

UTILITY NOTES

ELECTRIC

1. REMOVE ALL PRIMARY AND SECONDARY SERVICES NORTH END OF BLDG 2 TO NORTH OF BLDG 1
2. COORDINATE W/ CMP FOR NEW POLES, TRANSFORMERS ETC.
3. RUN NEW UNDERGROUND TO BLDG 1.
4. RUN NEW UNDERGROUND TO EDGE OF LAND AND THEN INTO A NEW DUCTBANK OUT TO BLDG 2
5. CONFIRM W/ OWNER # OF METERS

TEL/ DATA (SIMILAR TO ELEC.)

1. REMOVE EXIST. SERVICES
2. UNDERGROUND TO BLDG 1
3. UNDERGROUND & DUCTBANK TO BLDG 2

GAS

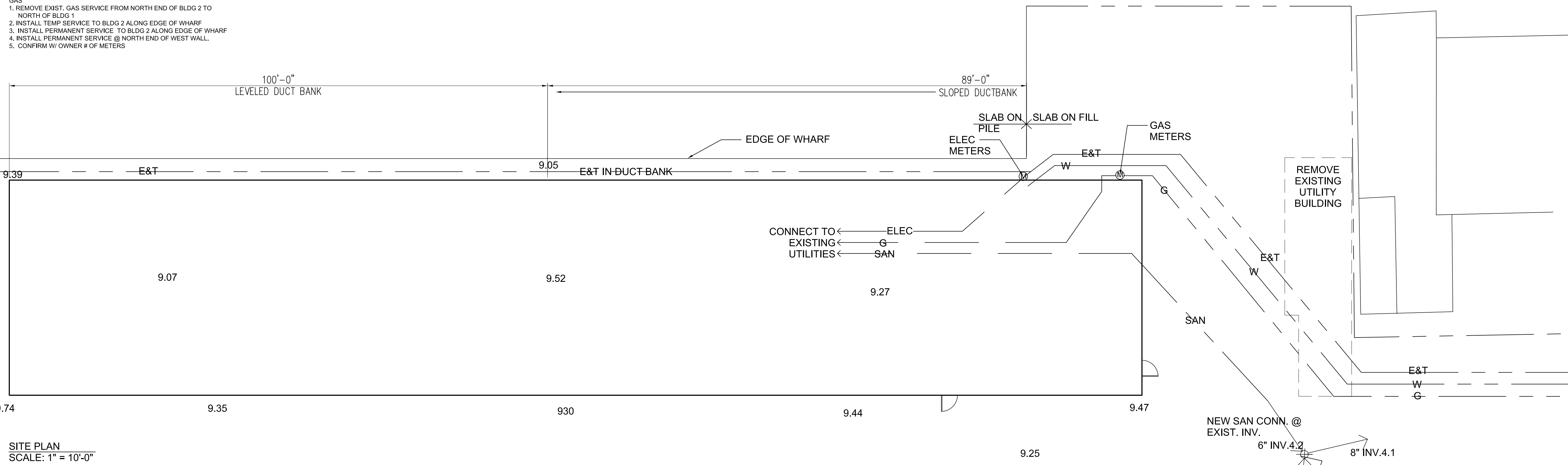
1. REMOVE EXIST. GAS SERVICE FROM NORTH END OF BLDG 2 TO NORTH OF BLDG 1
2. INSTALL TEMP SERVICE TO BLDG 2 ALONG EDGE OF WHARF
3. INSTALL PERMANENT SERVICE TO BLDG 2 ALONG EDGE OF WHARF
4. INSTALL PERMANENT SERVICE @ NORTH END OF WEST WALL.
5. CONFIRM W/ OWNER # OF METERS

WATER

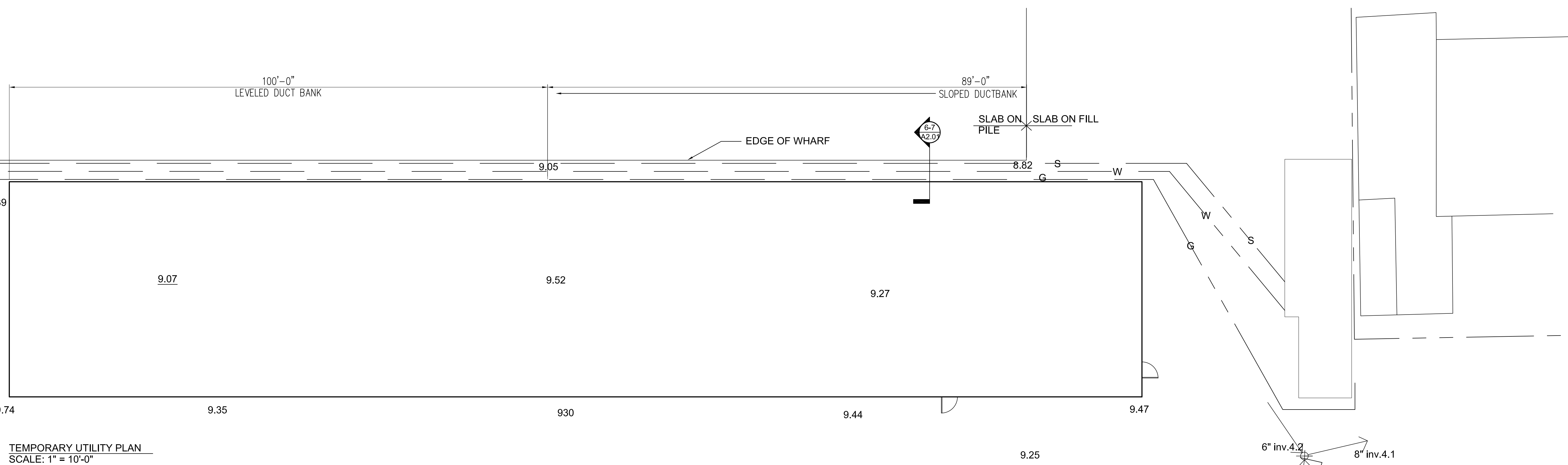
1. REMOVE EXISTING WATER SERVICE FROM NORTH END OF BLDG 2 TO NORTH OF BLDG 1
2. PROVIDE TEMP WATER SERVICE TO BLDG 2 ALONG EDGE OF WHARF
3. PROVIDE NEW SERVICE INTO NEW UTILITY ROOM.
4. RUN NEW LINES TO BLDG 2 UNDER BLDG 2ND FL STRUCTURE

SANITARY

1. REMOVE EXIST. SANITARY FROM NORTH END OF BLDG 2 TO NORTH OF BLDG 1
2. CONNECT TEMP SANITARY FROM BLDG 2 TO EXISTING PUBLIC CONNECTION.
3. INSTALL NEW SANITARY FROM EXIST. MANHOLE NORTH END OF BLDG 1.
4. RUN NEW SANITARY FOR BLDG 2 UNDER 2ND FL. BLDG 1.



SITE PLAN
SCALE: 1" = 10'-0"



TEMPORARY UTILITY PLAN
SCALE: 1" = 10'-0"

Prepared For:
**MAINE WHARF
LLC**
PO BOX 555
BUXTON, ME 04093

Consulting Engineer:

ARCHETYPE
architects
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(207) 772-6022 Fax (207) 772-4056

Architect:
**Maine Wharf Bld. 1
Section A**
PORTLAND, MAINE

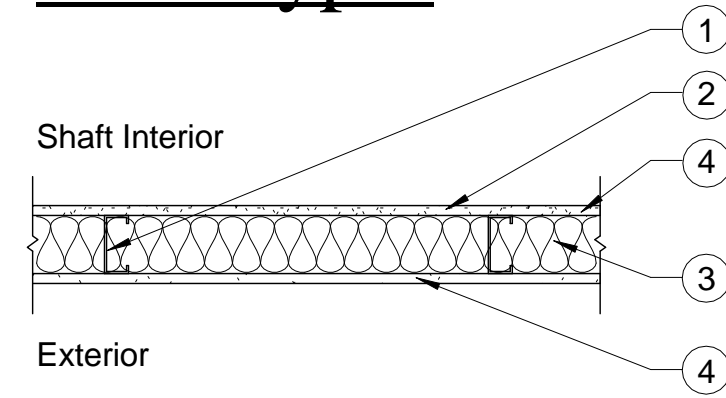
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Date: 06 February 2013
Scale: AS NOTED

A1.00

SITE PLAN

Wall Types

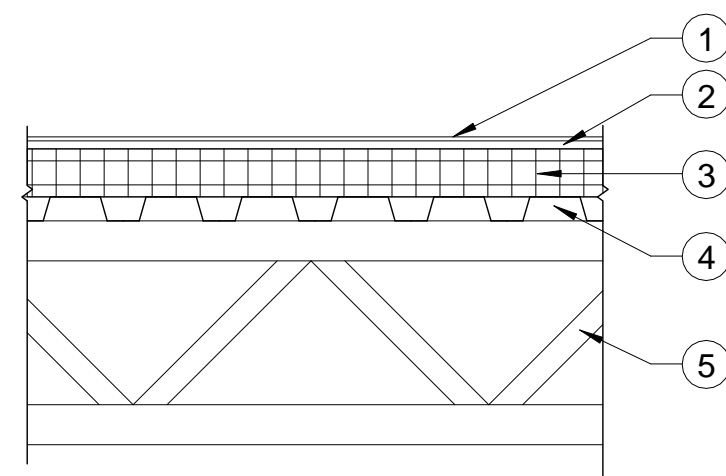


W1 Stair Wall - 1 Hour

Design No. U433

- Galvanized Steel Studs — 3-5/8 in. wide (unless otherwise noted by Structural), fabricated from 0.029 in. min galvanized steel, spaced max 16 in. OC. Steel studs freely floating between the floor and ceiling runners with the studs cut 1/4 to 3/4 in. less than assembly height and friction-fitted into floor and ceiling runners.
- 5/8 in. thick Durock, applied vertically or horizontally inside shaft under stair under stair where not visible, with vertical joints centered over studs with 1-1/4 in. S-12 Rock-On Climacoat screws spaced 8 in. OC with screws 1 in. from each horizontal joint. Horizontal joints need not be backed by framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered.
- Batts and Blankets — Min 3 in. thick mineral wool insulation batts, friction-fitted between studs.
- Gypsum Board — 5/8 in. thick, with square or tapered edges, applied vertically or horizontally with vertical joints centered over studs. Horizontal joints need not be backed by framing. Fastened with Type S-12 screws spaced 8 in. OC in the field with screws 1 in. and 4 in. from the perimeter of each board.

Roof Types



RC1 Roof Assembly

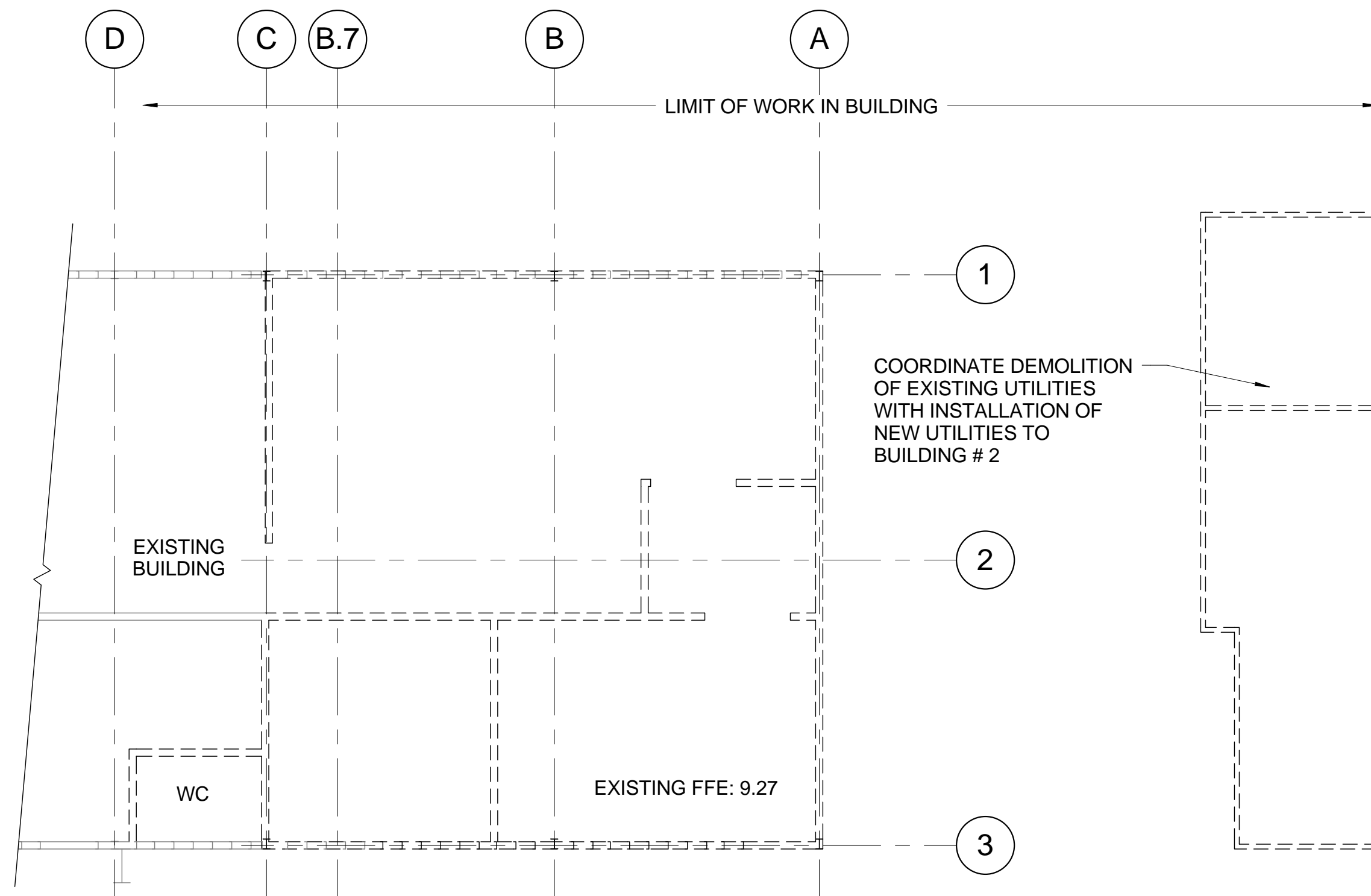
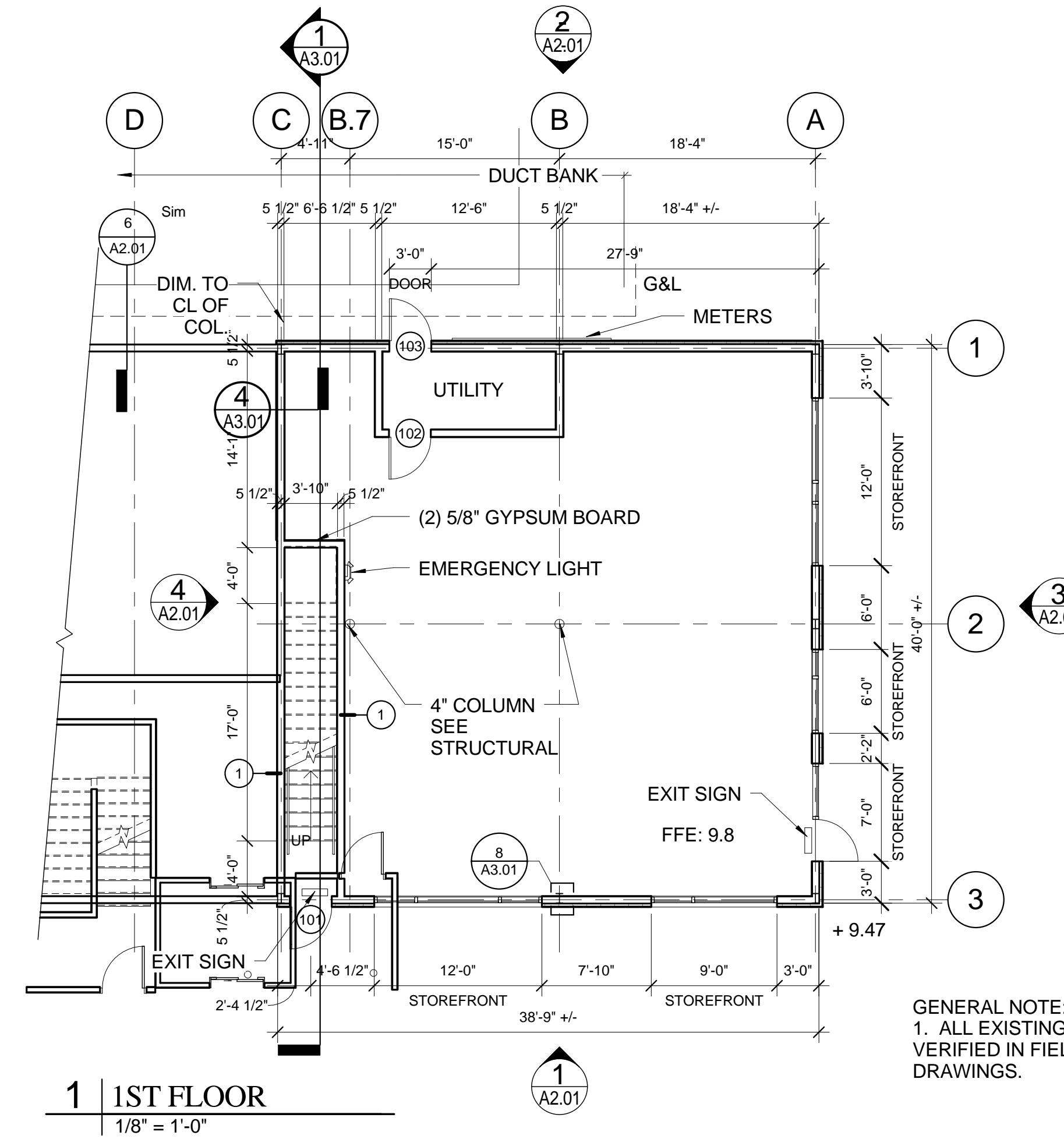
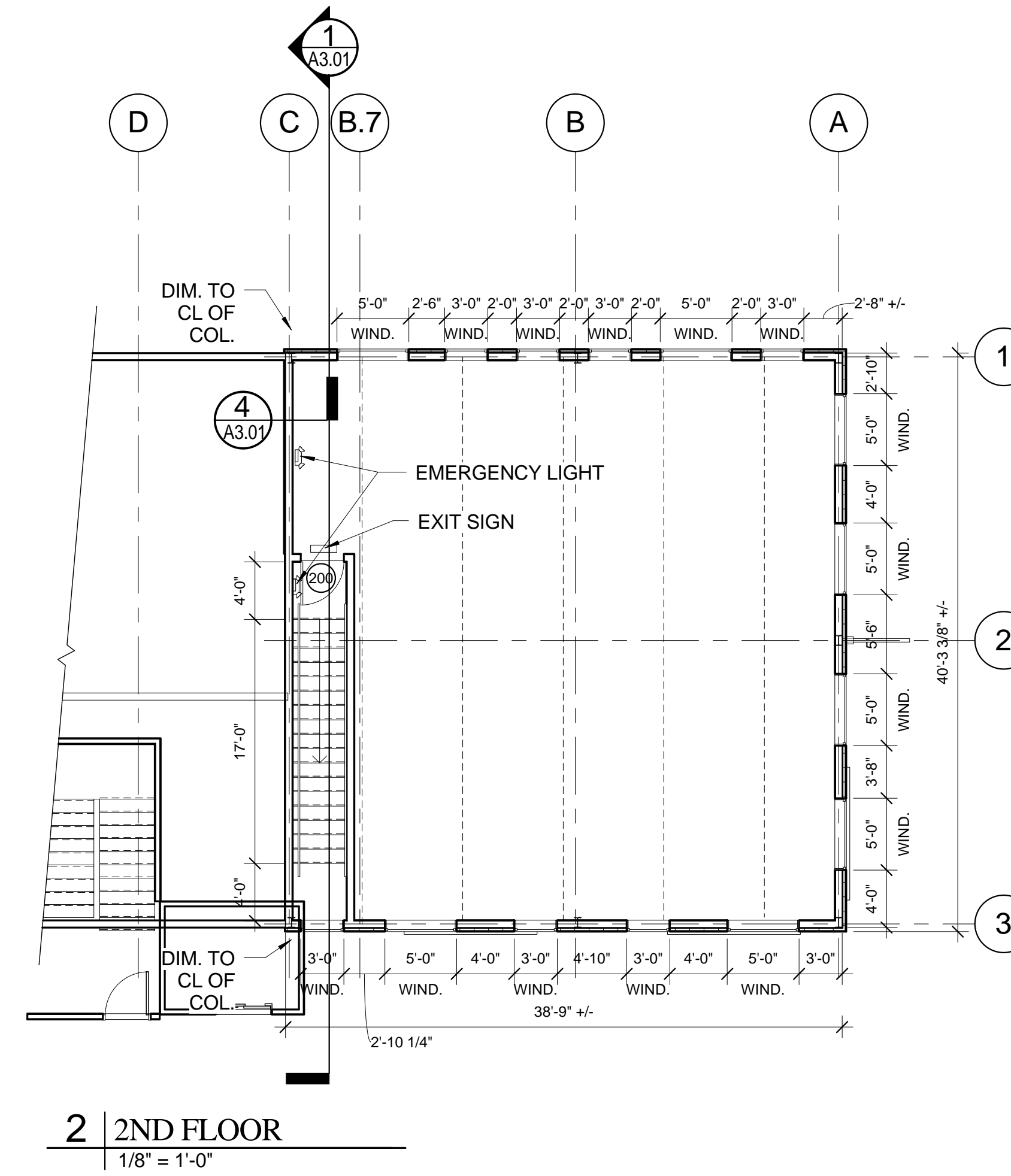
- EPDM
- Densdeck
- 3" Poly-iso rigid insulation
- Relocated existing decking or new metal decking - see structural
- Relocated and sloped roof joists

CODE ANALYSIS

TABLE 503:
TYPE 3B
ALLOWED:
BUSINESS: (3) 19,000
MECANTILE: (2) 12,500
EXISTING: 8,437 SF

TABLE 508.4: THEREFORE BUILDING HAS NO SEPARATION REQUIREMENT.

TABLE 1015.1
B: MAXIMUM ALLOWABLE OCCUPAN LOAD WITH SINGLE MEANS OF EGRESS = 49 OCCUPANTS
SINGLE MEANS OF EGRESS PROVIDED
B: 1,500 SF/100 = 15 OCCUPANTS
THEREFORE, SINGLE MEANS OF EGRESS PROVIDED.



- GENERAL NOTE:
1. ALL MATERIAL ABOVE THE SLAB TO BE REMOVED WITH EXCEPTION OF COLUMNS (COLUMNS TO REMAIN).
2. ALL BEAMS AND JOISTS ARE TO BE REMOVED AND RELOCATED.
3. ROOF DECK TO BE REMOVED AND POSSIBLY RELOCATED.

GENERAL NOTE:
1. ALL EXISTING DIMENSIONS TO BE FIELD VERIFIED IN FIELD PRIOR TO SHOP DRAWINGS.

Prepared For:

Maine Wharf LLC

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Buxton, ME 04093

Consultant:

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Architect

Project:
Maine Wharf Bld. 1
Section A
PORTLAND, MAINE

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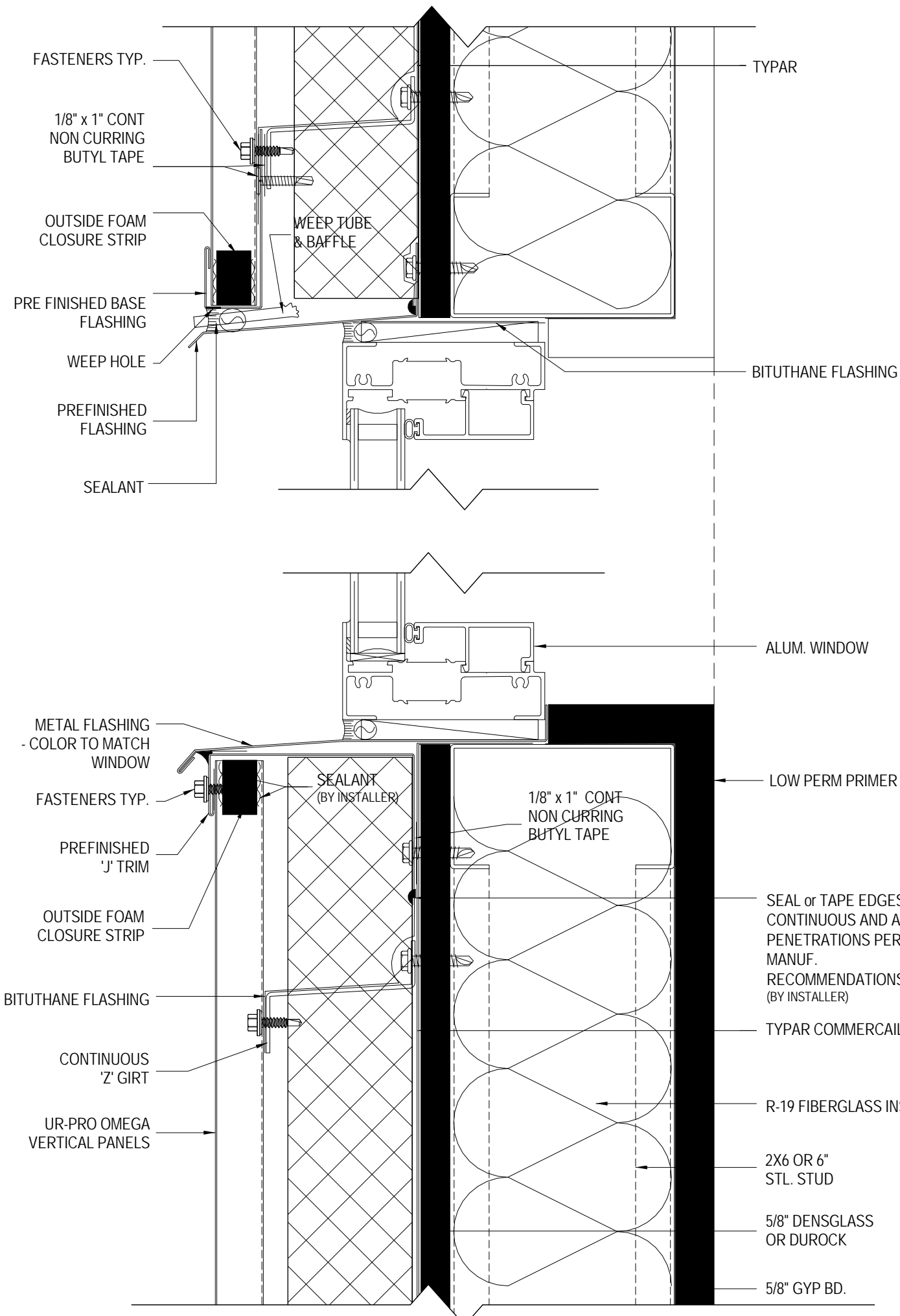
Date:
06 February 2013

Floor Plans

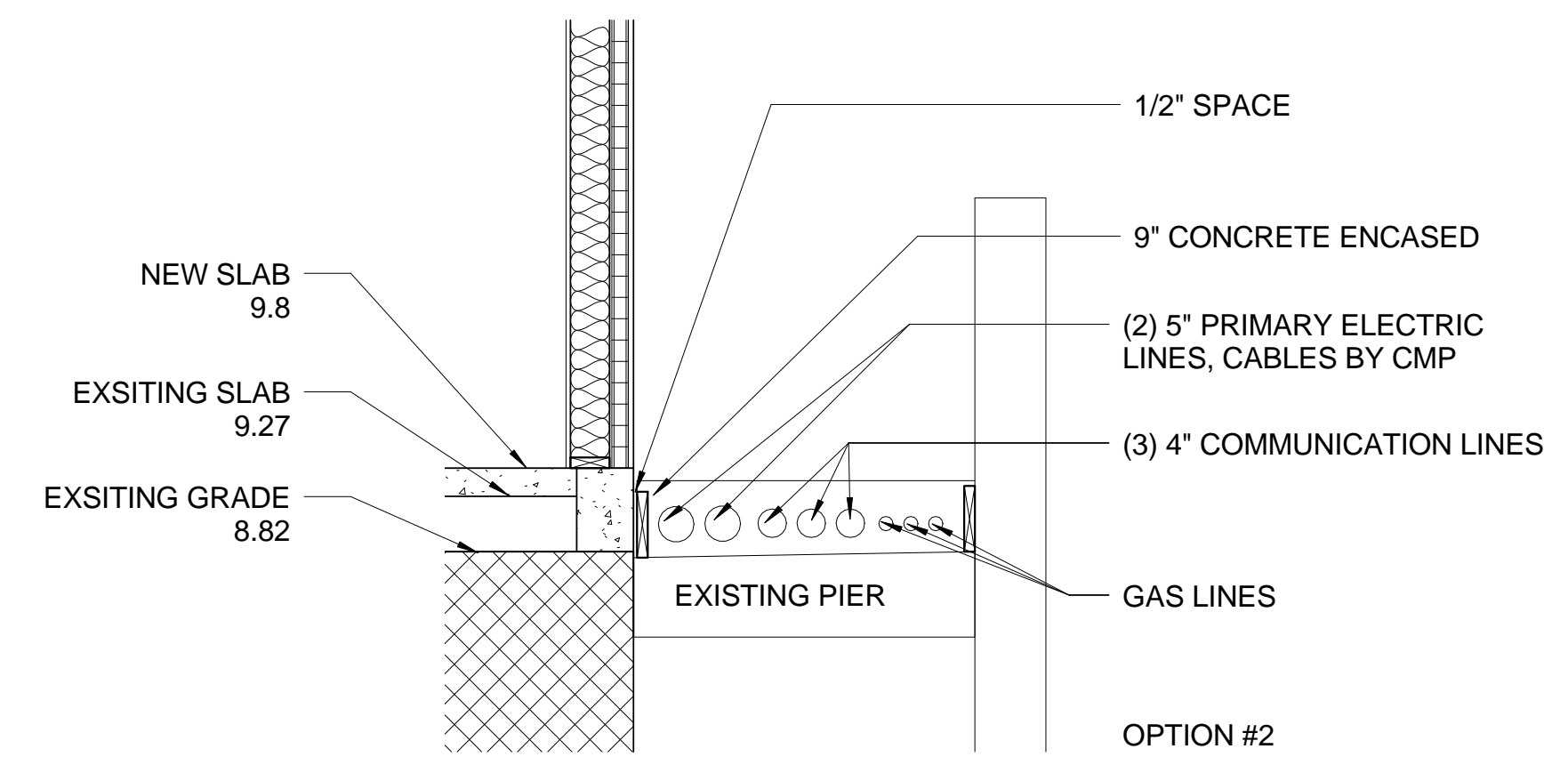
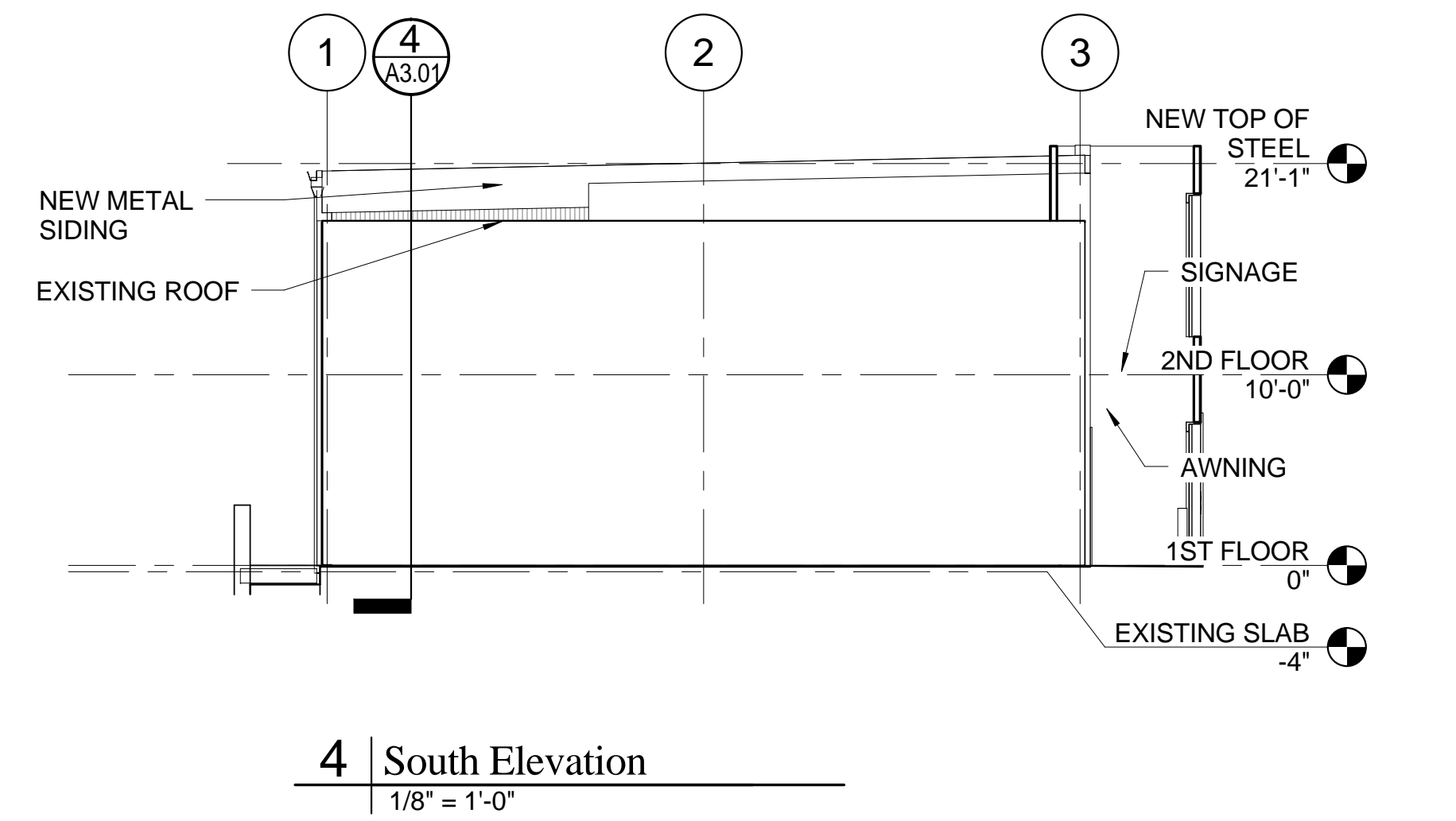
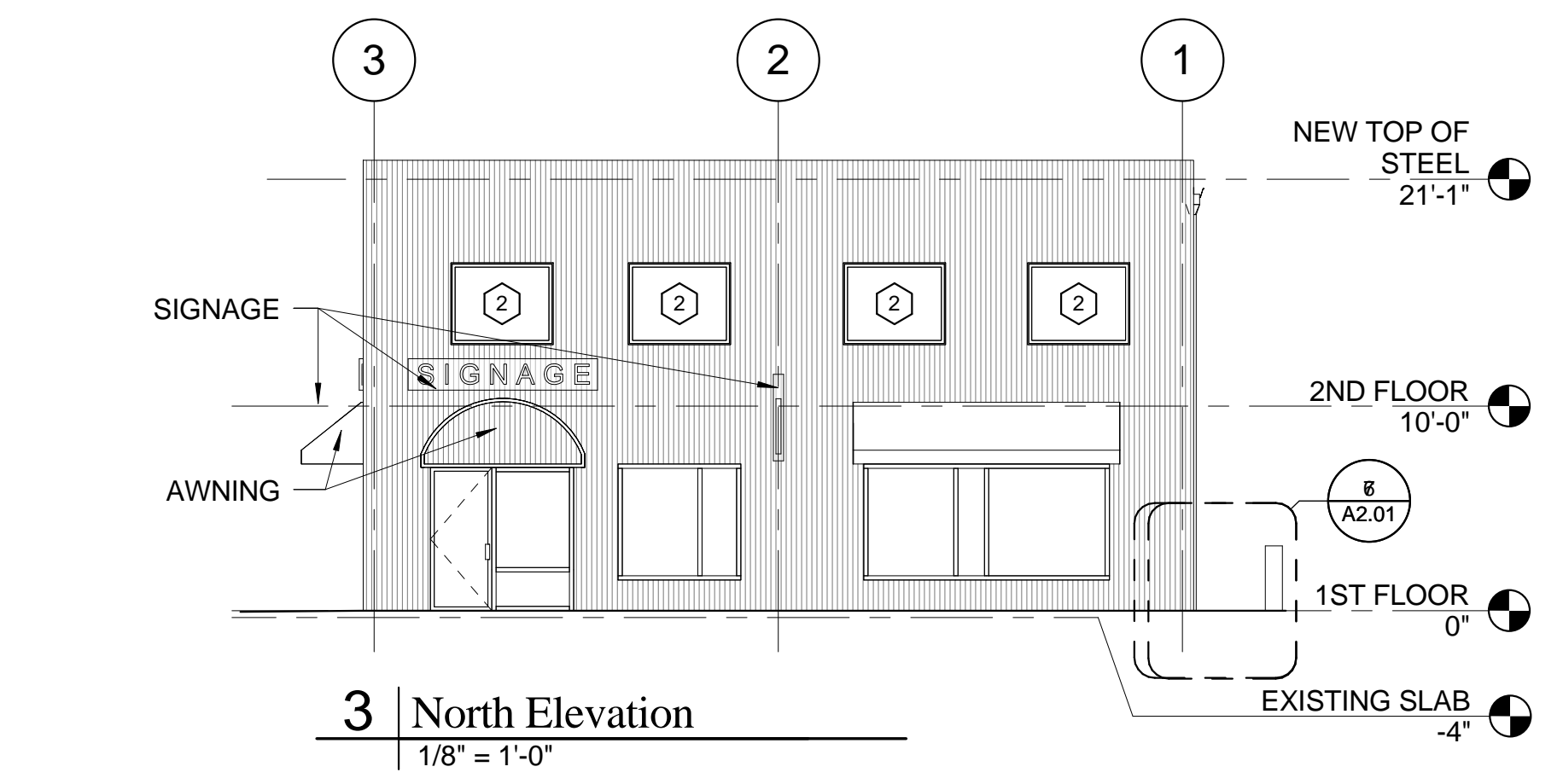
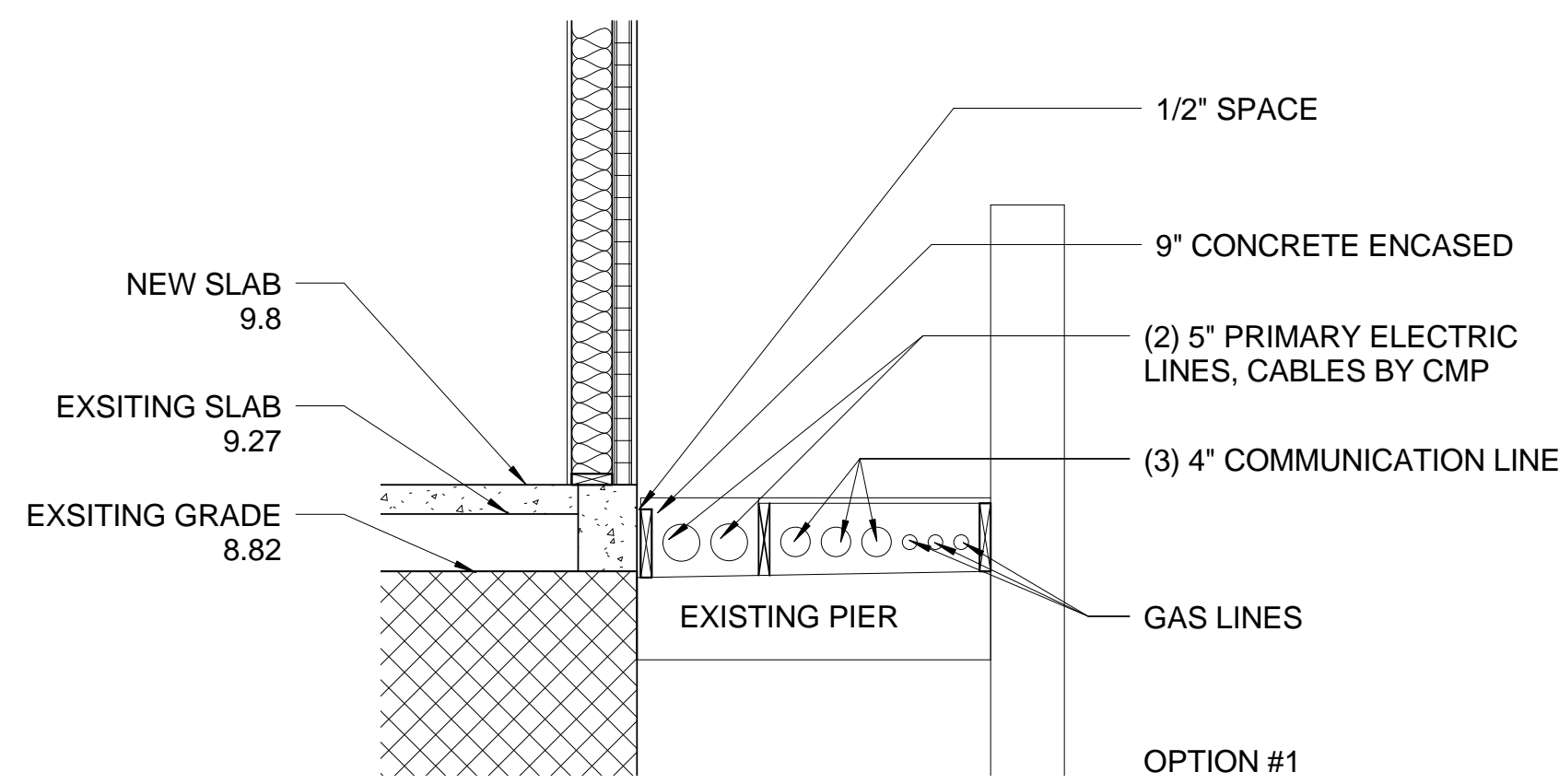
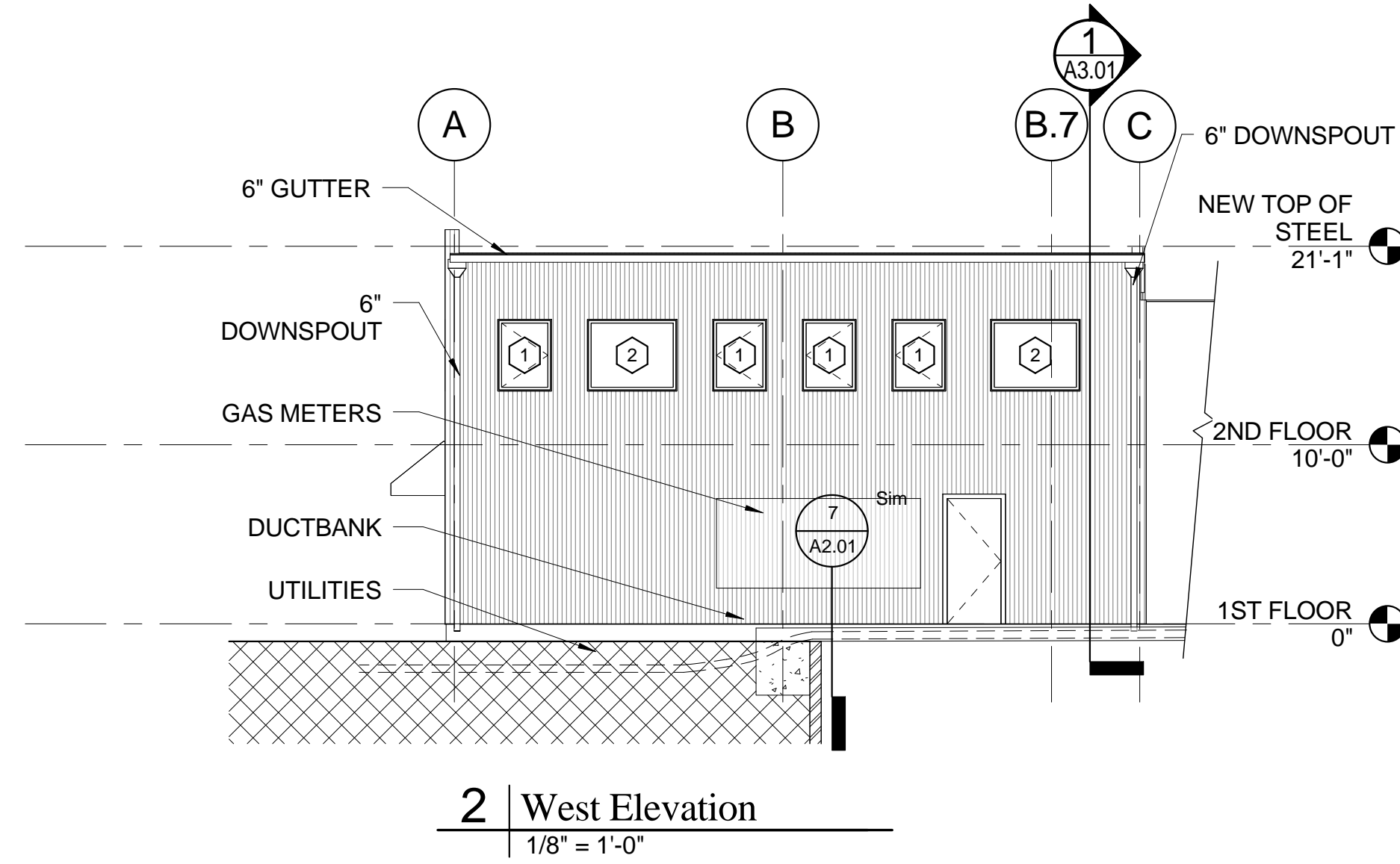
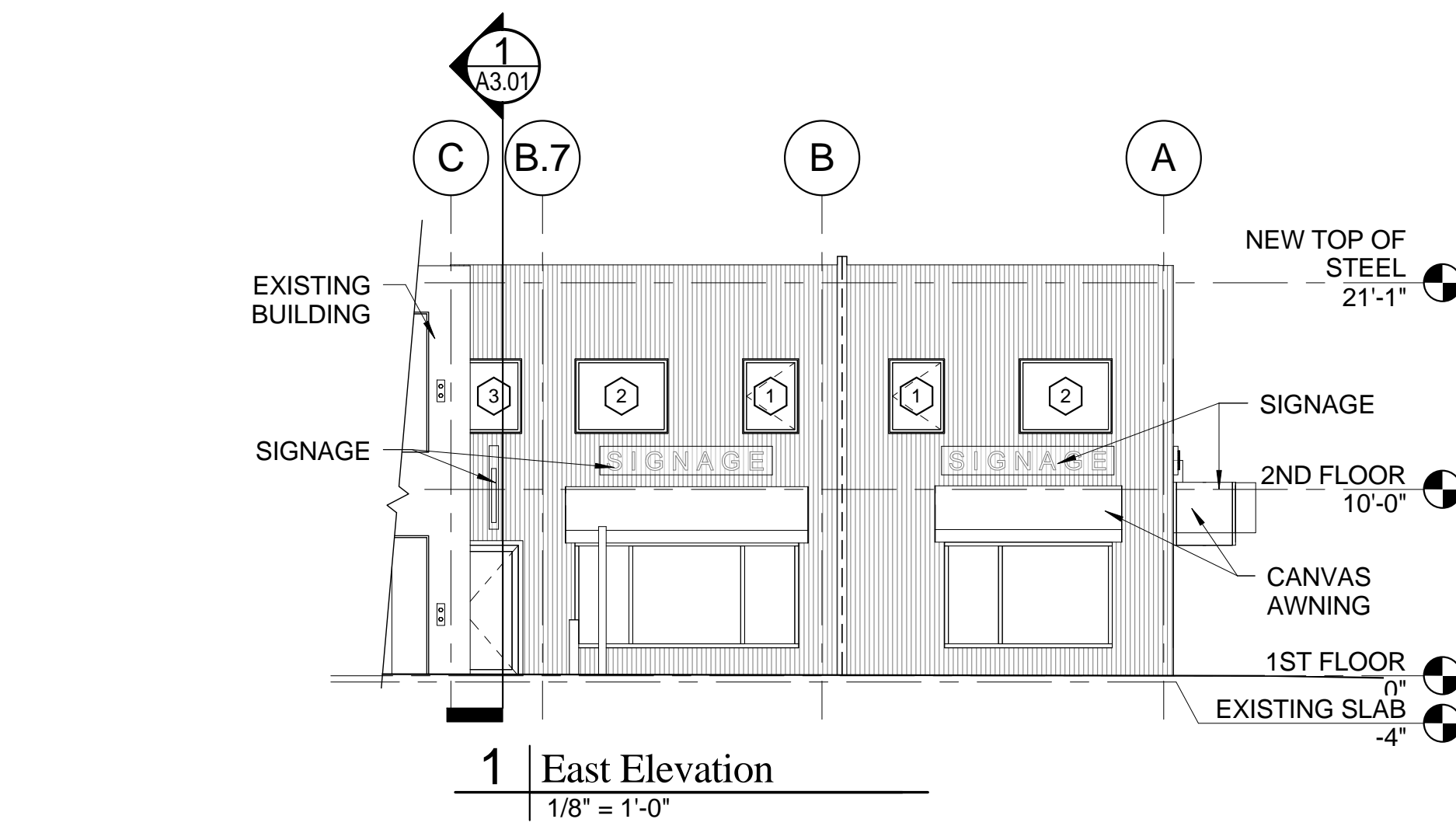
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WINDOW SCHEDULE					
Type Mark	R.O.		Type	Material	Head Height
	Width	Height			
1	3'-0"	4'-0"	Casement with Trim	Aluminum	7'-0"
6					
2	5'-0"	4'-0"	Fixed	Aluminum	
8					
3	3'-0"	4'-0"	Fixed	Aluminum	7'-0"
1					
Grand total: 15					

DOOR SCHEDULE							
DOOR No.	SIZE		THICKNES S	DOOR		LABEL	REMARKS
	WIDTH	HEIGHT		MATERIAL	THRESH		
1ST FLOOR							
101	3'-0"	7'-0"	1 3/4"	Aluminum	Aluminum		
102	3'-0"	7'-0"	1 3/4"	Steel	Steel		
103	3'-0"	7'-0"	1 3/4"	Steel	Steel		Raise door to clear ductbank
105	3'-0"	7'-0"	1 3/4"	Aluminum			
106	3'-0"	7'-0"	1 3/4"	Aluminum			
2ND FLOOR							
200	3'-0"	7'-0"	1 3/4"	Aluminum	Aluminum	3/4 Hour	
2ND FLOOR PH. 3							
107	3'-0"	7'-0"	1 3/4"	Aluminum			



5 | Window Detail
6" = 1'-0"



Prepared For:
Maine Wharf LLC
Address
City, State

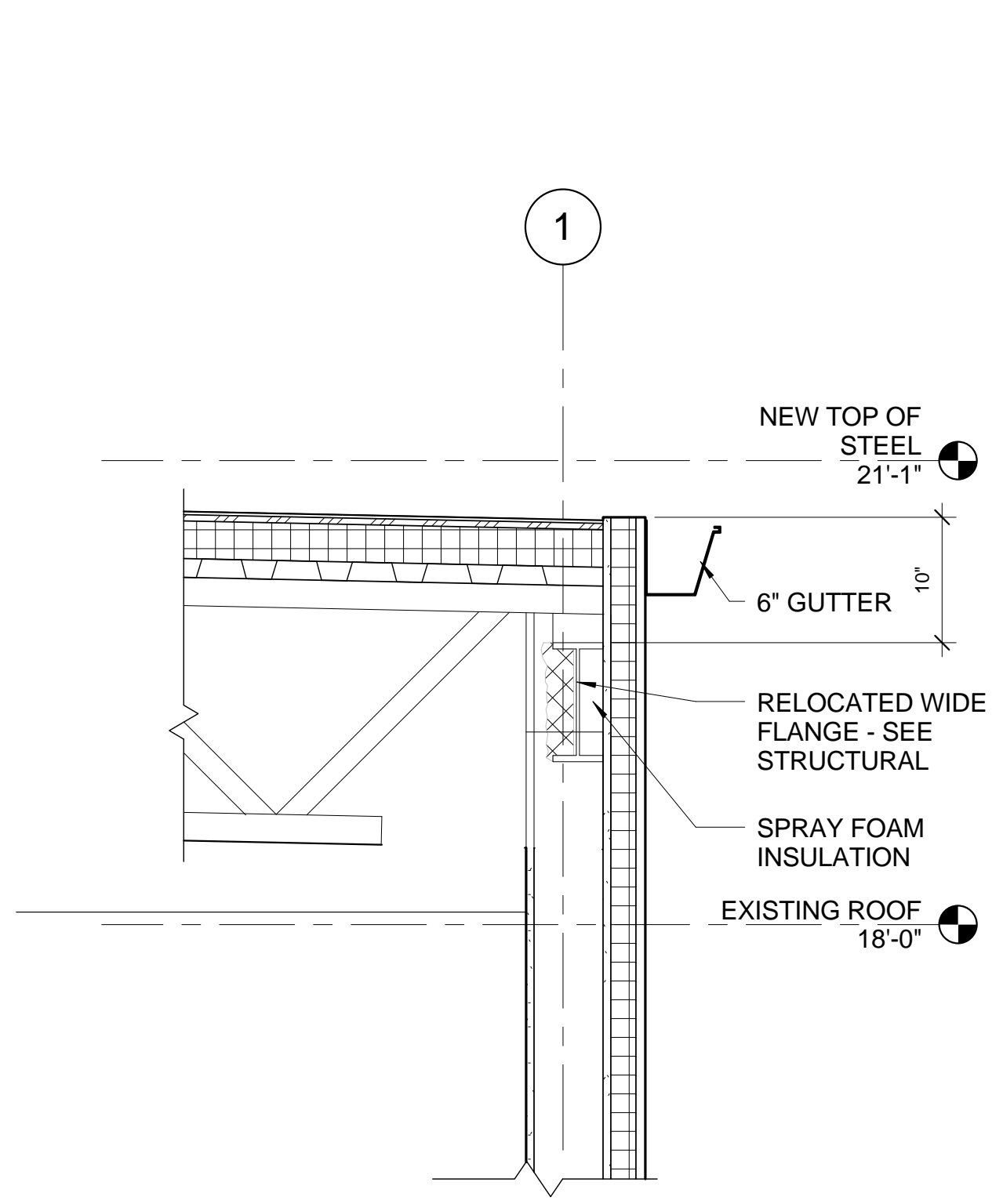
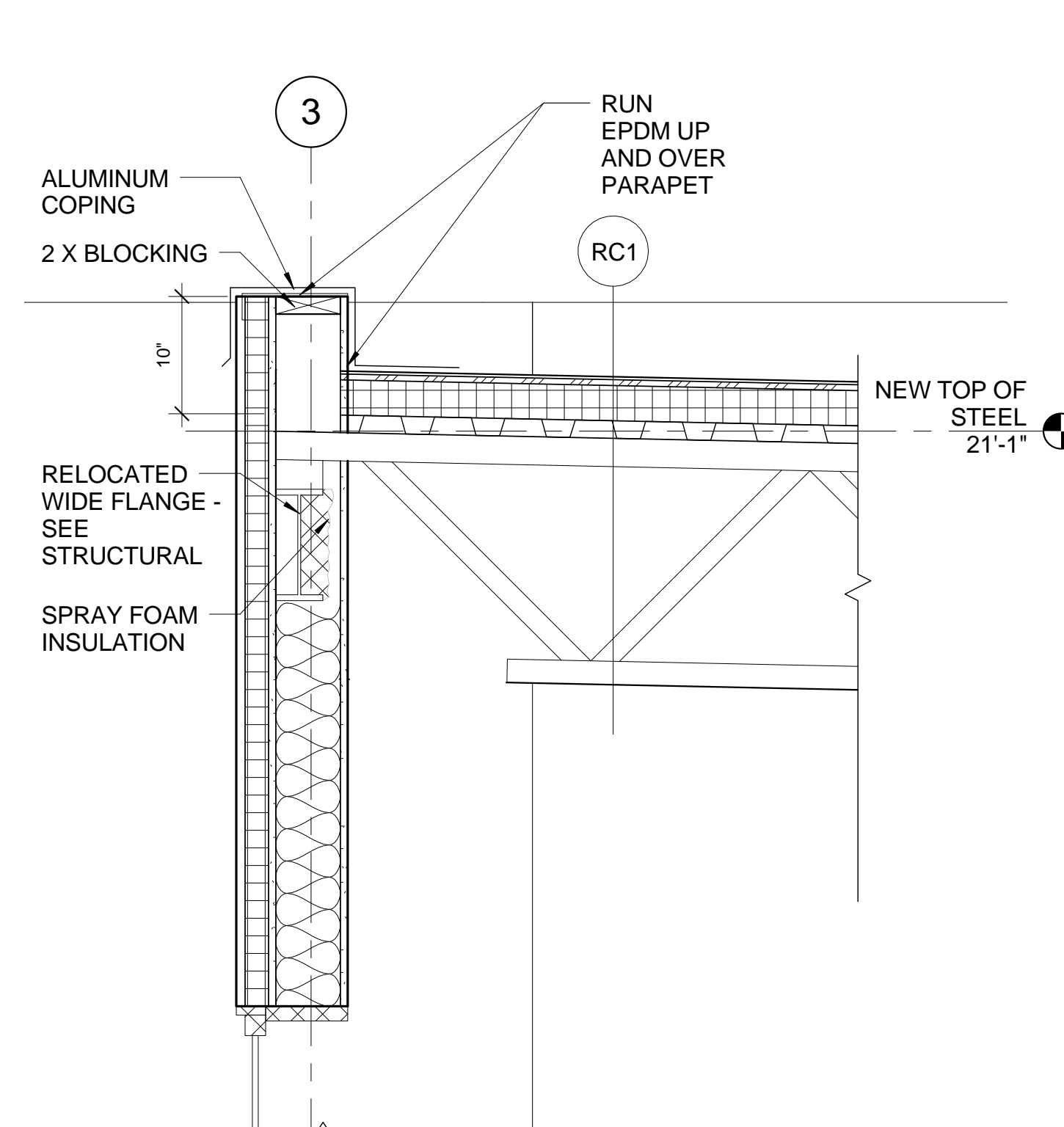
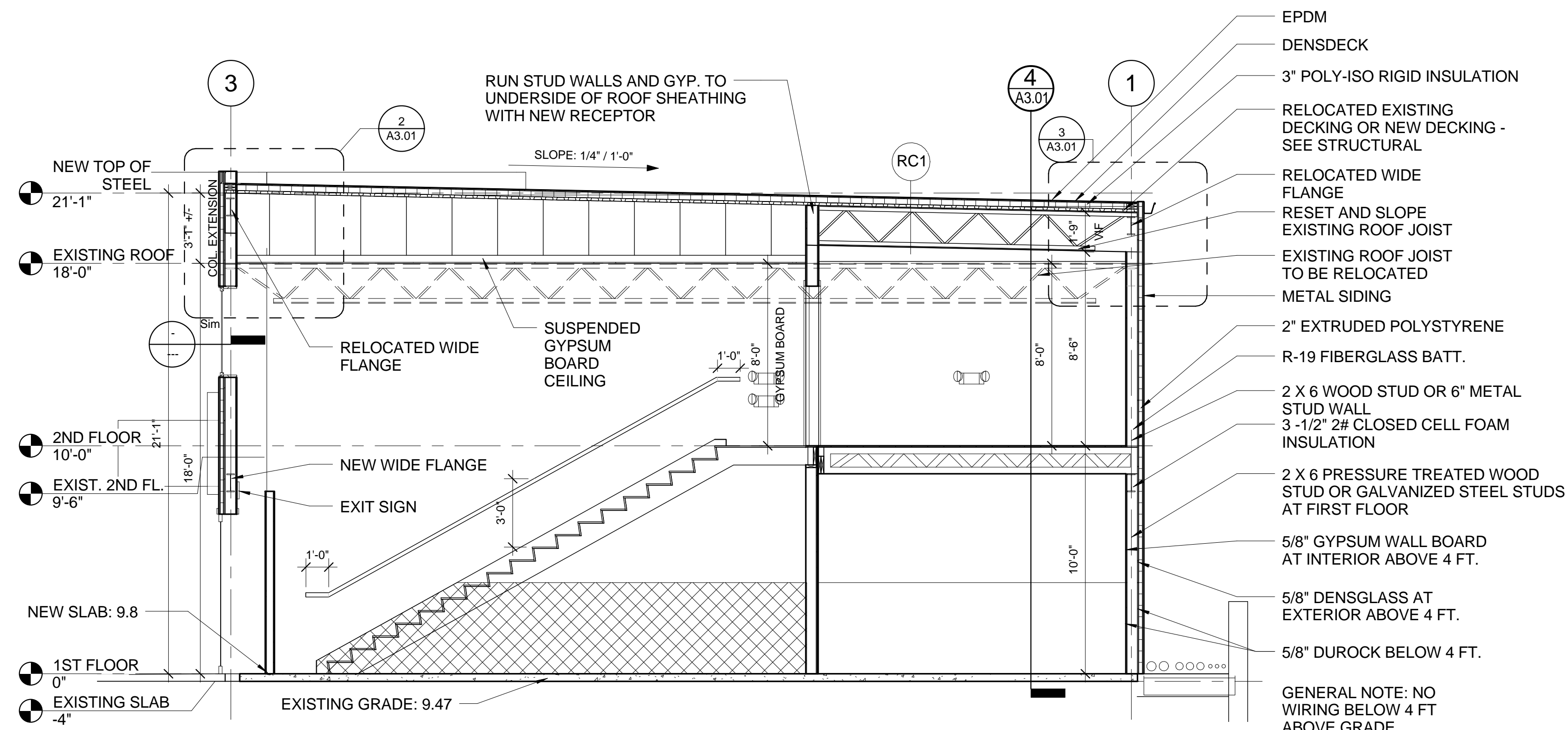
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Project:
Maine Wharf Bld. 1
Section A
PORTLAND, MAINE

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Building Elevations

A2.01

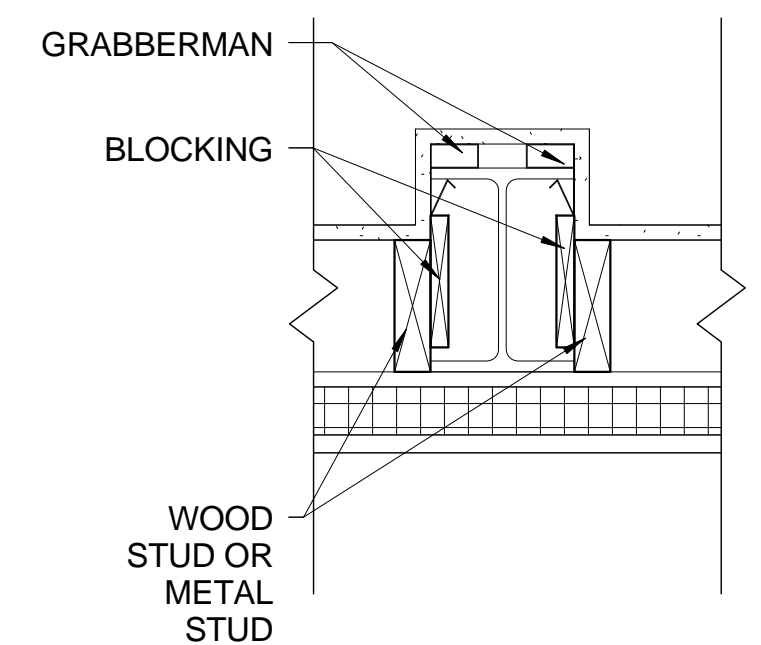
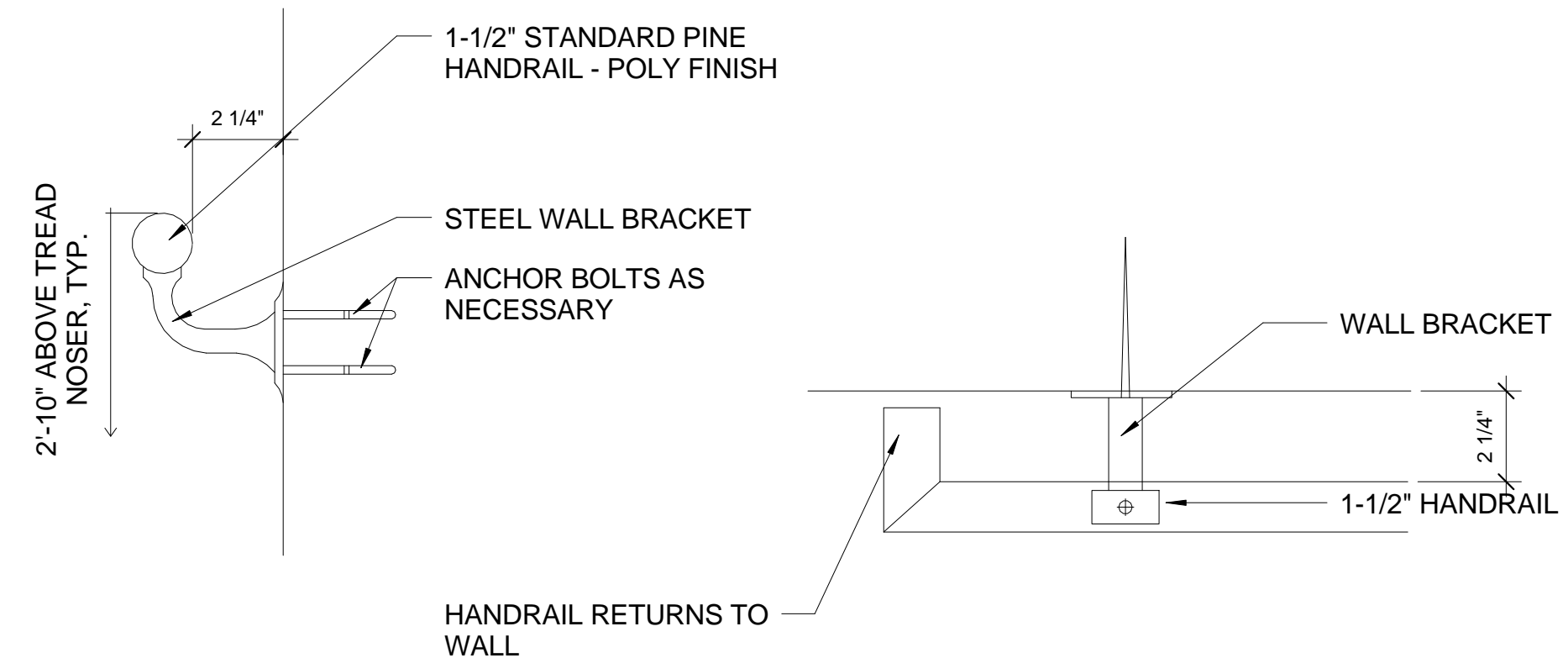
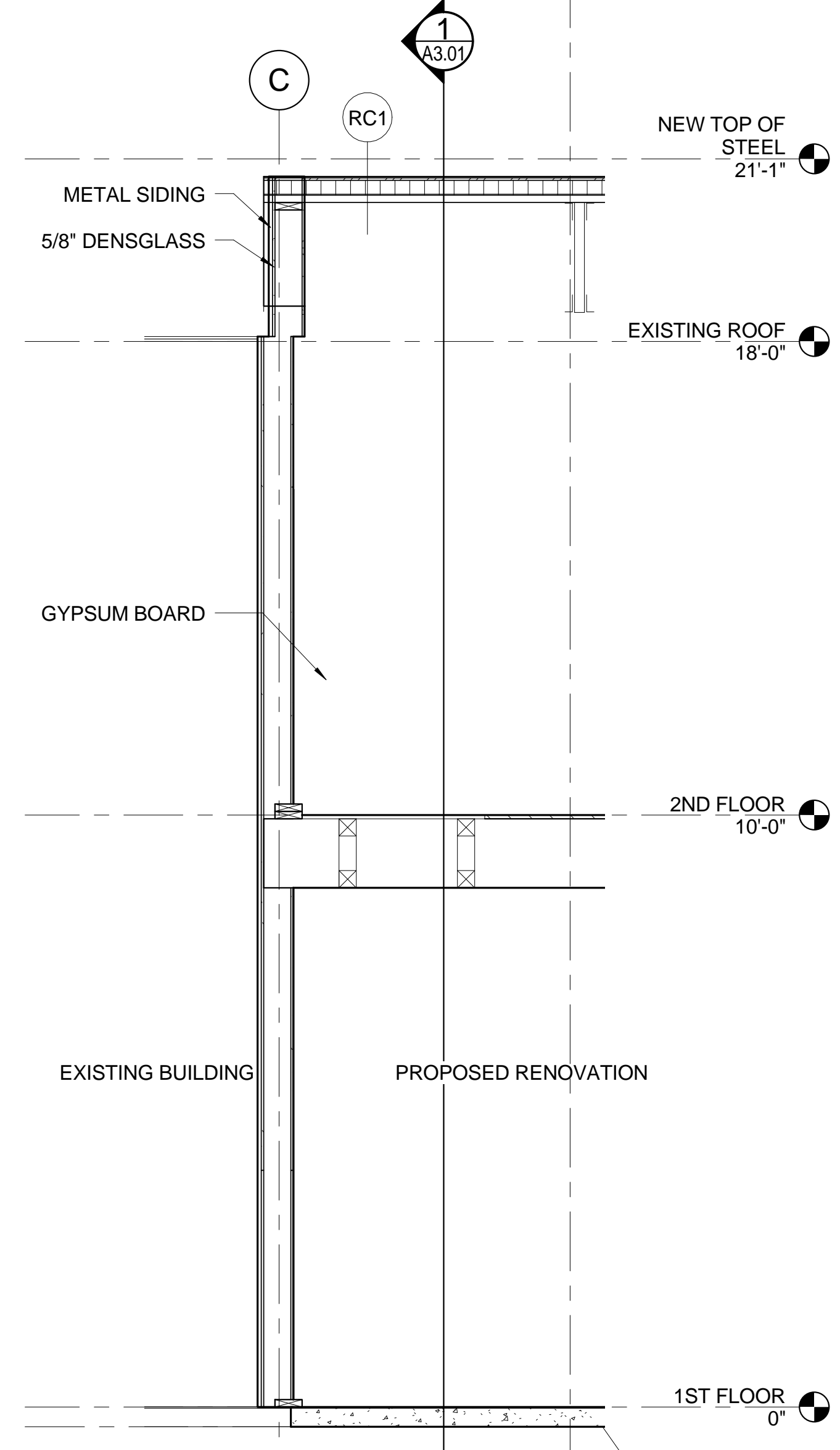


GENERAL NOTE:
 1. GROUND FLOOR TO BE 2 X 6 PRESSURE TREATED WOOD STUD OR 6\"/>

1 Building Section
 1/4\"/>

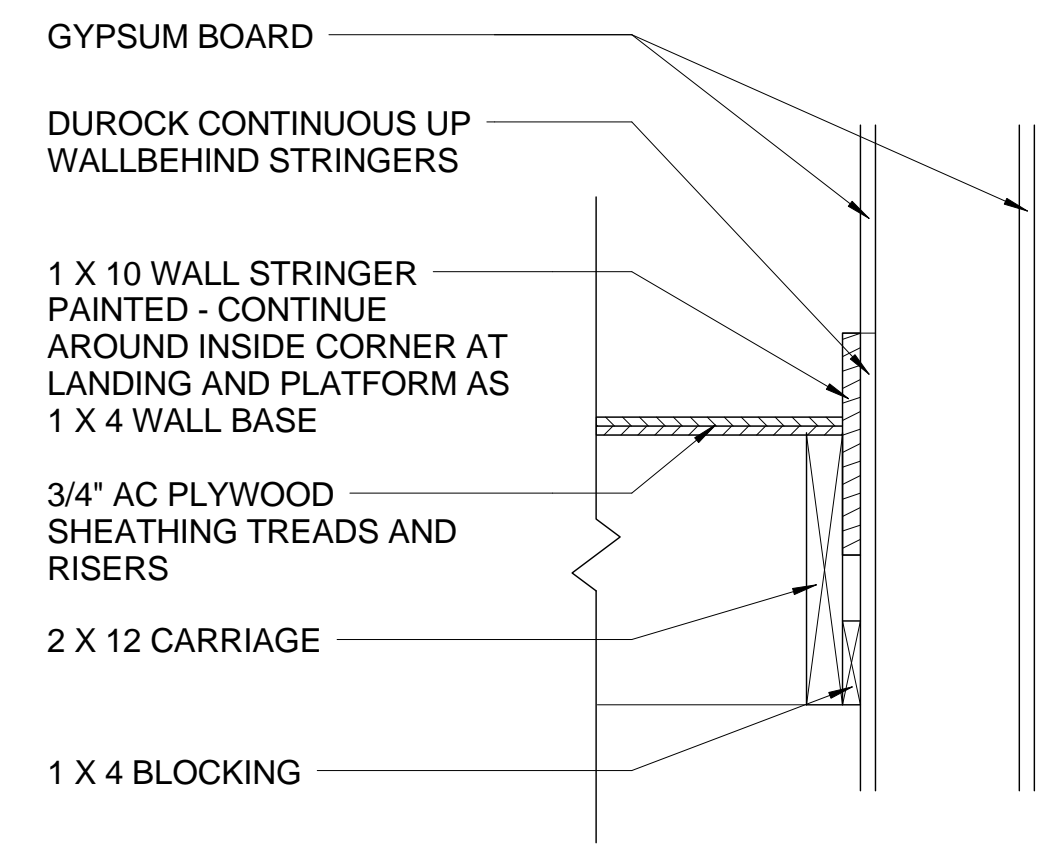
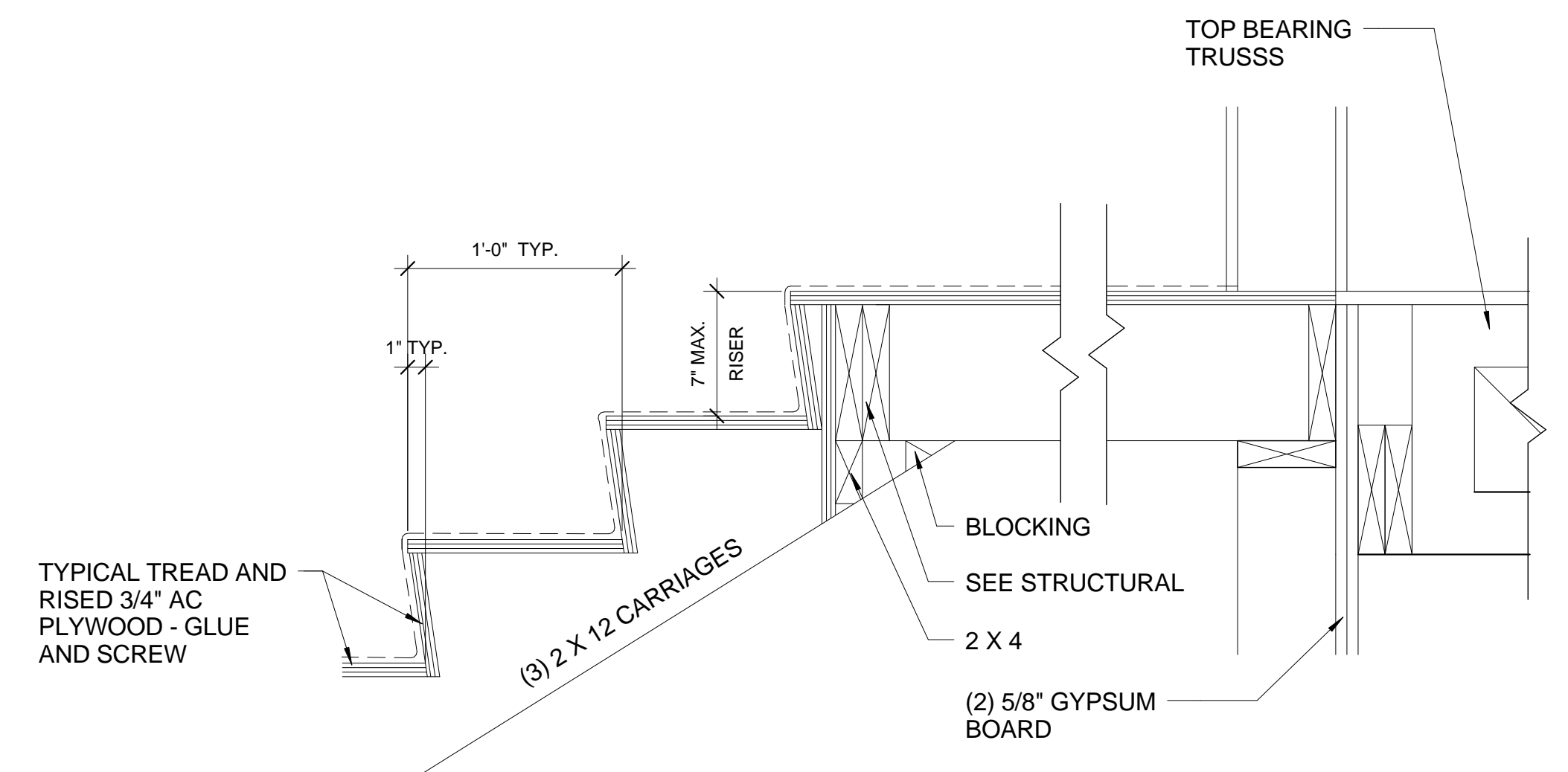
2 Parapet Detail
 1\"/>

3 Roof Detail
 1\"/>



5 Handrail Detail
 3\"/>

8 Typical Column Detail
 1 1/2\"/>



6 Stair - Riser Detail
 1 1/2\"/>

7 Stair Detail - Cross Section
 1 1/2\"/>

4 Party Wall Section
 1/2\"/>

Prepared For:
Maine Wharf LLC
 Address
 City, State

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Project:
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Section A
 PORTLAND, MAINE

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Building Sections & Details

A3.01