

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 68-71 Commercial Street Portland		Owner: Point East Trust		Phone: 774-3683		Permit No: 990892
Owner Address: Spring Street West 258 State Street Portland ME 04101		Lessee/Buyer's Name:		Phone:		
Contractor Name: Tom Watson		Address: 100 State Street Portland		Phone: Jim Meehan 603 433-2753		Permit Issued: AUG 20 1999 CITY OF PORTLAND Zone: CBL: 030-D-001
Past Use: Vacant		Proposed Use: Same		COST OF WORK: \$ 125,000. PERMIT FEE: \$ 774.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group <input checked="" type="checkbox"/> Type 3B Signature: <i>BOCAG</i>		
Proposed Project Description: Exterior Curtain Walls new windows and doors install of utilitarian				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/> Signature: _____ Date: _____		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By: K.		Date Applied For: Aug. 10, 1999 K.				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**** Bill Numbers 774-3683 ****

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Aug. 10, 1999

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: _____

CEO DISTRICT

COMMENTS

Phone conversations w/ John Muehlen ~~group~~ prior to issuance of permit. AR

3/13/2000 Met w/ Phil. OK. Framing OK. ~~Question~~ Question on clay and stone parging over w/ NSF + NFPA. AR

3/14/2000 Met w/ John Muehlen, owner, re: parging area. AR

3/20/2000 OSHA meeting w/ PSH, John Muehlen, Gilmore.

8/17/00 Completed. AR

Inspection Record

Type

Date

Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____


THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

30-9-001

Location/Address of Construction (include Portion of Building): 68-72 COMMERCIAL ST.			
Total Square Footage of ^{EXISTING} Proposed Structure: 13,200 SF		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# 030 Block# D Lot# 001		Owner: POINT EAST TRUST.	Telephone#: 40 WM MEMBERS 774 3683
Owner's Address: 90. SPRING ST. WEST 288 STATE ST. PORTLAND 041		Lessee/Buyer's Name (If Applicable)	Cost Of Work: \$125,000 Fee: \$774⁰⁰
Proposed Project Description: (Please be as specific as possible) EXTERIOR CURTAIN WALLS - NEW WINDOWS (REAR) INSTALLATION OF UTILITIES			
Contractor's Name, Address & Telephone: TOM WATSON 288 STATE ST. PORTLAND			Rec'd By: 
Current Use: VACANT		Proposed Use: VACANT	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

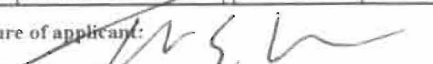
Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

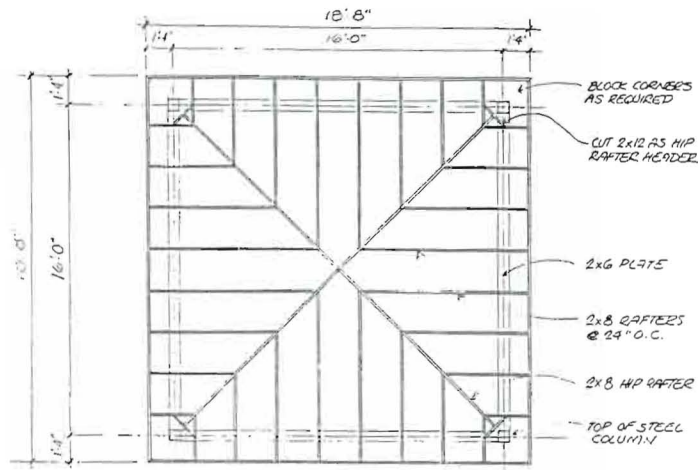
Signature of applicant:  Trustee Point East Trust	Date: 08.10.99
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Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.

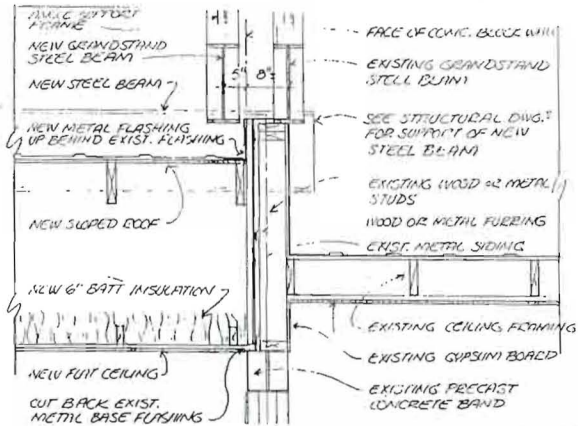
Additional Site review and related fees are attached on a separate addendum

**CALL
BILL MEMBERS
774.3683**





ROOF FRAMING PLAN



3600
9600
13200

Figure 3. Typical Framing and Cross Section

These plans are all done by professionals, If your project is listed in the attached exemptions, you can prepare your own plans. For all other projects except those exempted, a Design Professional must prepare any construction documents. When proposing an addition, similar plans are required, the same goes for a detached garage or an attached deck.

Submission Requirements

Multi-Family, Duplex and Commercial Construction

When a property owner is proposing either a new structure or an addition, this office requires:

- For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 1, 2 & 3)

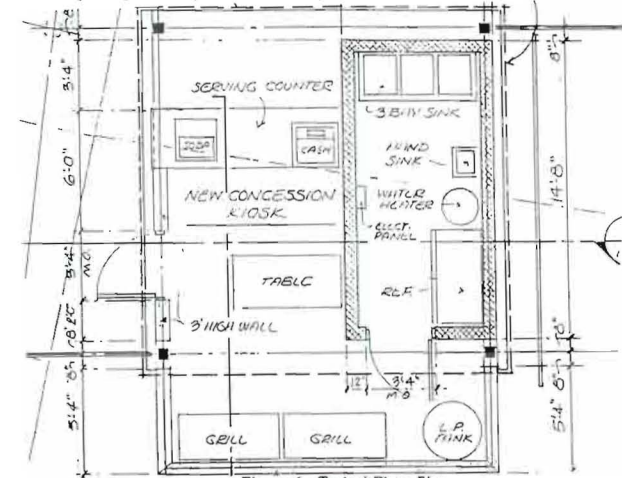


Figure 1. Typical Floor Plan

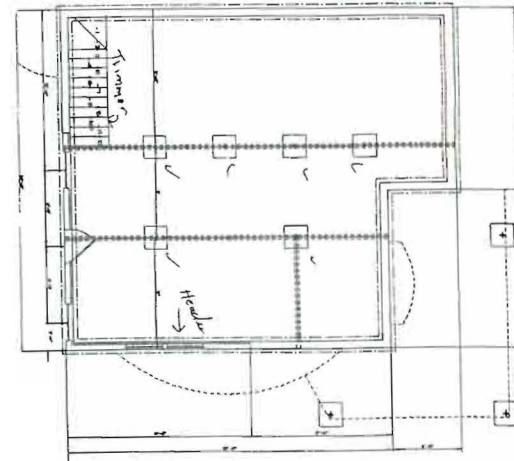
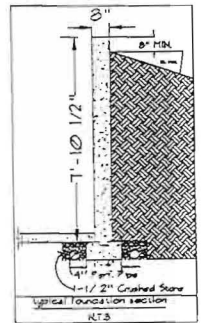


Figure 2. Typical Foundation Plan



The following State law governs technical submission requirements for building plans as well as site development. The law explains the *exemptions*, please read it CAREFULLY and our staff will answer any question that you may have.

2. Technical submissions; construction or development. Nothing in this chapter may be construed to prevent any person from preparing technical submissions for, or administering construction contracts in, the erection, construction or development of:

- A. Detached single or 2-family dwellings, including those to be utilized for home occupations, as defined by local ordinances, and sheds, storage buildings and garages incidental to the dwellings; [1991, c. 874, §3 (amd).]
- B. Farm buildings, including barns, silos, sheds or housing for farm equipment and machinery, livestock, poultry or storage, if the structures are designed to be occupied by no more than 10 persons; [1991, c. 874, §3 (amd).]
- C. Alterations, renovations or remodeling of a building when the cost of the work contemplated by the design does not exceed 15% of the assessed value of the building or \$50,000, whichever is the lesser, or does not require the issuance of a permit under applicable building codes or when the work involves those structures as provided in paragraphs A, B, F, G and H or when the work involves interior design services performed by a certified interior designer; [1993, c. 680, Pt. A, §28 (rpr).]
- D. [1991, c. 396, §21 (rp).]
- E. [1991, c. 396, §21 (rp).]
- F. Buildings that do not have as their principal purpose human occupancy or habitation; [1991, c. 874, §4 (new).]
- G. Single-story, above-grade buildings of less than 1,000 square feet that are designed to be occupied by no more than 10 persons; and [1991, c. 874, §4 (new).]
- H. Preengineered manufactured buildings. For the purposes of this section, "preengineered manufactured building" means a structural unit, other than a dwelling, that is designed by a person licensed as an engineer in the State and is constructed in a manufacturing facility. [1991, c. 874, §4 (new).]
[1993, c. 680, Pt. A, §28 (amd).]

Section History:

1977, c. 463, § 3 (NEW). 1991, c. 396, § 21 (RPR). 1991, c. 874, § 2-4 (AMD). 1993, c. 349, § 65 (AMD). 1993, c. 389, § 16-18 (AMD). 1993, c. 680, § A28 (AMD).

32 § 227. Enforcement

It shall be the duty of all duly constituted law enforcement officers of the State and all political subdivisions thereof to enforce this chapter and to prosecute any persons violating this chapter. [1977, c. 463, § 3 (new).]

Section History:

1977, c. 463, § 3 (NEW).

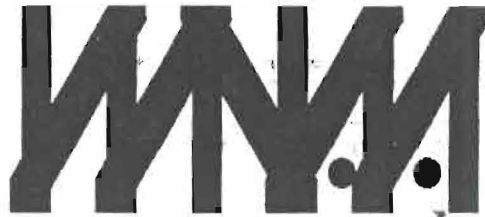
32 § 228. Penalties

Violation of any provision of this chapter shall be a Class E crime punishable by a fine of not less than \$100 nor more than \$500, or by imprisonment for not more than 3 months, or by both. [1977, c. 463, § 3 (new).]

The State may bring an action in Superior Court to enjoin any person from violating this chapter, regardless of whether proceedings have been or may be instituted in the Administrative Court or whether criminal proceedings have been or may be instituted. [1983, c. 413, § 12 (new).]

Section History:

1977, c. 463, § 3 (NEW). 1983, c. 413, § 12 (AMD).



WILLIAM NEMMERS ASSOCIATES ARCHITECTS
424 FORE ST. PORTLAND, ME 04101 774-3683.

August 10, 1999

Mr. Sam Hoffses, Building Inspector
City of Portland
389 Congress St.
Portland, Maine 04101

Re: Building Rehabilitation on Maine Wharf
68-72 Commercial Street

Sam:

With this letter I am submitting a portion of this project for a building permit.

On November 25, 1997 Permit # 971274 was issued to a former Owner for Demolition of fire damaged portions.

In April of 1998 a Permit was issued to enclose the building and prepare the utilities for future leasing. This permit included new windows and doors, new curtain walls, floor preparation, the installation of utilities, and installation of rooftop HVAC equipment. This portion of the project was not started as the property was sold to a new owner.

This new Owner now wants to apply for a building permit which does essentially the same thing as the previous permit. Included are new windows and doors, new curtain walls, and the installation of basic utilities. The only difference is that the proposed design of the new curtain wall is different from the one previously approved. The previous design had vinyl clapboard siding and multiple double-hung windows. This design has large glass areas on the first floor with wood trim, and 6'x6' awning windows on the second floor with metal siding.

When the tenants have been signed up, additional amendments to the building permit will be applied for to cover that work. We understand that, because of the size of the building a site plan review will be necessary to accommodate the Change-Of-Use before any permits can be issued for the interior tenant fit-up.

Sincerely,

William Nemmers

WARRANTY DEED

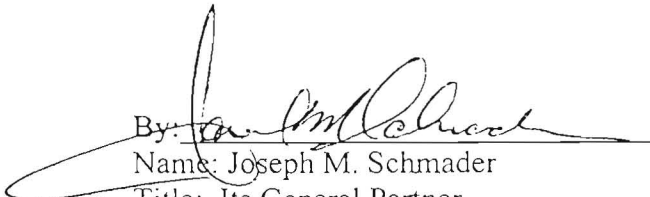
On this 16th day of Jun, 1999, MAINE WHARF ASSOCIATES, a Maine limited partnership, for consideration paid, grants to JOHN R. WATSON and JOHN J. BUSH, JR., as Trustees for the Point East Trust, County of Cumberland and State of Maine, whose mailing address is 288 State ST., Portland, Maine 04101 with WARRANTY COVENANTS, certain lands with buildings, and other improvements, if any, erected thereon, known as the Maine Wharf and situated at 72 Commercial Street in the City of Portland, County of Cumberland and State of Maine, as more particularly described in Exhibit A attached hereto and by this reference incorporated herein.

IN WITNESS WHEREOF, this Warranty Deed has been duly executed by Joseph M. Schmader, the General Partner of Maine Wharf Associates, hereunto duly authorized, as of the day and year first above written.

WITNESS:

MAINE WHARF ASSOCIATES




By: 
Name: Joseph M. Schmader
Title: Its General Partner

STATE OF MAINE
COUNTY OF CUMBERLAND, SS.

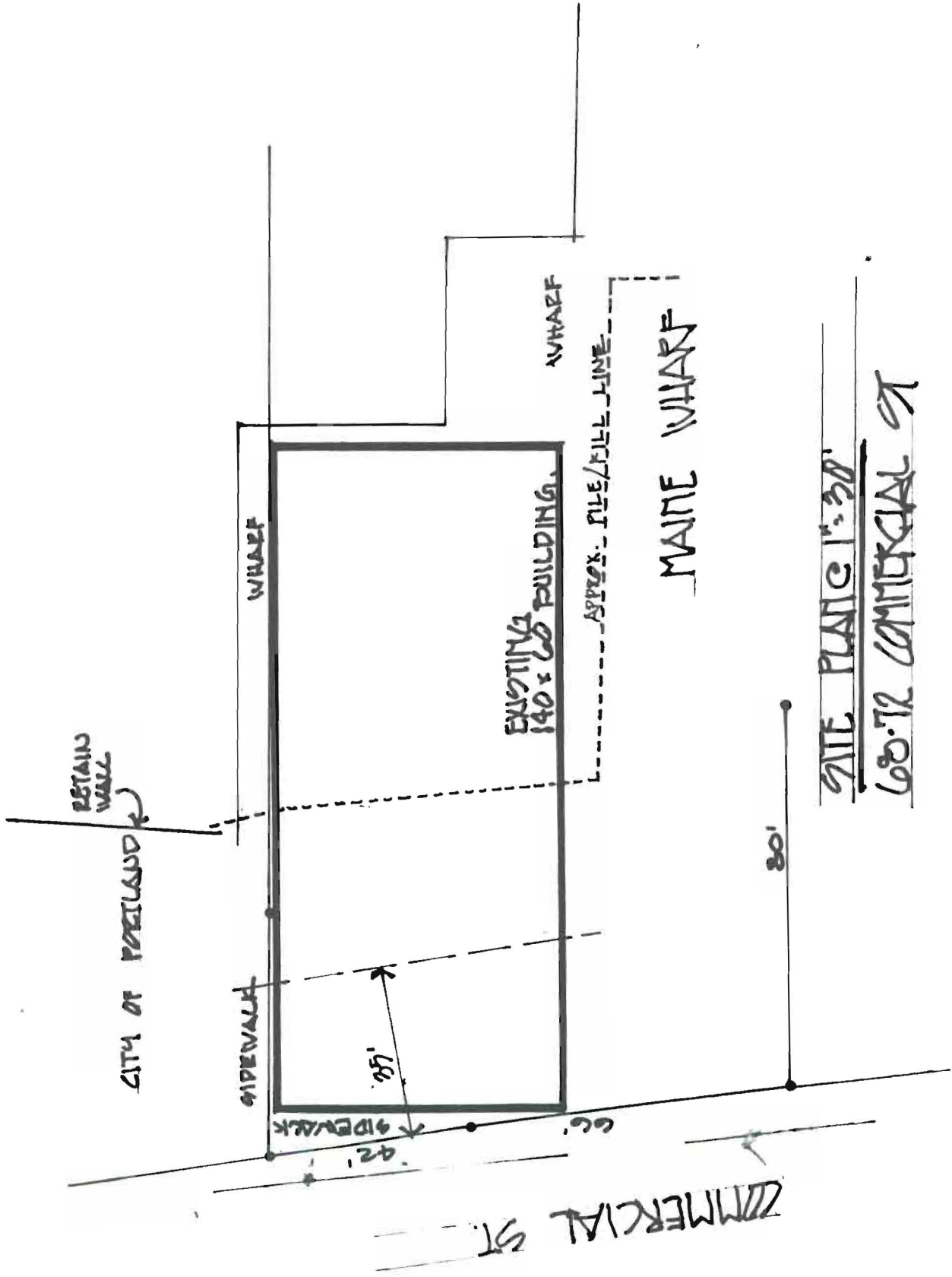
June , 1999

Personally appeared Joseph M. Schmader, the General Partner of Maine Wharf Associates and acknowledged the foregoing instrument to be his free act and deed in said capacity and the free act and deed of the limited partnership.

Before me,



Notary Public
Attorney-at-Law
Print Name: Michael Keph, Esq.
Commission Expires: _____
(Affix Notarial Seal)



SITE PLAN 1'-30"
60.72 COMMERCIAL ST

**MAINE WHARF BUILDING (68 Commercial Street)
PORTLAND, MAINE
OUTLINE SPECIFICATIONS**

July 5, 1999

01 GENERAL DESCRIPTION

To rebuild the shell of the building and to bring it to a "white box" condition. The first floor will be leveled with a skim coat of concrete, an elevator installed, two stair towers will be installed, the rear portion will have a new exterior wall, the front section will have some cosmetic work done to lower windows and reside the north side.

02 SITE CONSTRUCTION/DEMOLITION

- a) In the front section, demolish all non-bearing interior walls, except those around the existing equipment room.
- b) in the front section, demolish portions of the concrete floor for water and sewer entry.
- c) in the front section, remove the masonry from below the windows down to the concrete knee-wall. Remove windows.
- d) Install a new 4" septic sewer line from the alley to the building line
- e) Remove the required structural elements from the floors and roof for the elevator opening.

03 CONCRETE

- a) in the front section, 3600sf, install a leveling slab, average depth 3", over the existing, concrete, sloping floor. In the rear section install a 2" concrete leveling slab over the entire 4900sf. Floor slabs shall be fiber reinforced concrete, 3,000* test, smooth mechanical trowel finish, maximum slope is 1/8" in 10 ft., install construction joints and expansion joints as detailed.
- b) Install 8" concrete footings, a 4ft high reinforced foundation wall at elevator pit, and a 4" concrete slab in the pit.
- c) Install an 8" reinforced knee wall, 4ft high and tied into the existing concrete sill, along the 80ft of the ally side of the building.

04 MASONRY

- a) Infill concrete block in the existing overhead door at the front section
- b) Infill existing window into the equip rm. and relocate existing steel door into a new opening into equip rm.
- c) Construct a 6" masonry wall around the elevator shaft from the top of the pit to 12'-4" above second floor. Install lintels, sills, and opening frame anchors as per elevator company.

05 METALS

- a) Install continuous 4"x6"x5/16" angle around the sill at the second floor edge (220lf)
- b) Install 6" metal stud curtain wall at second floor (10ft high by 220 ft), and at alley side of first floor above concrete knee wall (6ft high by 80 ft)
- c) Install (2) 15ft long 3"x4" steel tube frame braces at 2nd floor.
- d) Fabricate and install (2) sets of steel pan stairs 3'-8" wide, 7" R / 11" T.

06 WOOD/GENERAL CONSTRUCTION

- a) Install (24) 2x12 by 20 ft long LVL beams on hangers to add support to 2nd floor frame.
- b) Install 5/8" composition sheathing board on exterior 2nd floor walls. (10ft by 220ft).
- c) Build the first floor wood window wall frame, with #1 Spruce. Wall will have 2 operable transom units per bay.

07 WEATHER PROTECTION

- a) Roofing will be rubber roofing with welded seams installed over 4" of insulation board. Install all flashing of the same roofing material at roof penetrations, intersections with existing roofing and roof edges.
- b) Metal Flashing will be installed at roof edges, at the junction of the lower roof and wall.
- c) Wall insulation will be R19 fiberglass batts installed between studs. A 4mil plastic vapor barrier will be installed on the interior of the stud wall
- e) Tyvek or similar sheathing wrap will be installed on the exterior over the sheathing.
- f) Sealant will be applied at junctions of all dissimilar materials and other places normally requiring sealants.

08 WINDOWS AND DOORS

- a) Install (2) 36x80 metal doors and frames on the alley side, relocate existing door into new opening.
- b) Install (22) double casement windows approximately 5'-4" by 5'-4", metal clad.
- c) Install (3) Morgan exterior wood doors with full glass into new wood frame window-wall at first floor rear.
- d) Install 3/4" insulated glass into wood window wall, use tempered or safety glass at windows adjacent to doors.
- e) Install a set of wood entry doors with full glass panels at main entry.
- f) Install (2) 36"x80", 1 hour fire doors into the stairwells at the second floor

09 FINISHES

- a) Gypsum wallboard to be 5/8" on exterior walls and 5/8" firecode on stairway walls.
- b) Exterior stain: 2 coats of heavy body stain on wood surfaces.
- c) Exterior paint: Primer/filler and 2 coats paint on all new masonry, 2 coats paint on existing painted concrete block.

14 ELEVATOR

- a) Provide and install an hydraulic elevator, include drilling, equipment, installation, controls, and testing. Elevator size will be the 7'-4" by 5'-9" hoist-way size, with standard door opening configuration.

15A PLUMBING

- a) Stub in the new 4" septic line into the building mechanical room.

15B HEATING

16 ELECTRICAL

- a) Install a new 600amp, 3phase disconnect and a (4) meter configuration on the alley wall outside the mechanical room. Install one 200amp house panel in the mechanical room.

Inspection Services
Samuel Hoffses
Inspector of Buildings



Department of Urban Development
Joseph E. Gray, Jr.
Director

March 17, 2000

CITY OF PORTLAND

Point East Trust
180 State Street
Portland, ME 04101

RE: 68-72 Commercial St., CBL 030-D-001
Flatbread Restaurant

Dear Sir:

On March 16, 2000, permit #000189 was issued to you to make renovations to a vacant building for a restaurant.

Under the conditions of this approval condition #27 requires that separate permits shall be obtained for electrical, plumbing and HVAC. On your permit application you stated that an oven-cooking appliance was going to be installed, this will also require a separate permit.

Mr. Arthur Rowe the code enforcement officer for this area has brought to my attention that the work has already started on this oven without the required permit, therefore all work on this oven shall stop until the proper permits are obtained.

My telephone conversation on March 17, 2000, with the owner of the Flatbread Restaurant, and with Mr. William Nemmers, Flatbread's professional designer this office shall require that the application and plans for the proposed oven meet the requirements of NFPA #96, 1998 Edition. (Standards for Ventilation Control and Fire Protection of Commercial Cooking Operation). I gave Mr. Nemmers a copy of this regulation on March 17, 2000, for his design purpose.

Before work is started again on this proposed oven and ductwork a permit shall be obtained from this office. A professional designer with his/her seal and signature shall design the application and plans.

30-D-001

If you have any questions on this matter please call me at 207-874-8704.

Sincerely,



P. Samuel Hoffses
Building Inspector

Cc: William Nemmers & Assoc.
424 Fore Street
Portland, ME 04101

Flatbread Restaurant
C/O William Nemmers
424 Fore Street
Portland, ME 04101

Empire Development LLC
PO Box W
Old Orchard Beach, ME 04064

BUILDING PERMIT REPORT

DATE: 11 Aug 99 ADDRESS: 68-72 Commercial ST. CBL: 030-D-001

REASON FOR PERMIT: Interior & exterior renovations

BUILDING OWNER: Point East Trust

PERMIT APPLICANT: Tom Watson / Contractor Tom Watson

USE GROUP UNKNOW CONSTRUCTION TYPE 3B


The City's Adopted Building Code (The BOCA National Building Code/1996 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1 *9 *11 *12 *13 *14 *17 *23 *27 *29 *32 *33 *35 *36 *37
Approved with the following conditions:

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- *12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (68") 1014.4
- 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)

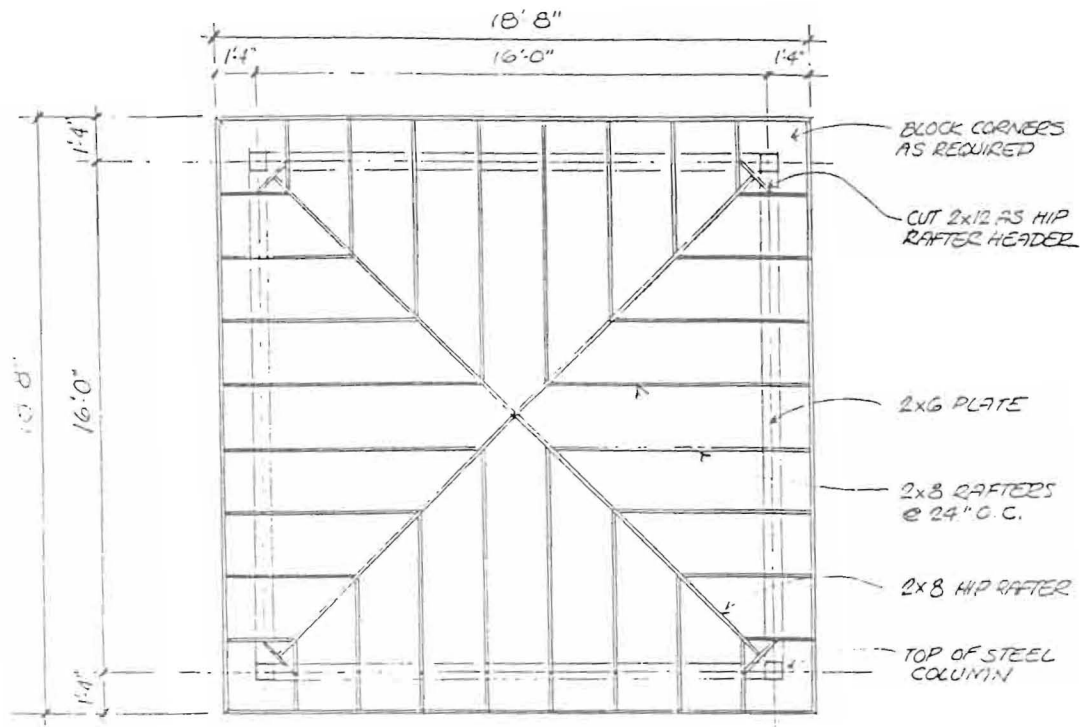
- *17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 &19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- *23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. **No closing in of walls until all electrical (min.72 hours notice) and plumbing inspections have been done.**
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements.
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- *33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- 34. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code 1996).
- *35. your proposed use of roof to install HVAC equipment, shall be done in accordance with The City's Mechanical Code (The BOCA National Code/1993).
- *36. A structural analysis shall be done of roof to insure the roofs structural members are capable of carrying the loads of the HVAC equipment.


 P. Samuel Holmes, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

#37 There shall be no use of this building until A Change of use permit is received, reviewed and approved.

PS117/1/99

****On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**



ROOF FRAMING PLAN

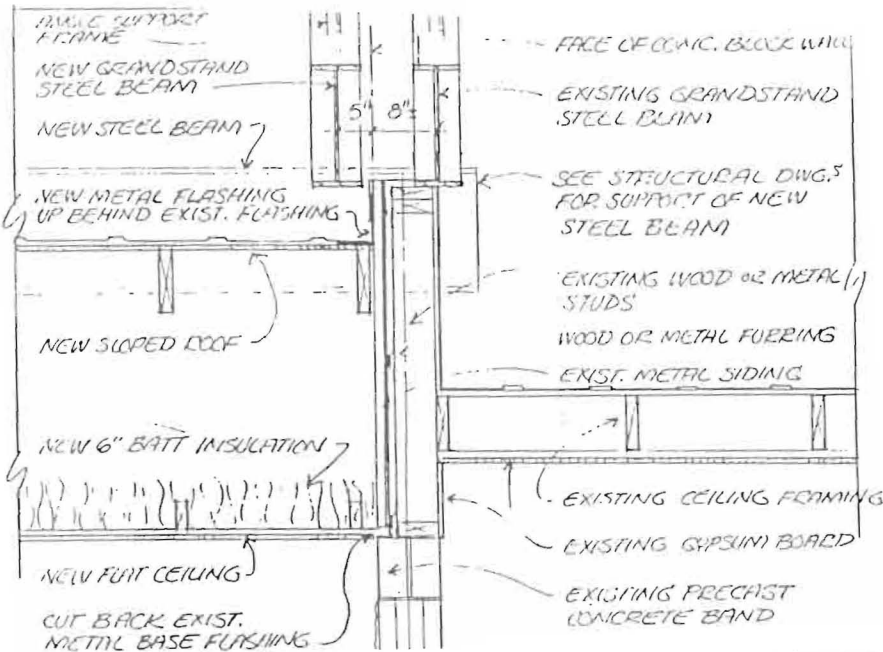


Figure 3. Typical Framing and Cross Section

These plans are all done by professionals, If your project is listed in the attached exemptions, you can prepare your own plans. For all other projects except those exempted, a Design Professional must prepare any construction documents. When proposing an addition, similar plans are required, the same goes for a detached garage or an attached deck.

Submission Requirements Multi-Family, Duplex and Commercial Construction

When a property owner is proposing either a new structure or an addition, this office requires:

- For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 1, 2 & 3)

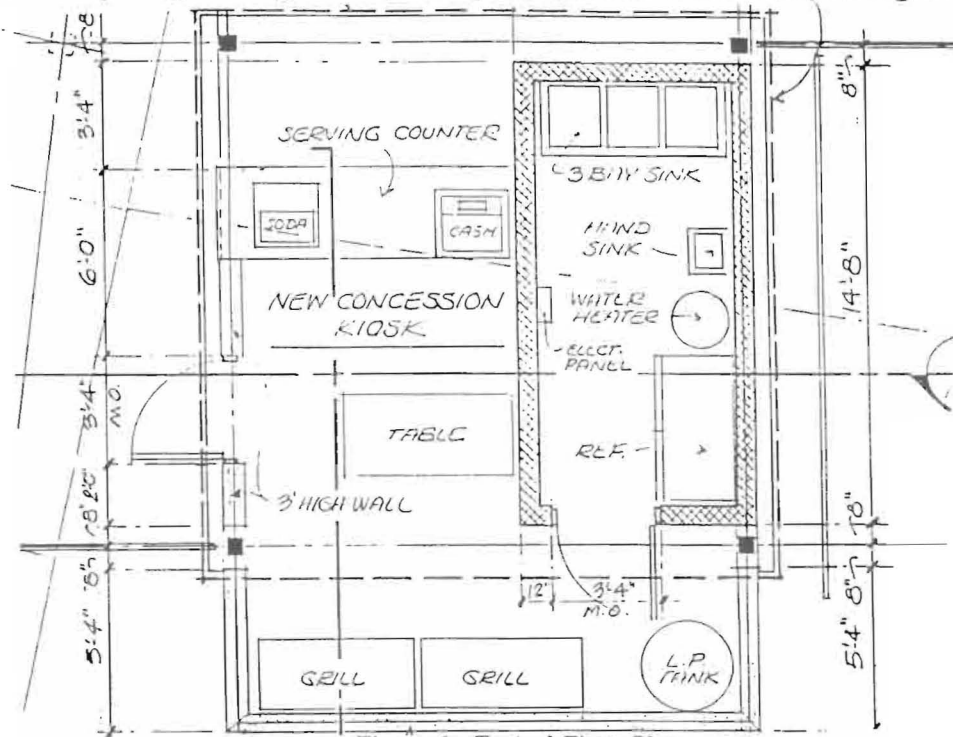


Figure 1. Typical Floor Plan

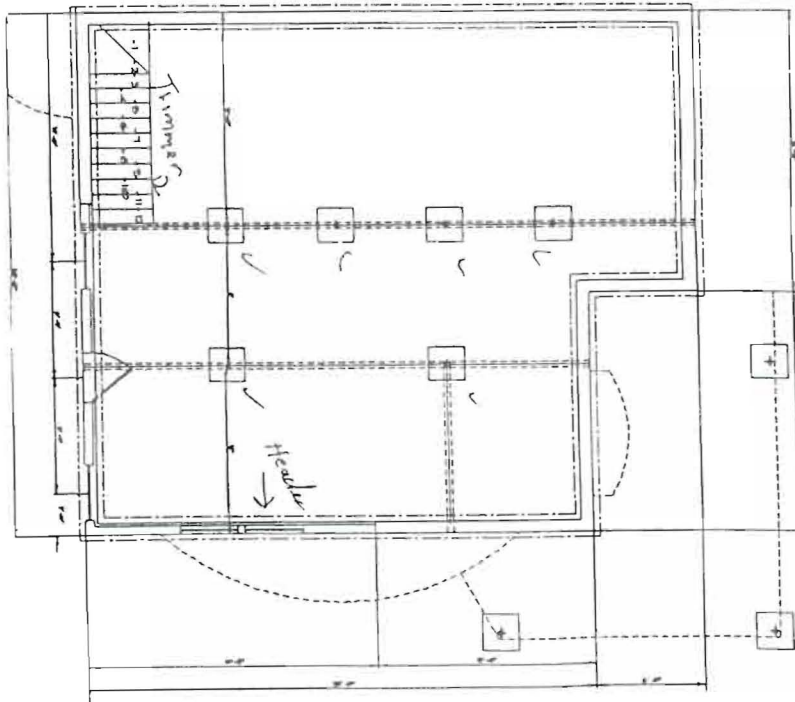


Figure 2. Typical Foundation Plan

