

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 60 Commercial St		Owner: Maine Wharf Association		Phone:		Permit No: 980385	
Owner Address:		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Joe Schmader		Address:		Phone:		Permit Issued: APR 21 1998 CITY OF PORTLAND	
Past Use: Vacant Structure		Proposed Use: Garage		COST OF WORK: \$ 75,000.00		PERMIT FEE: \$ 395.00	
Proposed Project Description: Repair shell of building		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type: 3 BOCA 96		Zone: CBL: 1027 030-D-001	
		Signature:		Signature: <i>[Signature]</i>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Greshk		Date Applied For: 02 April 1998		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
				Signature: _____ Date: _____		Historic Preservation: <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Questions - Call Bill Hammers - Call for Pick-Up 774-3683

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT *Bill Hammers* ADDRESS: _____ DATE: 02 April 1998 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT



COMMENTS

4/21/98 Spoke w/ contractor on phone. AR
3/15/00 Work progresses. Much work also being done
on other permit for Flat Bread Co on Grand Blvd NW
8/17/00 Completed. AR

Inspection Record

Type

Date

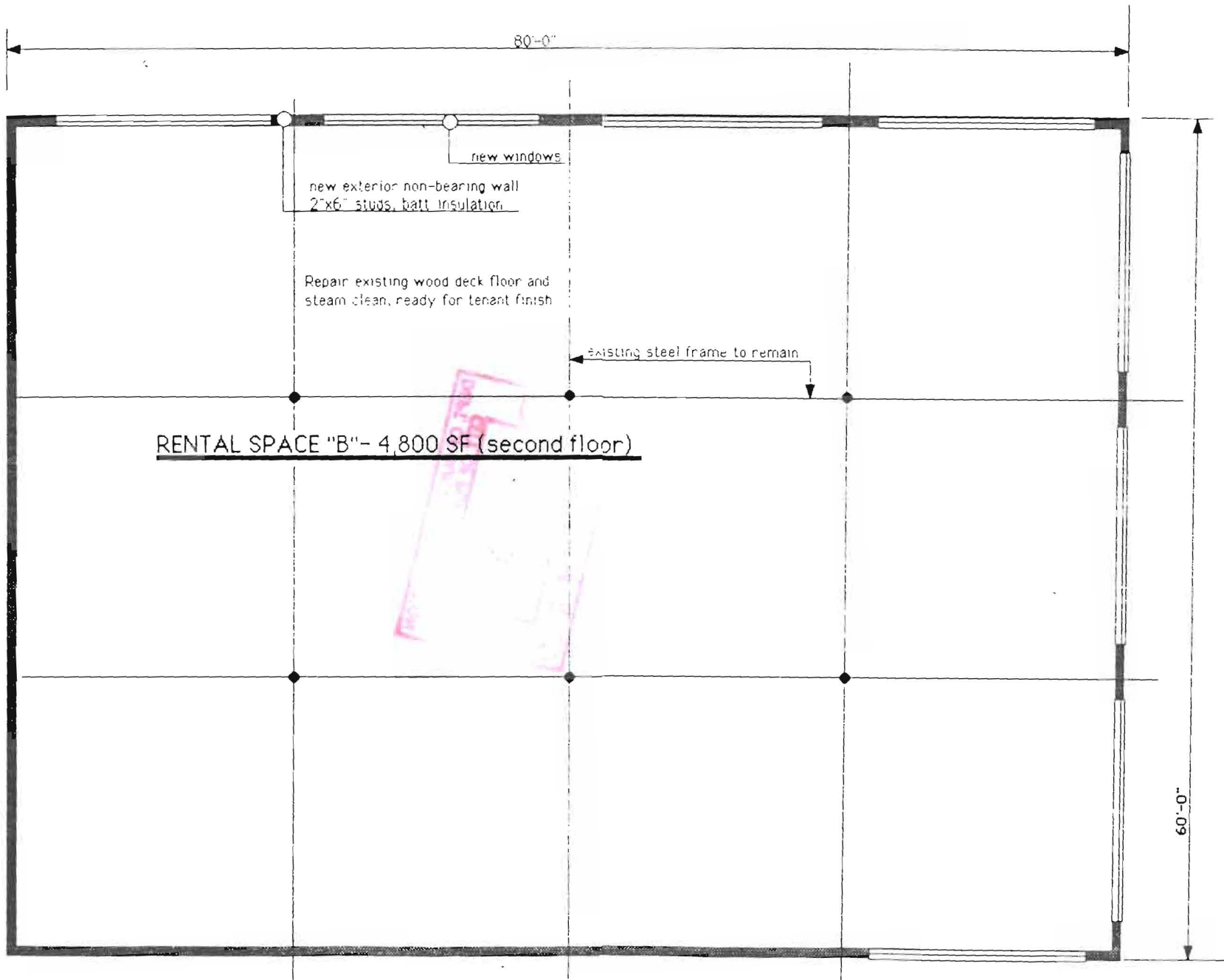
Foundation: _____

Framing: _____

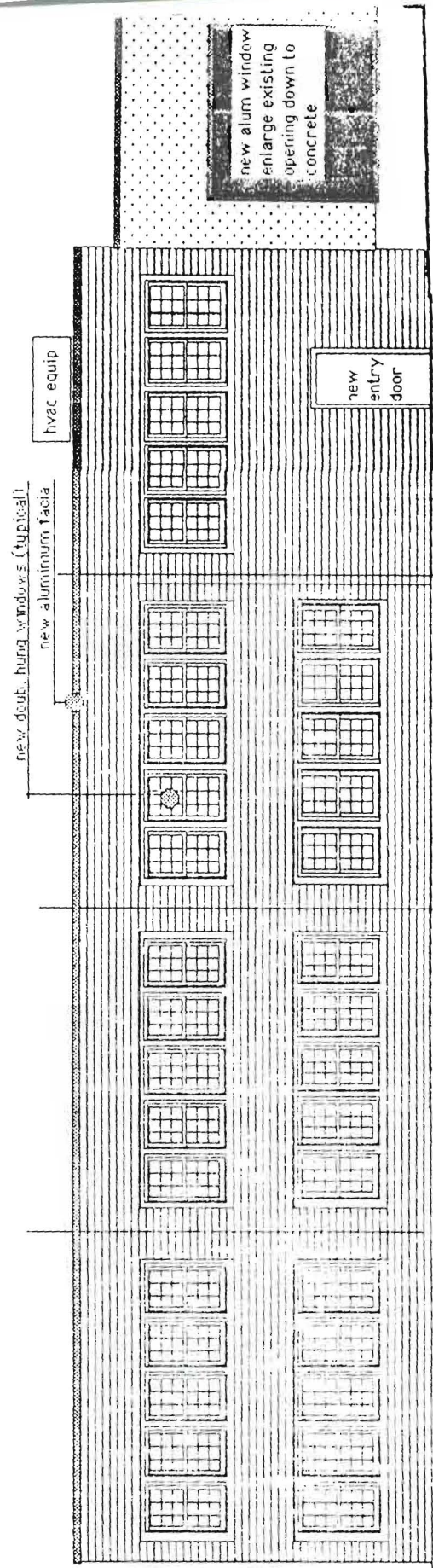
Plumbing: _____

Final: _____

Other: _____

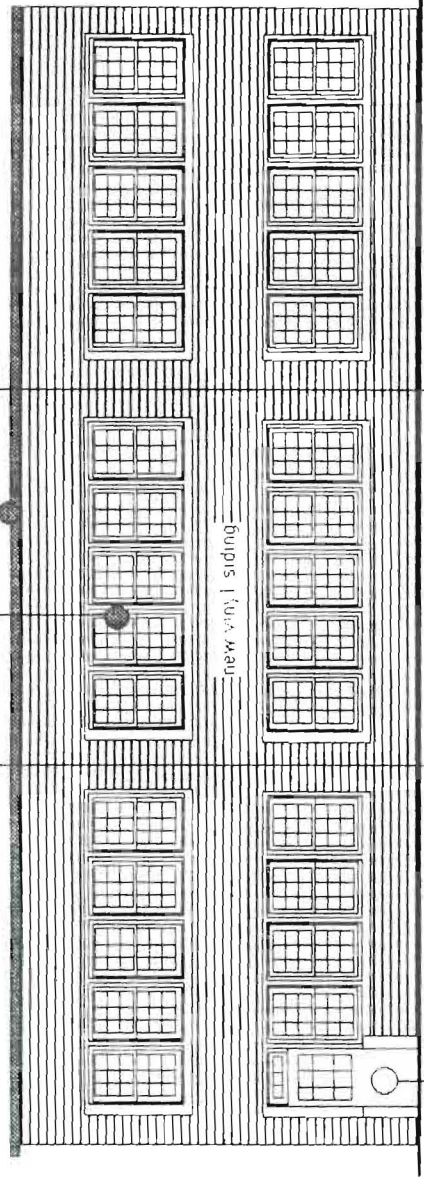


I think
we should
encourage
highest
quality in
this location



EAST EL

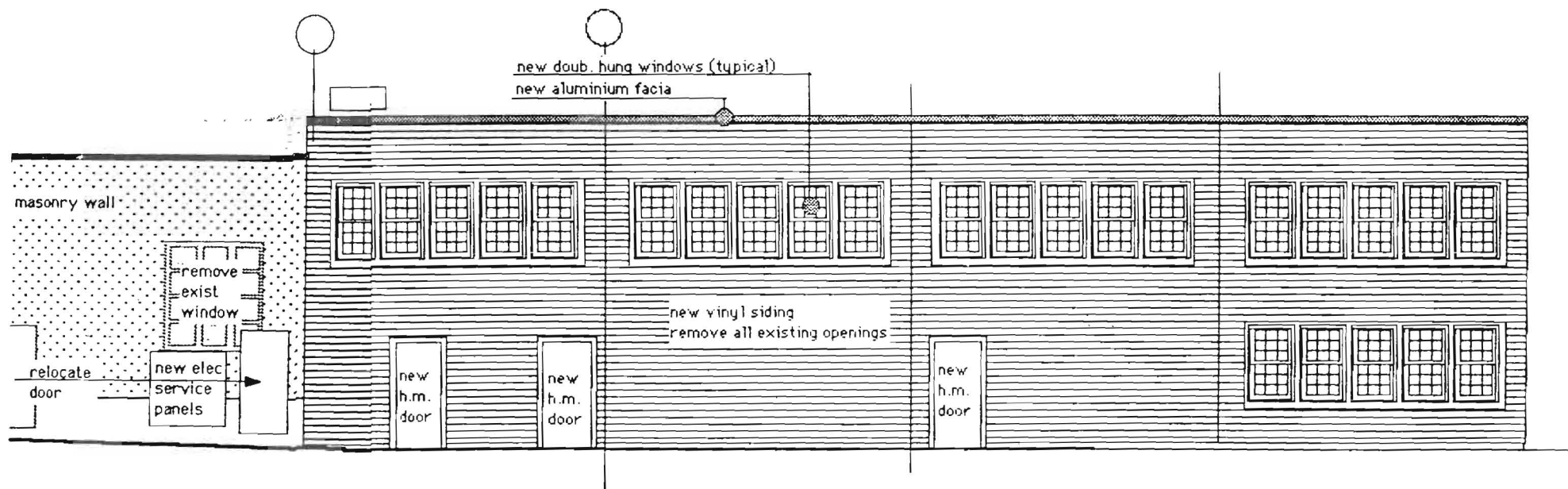
new double hung windows (typical)
new aluminium fascia



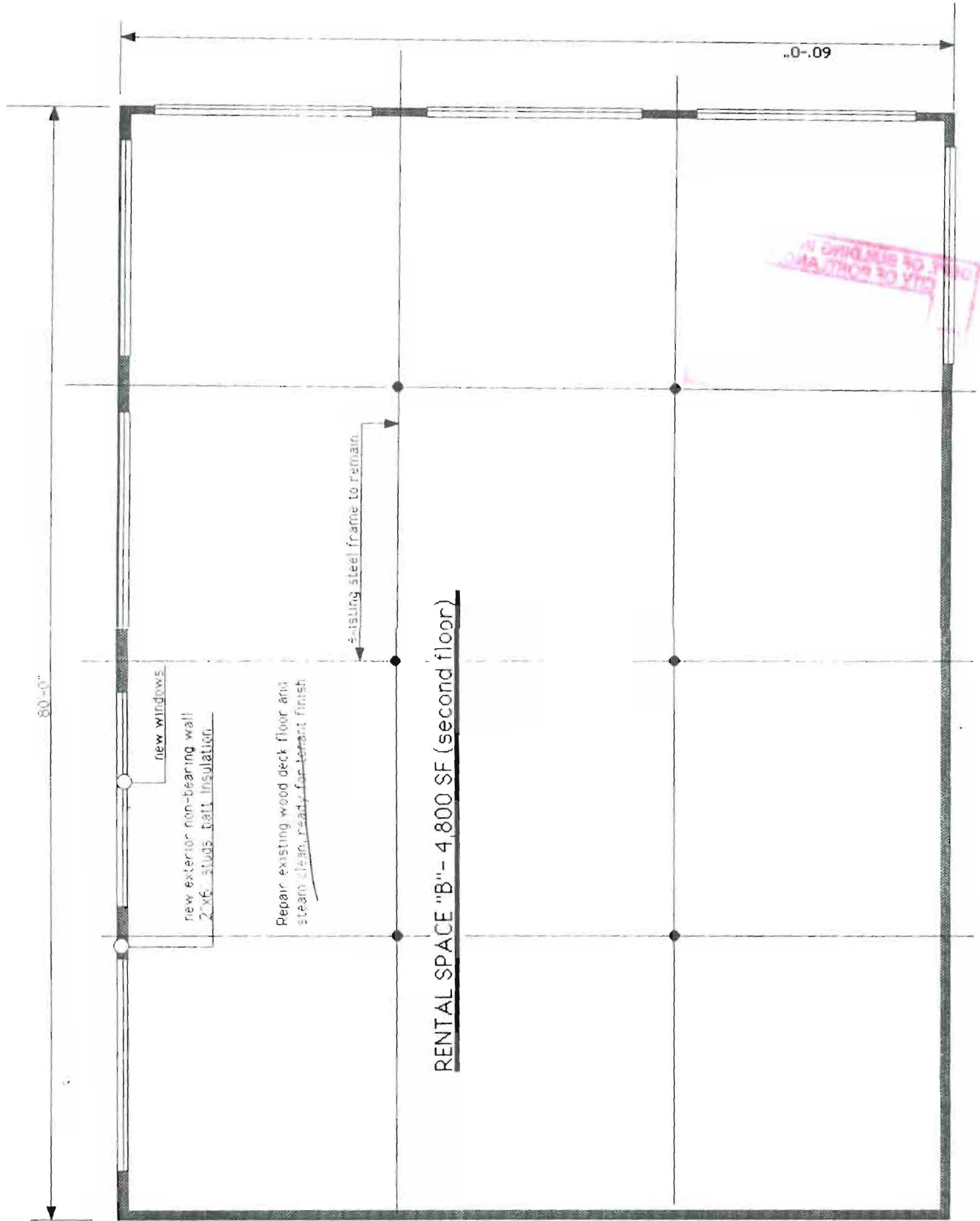
new vinyl siding

new door

NORTH ELEVATION



WEST ELEVATION



20'-0"

20'-0"

20'-0"

20'-0"

new door

new exterior non-bearing wall
2"x6" studs, batt insulation

new windows

future stair by tenant

new plywood sub floor

Tentative stair location
Stair is N.I.C

RENTAL SPACE "B"- 4,800 SF (first floor)

20'-0"

20'-0"

20'-0"

Existing concrete floor to remain

7'-2" X 8'-8"
TOILET
(existing)

MECH ROOM

Tentative stair location
Stair is N.I.C

new doors

future stair by tenant

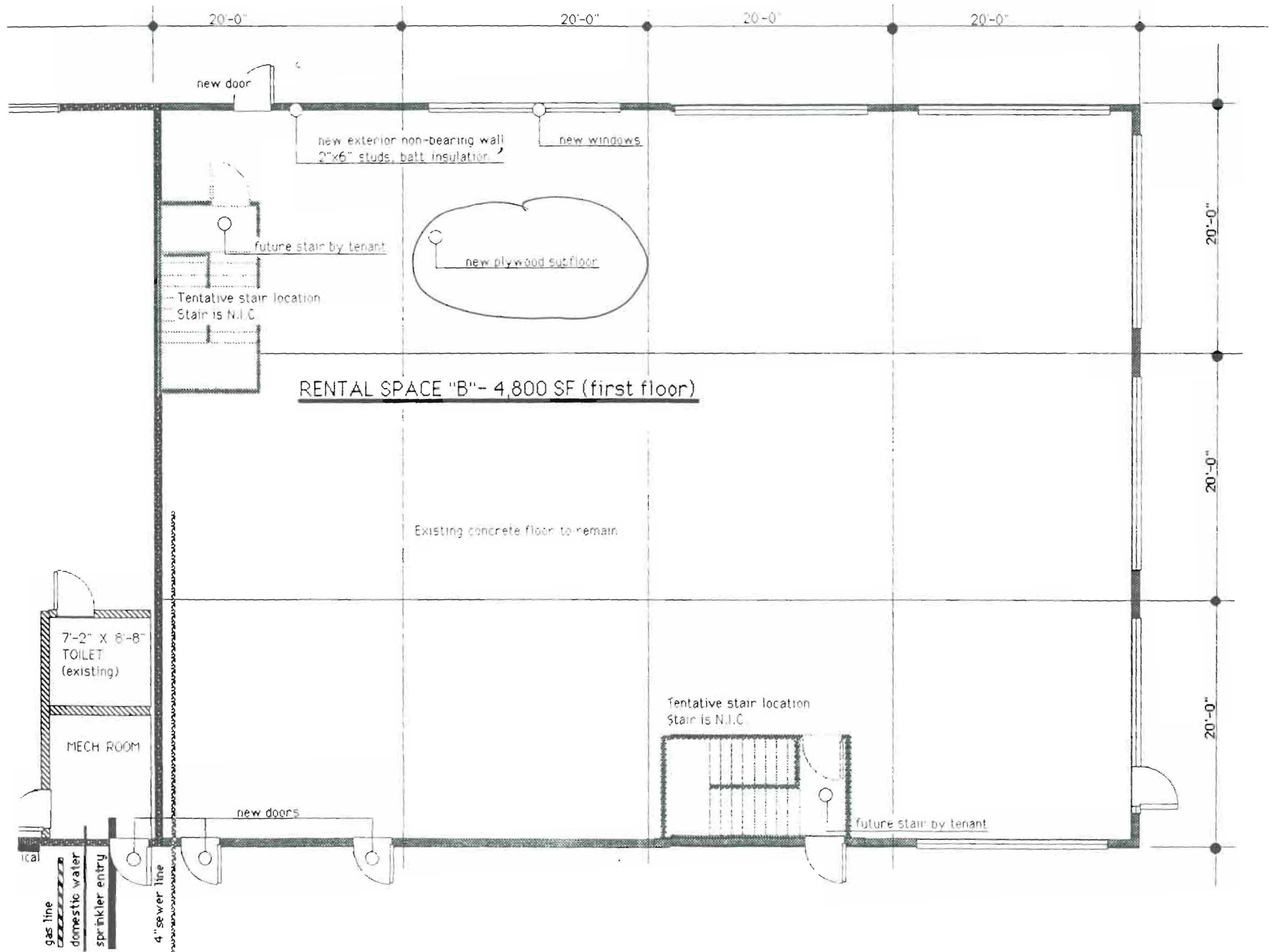
gas line

domestic water

sprinkler entry

4" sewer line

ical





WILLIAM NEMMERS ASSOCIATES ARCHITECTS
424 FORE ST. PORTLAND, ME 04101 774-3683.

April 1, 1998

Mr. Sam Hoffses, Building Inspector
City of Portland
Congress St.
Portland, Maine 04101

Re: Maine Wharf Building - Portland, Maine

Dear Sam,

With this letter I am submitting a portion of this rehabilitation project for an amended building permit. There is an existing permit for demolition of a rear addition and the repair of some fire damage. This work has essentially been completed.

The portion of the rehabilitation for which we are now applying is to complete the basic work in order to prepare the spaces for potential leasing. The work includes new windows and doors, new curtain walls on the rear portion, preparing floors for finishes, the installation of building utilities (electric, gas, water, sewer, sprinkler), and the installation of the base HVAC equipment on the roof.

When the tenants have been signed up, additional amendments to the building permit will be applied for for their work.

The tenant space in the front of the building is now classified as retail use, and therefore no change of use permit will be required for it to be finished. The rear portion is now vacant and because of its size (9,600sf) will need a minor site plan review before a building permit can be issued for additional tenant work out there.

Sincerely,

A handwritten signature in black ink, appearing to read 'William Nemmers', written in a cursive style.

William Nemmers



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424 FORE ST. PORTLAND, ME 04101 774-3683.

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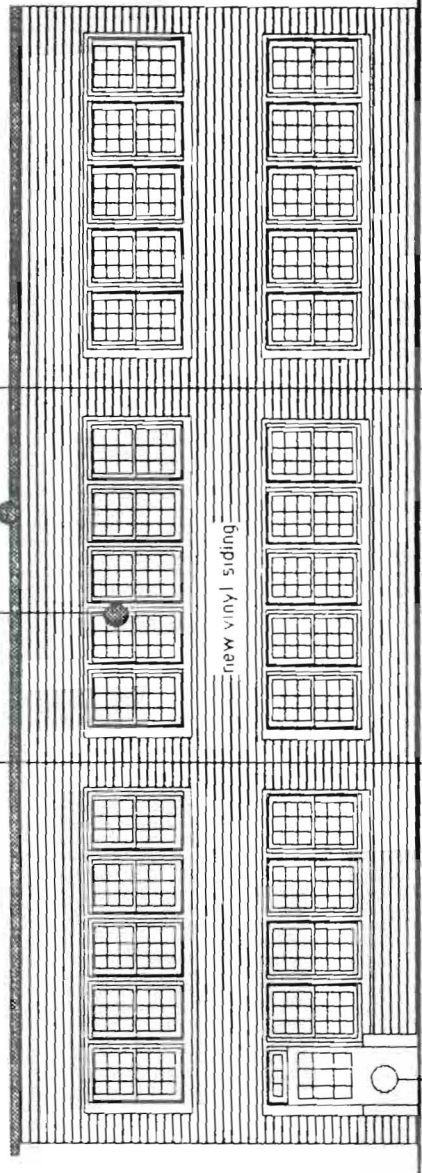
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William Nemmers

new double hung windows (typical)
new aluminium fascia



new vinyl siding

new door

NORTH ELEVATION

1

new double hung windows (typical)

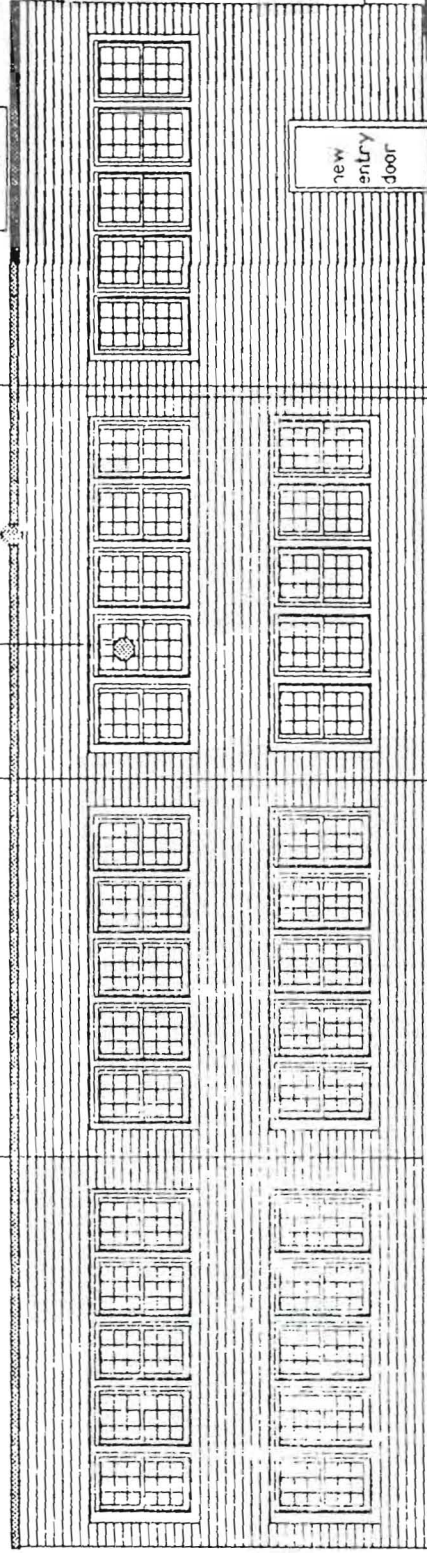
new aluminum fascia

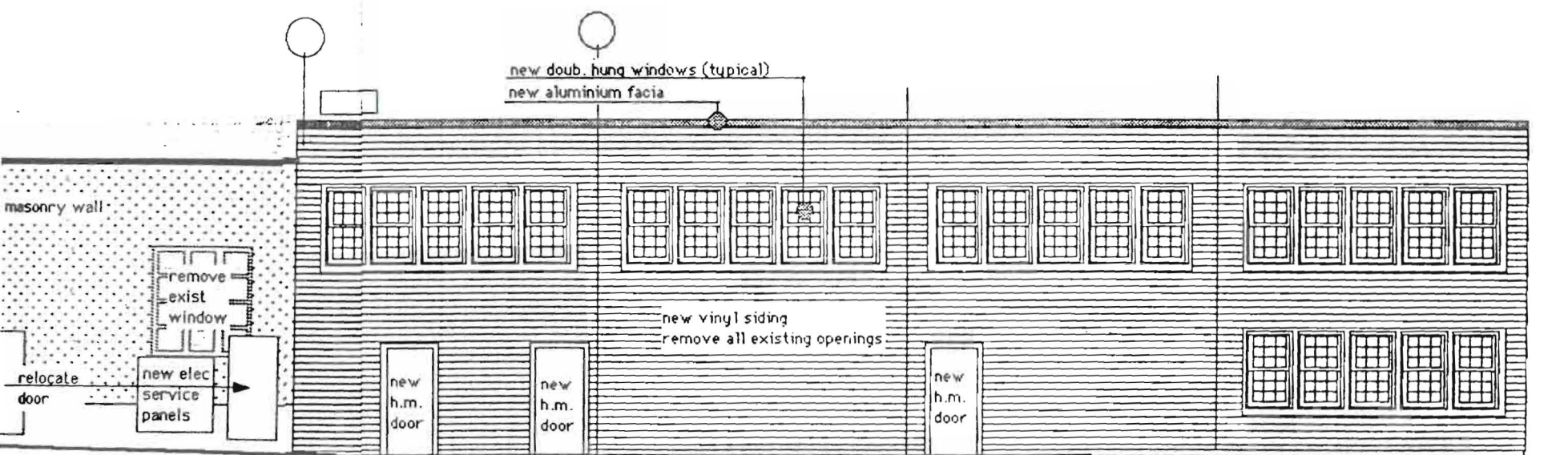
hvac equip

new entry door

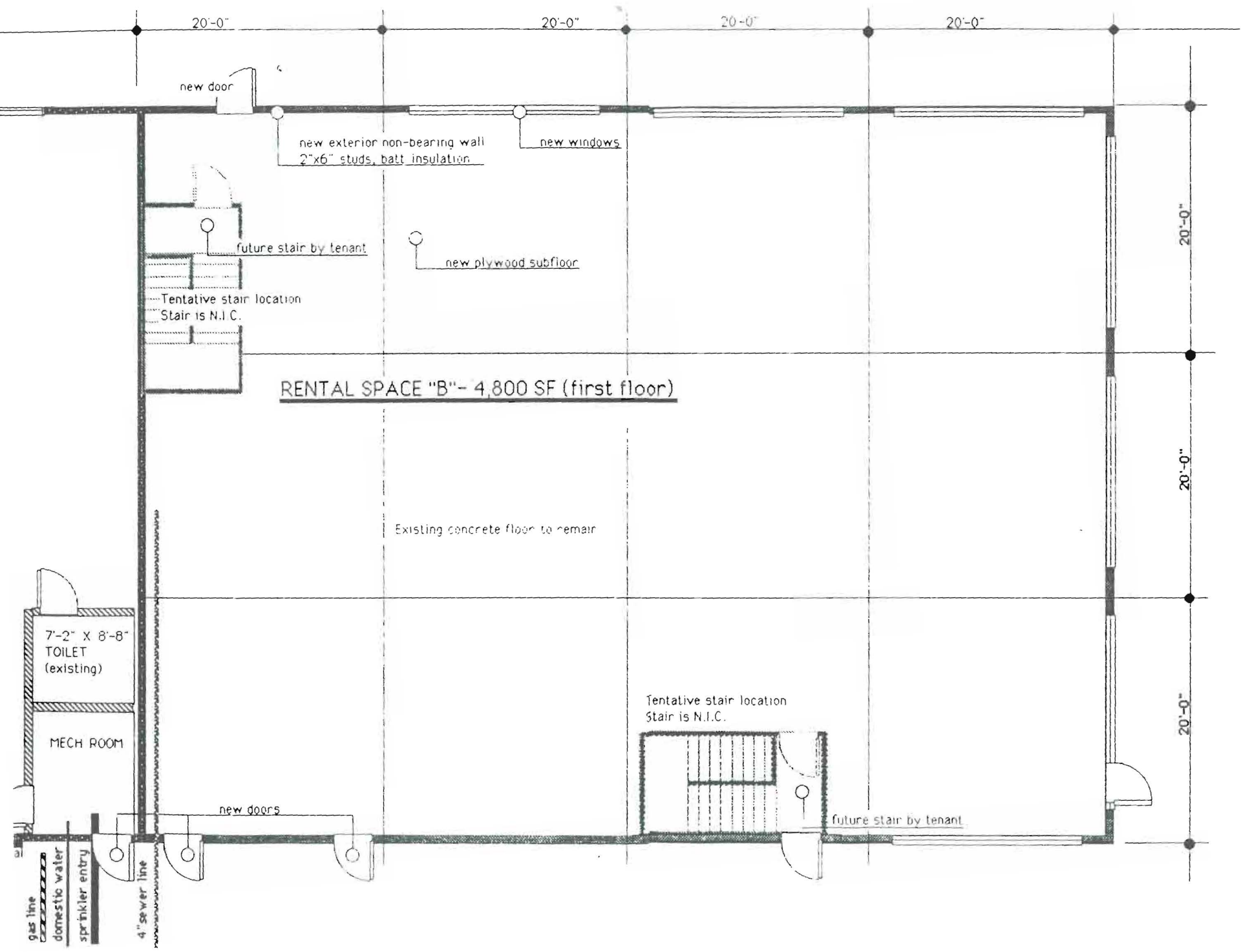
new alum window
enlarge existing
opening down to
concrete

EAST E





WEST ELEVATION



RENTAL SPACE "B" - 4,800 SF (first floor)

Existing concrete floor to remain

Tentative stair location
Stair is N.I.C.

future stair by tenant

future stair by tenant

Tentative stair location
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new plywood subfloor

new exterior non-bearing wall
2"x6" studs, batt insulation

new windows

new door

7'-2" X 8'-8"
TOILET
(existing)

MECH ROOM

new doors

4" sewer line

sprinkler entry

domestic water

gas line

BUILDING PERMIT REPORT

DATE: 21 APRIL 98 ADDRESS: 68 Commercial ST. 030-D-001
REASON FOR PERMIT: Repair shell of building after fire
BUILDING OWNER: MAINE Wharf ASSOC.
CONTRACTOR: Joe Schmaeder
PERMIT APPLICANT: Bill Nemmers
USE GROUP B/M BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *8, *10, *14, *15, *18, *19, *20, *24, *29, *30

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

provisions of the City's Building Code Chapter 9, Section 19, 920,3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code.
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
28. Please read and implement the attached Land Use-Zoning report requirements.
29. any change of use will require a separate bldg. permit.
30. Before placing HVAC equipment on roof a structural analysis should be completed of the roof for its structural ability to carry the loads
31. _____
32. _____


P. Samuel Hoffes, Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal