

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that **GRAND MAINE WHARF LLC**

Located At 72 "68" COMMERCIAL ST

Job ID: 2012-08-4708-SOB

CBL: 030- D-001-001

has permission for emergency repairs only to the existing floor(s) of existing structure(s) & structural support systems. provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

07/17/2012

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections.

Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. All emergency repairs and structural support work shall be supervised and inspected by a registered design professional/licensed engineer.
 2. Framing & Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4708-SOB

Located At: 72 COMMERCIAL
ST

CBL: 030- D-001-001

Conditions of Approval:

Zoning

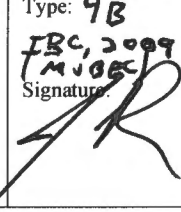
1. This permit is being issued with the condition that all the work is taking place within the existing footprint of the pier and the building. Any change to the footprint of the pier or the footprint of the building will require a separate building application.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. The permit is approved with the agreement that a full written structural analysis of the existing piles and bents performed and stamped by a licensed engineer is submitted to the City Building Inspections Office within thirty (30) days. A separate building permit shall accompany this written analysis for the associated work.
3. The permit only approves emergency repairs of existing floor(s) of existing structure(s) and building(s), and structural supports within the existing footprint. This permit does not approve the demolition or other modification to buildings or structures on the pier without making an additional application to the City's Building Inspections Office and obtaining the required permit(s). If a building or structure must be demolished in order to adequately address structural issues on the pier, the Owner/applicant shall provide a written statement to that effect from an appropriately licensed engineer. Note that demolition of a building on the pier does not guarantee the ability under the City's zoning to reconstruct said building in the same footprint.
4. The Owner/applicant is responsible for obtaining all other local, state and/or federal permits necessary for the emergency repair work allowed under this building permit.
5. All emergency repairs and structural support work shall be supervised and inspected by a registered design professional/licensed engineer.
6. Note: Owner's agent stated that the utilities located at "68" Commercial Street the former "Three Son's Lobster" have been disconnected, and the property remains vacated.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4708-SOB	Date Applied: 8/14/2012	CBL: 030- D-001-001	
Location of Construction: 72 (68) COMMERCIAL ST	Owner Name: GRAND MAINE WHARF, LLC	Owner Address: 42 MARKET ST PORTLAND, ME 04101	Phone: 207-774-1000
Business Name:	Contractor Name: ELC Inc	Contractor Address: 42 Market St., Portland ME 04101	Phone: (207) 774-1000
Lessee/Buyer's Name:	Phone:	Permit Type: PIER - Pier Pilings/Marine Related	Zone: WCZ
Past Use: Maine Wharf – area where Three Sons Lobster was located	Proposed Use: Same – emergency repair to shore up damaged pier per structural engineer’s recommendation – a separate permit will be applied for to show the structural work that is done including any work to the building	Cost of Work: 5000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: 4/Per Type: 4B FBC, 2009 MJB Signature: 
Proposed Project Description: Pier repair		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Mirt <input type="checkbox"/> MM	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: 08/15/12 <i>ABN</i>	Date:	Date:
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

WCL



General Building Permit Application

Entered 8/15/12 (B)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

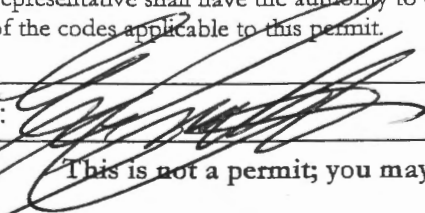
2012-08-4708-SOB

Location/Address of Construction: <u>72 Commercial St (18 Commercial</u>		
Total Square Footage of Proposed Structure/Area <u>2789</u>	Square Footage of Lot <u>5991 SF</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>030</u> Block# <u>5001</u> Lot# <u>001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Great Maine Wharf LLC</u> Address <u>42 Market St</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>207 774 1000</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>5000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
<p>RECEIVED AUG 14 2012 Dept. of Building Inspections City of Portland Maine</p>		
<p>Current legal use (i.e. single family) <u>Marine Retail</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Pier Repair - reviewed by Jm</u></p>		
<p>Contractor's name: <u>ELC Inc</u> Address: <u>42 Market St</u> City, State & Zip <u>Portland ME 04101-5022</u> Telephone: <u>207 774 1000</u> Who should we contact when the permit is ready: <u>Deborah VARGO</u> Telephone: <u>774-1000</u> Mailing address: <u>SAME</u></p>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 8.14.2012

This is not a permit; you may not commence ANY work until the permit is issued



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Director of Planning and Urban Development
Jeff Levine, AICP, Director

SEPTEMBER 19, 2012

GRAND MAINE WHARF, LLC
42 MARKET ST
PORTLAND, ME 04101

RE: PERMIT # 2012-08-4708

REGULAR MAIL & HAND DELIVERED

COPY

Dear Grand Maine Wharf LLC:

This letter will memorialize our prior agreement and understanding that after a "low tide" structural review (on 09/20/2012) of the pilings and underside of the deck structure a full structural analysis and permit application will be submitted to the Inspections Division.

In response to building permit # 2012-08-4708 Condition 2 and your reasonable efforts made to conduct the required engineering study, our Office will grant a fourteen (14) day extension to that requirement.

If you have any questions please feel free to contact me at 207.874.8702.

Sincerely,

Jonathan Rioux,
Code Enforcement Officer/ Plan Reviewer

cc: David J. Tetreault, PE, Structural Design Consulting LLC
Marge Schmuckal, Zoning Administrator



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Director of Planning and Urban Development
Jeff Levine, AICP, Director

Inspection Services, Director
Tammy M. Munson

August 17, 2012

GRAND MAINE WHARF, LLC
42 MARKET ST
PORTLAND ME 04101

CERTIFIED MAIL & HAND DELIVERED

LOCATED AT 68 COMMERCIAL STREET
CBL: 030 D001001

COPY

Dear Grand Maine Wharf, LLC:

The City of Portland Fire Department and Building Inspections Office conducted a walkthrough inspection of a portion of the Pier located at 68 Commercial Street on 08/16/2012. During the inspection, City staff was accompanied by David Tamelvich (Owner's Representative) & Joe Leasurer, (Owner's Structural Engineer). Mr. Leasurer verbally identified the need for emergency repairs of the concrete floor, and structural supports of some of the buildings on the pier. To date, an engineering report confirming these verbal statements has not been submitted.

Based on the City's limited visual inspection, Mr. Leasurer's verbal statements and review of the application submitted (see attached), the City hereby grants your building permit for "emergency repairs" (as outlined in paragraph 2 below) with the following conditions:

1. The permit is approved with the agreement that a full written structural analysis of the existing piles and bents performed and stamped by a licensed engineer is submitted to the City Building Inspections Office within thirty (30) days. A separate building permit shall accompany this written analysis for the associated work.
2. The permit only approves emergency repairs of existing floor(s) of existing structure(s) and building(s), and structural supports within the existing footprint. This permit does not approve the demolition or other modification to buildings or structures on the pier without making an additional application to the City's Building Inspections Office and obtaining the required permit(s). If a building or structure must be demolished in order to adequately address structural issues on the pier, the Owner/applicant shall provide a written statement to that effect from an appropriately licensed engineer. Note that demolition of a building on the pier does not guarantee the ability under the City's zoning to reconstruct said building in the same footprint.

3. The Owner/applicant is responsible for obtaining all other local, state and/or federal permits necessary for the emergency repair work allowed under this building permit.

4. All emergency repairs and structural support work shall be supervised and inspected by a registered design professional/licensed engineer.

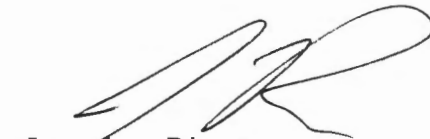
See Conditional Building Permit, attached hereto.

If you wish to discuss this matter, or you have any questions, please feel free to contact Jonathan Rioux at 207.874.8702.

Sincerely,

Handwritten signature of Jeff Levine in black ink.

Jeff Levine
Director of Urban & Planning Development

Handwritten signature of Jonathan Rioux in black ink.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

Encls.

cc: Marge Schmuckal, Zoning Administrator
Chris Pirone, Captain/ Fire Prevention Officer
Tenants of Grand Maine Wharf



**City of Portland
Inspection Services
RETURN OF SERVICE**

On the 17 day of August, 2012 I made service of Mr. David Tamelovich
at 389 Congress Street, Room 315.

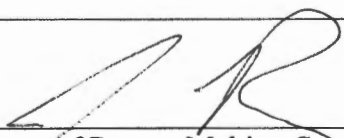
By delivering a copy in hand

By leaving copies at the individual's dwelling house or usual place of abode with a person of a suitable age or discretion who resides therein and whose is named _____.

By delivering a copy to an agent authorized to receive service of process, and whose name is David Tamelovich.

By (describe other manner of service) _____

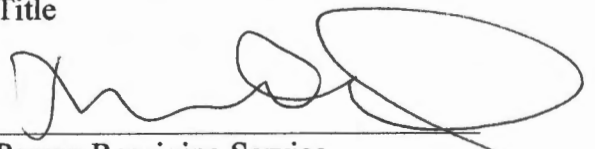
DATED 08/17/12



Signature of Person Making Service

Code Enforcement Officer/ Plan Reviewer
Title

I have received the above referenced documents



Person Receiving Service

Refused to Sign
 Unable to Sign



22 Oakmont Drive
Old Orchard Beach, ME
04064-4121

207.934.8038
Fax 207.934.8039

Sep. 13, 2012

Mr. Jonathan Rioux
Code Enforcement Officer
City of Portland
389 Congress Street
Room 315
Portland, ME 04101

Subject: Maine Wharf, Portland, ME

Dear Mr. Rioux,

Structural Design Consulting, Inc. has been retained by Maine Wharf, LLC to provide engineering services required to evaluate the structural condition and to recommend necessary repairs to the timber pilings and deck support structure of the Maine Wharf and the buildings that are constructed on the Maine Wharf.

Engineering has begun. The site work will be restricted by tides that prevent access to the timber pilings and underside of the deck structure. However, reasonable efforts will be made to complete the structural evaluation in a timely manner.

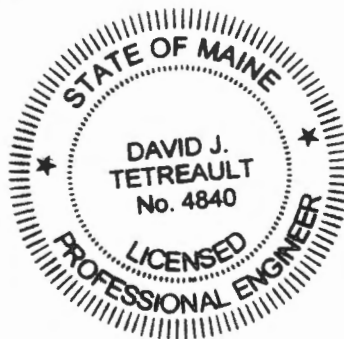
Please call me if you have any question or need additional information.

Sincerely,

STRUCTURAL DESIGN CONSULTING, INC.

A handwritten signature in black ink that reads "David J. Tetreault".

David J. Tetreault, P.E.



cc Pat Tinsman, Maine Wharf, LLC
Bill Hopkins, Archetype, P.A.



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 1010

Tender Amount: 70.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 8/15/2012

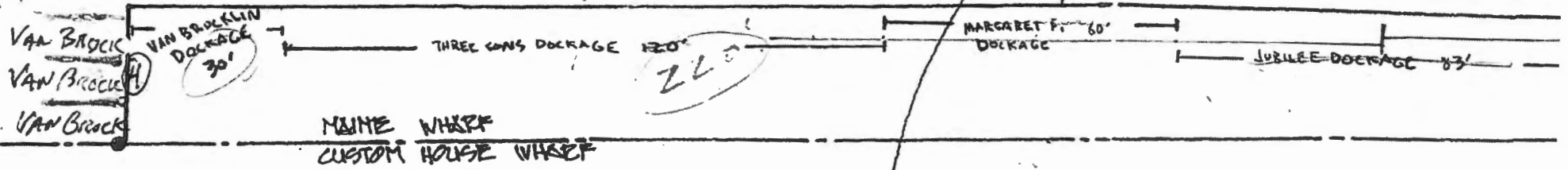
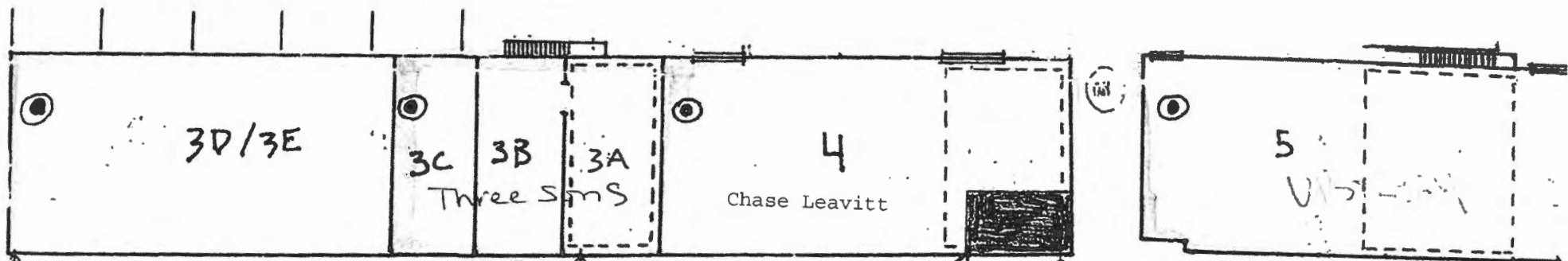
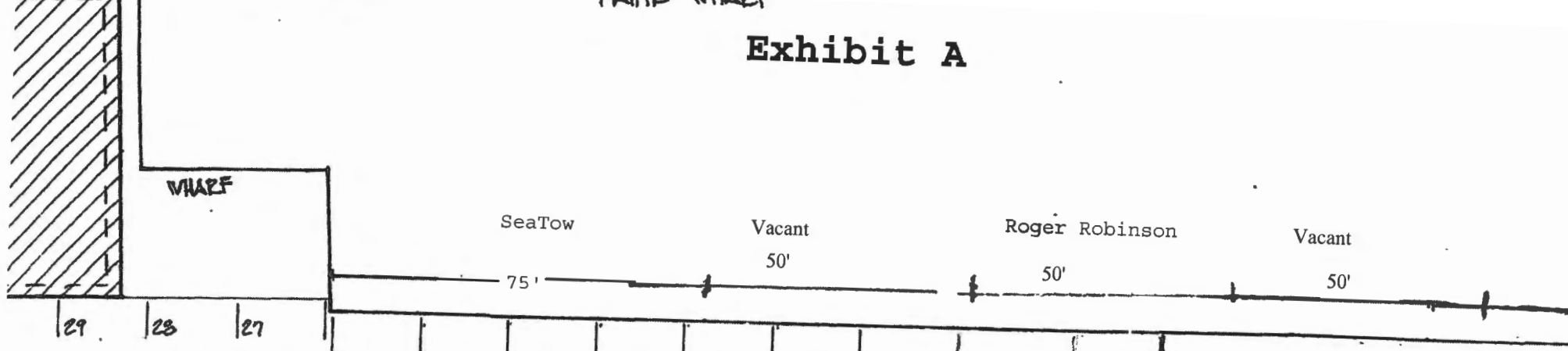
Receipt Number: 47097

Receipt Details:

Referance ID:	7636	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	70.00	Charge Amount:	70.00
Job ID: Job ID: 2012-08-4708-SOB - Pier repair			
Additional Comments: 72 Commercial			

Thank You for your Payment!

Exhibit A

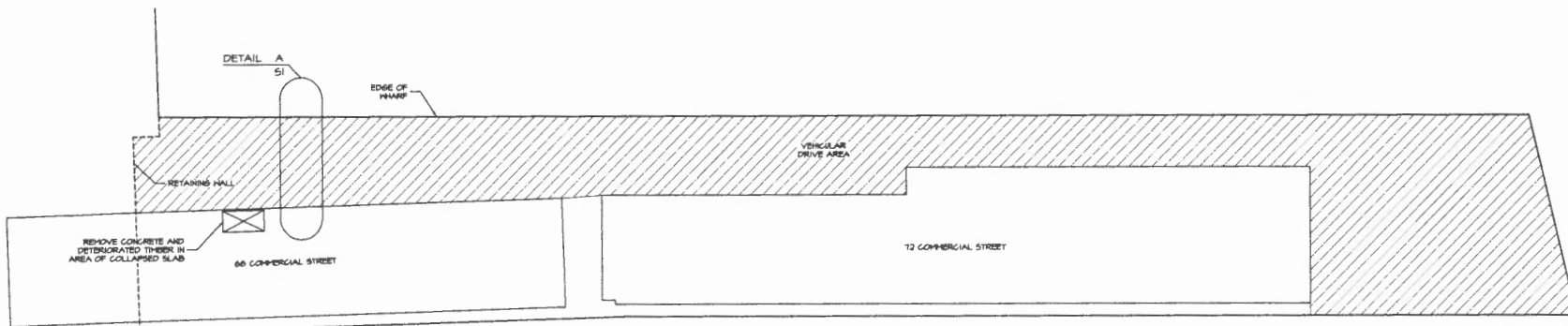


MAINE WHARF - EXISTING CONE

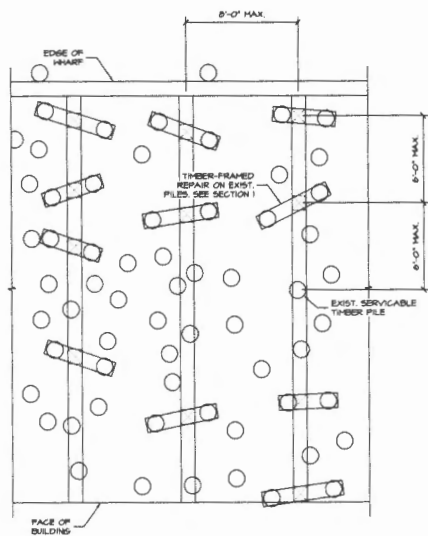
ns;
 n for Bldgs 3 thru 7
 ip / Sewer Line for Bldgs 3 thru 7
 operating gas heater (see Gas Meter into Street)

Blg 4 Utility Room contains:

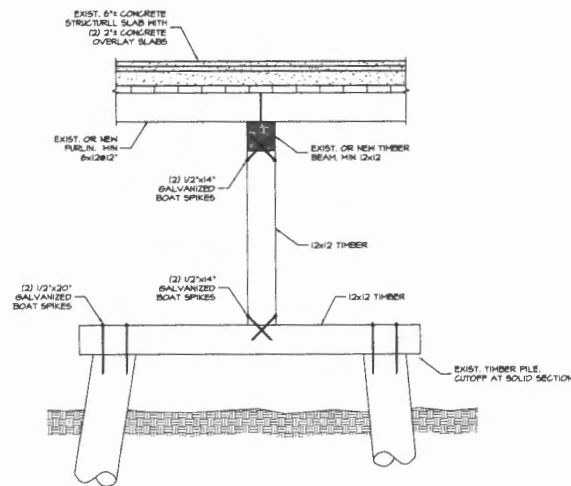
- (1) Forced Hot Water Heater (Gas) for upstairs offices
- (2) High Pressure Steam Boiler (Oil) unused, but functional a shape; connect. to several steam modines throughout 5 and Block Bldg.



WHARF LAYOUT PLAN
1"=30'-0"



PLAN DETAIL A
1/4"=1'-0" S1

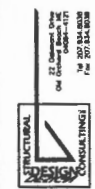


SECTION 1
1/2"=1'-0" S1
ALL TIMBER SHALL BE SO. YEL. PINE, NO. 1 OR BETTER. PRESSURE TREATED WITH CCA TO 25 LB/CF RETENTION

RECEIVED

OCT 04 2012

Dept. of Building Inspections
City of Portland Maine



MAINE WHARF
68-72 COMMERCIAL STREET
PORTLAND, MAINE

description	REPAIRS AT VEHICULAR DRIVE AREA
date	10/24/12
sheet number	
sheet title	

WHARF
REPAIR
PLAN

S1

Jonathan Rioux - Maine Wharf

From: "David Tetreault" <djt@sdinc.biz>
To: "Jonathan Rioux" <jrioux@portlandmaine.gov>
Date: 10/4/2012 1:56 PM
Subject: Maine Wharf
Attachments: 12032 S1 100412.pdf

Jonathan,

Attached is repair plan for the drive area at the Maine Wharf. It shows a typical repair detail. However, it is likely that the detail will be refined as required by existing conditions.

Roger Hale of Fore River Dock & Dredge Inc. has mobilized a barge and has begun repairs. He is beginning at what appears to be the worst condition along the drive. He will also remove the collapsed area of slab within the vacant building next week so that we can have easier access to below the wharf. As we discussed, this work is considered emergency repairs. A separate building permit will be required for any upgrading of the wharf or work to the building except any portion of the building that is in danger of collapse.

I will review the repair work as it is being completed and recommend revisions to the repair detail and/or additional repair details as needed.

Please call me if there is any question.

David Tetreault, P.E.
Structural Design Consulting, Inc.
22 Oakmont Drive
Old Orchard Beach, ME
tel 207-934-8038
fax 207-934-8039

RECEIVED

OCT 04 2012

Dept. of Building Inspections
City of Portland Maine

General Scope

The building formerly occupied by Three Sons Lobster at 72 Commercial St. is in need of repair work. ELC inc. has hired Joe Leisure structural engineer to assist and oversee in the demo and reconstruction of the building. It is our intent to only fix and repair what is broken.

The scope will consist of:

- Shutting off and tagging out utilities.

- Demo part of building that has been structurally improvised.

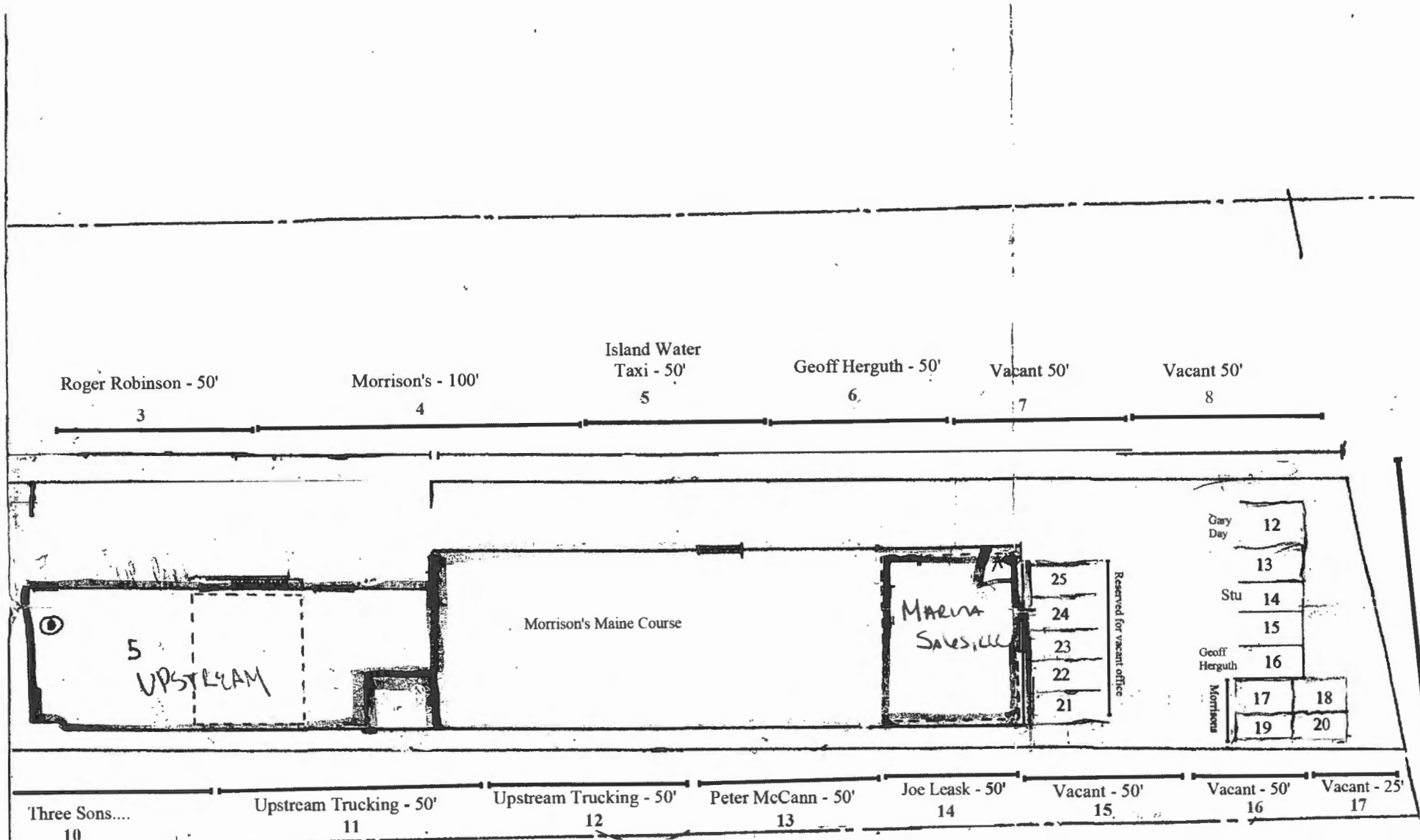
- Remove broken concrete deck.

- Access condition of deteriorated pile

- Structurally reinforce deteriorated area

- Put back deck

- Repair section of building



Roger Robinson - 50'

Morrison's - 100'

Island Water Taxi - 50'

Geoff Herguth - 50'

Vacant 50'

Vacant 50'

5 UPSTREAM

Morrison's Maine Course

MARINA SALES, LLC

Reserved for vacant office

Gary Day 12

13

Stu 14

15

Geoff Herguth 16

Morrison's

17

18

19

20

Three Sons.... 10

Upstream Trucking - 50' 11

Upstream Trucking - 50' 12

Peter McCann - 50' 13

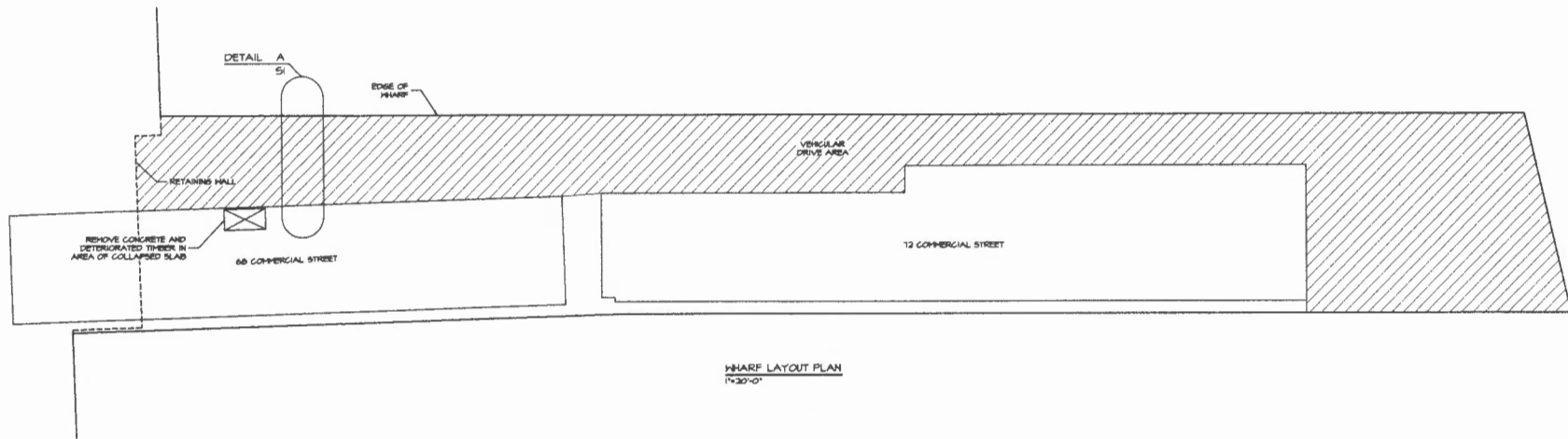
Joe Leask - 50' 14

Vacant - 50' 15

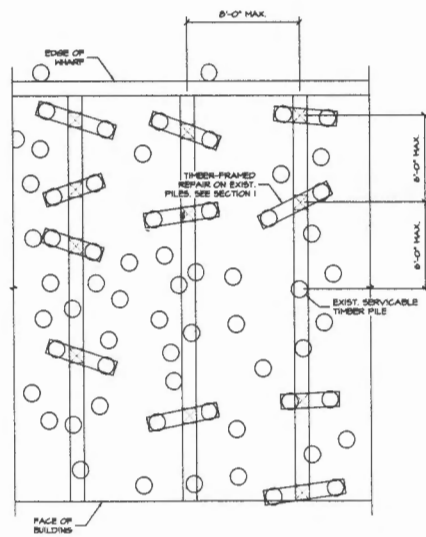
Vacant - 50' 16

Vacant - 25' 17

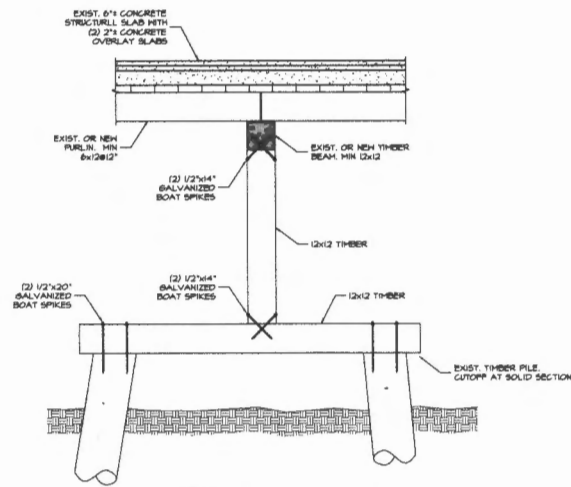
ARE - EXISTING CONDITION.



WHARF LAYOUT PLAN
1"=30'-0"

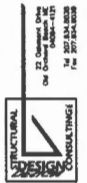


PLAN DETAIL A
1/4"=1'-0" S1



SECTION 1
1/2"=1'-0" S1
ALL TIMBER SHALL BE SO. YEL. PINE NO. 1
OR BETTER. PRESSURE TREATED WITH GCA
TO 25 LB/CF RETENTION

RECEIVED
OCT 04 2012
Dept. of Building Inspections
City of Portland Maine



MAINE WHARF
68-72 COMMERCIAL STREET
PORTLAND, MAINE

revision description
1 10/04/12 REPAIR AT VEHICULAR DRIVE AREA

date
10/04/12

sheet title
WHARF REPAIR PLAN

S1



22 Oakmont Drive
Old Orchard Beach, ME 04064-4121
Phone: (207) 934-8038
Fax: (207) 934-8039

FIELD NOTES

JOB NAME: **Maine Wharf**
JOB NO.: **012032**
DATE OF VISIT: **Oct 18, 2012**
TIME: **8:00 - 9:30 A.M.**
CLIENT: **Maine Wharf, LLC**
OBSERVERS: **David Tetreault, SDC**

Work has begun on reinforcing the pile support system of the wharf. The first line of piles is nearing completion from edge to edge of the wharf. This first line is located approximately 25' from the southeast end of the 68 Commercial Street building. This was one of the most deteriorated pile lines.

A portion of the collapsed slab within the 68 Commercial Street building has been removed. The wood framing supporting the slab in this area is severely deteriorated. It will be necessary to remove a portion of the exterior wall of the building in order to safely remove the rest of the collapsed slab.

Support for the entire northeast edge of the 68 Commercial St. building also appears to be severely deteriorated. Building columns must be shored in order to replace the deteriorated framing (see attached SSK1).

Upcoming work will include the following:

Cut a hatchway in the slab between the 68 Commercial St. and 72 Commercial St. buildings for better access to the underside of the wharf. The hatch is to be secured during non-working hours.

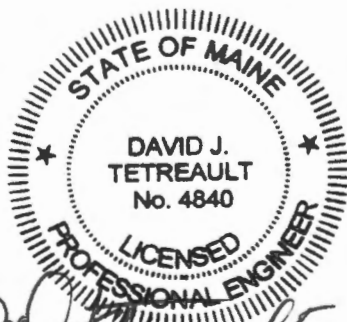
Remove a portion of the northeast exterior wall of 68 Commercial St. as required to demolish and remove the area of collapsed slab.

Continue reinforcing pile lines from edge to edge of the wharf in both directions from the nearly completed line noted above.

RECEIVED

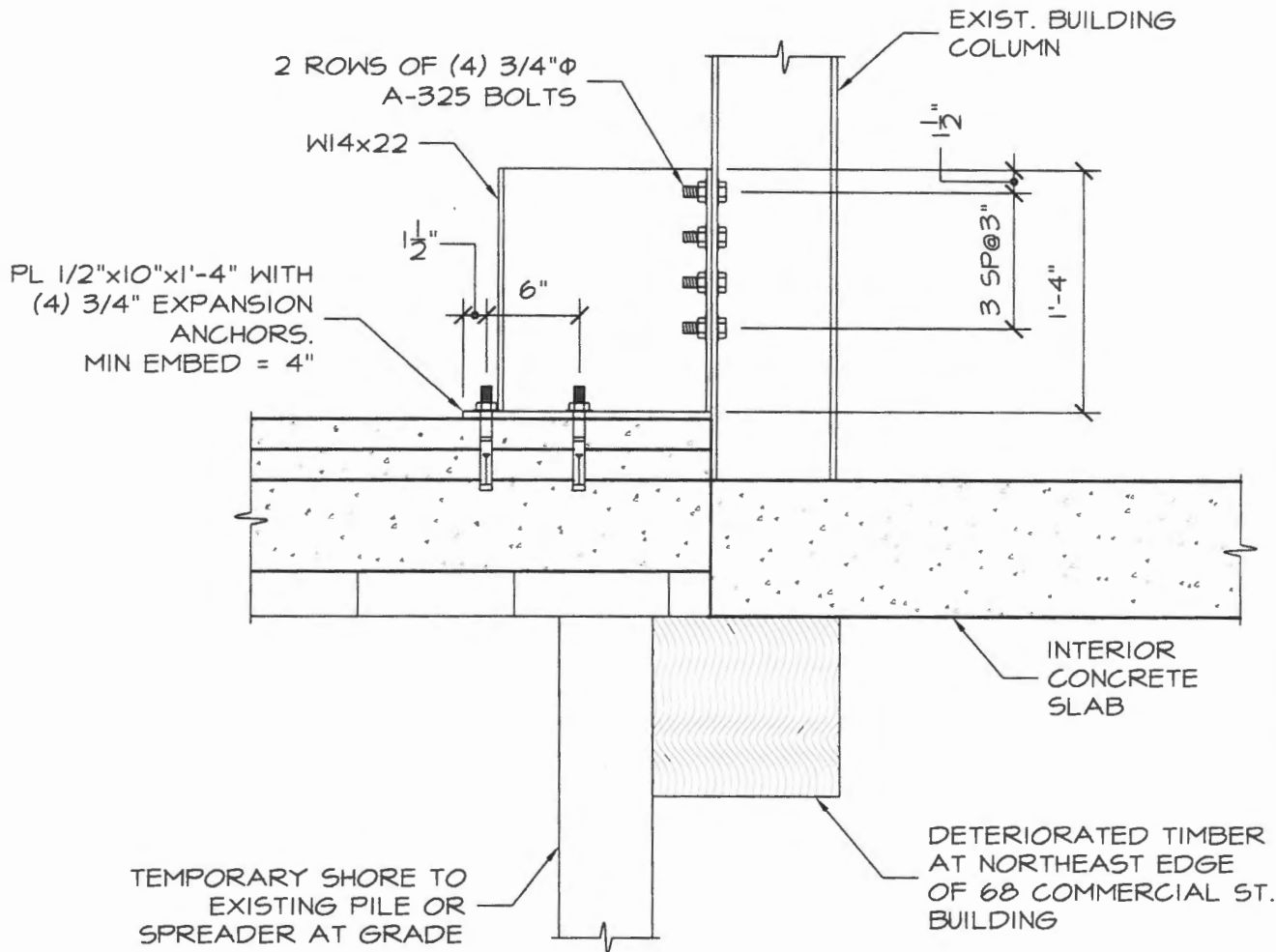
OCT 19 2012

Dept. of Building Inspections
City of Portland Maine



SIGNATURE: _____

David Tetreault



TEMP SUPPORT DETAIL
1"=1'-0"

INSTALL AT EXTERIOR COLUMNS
ALONG NORTHEAST WALL OF
68 COMMERCIAL STREET BUILDING

RECEIVED

OCT 19 2012

Dept. of Building Inspections
City of Portland Maine



date	revision number	<p>MAINE WHARF 68-72 COMMERCIAL STREET PORTLAND, MAINE</p>		<p>SSK1</p>
10/19/12				