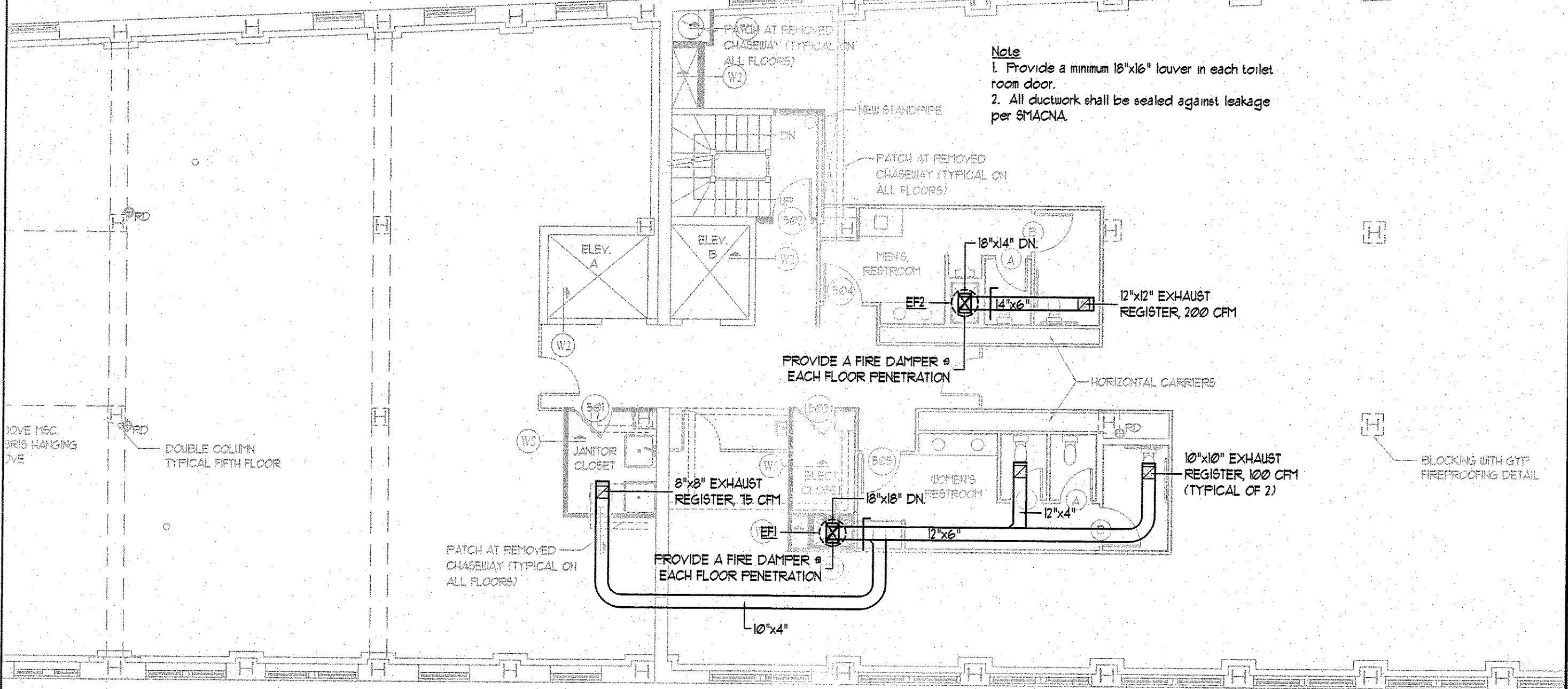
Portland, ME



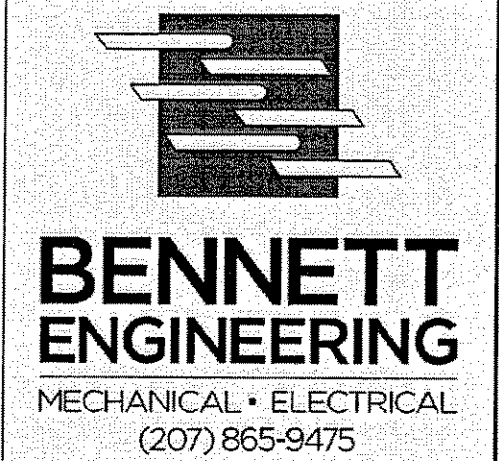
SEVENTH FLOOR TOILET ROOM VENTILATION



SIXTH FLOOR TOILET ROOM VENTILATION



FIFTH FLOOR TOILET ROOM VENTILATION

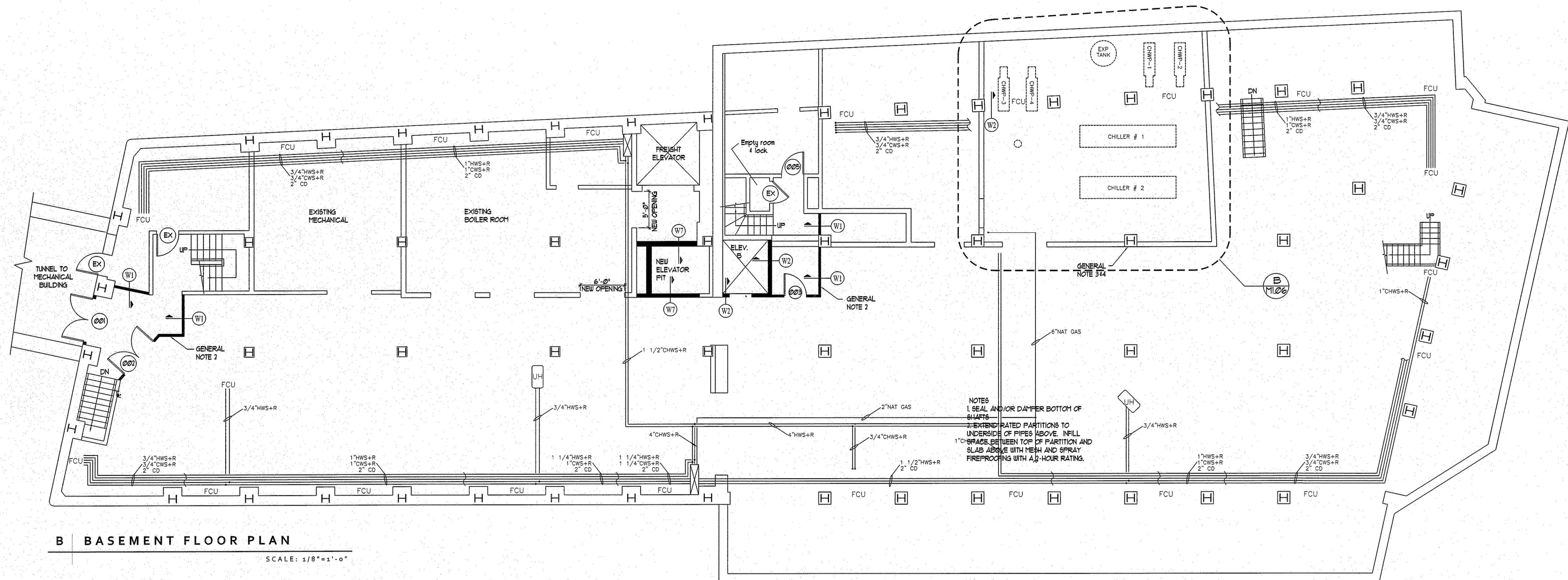


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Drawing Title:  
HVAC  
Floor Plans

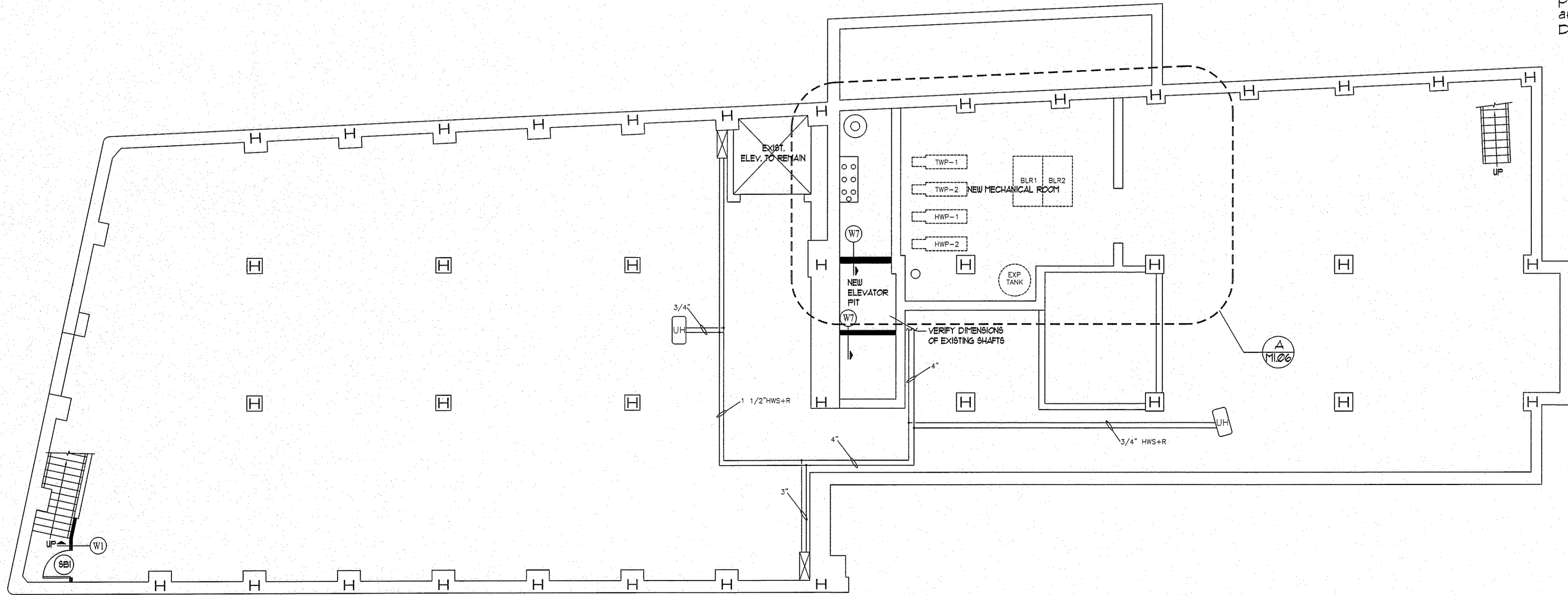
M.5





**B BASEMENT FLOOR PLAN**  
SCALE: 1/8"=1'-0"

General Notes  
1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Mechanical Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department requirements.



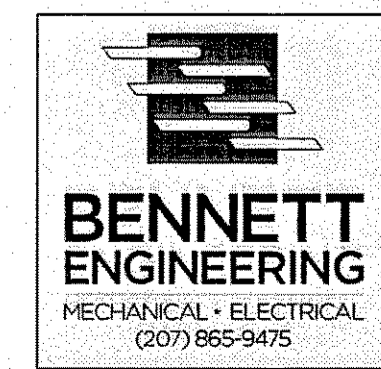
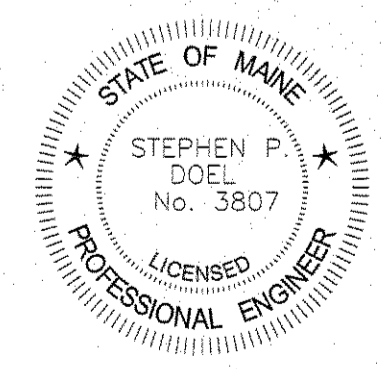
**SB SUB-BASEMENT FLOOR PLAN**  
SCALE: 1/8"=1'-0"

General Notes

No.	Revision/Issue	Date
0	FOR PERMIT	5/1
0	SUBMITTAL	4/11

Firm Name and Address  
**Carrier**  
 A United Technologies Company  
 Autumn Pond Park #24  
 Greenland, NH 03840  
 Tel: 1-603-433-6640  
 Fax: 1-603-433-6608

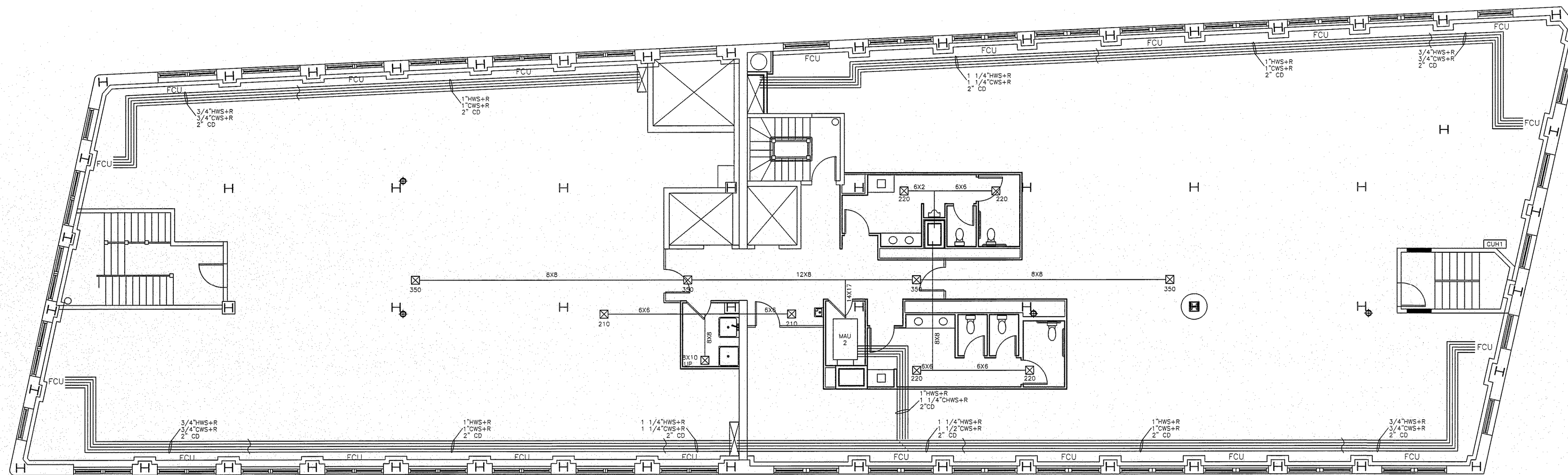
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 390 CONGRESS ST.  
 Project  
 PORTLAND, MAINE



Project	Sheet
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Date 05/1/2011	M1.01
Scale NTS	

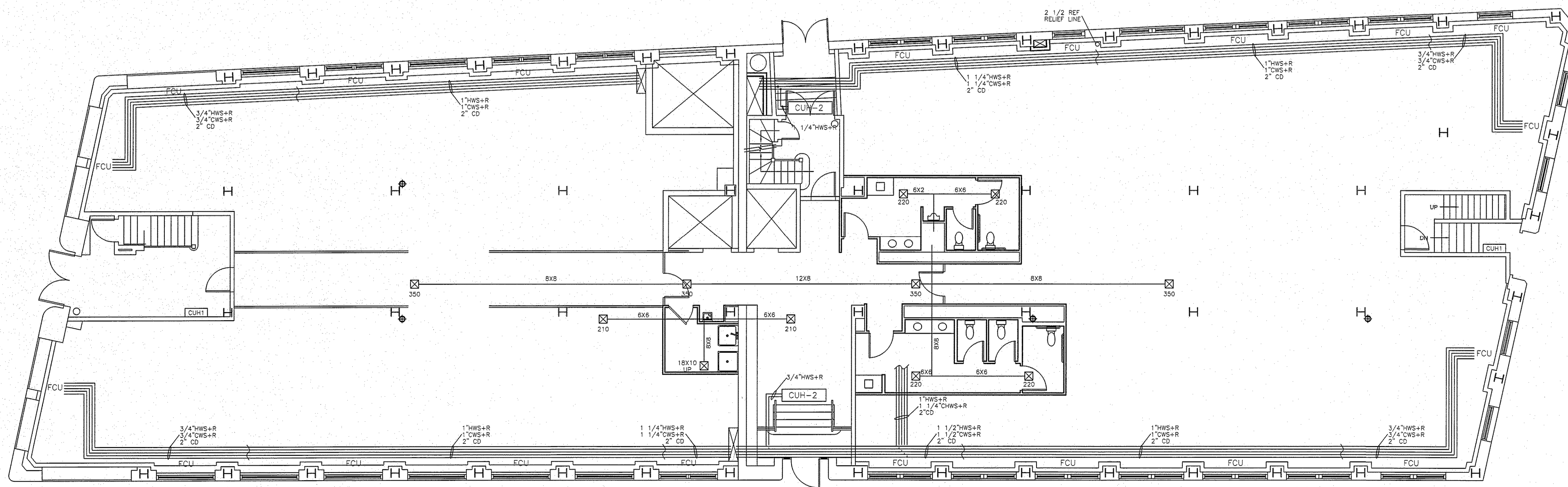


General Notes



**2 SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

General Notes:  
1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Energy Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department requirements.

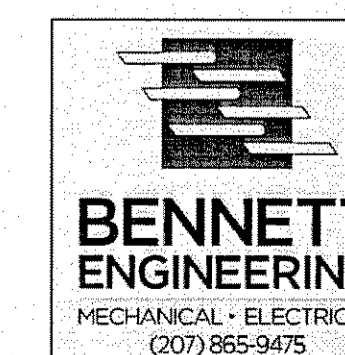
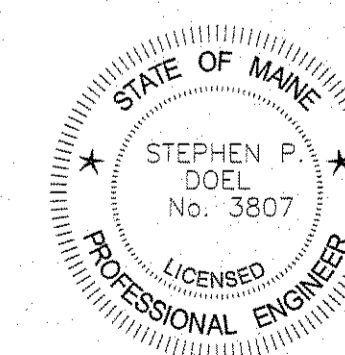


**1 FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

No.	Revision/Issue	Date
0	FOR PERMIT	5/1
0	SUBMITTAL	4/1

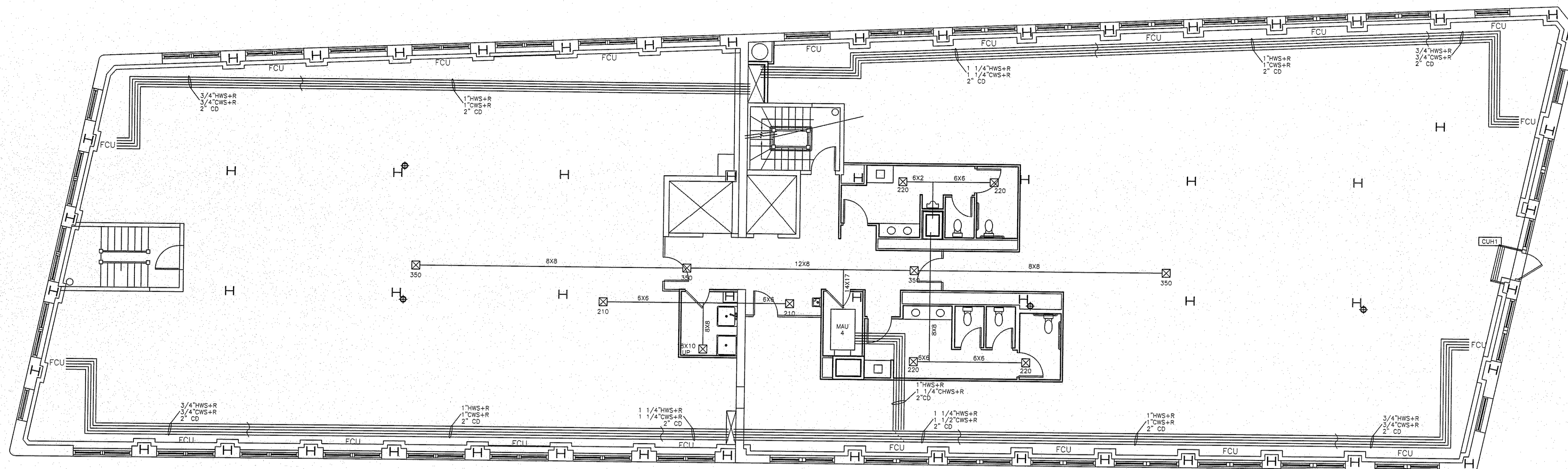
Firm Name and Address  
**Carrier**  
 A United Technologies Company  
 Autumn Pond Park #24  
 Greenland, NH 03840  
 Tel: 1-603-433-6640  
 Fax: 1-603-433-6608

Project Name and Address  
 390 CONGRESS ST.  
 Project  
 PORTLAND, MAINE



Project	Sheet
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Date 05/1/2011	M1.02
Scale NTS	

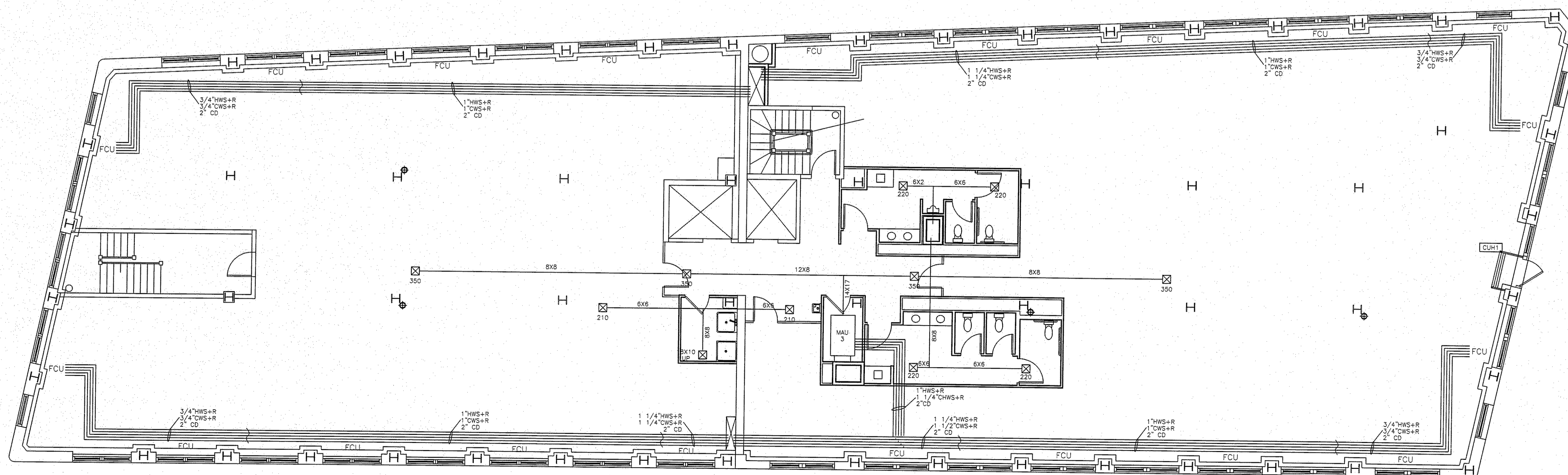




4 FOURTH FLOOR PLAN

SCALE: 1/8"=1'-0"

General Notes:  
 1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Energy Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department requirements.



3 THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

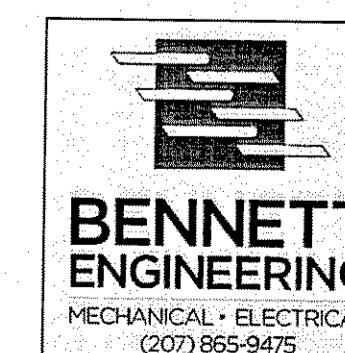
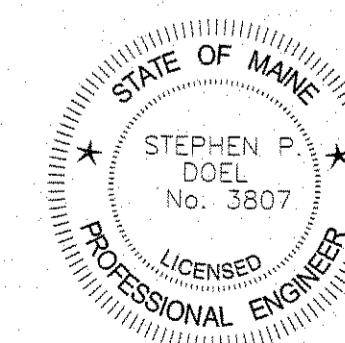
General Notes

No.	Revision/Issue	Date
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0	SUBMITTAL	4/11

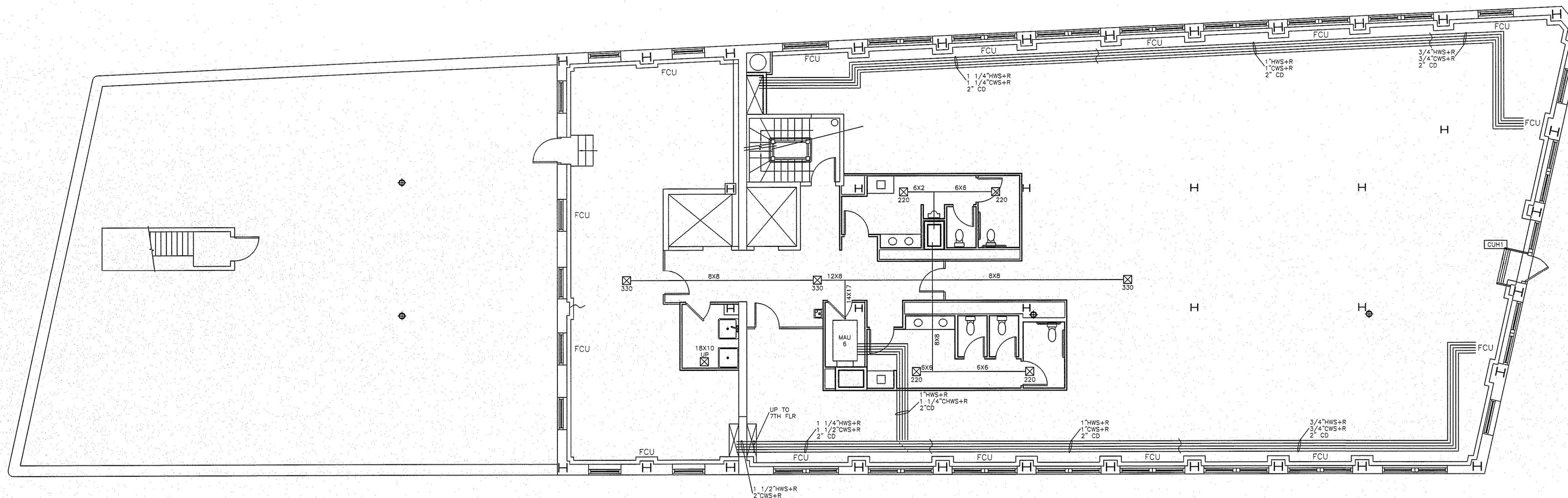
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**Carrier**  
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 Autumn Pond Park #24  
 Greenland, NH 03840  
 Tel: 1-603-433-6640  
 Fax: 1-603-433-6608

Project Name and Address  
 390 CONGRESS ST.  
 Project  
 PORTLAND, MAINE

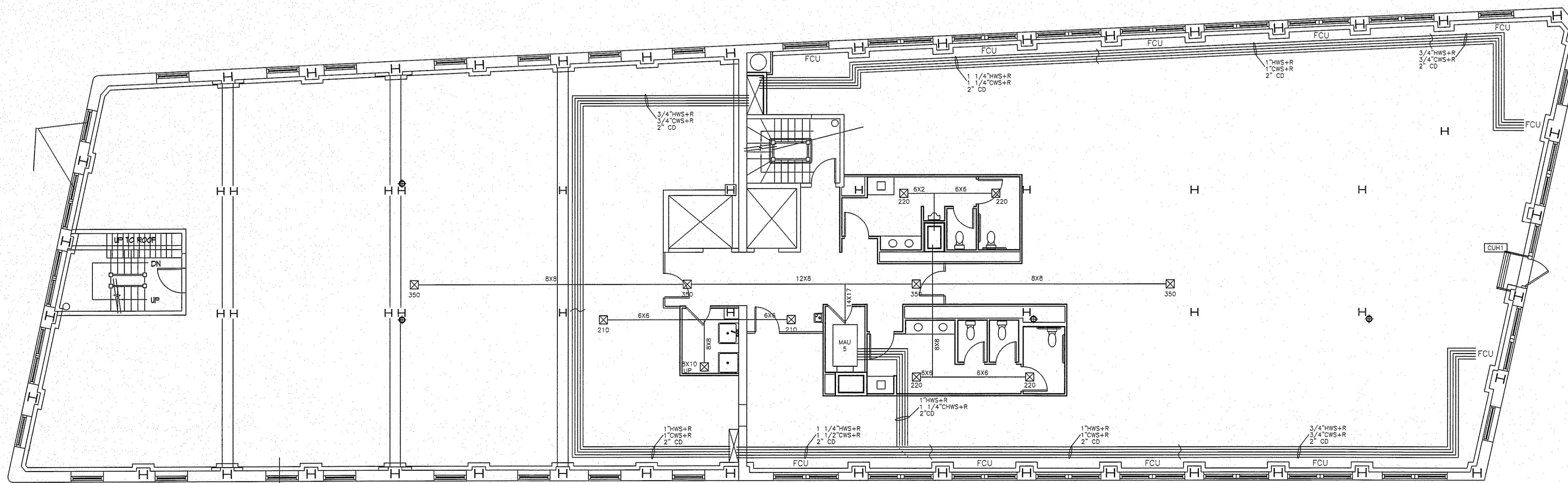
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Date 05/1/2011	M1.03
Scale NTS	







**6 SIXTH FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**5 FIFTH FLOOR PLAN**  
SCALE: 1/8"=1'-0"

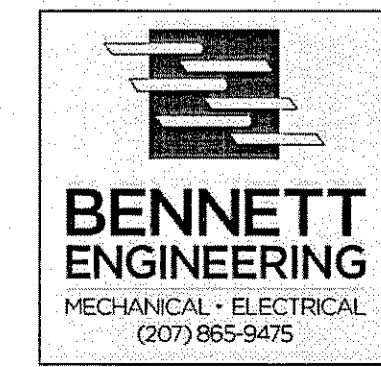
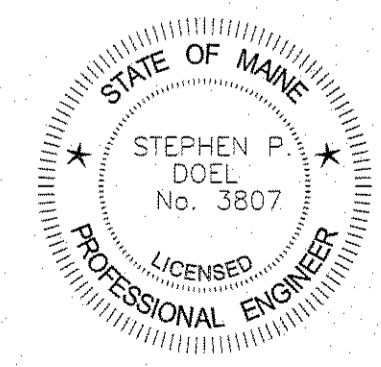
**General Notes:**  
1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Energy Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department requirements.

General Notes

No.	Revision/Issue	Date
0	FOR PERMIT	5/11
0	SUBMITTAL	4/11

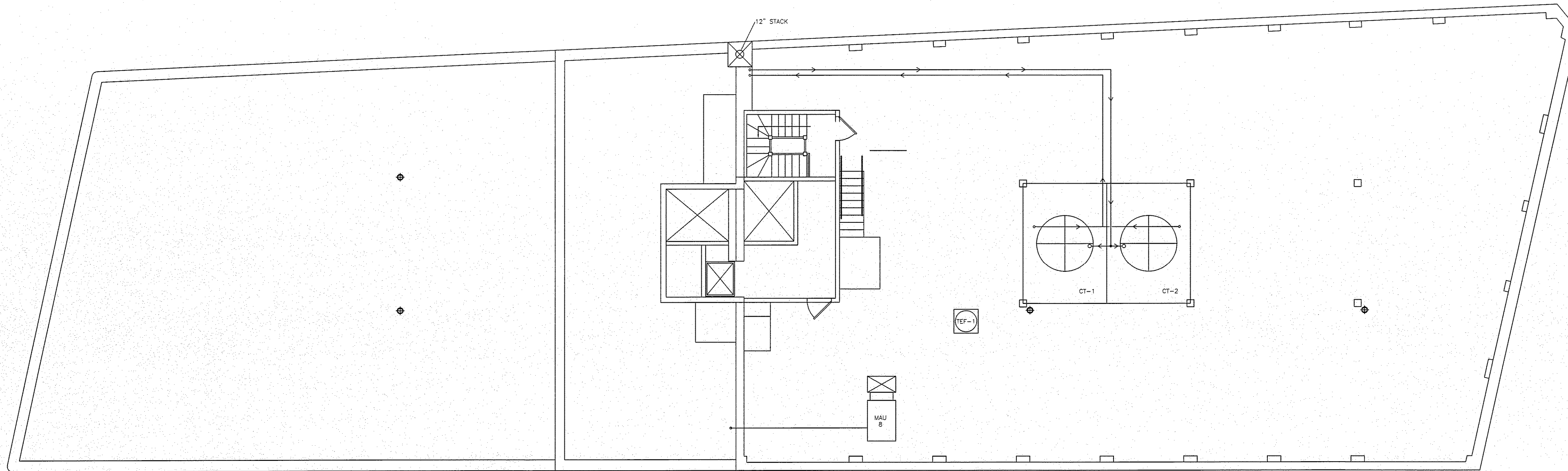
Firm Name and Address  
**Carrier**  
 A United Technologies Company  
 Autumn Pond Park #24  
 Greenland, NH 03840  
 Tel: 1-603-433-6640  
 Fax: 1-603-433-6608

Project Name and Address  
 390 CONGRESS ST.  
 Project  
 PORTLAND, MAINE



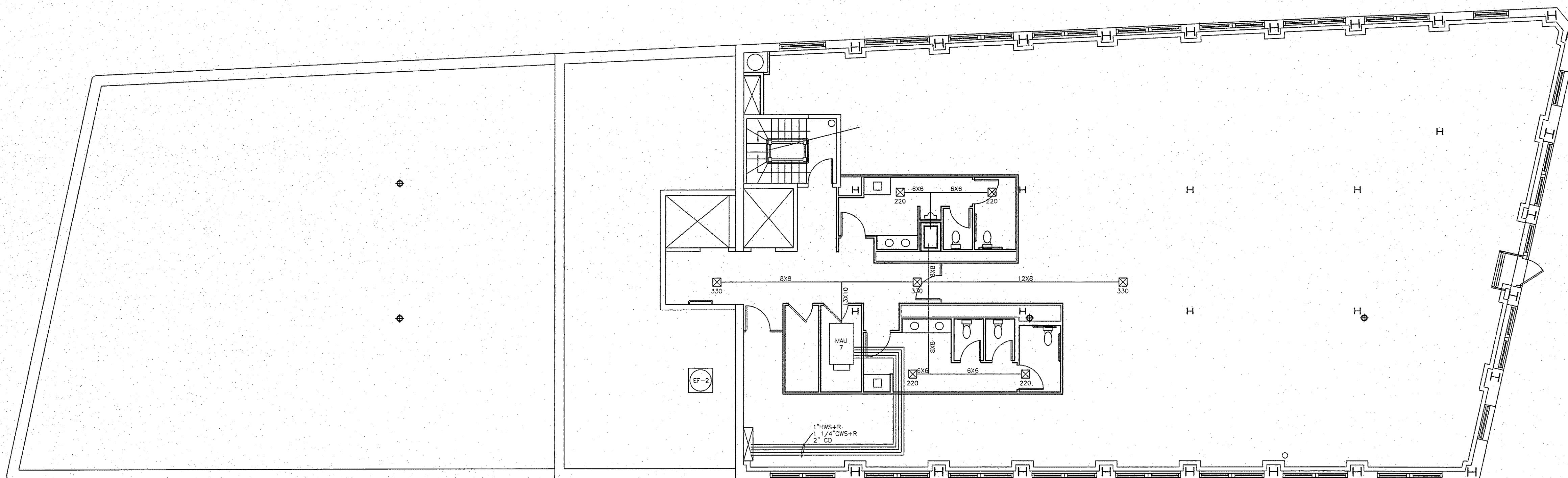
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913E50004	CCN
Date 05/1/2011	M1.04
Scale NTS	





**8 EIGHTH/ROOF FLOOR PLAN**  
SCALE: 1/8"=1'-0"


General Notes:  
1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Energy Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department requirements.



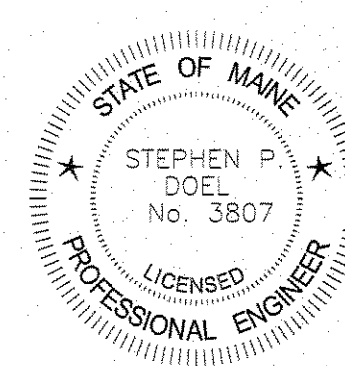
**7 SEVENTH FLOOR PLAN**  
SCALE: 1/8"=1'-0"


General Notes

No.	Revision/Issue	Date
0	FOR PERMIT	5/11
0	SUBMITTAL	4/11

Firm Name and Address  
 **Carrier**  
 A United Technologies Company  
 Autumn Pond Park #24  
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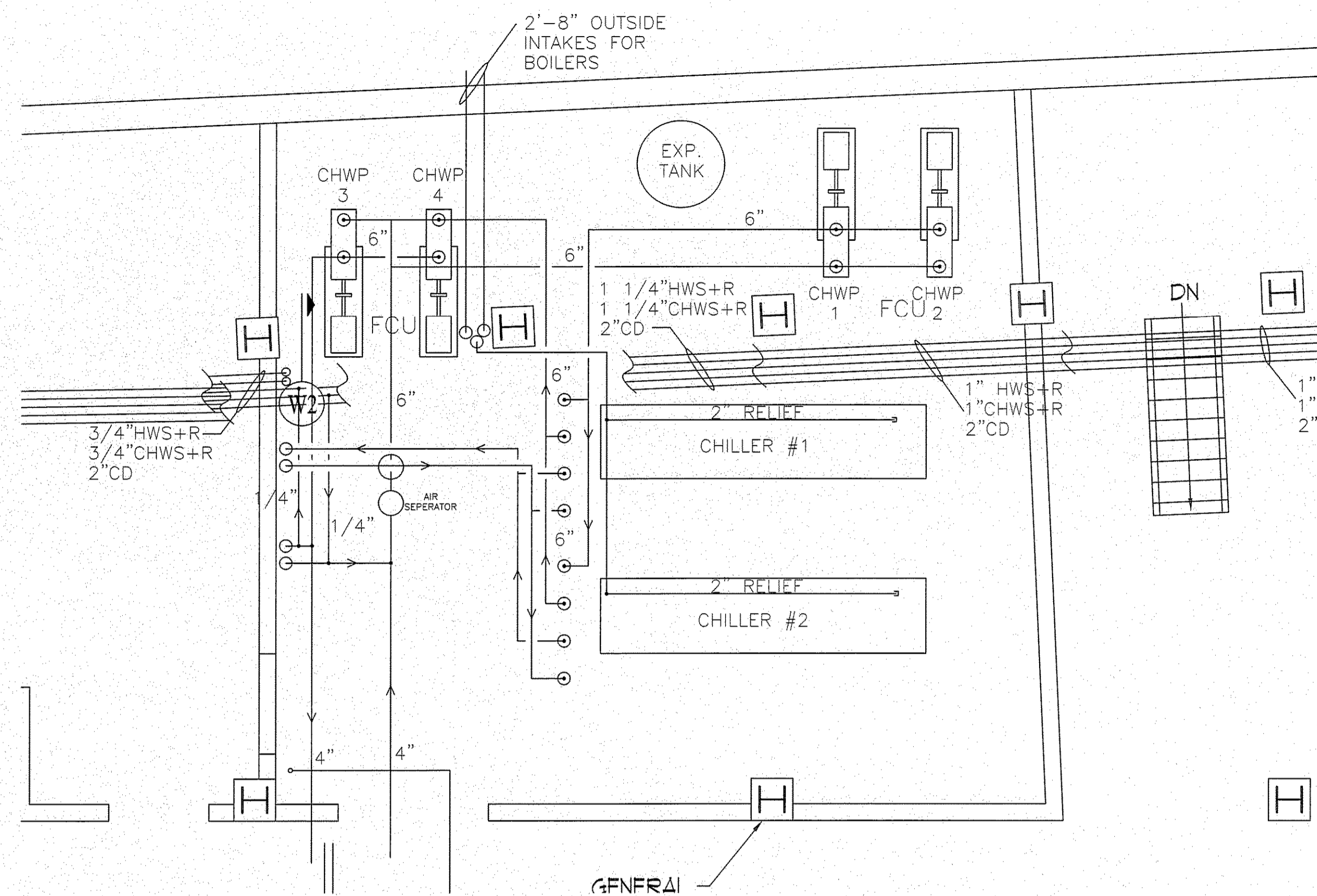
Project Name and Address  
 390 CONGRESS ST.  
 Project  
 PORTLAND, MAINE



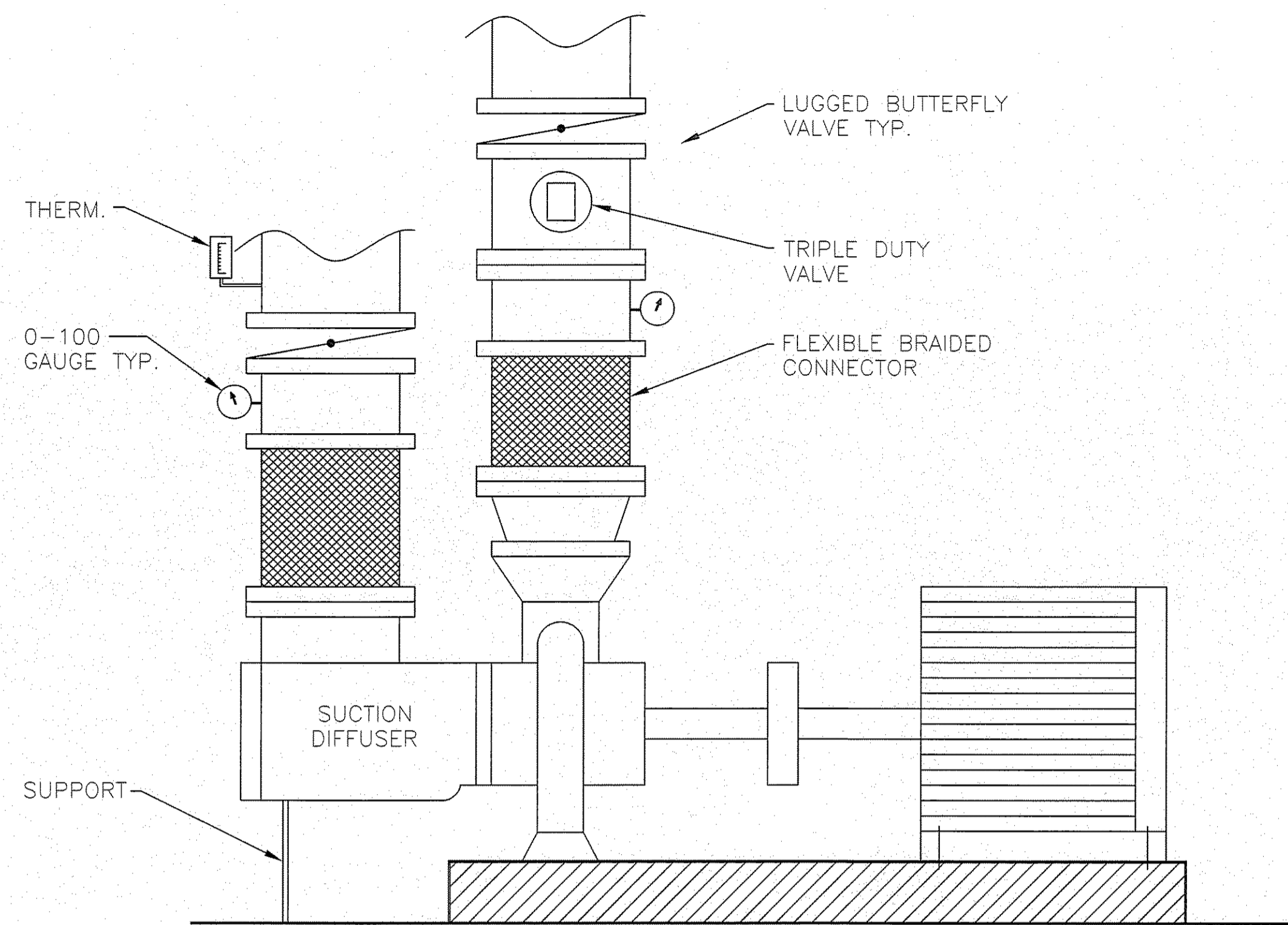
  
**BENNETT ENGINEERING**  
 MECHANICAL • ELECTRICAL  
 (207) 665-9475

Project	Sheet
913E50004	CCN
Date 05/1/2011	M1.05
Scale NTS	



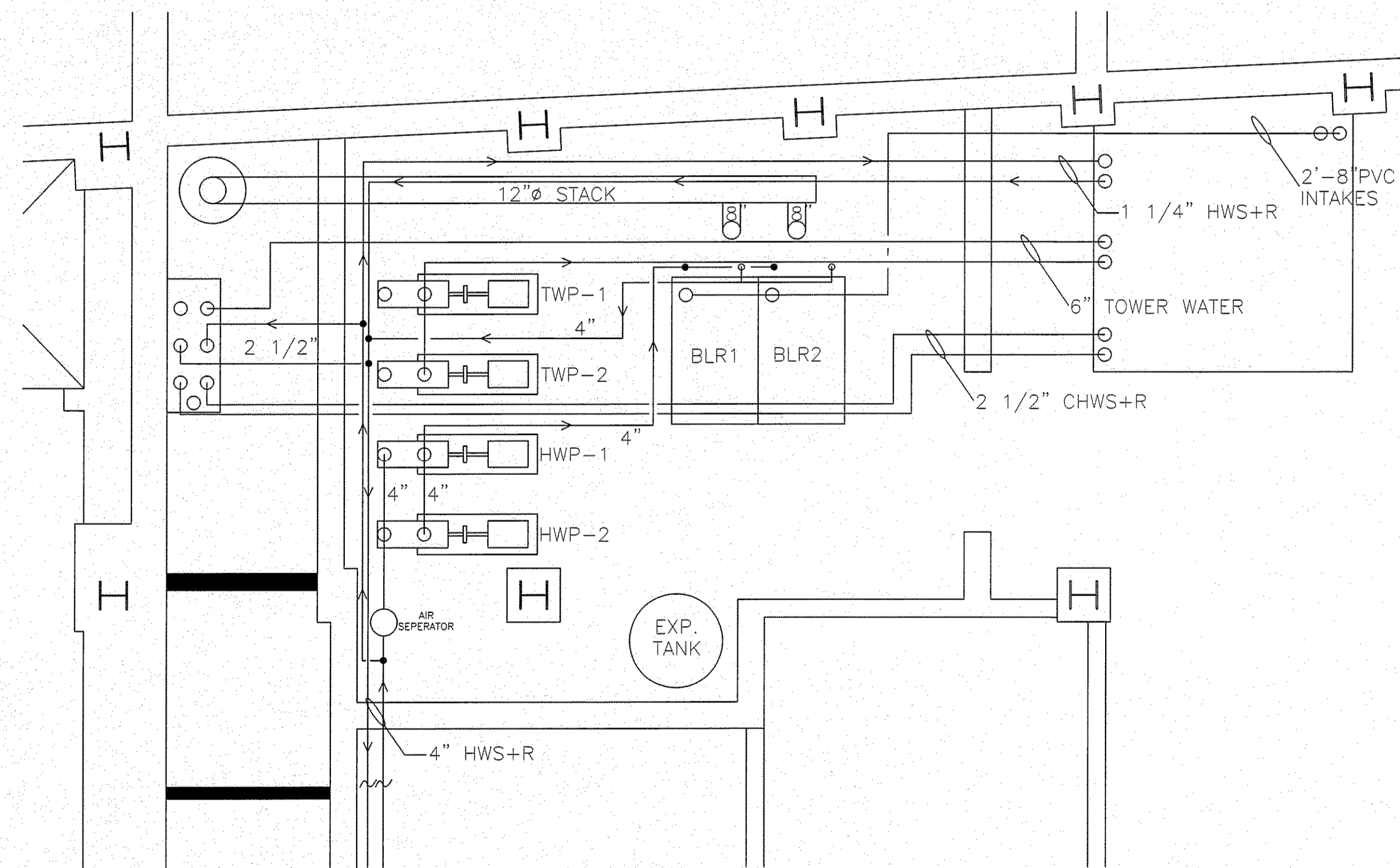


**B** CHILLER ROOM DETAIL  
SCALE: 3/4"=1'-0"

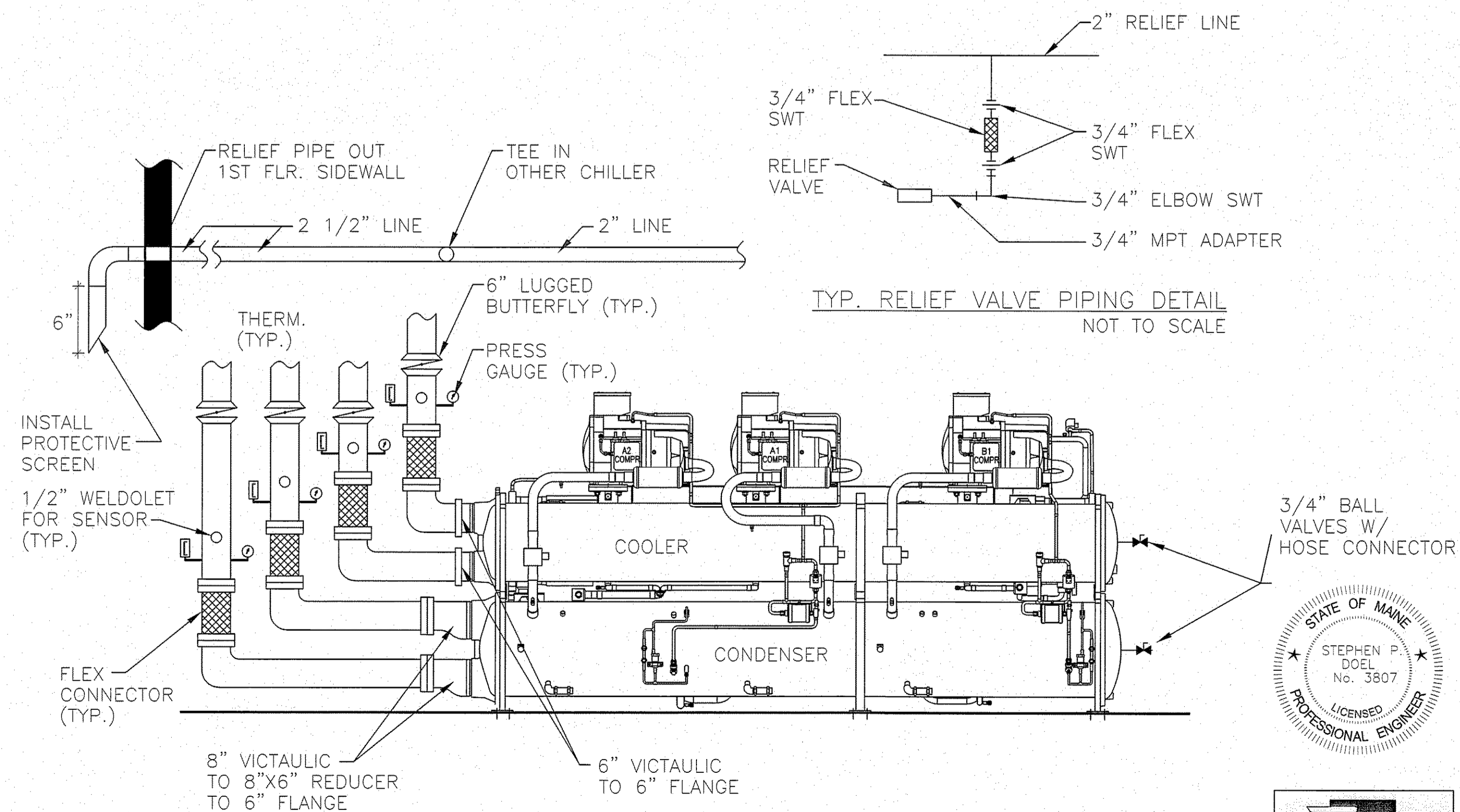


**D** PUMP DETAIL  
SCALE: NTS

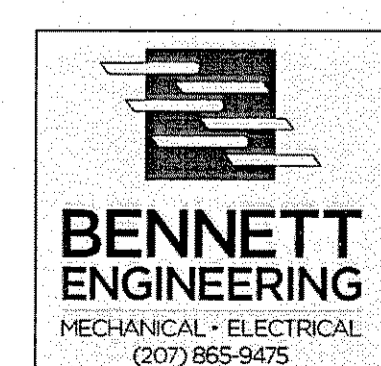
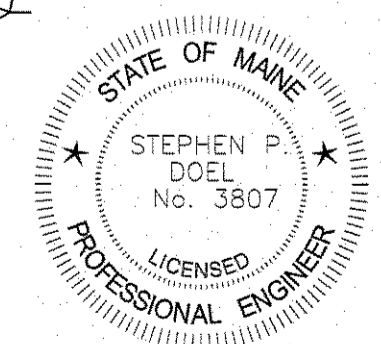
**General Notes:**  
1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Energy Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department



**A** BOILER ROOM DETAIL  
SCALE: 3/4"=1'-0"



**C** CHILLER DETAIL  
SCALE: NTS



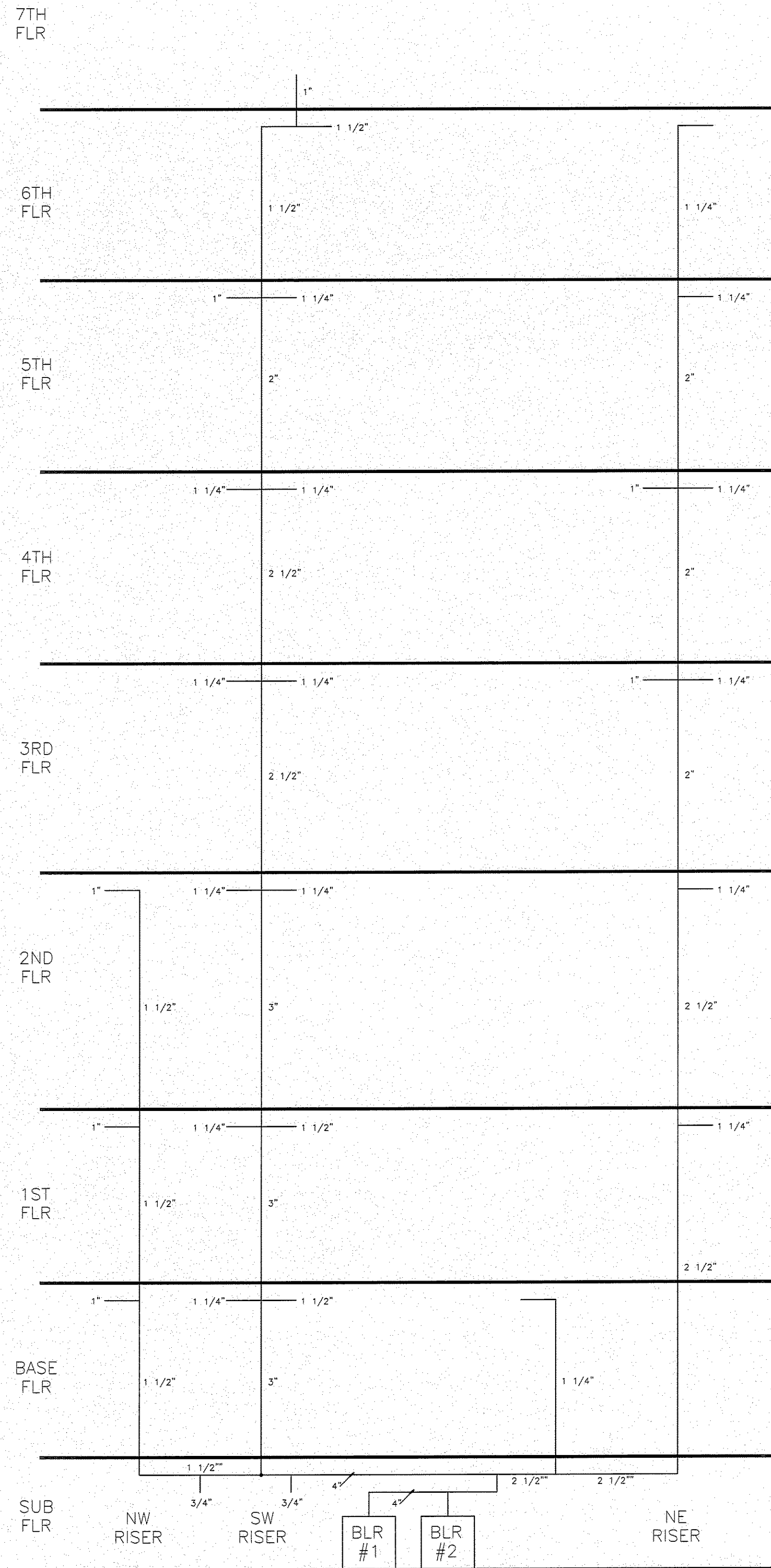
General Notes		
No.	Revision/Issue	Date
0	SUBMITTAL	4/11
0	SUBMITTAL	4/11

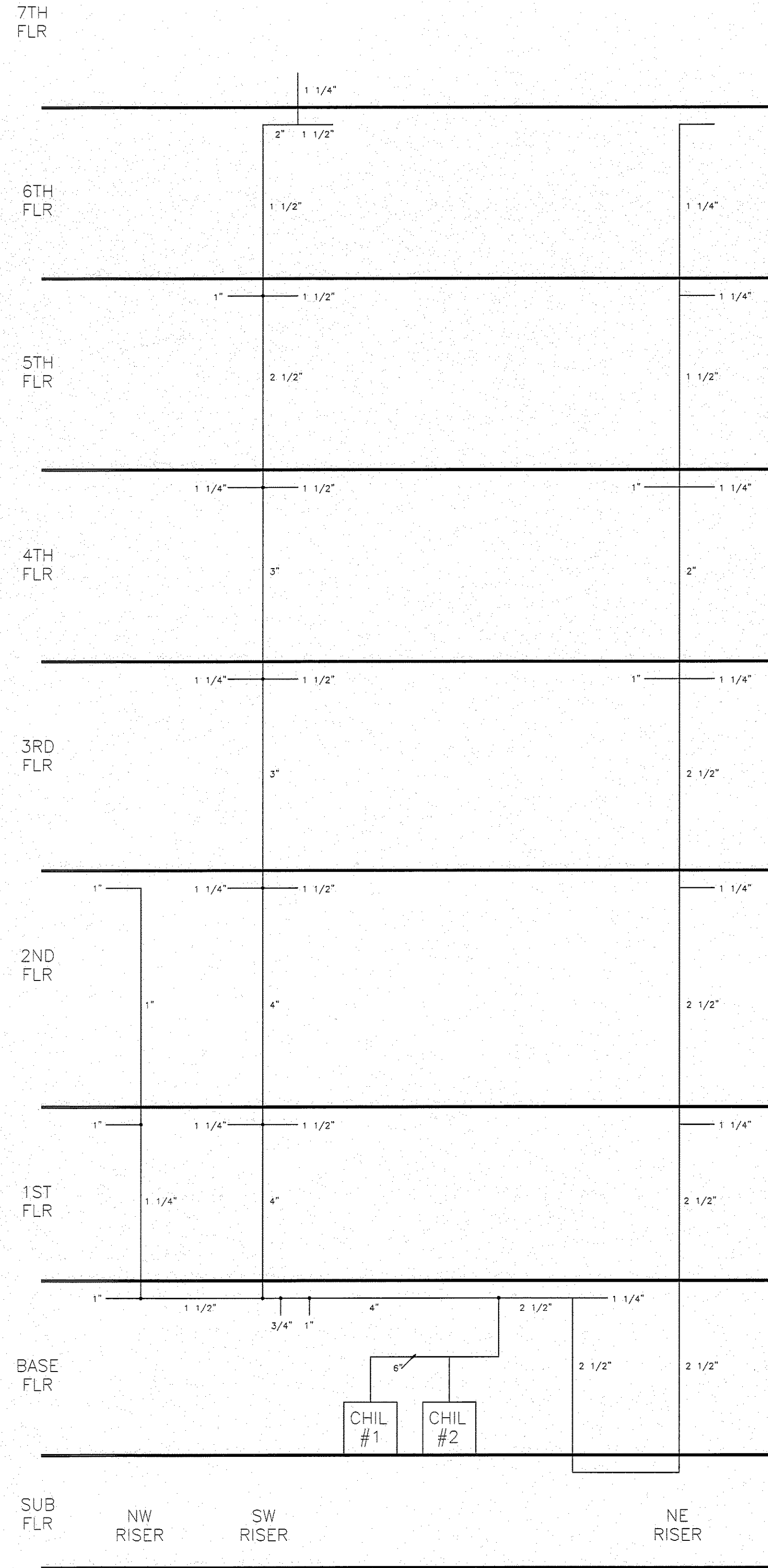
Firm Name and Address	
<b>Carrier</b> A United Technologies Company Autumn Pond Park #24 Greenland, NH 03840 Tel: 1-603-433-6640 Fax: 1-603-433-6608	
Project Name and Address	
390 CONGRESS ST. Project PORTLAND, MAINE	
Project	Sheet
913E50004	CCN
Date	M1.06
05/1/2011	
Scale	NTS



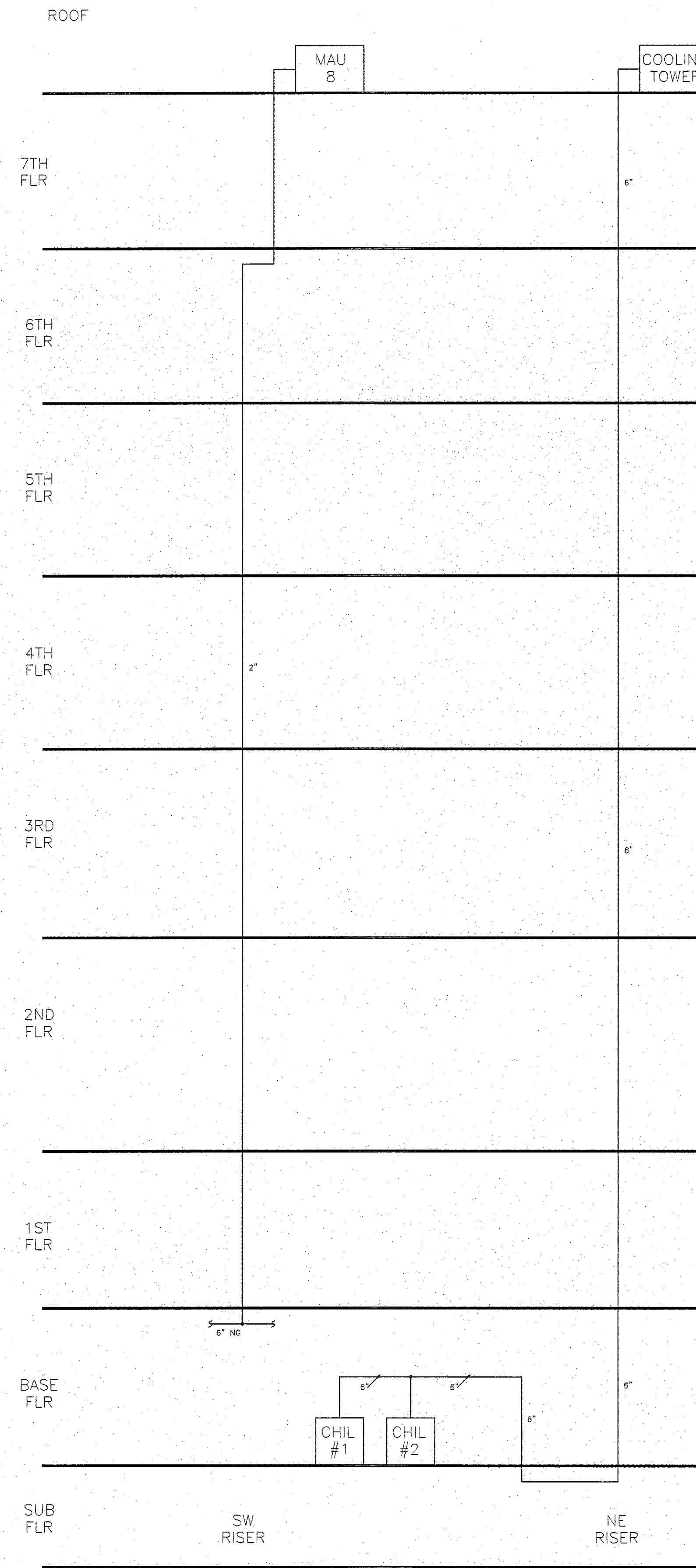
**General Notes:**  
 1. The mechanical system design and installation shall comply with the 2009 International Mechanical Code and the Maine Uniform Building and Energy Code, ASHRAE Standards 90.1, 62.1 and 15 and relevant publications of NFPA. The system shall comply with any local City of Portland and Portland Fire Department requirements.



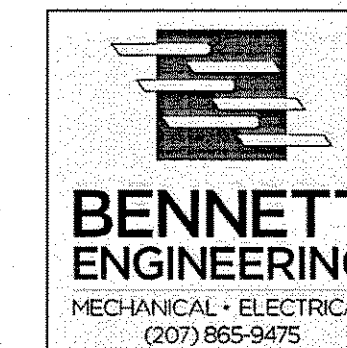
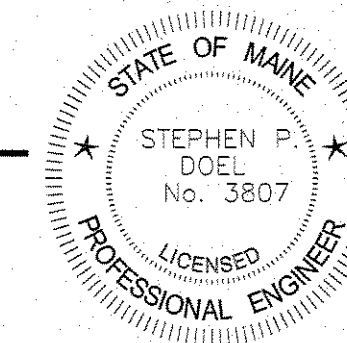
**A** CHILLED WATER RISER DIAGRAM  
 SCALE: NTS



**B** HOT WATER RISER DIAGRAM  
 SCALE: NTS



**C** TOWER WATER + NAT. GAS RISER DIAGRAM  
 SCALE: NTS



General Notes

No.	Revision/Issue	Date
0	FOR PERMIT	5/11
0	SUBMITTAL	4/11

Firm Name and Address  
**Carrier**  
 A United Technologies Company  
 Autumn Pond Park #24  
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Project Name and Address  
 390 CONGRESS ST.  
 Project  
 PORTLAND, MAINE

Project	913E50004	Sheet	CCN
Date	05/1/2011		M1.07
Scale	NTS		



BOILER PERFORMANCE SCHEDULE												
B1, B2 CAPACITIES BASED ON NATURAL GAS @ 1000 BTU / CF @ 4.0" w.g. gas pressure												
TAG	I-B-R RATINGS *		FLOW (GPM)	P.D. (psig)	THERMAL EFF. (%)	BOILER CONN.	ELECTRICAL REQUIREMENTS			BASIS OF DESIGN Aerco		
	GROSS	NET					HP	WATTS	V/PH/Hz	SERVICE	BURNER MAKE	BURNER MODEL
B1	3000.0	2883.0	35-350	5.5	96.0%	4"	-	-	480/3/60	HUS/R	-	Benchmark B'MK3.0LN
B2	3000.0	2883.0	35-350	5.5	96.0%	4"	-	-	480/3/60	HUS/R	-	Benchmark B'MK3.0LN

PUMP PERFORMANCE SCHEDULE													
TAG	FLOW RATE (GPM)	HEAD (FT.WG.)	IMPEL. SIZE	RPM	EFF. %	ELECTRICAL REQUIREMENTS				BASIS OF DESIGN TACO, (G) GRUNDFOS			
						HP	BHP	VFD	AMPS	V/PH/Hz	SERVICE	ARRANGEMENT	MODEL
HUP1	350.0	100.0	-	1160	-	15.0	-	Yes	-	480/3/60	HUS/R	BASE-MOUNTED	F15011
HUP2	350.0	100.0	-	1160	-	15.0	-	Yes	-	480/3/60	HUS/R	BASE-MOUNTED	F15011
TURP-1	600.0	15.0	-	1160	-	15.0	-	Yes	-	480/3/60	CTS/R	BASE-MOUNTED	F15011
TURP-2	600.0	15.0	-	1160	-	15.0	-	Yes	-	480/3/60	CTS/R	BASE-MOUNTED	F15011
CHUP-1	480.0	30.0	-	1160	-	5.0	-	Yes	-	480/3/60	FRI CHU	BASE-MOUNTED	F15001
CHUP-2	480.0	30.0	-	1160	-	5.0	-	Yes	-	480/3/60	FRI CHU	BASE-MOUNTED	F15001
CHUP-3	480.0	15.0	-	1160	-	15.0	-	Yes	-	480/3/60	SEC CHU	BASE-MOUNTED	F15011
CHUP-4	480.0	15.0	-	1160	-	15.0	-	Yes	-	480/3/60	SEC CHU	BASE-MOUNTED	F15011

EXPANSION TANK PERFORMANCE SCHEDULE											
TAG	TANK VOLUME (GAL)	ACCEPTANCE VOLUME (GAL)	MIN. REQ'D. ACCEPT. VOL. (GAL)	MAX. WORK'G. TEMPERATURE (DEG.F)	MAX. WORK'G. PRESSURE (PSI)	WEIGHT (LBS)	BASIS OF DESIGN (T) TACO, (A) AMTROL				
							MOUNTING	SERVICE	MODEL		
EXP1	-	12.0	12.0	240	125	-	FLOOR	CHUS/R	(T) CBX-84		
EXP2	-	43.0	43.0	240	125	-	FLOOR	HU	(T) CBX-350		

FAN PERFORMANCE SCHEDULE													
TAG	AIRFLOW (CFM)	T.S.P. (IN.WG.)	NOISE (SONES)	FRPM	DRIVE	ELECTRICAL REQUIREMENTS				BASIS OF DESIGN -----			
						HP	BHP	WATTS	AMPS	V/PH/Hz	SERVICE	ARRANGEMENT	MODEL
TEF1	6100	0.75	-	-	BELT	1.5	-	-	-	480/3/60	TOILETS	ROOFTOP UP	GB-240-15
EPI	2100	0.75	-	-	BELT	3/4	-	-	-	480/3/60	GENERAL	ROOFTOP UP	GB-141-1
REF1	1830	0.75	-	-	BELT	3/4	-	-	-	480/3/60	CHILLER ROOM	ROOFTOP UP	BDF-90-1

Note: All fans shall have gravity backdraft dampers and 12" high roof curbs.

COOLING TOWER PERFORMANCE SCHEDULE													
TAG	AIRFLOW (CFM)	EWT (°F)	LWT (°F)	EUBT (°F)	Operating Weight (LB.)	GPM	DRIVE	ELECTRICAL REQUIREMENTS			BASIS OF DESIGN Marley		
								HP	VFD	V/PH/Hz	SERVICE	ARRANGEMENT	MODEL
CT1	65260	95	85	76	11,111	600.0	BELT	1.5	Yes	480/3/60	CH-1	UPDRAFT	NC8402MAN
CT2	65260	95	85	76	11,111	600.0	BELT	1.5	Yes	480/3/60	CH-2	UPDRAFT	NC8402MAN

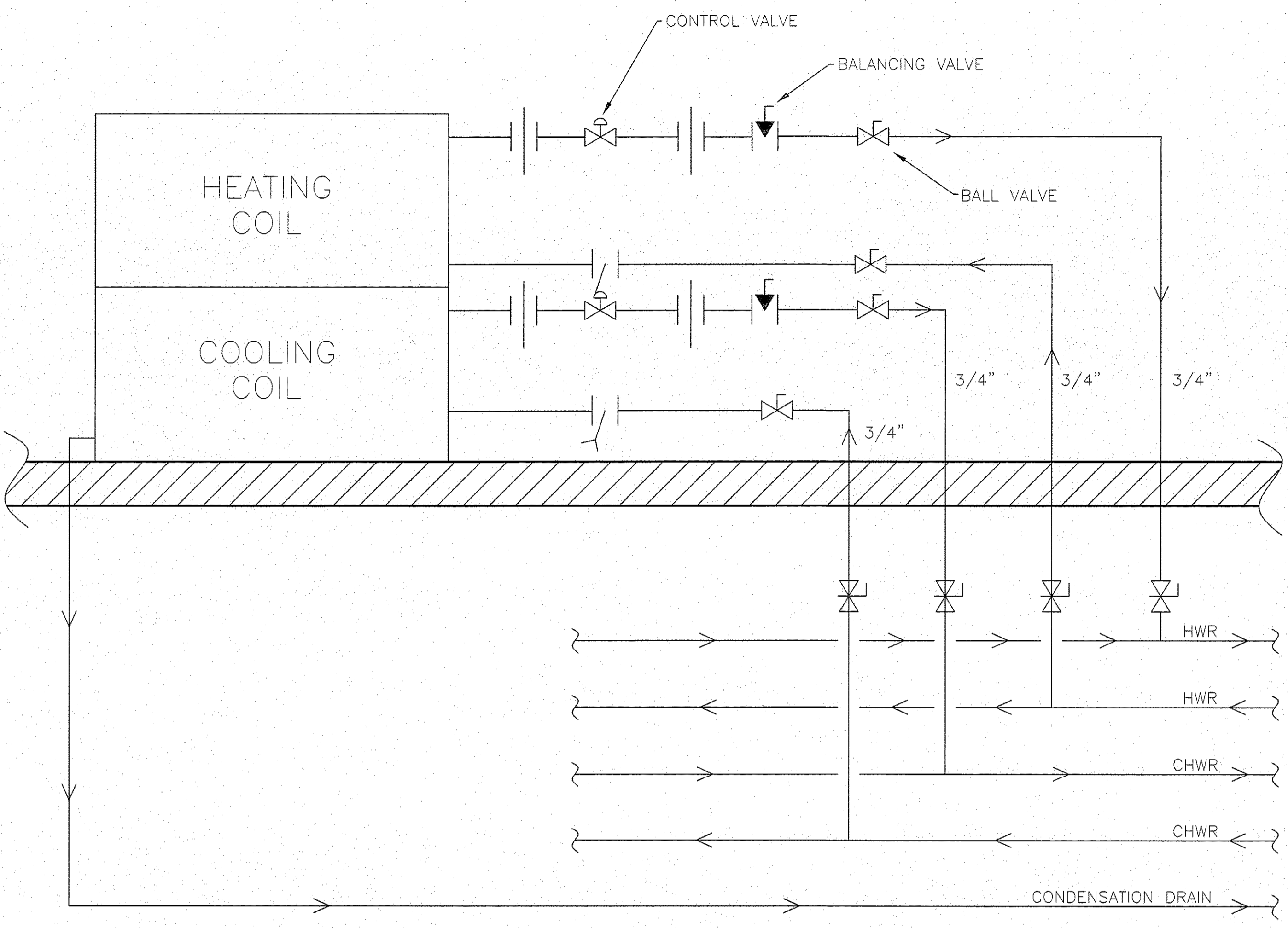
Note: Dimensions of cell unit are approximately 8'-4" L x 14'-2" W x 10'-3" H.

FANCOIL UNIT PERFORMANCE SCHEDULE																	
TAG	TOTAL COOLING (MBH)	EWT (DEG.F)	TYPE OF REFRIGERANT	AIRFLOW (CFM)	SPEED	E.S.P. (in. w.g.)	COOLING COIL				HEATING COIL				MODEL	Motor (HP)	SERVICE
							R.O.U.S.	E.A.T. (DEG.F)	L.A.T. (DEG.F)	FLOW (GPM)	W.P.D. (FT.)	E.A.T. (DEG.F)	L.A.T. (DEG.F)	FLOW (GPM)			
MAU-1	-	45	Water	1400	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	1st Floor
MAU-2	-	45	Water	1400	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	2nd Floor
MAU-3	-	45	Water	1400	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	3rd Floor
MAU-4	-	45	Water	1400	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	4th Floor
MAU-5	-	45	Water	1400	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	5th Floor
MAU-6	-	45	Water	1000	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	6th Floor
MAU-7	-	45	Water	1000	-	-	-	92.0	55.0	-	-	55.0	80.0	-	-	-	7th Floor

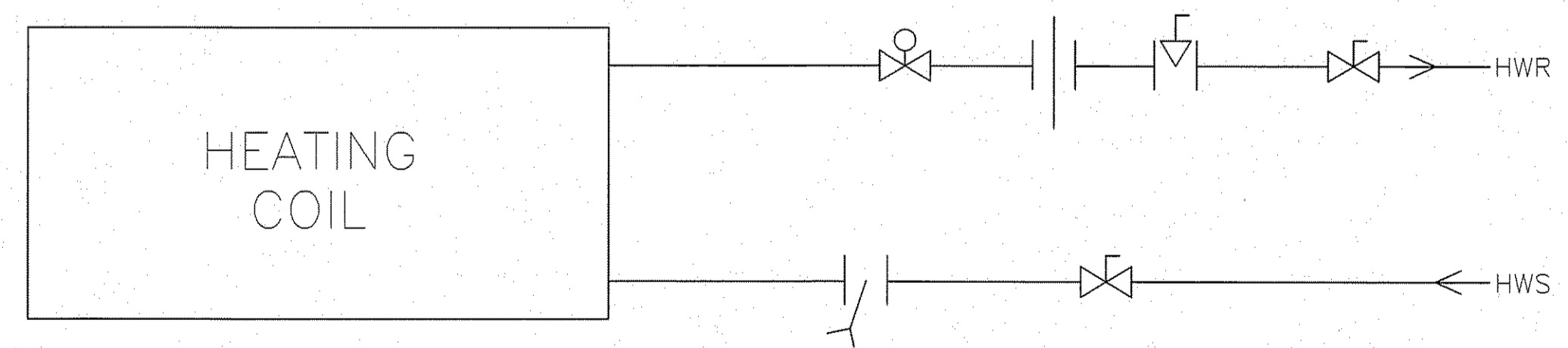
FANCOIL UNIT PERFORMANCE SCHEDULE																	
TAG	TOTAL COOLING (MBH)	EWT (DEG.F)	TYPE OF REFRIGERANT	AIRFLOW (CFM)	SPEED	E.S.P. (in. w.g.)	COOLING COIL				HEATING COIL				MODEL	Motor (HP)	VOLTAGE
							R.O.U.S.	E.A.T. (DEG.F)	L.A.T. (DEG.F)	FLOW (GPM)	W.P.D. (FT.)	E.A.T. (DEG.F)	L.A.T. (DEG.F)	FLOW (GPM)			
FCU	21.5	45	Water	560	Medium	0.1	-	80.0	56.0	4.0	1.9	60.0	98.8	2.2	42BVA10	1/4	208/1/60
CUH	-	180	Water	560	Medium	0.1	-	60.6	-	-	-	60.0	98.8	2.4	42BVA10	1/4	208/1/60
UH	-	180	Water	560	Medium	0.1	-	59.6	-	-	-	60.0	98.8	2.4	42BVA10	1/4	208/1/60

AIR-COOLED CHILLER PERFORMANCE SCHEDULE																		
TAG	NOMINAL CAPACITY (TONS)	ACTUAL CAPACITY (MBH)	L.W.T. (DEG.F)	E.W.T. (DEG.F)	TYPE OF REFRIGERANT	FLOW (GPM)	W.P.D. (FT. WG.)	FLOW (GPM)	L.W.T. (DEG.F)	E.W.T. (DEG.F)	W.P.D. (FT. WG.)	N.P.L.V.	ELECTRICAL		WEIGHT	MODEL	EER	SERVICE
													VOLTS	KW				
CH-1	200.0	-	44	54	R134a	480.0	14.4	600.0	95	85	14.4	0.516	480/3/60	147.7	-	304XC206	-	Floors 1-7
CH-2	200.0	-	44	54	R134a	480.0	14.4	600.0	95	85	14.4	0.516	480/3/60	147.7	-	304XC206	-	Floors 1-7

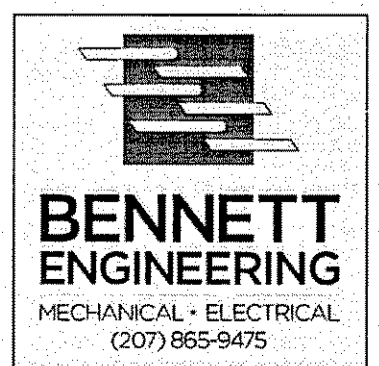
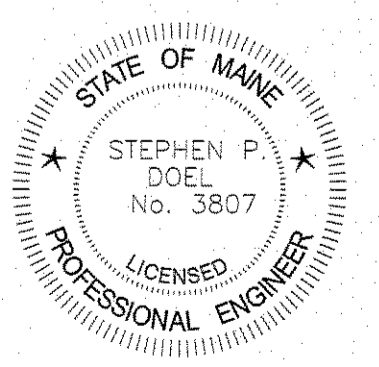
MAKE-UP AIR HANDLER PERFORMANCE SCHEDULE																								
TAG	AIRFLOW (CFM)	MIN.O.A. (CFM)	FAN	T.S.P. (IN.WG.)	E.S.P. (IN.WG.)	FUEL	HEATING OUTPUT (MBH)	RPM	ELECTRICAL REQUIREMENTS					WEIGHT (POUNDS)	SERVICE	MODEL	SOUND POWER (dB RE 10 <sup>-12</sup> WATTS) OCTAVE BAND 1/3 CENTER FREQUENCY (HZ)							
									HP	BHP	MCA	LRA	MCCP				VOLTAGE	1	2	3	4	5	6	7
MUA-8	3000	-	SUPPLY	1.25	-	NG.	700.0	115	15	1.06	-	-	480/3/60	-	-	RPBL-1050	63	125	250	500	1000	2000	4000	8000



**B** 4 PIPE FAN COIL UNIT DETAIL  
SCALE: NTS



**A** UNIT HEATER/ CABINET UNIT HEATER DETAIL  
SCALE: NTS



General Notes

0	FOR PERMIT	5/11
0	SUBMITTAL	4/11
No.	Revision/Issue	Date

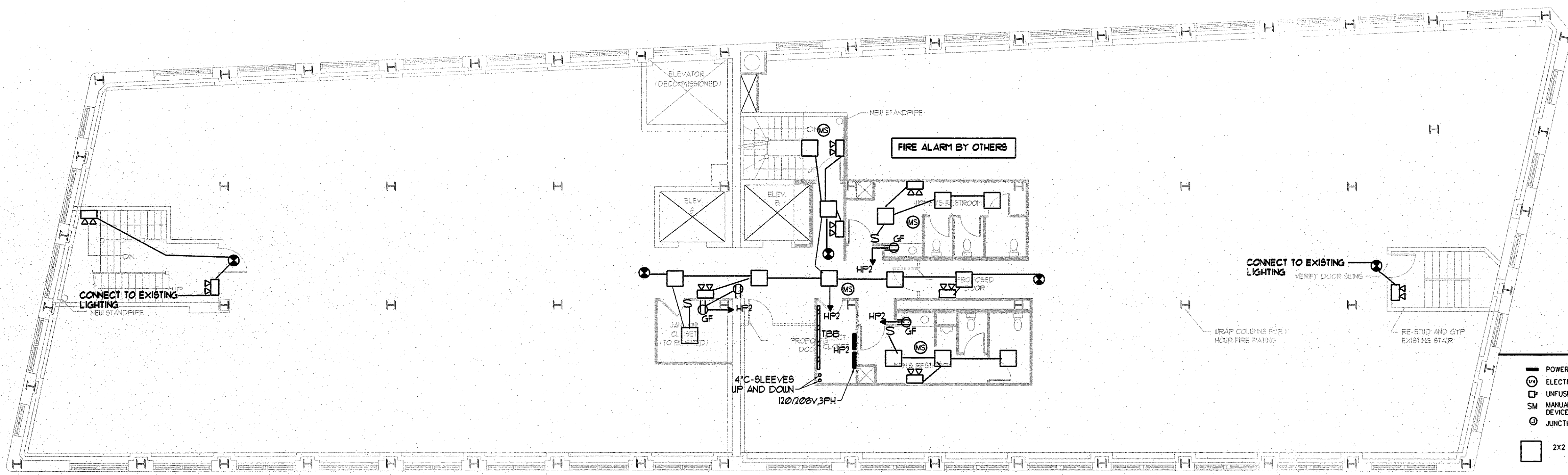
Firm Name and Address		
<b>Carrier</b> A United Technologies Company		
Autumn Pond Park #24 Greenland, NH 03840		
Tel: 1-603-433-6640 Fax: 1-603-433-6608		

Project Name and Address		
390 CONGRESS ST. Project PORTLAND, MAINE		

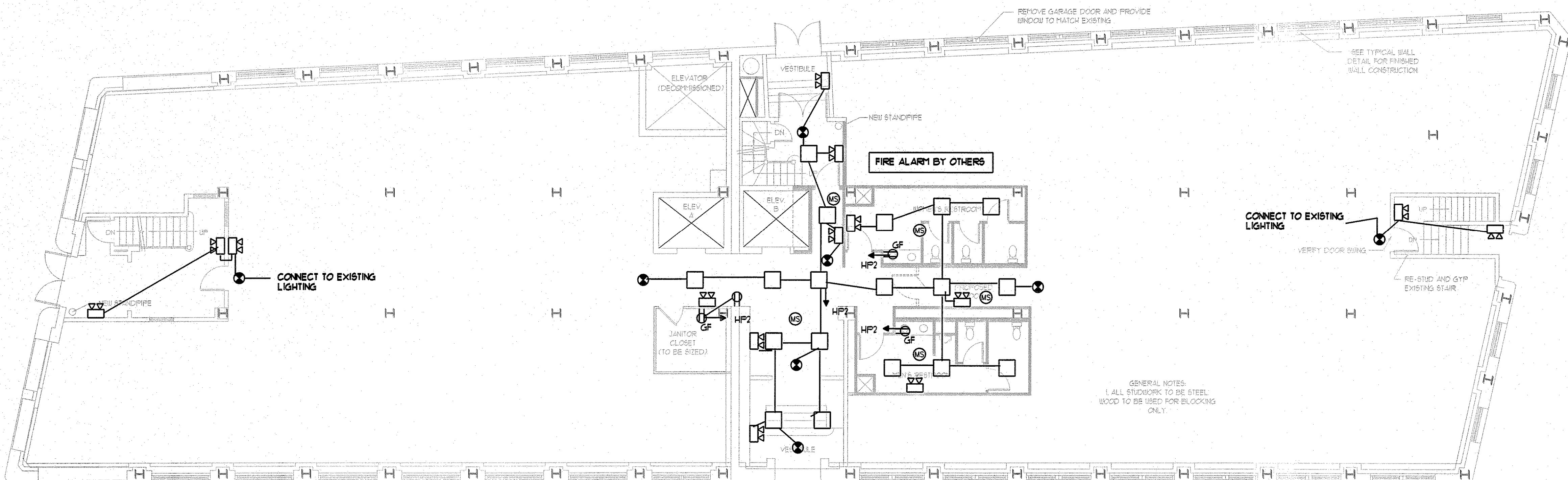
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Date	05/1/2011	Scale	M1.08
Scale	NTS		

Project	913E50004	Sheet	CCN
Date	05/1/2011	Scale	M1.08
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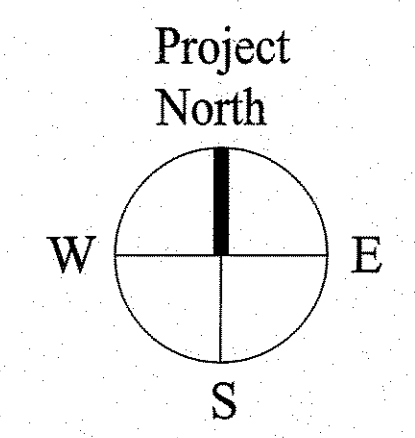


2 | SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"



1 | FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

- SYMBOL LEGEND**
- ⊞ POWER PANEL 120/208, 3PHS, 4WRE
  - ⊞ ELECTRIC MOTOR DRIVEN EQUIPMENT HP SHOWN
  - ⊞ UNFUSED DISCONNECT SWITCH - 250 VOLT SIZE & NO. POLES
  - SM MANUAL MOTOR STARTER SWITCH WITH THERMAL OVERLOAD DEVICE MOUNTED AT UNIT
  - ⊞ JUNCTION BOX - "H" DENOTES RANGE HOOD, "DW" DENOTES DFC
  - ⊞ 2X2 RECESSED LIGHTING FIXTURE - RECESSED IN GRID CEILING
  - ⊞ EXIT LIGHT FIXTURE-UNSWITCHED
  - ⊞ SELF CONTAINED EMERGENCY LIGHTING UNIT W/2 HEADS RECESSED IN CEILING
  - RACEWAY & WIRING OR MC CABLE RUN CONCEALED IN WALLS/CEILINGS. RACEWAY & WIRING RUN EXPOSED
  - RACEWAY & WIRING RUN CONCEALED UNDER FLOOR
  - LP1 --- HOME RUN TO PANEL - ARROWS INDICATE QUANTITY OF CIRCUITS - NUMERALS DENOTE CIRCUIT NUMBERS
  - EB1 --- HOME RUN TO EMERG. BATTERY UNIT 12 VOLTS D.C.
  - CONDUIT TURNING UP
  - CONDUIT TURNING DOWN
  - SINGLE POLE SWITCH 120 VOLT 20 AMP SPEC GRADE GROUNDING AFF. 3-5 MAX 4-4-WAY 2-PILOT WP-WEATHERPROOF
  - ⊞ DUPLEX RECEPTACLE - 20A 125V SPEC GRADE GROUNDING TYP MATCHING IVORY PLATE - MOUNT 24" AFF. "R" DENOTES REFRIGERATOR - "D" DENOTES 2 DUPLEX OUTLET
  - ⊞ DUPLEX RECEPTACLE - GROUND FAULT OUTLET 20A 125V WITH PLATE FURNISHED W/ OUTLET FLUSH MOUNTED 45" AFF EXCEL
- SHORT CROSS QUANTITY OF 1 IN 3/4" WHEN TWO ABSENCE INDICATES 2 + 1 ASTERISK INDIC CIRCUITS CONT



Prepared For:

**BENNETT ENGINEERING**  
MECHANICAL • ELECTRICAL  
(207) 885-9475

Architect:

**ARCHETYPE Architects**  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:

**390 CONGRESS ST.**  
390 CONGRESS ST.  
PORTLAND, MAINE

Revisions:

Issued for Permit - 25 April 2011

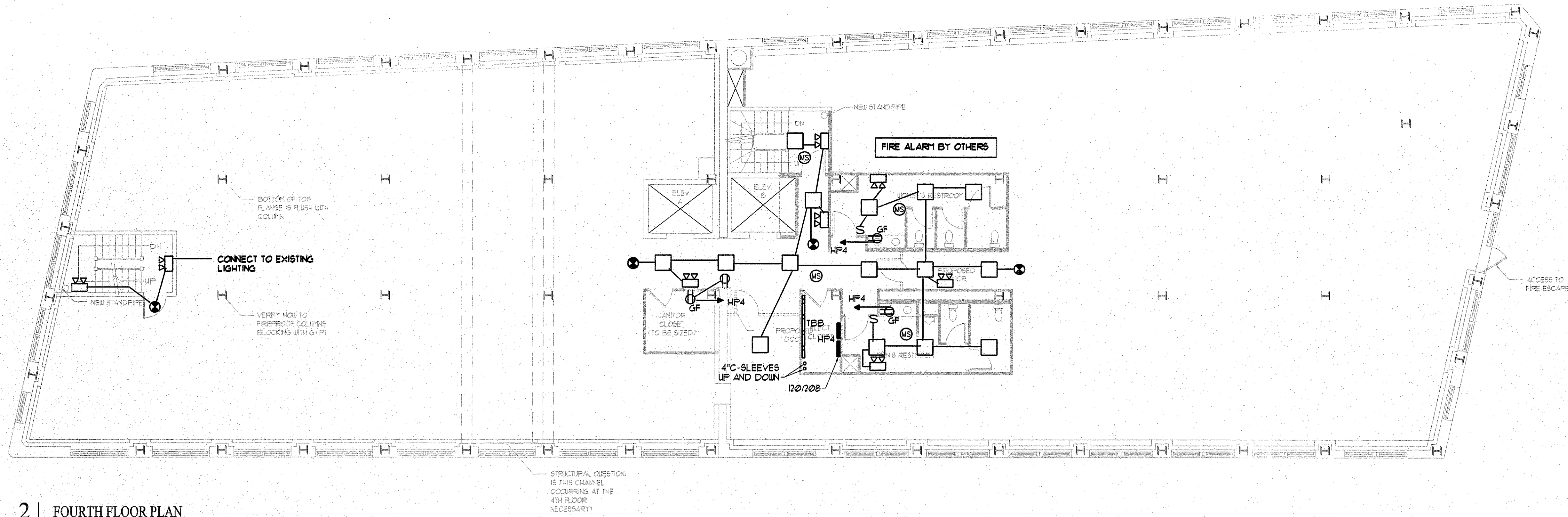
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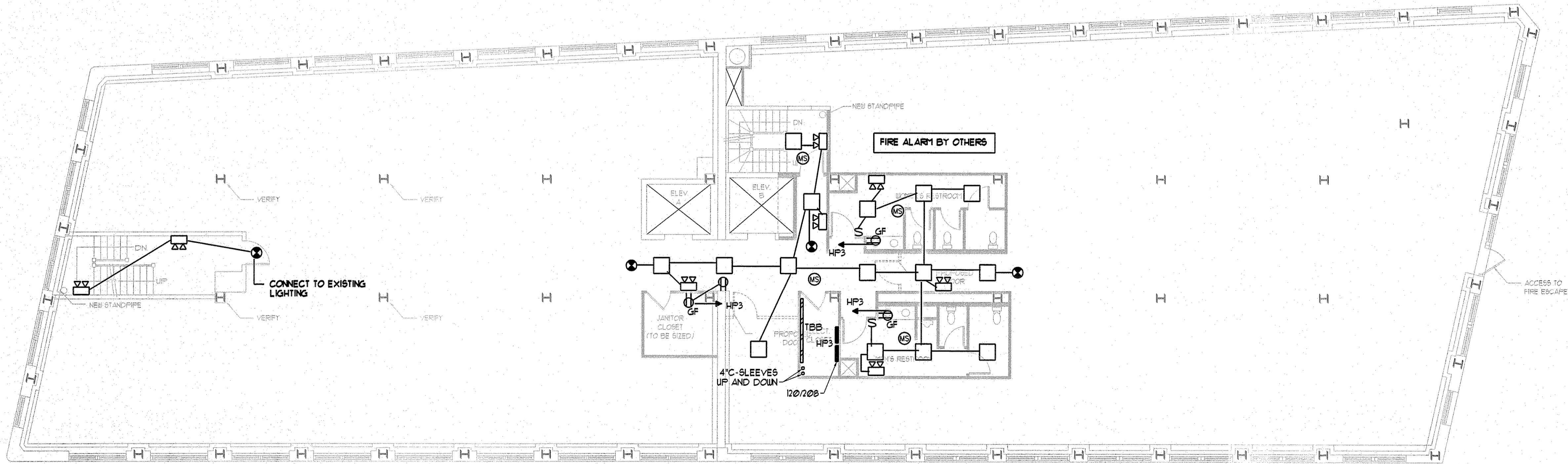
**FIRST AND SECOND FLOOR PLAN**

**E1**

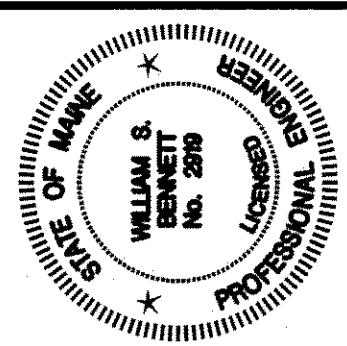
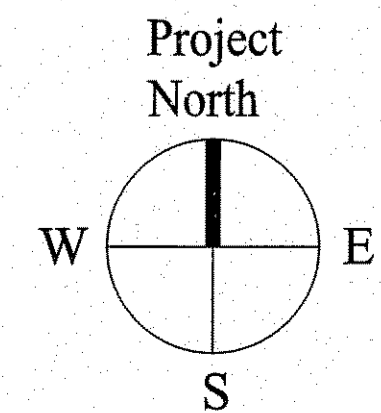




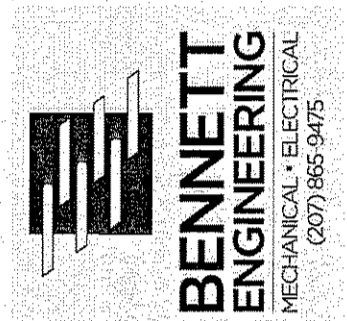
**2 | FOURTH FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



**1 | THIRD FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



Prepared For:



Architect:  
**ARCHETYPE**  
 Architects  
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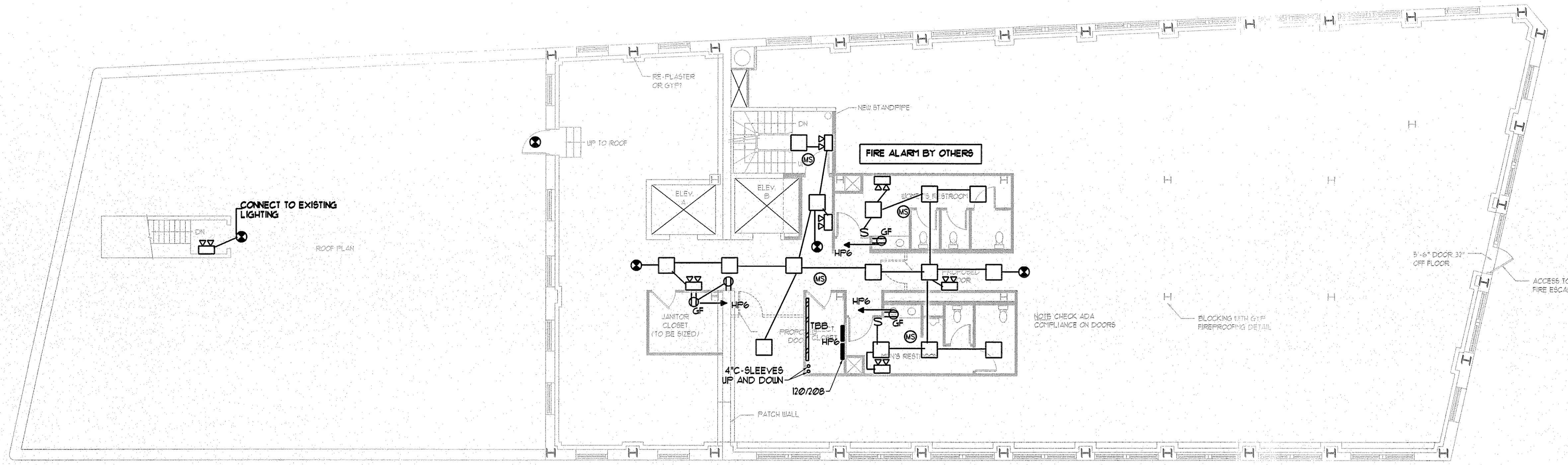
Project:  
**390 CONGRESS ST.**  
 390 CONGRESS ST.  
 PORTLAND, MAINE

Revisions:  
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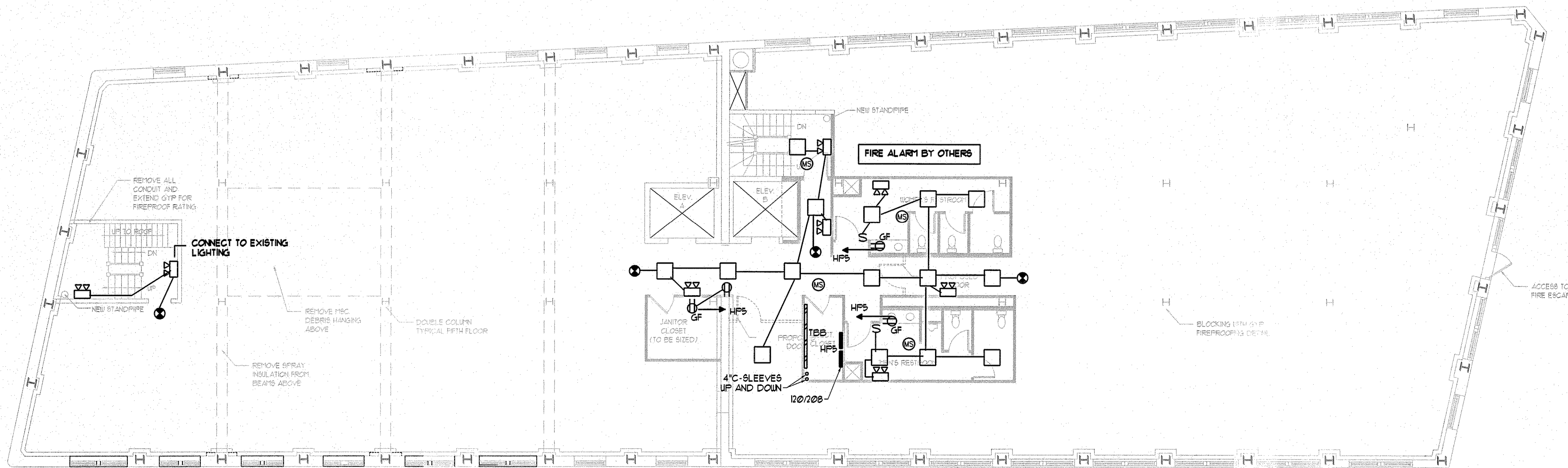
Date: 25 April 2011  
 Scale: 1/8" = 1'-0"  
**THIRD AND FOURTH FLOOR PLAN**

**E2**

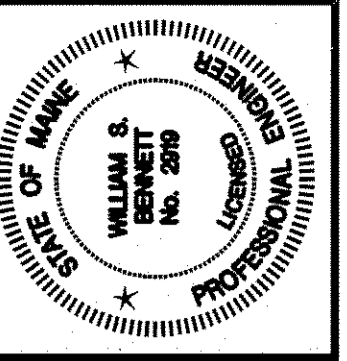
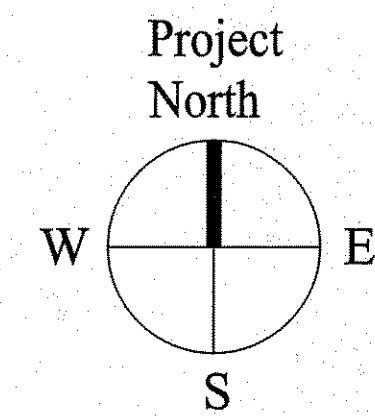




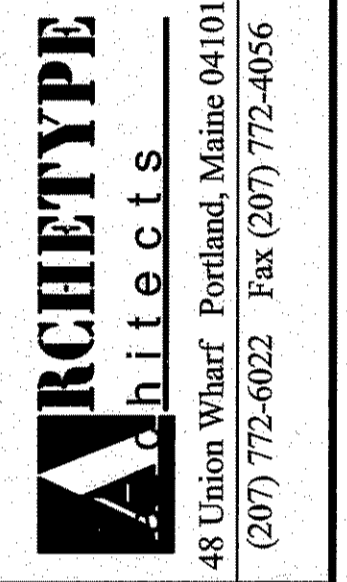
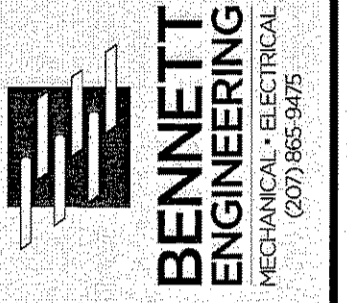
**2** | SIXTH FLOOR PLAN  
SCALE: 1/8"=1'-0"



**1** | FIFTH FLOOR PLAN  
SCALE: 1/8"=1'-0"



Prepared For:



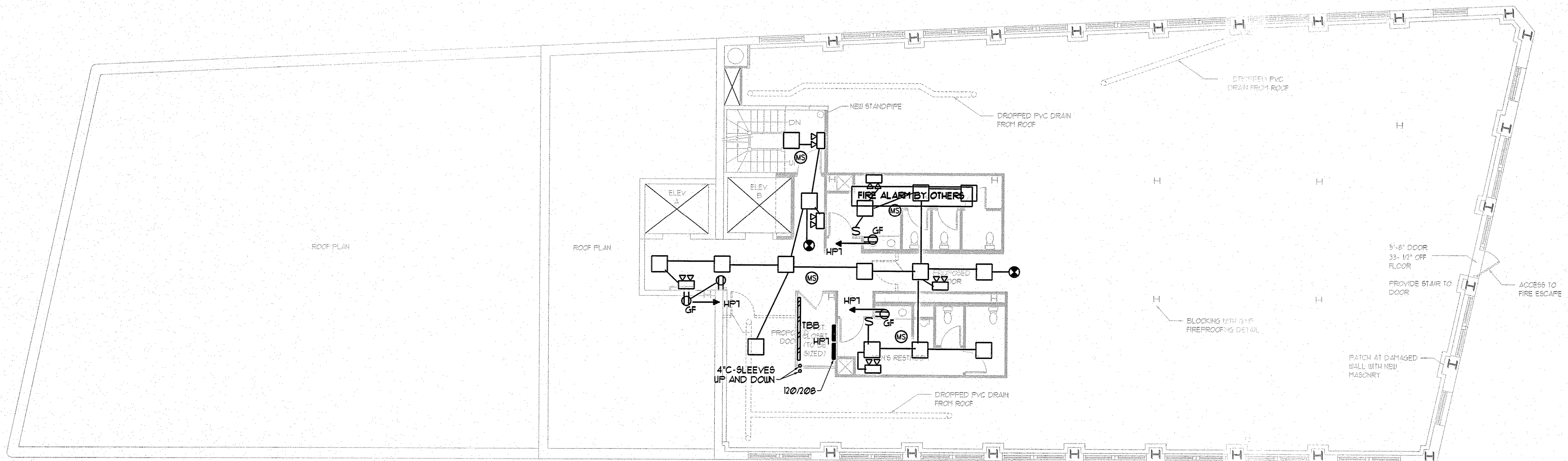
Project:  
**390 CONGRESS ST.**  
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PORTLAND, MAINE

Revisions:  
Issued for Permit - 25 April 2011

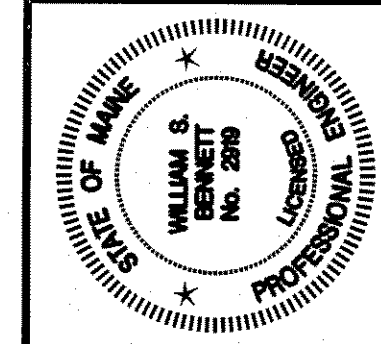
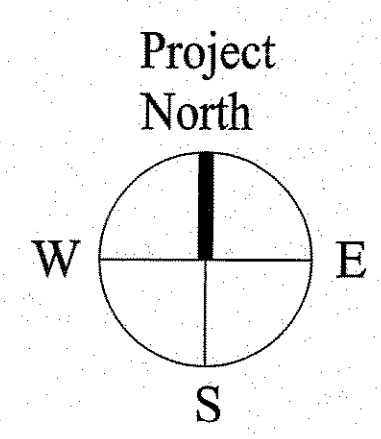
Date: 25 April 2011  
Scale: 1/8" = 1'-0"  
**FIFTH AND SIXTH FLOOR PLAN**

**E3**

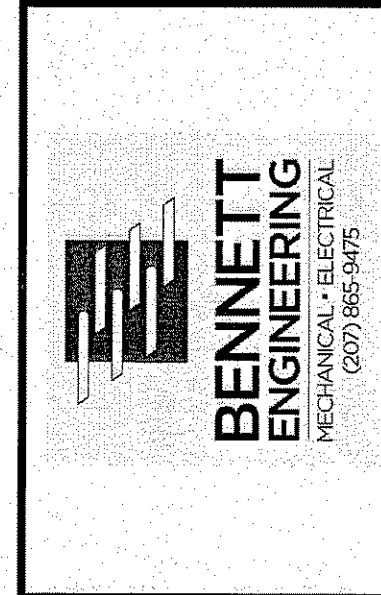




1 SEVENTH FLOOR PLAN  
SCALE: 1/8"=1'-0"



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Date: 25 April 2011  
Scale: 1/8" = 1'-0"  
**SEVENTH FLOOR PLAN**

**E4**