

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 02 0943	Issue Date: SEP 10 2002	CBL: 2002 030 D001001
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Location of Construction: 68 Commercial St	Owner Name: Point East Trust	Owner Address: 104 Grant St	Phone:
Business Name:	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone: 2077738499
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: WCB

Past Use: N/A	Proposed Use: Wharf	Permit Fee: \$1,143.00	Cost of Work: \$160,000.00	CEO District: 1
Proposed Project Description: Repair and replacement of wooden pilings		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: 5B	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: jmy	Date Applied For: 08/22/2002	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<p><b>Special Zone or Reviews</b></p> <p><input checked="" type="checkbox"/> Shoreland <i>extended from setbacks</i></p> <p><input type="checkbox"/> Wetland</p> <p><input checked="" type="checkbox"/> Flood Zone <i>Panel 14 Zone A2 ee 10</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>see exemption</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>div with conditions</i></p> <p>Date: <i>9/29/02</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous <i>value less than \$96 minor permit</i></p> <p><input type="checkbox"/> Conditional Use <i>required to use Flood Damage resistant materials that are adequately anchored</i></p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 020947

Please Read Application And Notes, if Any, Attached

This is to certify that Point East Trust/Keeley Construction  
has permission to Repair and replacement of weathered pilings  
AT 68 Commercial St Permit No. 030 D001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature] 9/15/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Application ID Number: 2-0947

Department: Zoning

Status: Approved with Conditions

Inspector: Marge Schmuckal

Comments: 68 Commercial Street - Wharf end

Approved Date: 08/29/2002

Issue Date: 08/26/2002

Bill Hopkins Passed Name: Marge Schmuckal Date: 08/29/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

All of the attached Floodplain forms shall be appropriately filled out, signed and returned prior to the issuance of any certificates of occupancy or completion of the job. These original forms were sent to Bill Hopkins on 8/29/02 at Archetype, PA

Please note that you must use Flood damage resistant materials and adequately anchor all members under the Floodplain guidelines.

Created Date: 08/23/2002 By: jmy

Update Date: 08/29/2002 By: mes

02-0947

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

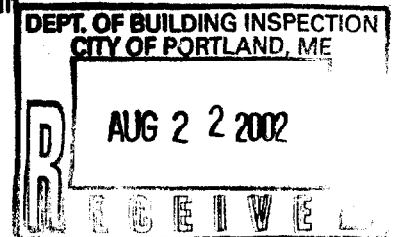
Location/Address of Construction: <u>Maine Wharf, Portland, ME</u> <u>68 Commercial</u>		
Total Square Footage of Proposed Structure N/A	Square Footage of Lot <u>13,641</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>30</u> Block# <u>D</u> Lot# <u>1+2</u>	Owner: <u>Wharf Holdings, LLC</u> <u>C/O Bibeau &amp; Company, LLC</u> <u>Portland, ME</u>	Telephone: <u>(207) 772-5161</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Archetype, P.A.</u> <u>48 Union Wharf</u> <u>Portland, ME 04101</u> <u>(207) 772-6022</u> <u>Agent for Wharf Holdings, LLC</u>	Cost Of Work: \$ <u>160,000.00</u> Fee: \$ <u>1,143.00</u>
Current use: <u>Wharf</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Wharf</u>		
Project description:		
Contractor's name, address & telephone: <u>Jim Keeley</u> <u>Keeley Construction</u> <u>P.O. Box 1074</u> <u>Portland, ME 04104</u> <u>(207) 773-8499</u>		
Who should we contact when the permit is ready: <u>Archetype, PA</u> <u>William Hopkins</u>		
Mailing address: <u>Archetype, PA</u> <u>48 Union Wharf</u> <u>Portland, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 772-6022 <u>Call</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8/22/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Bldg permit # 02-0947

# FLOOD HAZARD DEVELOPMENT APPLICATION

## Portland, Maine

(All applicants must complete entire application)  
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: POINT EAST TRUST Address: 104 Grant Street  
 Phone No.: \_\_\_\_\_ Portland, ME 04101

Applicant: William Hopkins & Archetype PA Address: 48 Union Wharf  
 Phone No.: 772-6022 Portland, ME 04101

Contractor: Keeley Construction Address: PO Box 1074  
 Phone No.: 773-8499 (Jim Keeley) Portland, ME 04104

### LEGAL DESCRIPTION

Is this part of a subdivision?  Yes  No If yes, give the name of the subdivision

Subdivision: \_\_\_\_\_ Lot #: \_\_\_\_\_  
 Tax Map: 030-D Lot #: 001:00  
 Address: called 68 Commercial Street  
 Zip Code: Portland, ME 04101

inspectors copies  
 - original sent to  
 Bill Hopkins for  
 return 8/29/02 g

General explanation of proposed development: repair & replacement of wooden pilings  
at southern end of Pier 2, 4" concrete tapping - NO extension of

Estimated Value of Proposed Development: \$ 160,000.00 enlargement of pier

Proposed Lowest Floor elevation [for new or substantially improved structure]: \_\_\_\_\_

### OTHER PERMITS

Are other permits required from State or Federal jurisdictions?  Yes  No  
 If yes, are these other permits attached?  Yes  No  Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

### SEWER AND WATER

Sewage Disposal:  Public  Private  Not Applicable Type \_\_\_\_\_  
 Existing  Proposed

Water Supply:  Public  Private

**TYPE OF DEVELOPMENT**

Check the appropriate box to the left of the type(s) of development requested and complete information for each applicable line:

<input type="checkbox"/> 1. Residential Structure	Dimensions	<input type="checkbox"/> 7. Filling <sup>3</sup>	Cubic Yards
<input type="checkbox"/> 1a. New Structure	_____	<input type="checkbox"/> 8. Dredging	_____
<input type="checkbox"/> 1b. Add to Structure	_____	<input type="checkbox"/> 9. Excavation	_____
<input type="checkbox"/> 1c. Renovations/repairs/maintenance	_____	<input type="checkbox"/> 10. Levee	_____
<input checked="" type="checkbox"/> 2. Non-Residential Structure		<input type="checkbox"/> 11. Drilling	
<input type="checkbox"/> 2a. New Structure	_____		Number of Acres
<input type="checkbox"/> 2b. Add to Structure	_____	<input type="checkbox"/> 12. Mining	_____
<input checked="" type="checkbox"/> 2c. Renovations/repairs/maintenance	_____	<input type="checkbox"/> 13. Dam: Water surface to be created	_____
<input type="checkbox"/> 2d. Floodproofing	_____	<input type="checkbox"/> 14. Water Course Alteration	_____
<input type="checkbox"/> 3. Accessory Structure	_____	<b>Note: Detailed description must be attached with copies of all applicable notifications, state and federal permits.</b>	
<input checked="" type="checkbox"/> 4. Functionally Dependent Use:		<input type="checkbox"/> 15. Storage of equipment or materials	
<input type="checkbox"/> 4a. Dock	_____	<input type="checkbox"/> 16. Sewage Disposal System	
<input checked="" type="checkbox"/> 4b. Pier	_____	<input type="checkbox"/> 17. Water Supply System	
<input type="checkbox"/> 4c. Boat Ramp	_____	<input type="checkbox"/> 18. Other: Explain	_____
<input type="checkbox"/> 4d. Other	_____		
<input type="checkbox"/> 5. Paving	_____		
<input type="checkbox"/> 6. Conditional Use (Lobster/Fish Shed seaward of mean high tide)	_____		

**Note:** Conditional Use requires add'l. information due to specific standards, public hearing, and Planning Board review.

<sup>3</sup> Certain prohibitions apply in Velocity Zones

Attach a Site Plan – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

**Special Note:**

**Substantial Improvement** is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

**Structures in Velocity Zones** are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

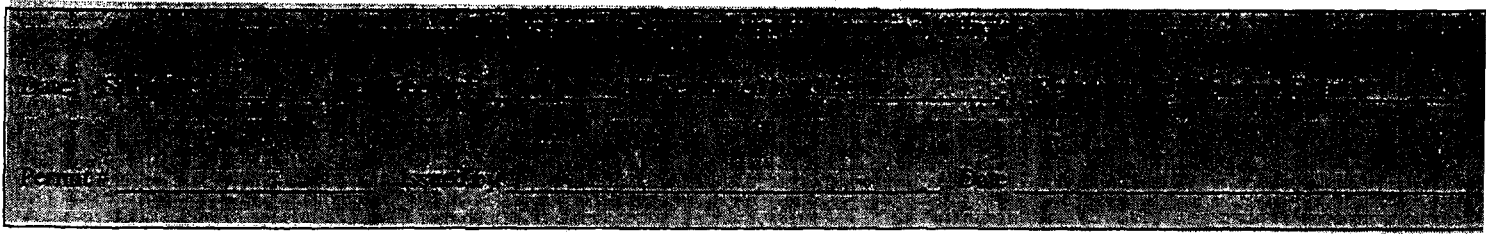
I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

or

Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

*Signature*



Bldg permit # 02-0947

# FLOOD HAZARD DEVELOPMENT PERMIT

## For Minor Development

Portland, Maine

(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 030-D-Lot #: 001 & 002

Project Description: repair & replacement of wooden pilings at Southern end of Pier and 4" concrete topping - no extension or enlargement of Pier

**The permittee understands and agrees that:**

PLEASE READ

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Then  
Owner: \_\_\_\_\_ Signature \_\_\_\_\_ Date: \_\_\_\_\_

or  
Sign  
Authorized Agent: \_\_\_\_\_ Signature \_\_\_\_\_ Date: \_\_\_\_\_

Issued by: \_\_\_\_\_ Date: \_\_\_\_\_

Permit #: \_\_\_\_\_



Bldg permit #  
02-0947

# FLOOD HAZARD DEVELOPMENT PERMIT

## For FLOODPROOFING

### Non-Residential Structures

Portland, Maine

This Flood Hazard Development Permit allows Floodproofing of Non-residential Structures in a Special Flood Hazard Area. Floodproofing means any combination of structural and non-structural additions, changes or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and contents. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

If the floodproofing is to serve as a method of bringing a structure into compliance with National Flood Insurance Program (NFIP) elevation requirements:

- All standards required by NFIP 44 CFR 60.3(c)(3) and all standards required by Article VI.G. of the Floodplain Management Ordinance must be met; and
- The application for this permit must include a FEMA Floodproofing Certificate (Form 81-65) signed by a registered professional engineer or architect certifying that the design and methods of construction will be in accordance with accepted standards of practice for meeting the provisions of NFIP 44 CFR 60.3(c)(3) as well as Article VI.G. of the Floodplain Management Ordinance

A Flood Hazard Development Permit for Floodproofing is hereby issued as provided under Article V.F. of the Floodplain Management Ordinance of Portland Maine, for development as defined in said ordinance.

Tax Map: # 030-D - Lot #: 001E002

The permittee understands and agrees that:

*Please READ then Sign*

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

or

Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_  
Signature

Issued by: \_\_\_\_\_ Date: \_\_\_\_\_

Permit #: \_\_\_\_\_  
Horizontal Structural Member..... feet (NGVD)

# Treasury Division

Room 102

This page contains Tax Roll Information as of April 1, 2002.  
To do another search, press the **New Search** button at the bottom of the screen.

**TAX ACCT ID      4290**

**Property Valuation Information**

<b>LAND VALUE</b>	\$490,460.00	—
<b>BUILDING VALUE</b>	\$1,538,250.00	
<b>NET TAXABLE - REAL ESTATE</b>	\$2,028,710.00	
<b>TAX AMOUNT</b>	\$52,178.42	



**A R C H I T E C T Y P E**

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August 22, 2002

City of Portland  
Planning Department  
389 Congress Street  
Portland, ME 04101

**RE: Maine Wharf Request for Building Permit**

*Minor Permit  
under Floodplain*

Proposed work on Maine Wharf includes repair of the southern end pilings and fender pier and a 4" concrete topping. There will be no extension or enlargement of the pier.

Enclosed are the following:

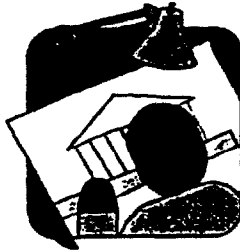
- S1 – Structural Repair Plan
- S2 – Sections and Enlarged Plan
- S3 – Existing Conditions Photographs
- Copy of Deed
- Application for Exemption from Site Plan Review
- Building Permit Application
- Building Code Certificate
- Accessibility Certificate
- Building Code Criteria
- Check #23311 for \$1,143.00

Please call if you have any questions,

Sincerely,



William K. Hopkins  
Architect



**CITY OF PORTLAND MAINE**

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: Archetype, P.A.

DATE: 8/22/02

Job Name: Maine Wharf

Address of Construction: Maine Wharf, Portland, ME

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below:

Building Code and Year Boca 1999 Use Group Classification(s) N/A

Type of Construction N/A Bldg. Height N/A Bldg. Sq. Footage N/A

Seismic Zone N/A Group Class N/A

Roof Snow Load Per Sq. Ft. N/A Dead Load Per Sq. Ft. 150 pcf

Basic Wind Speed (mph) N/A Effective Velocity Pressure Per Sq. Ft. N/A

Floor Live Load Per Sq. Ft. 50 psf

Structure has full sprinkler system? Yes N/A No \_\_\_\_\_ Alarm System? Yes N/A No \_\_\_\_\_  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

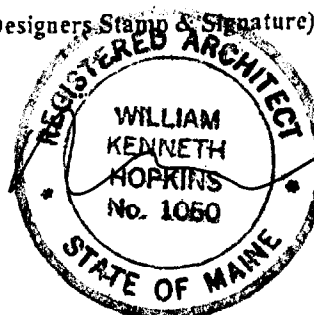
Is structure being considered unlimited area building: Yes \_\_\_ No N/A

If mixed use, what subsection of 313 is being considered \_\_\_\_\_

List Occupant loading for each room or space, designed into this Project. N/A

PSH 6/07/2K

(Designer's Stamp & Signature)





**CITY OF PORTLAND  
ACCESSIBILITY CERTIFICATE**

**Designer:** William K. Hopkins, Archetype

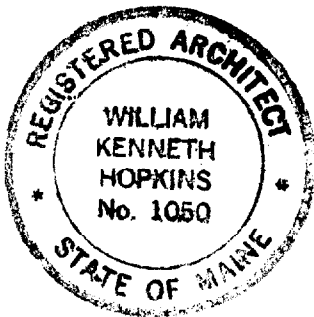
**Address of Project** Maine Wharf


**Nature of Project** Repair and replacement of wooden pilings.

**Date** 8/22/02

**The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.**

**(SEAL)**



**Signature** 

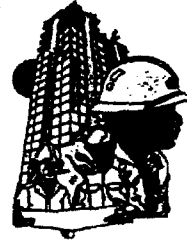
**Title** Architect

**Firm** Archetype, P.A.

**Address** 48 Union Wharf

Portland, ME 04101

**Telephone** (207) 772-6022



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE**  
389 Congress St., Rm 315  
Portland, ME 04101

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** Archetype, P.A.

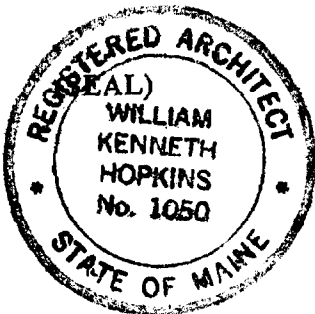
**RE:** Certificate of Design

**DATE:** 8/22/02

These plans and/or specifications covering construction work on:

Maine Wharf

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

Title Architect

Firm Archetype, P.A.

Address 48 Union Wharf, Portland, ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k

RECORDED  
 0000 SERIES  
 306 P.C.M.

### SHORT FORM DEED

Thomas E. Watson, Trustee of Point East Trust, duly authorized by all of the beneficiaries of Point East Trust, with a mailing address of 104 Grant Street, Portland, Maine, by the power conferred by law, and every other power, FOR CONSIDERATION PAID, grants to Wharf Holdings LLC, a Maine limited liability company of Portland, Maine, with Warranty Covenants, the following described real property located in the City of Portland, County of Cumberland, and State of Maine:

A certain lot or parcel of land, dock, wharf, and flats together with the buildings thereon, situated on or southerly of the southerly side of Commercial Street, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a drill hole on the southerly side line of Commercial Street marking the northwest corner of the lot of land conveyed by Eastern Steamship Lines, Inc., to The Portland State Pier Site District by deed dated September 1, 1921, and recorded in Cumberland County Registry of Deeds in Book 1082, Page 446; thence by Commercial Street southwesterly forty-two (42) feet to an angle therein; thence by Commercial Street southwesterly and deflecting to the north  $2^{\circ}20'$  from the last described course sixty-five and ninety-seven hundredths (65.97) feet to a spike; thence by other land now or formerly of Maine Wharf southeasterly and making an included angle with the last described course of  $95^{\circ}29'$ , eighty and twenty-five hundredths (80.25) feet to a spike; thence by other land now or formerly of said Maine Wharf southwesterly and making an included angle with the last described course of  $270^{\circ}09'$ , sixty-two and sixty-eight hundredths (62.68) feet to the division line between the premises herein conveyed and the premises now or formerly of the Custom House Wharf Proprietors; thence by said premises of the Custom House Wharf Proprietors southeasterly along the line denominated as Maine Wharf Property Line, determined by A.P. Robinson, C.E., S  $38^{\circ}02'$  East in 1857 and S  $36^{\circ}17'$  East in 1873 to the northerly Harbor Commissioners Line in said Portland Harbor as presently established; thence northeasterly by said Harbor Commissioners Line to the intersection thereof with the southeasterly extension of a line designated as "Franklin Wharf Line by Commissioners in 1880", all as shown on Plan made for Randall & McAllister by E.C. Jordan and Company dated December 1906; thence northwesterly by said extension of and by said line designated as "Franklin Wharf Line by Commissioners in 1880" to the point of beginning.

Granting also all right, title and interest in and to any dock, wharf and flats together with the buildings thereon, lying within the southerly, easterly and westerly side lines of the above described parcel, also granting all right, title and interest to any and all constructive easements associated with said premises to the extent permitted by law.

The above described property is, in whole or in part, SUBJECT TO, the rights of others, conditions, covenants and restrictions to which references made in the following statements, instruments or laws (these instruments or laws are hereby referred to for a more particular description):

The state of facts as shown on plan made for Randall & McAllister by E. C. Jordan and Company dated December, 1906;

- 2. The state of facts shown as shown on the survey entitled Plan of Property in Portland, Maine made for Maine Wharf Associates by H.I. & E.C. Jordan dated December 8, 1988 last revised June 29, 1995 as follows:

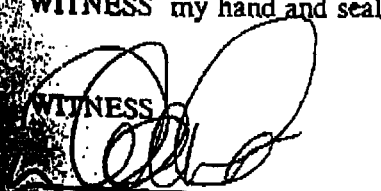
Stairwell, wharf, five lights on building along the northeasterly property line encroaches on the City of Portland property;

- 3. Title to and rights of the public and others entitled thereto in and to those portions of the property lying within the bounds of Commercial Street;
- 4. Rights of the public to navigate in Portland Harbor;
- 5. The Warranty Covenants in this Deed do not apply to any portion of the property which is between the southerly end of the wharf structure thereon and the Harbor Commissioners line; any portion of the property deemed to be Filled Land; and any portion of the property deemed to be an easement for a wharf on pilings;
- 6. Federal, state and local laws relating to the tidal land and land bounded along tidal water and the rights of the public in tidal land;
- 7. Notice of Abandoned Underground Oil Storage Facility or Tank dated January 24, 1992 and recorded in said Registry of Deeds in Book 9109, Page 208;

Meaning and intending to convey and hereby conveying the same premises conveyed to Grantor herin by deed of Maine Wharf Associates recorded in the Cumberland County Registry of Deeds in Book 14837, Page 72.

WITNESS my hand and seal this <sup>5<sup>th</sup></sup> day of April, 2002.

WITNESS



POINT EAST TRUST



Thomas E. Watson, Trustee



STATE OF MAINE  
Cumberland, ss.

April 8, 2002

Personally appeared the above named Thomas E. Watson, Trustee as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in said capacity and the free act and deed of Point East Trust.

Before me,



Notary Public/Attorney at Law

William Leete

Print name

My commission expires: \_\_\_\_\_

**APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW**

Archetype, P.A.  
Applicant

48 Union Wharf, Portland ME  
Applicant's Mailing Address

\_\_\_\_\_  
Consultant/Agent/Phone Number

8-22-02  
Application Date

Maine Wharf  
Project Name/Description

Maine Wharf  
Address of Proposed Site

Description of Proposed Development:

CBL: 30 Block D lot 2

Repair And replacement of  
wooden pilings

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4)

a) Within Existing Structures; No New Buildings, Demolitions or Additions

b) Footprint Increase Less Than 500 Sq. Ft.

c) No New Curb Cuts, Driveways, Parking Areas

d) Curbs and Sidewalks in Sound Condition/ Comply with ADA

e) No Additional Parking / No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>Yes</u>	
<u>N/A</u>	
<u>Yes</u>	
<u>NA</u>	
<u>NA yes</u>	
<u>Yes</u>	
<u>N/A</u>	
<u>Yes</u>	

**Planning Office Use Only:**  
Exemption Granted \_\_\_\_\_ Date of Decision \_\_\_\_\_

030-10-001

A R C H I T E C T Y P E

---

August 19, 2002

City of Portland  
389 Congress Street  
Portland, ME 04101



**RE: Proposed Work on the Maine Wharf, Portland, ME**

To Whom It May Concern:

Proposed work on Maine Wharf includes repair of the southern end pilings and fender pier and a 4" concrete topping. There will be no extension or enlargement of the pier

Public Hearing is scheduled for September, 12, 2002, 5:00 pm at the Board of Harbor Commissioners Building.

Sincerely,



William K. Hopkins  
Architect

**BOARD OF HARBOR COMMISSIONERS  
HARBOR OF PORTLAND**

**Application for Permit**

**PLEASE PRINT**

1. Name of Applicant Archetype, P.A.

2. Mailing Address of Applicant 48 Union Wharf, Portland, ME 04101

3. Applicant's telephone # 772-6022 Applicant's fax # 772-4056

4. Location of project for which permit is requested Maine Wharf

a. Attach enlargement of Portland Harbor chart showing exact location.

5. Description of project for which permit is requested (use a separate sheet if necessary)  
Repair and replacement of wooden pilings

6. Attach the following:

- a. For projects under \$10,000 - a detailed scale drawing on graph paper
- b. For projects over \$10,000 - a detailed scale drawing prepared by a registered engineer

7. All applications must be accompanied by a tax assessor's map and/or an engineer's drawing which shows the distances between the project and abutters' landmarks (piers, floats, dolphins, etc.)

8. List the names and addresses of all abutters and lessees or other persons having an interest in property on which the project is located (use a separate sheet if necessary).

- a. BMC, Inc., 94 Commercial Street, Portland, ME 04101
- b. Casco Bay Garage Association, C/O Fore River Co., P.O. Box 7252, Portland, ME 04110
- c. City of Portland, 389 Congress St., Portland, ME 04101
- d. James Finley & Dale Weeks, 166 Spurwink Rd., Scarborough, ME 04074
- e. Point East Trust, 104 Grant Street, Portland, ME, 04101
- f. Proprietors of Custom House Wharf, 5 Eastern Promenade, Portland, ME, 04101

9. Estimated cost of the project \$ 60,000

10. For all permit applications involving projects which cost more than \$10,000, the applicant must submit a survey, certified by a registered engineer or a registered land surveyor, which shows the location of the proposed project. The Harbor Commission, at its discretion, may require surveys to be submitted regarding other projects in cases where the project is close to a channel, in a congested area, close to a property line, or in cases where similar factors are present.

11. Attach copies of all applications, regarding this project, which have been submitted to the U.S. Army Corps of Engineers, Maine Department of Environmental Protection, Maine Bureau of Submerged Lands, City Planning Board, etc.

12. Please note:

a. All applications must be submitted no less than 14 days before the Harbor Commission's next Workshop. Workshops are held on the last Tuesday of each month. However, there is no Workshop in December.

b. The permit application fee and legal advertisement fee must be paid when the application is submitted (see attached fee schedule).

c. By filing this application with the Harbor Commission, the applicant certifies that a copy of the application (without exhibits), as well as information about the time, date, and location of the pertinent Harbor Commission Public Hearing, has been sent to all abutters, lessees, and other persons having an interest in the property on which the project is located. Notification must be made no less than 14 days before the Harbor Commission's next Public Hearing. Public Hearings are held on the second Thursday of each month.

**The Harbor Commission strongly recommends that notification be made via certified mail (return receipt requested) or hand-delivered personally. Failure to make proper notification of all abutters, lessees, and other users will invalidate your permit.**

13. If this application is approved and a permit is issued:

a. The permit must be posted at the construction site.  
b. The permit will require that the construction project be surrounded by a containment boom unless the requirement has been waived, in writing, by the Harbor Commission.

c. The permit may be limited by restrictions specific to the project.  
d. The permit will be subject to all applicable Local and Federal regulations.

e. Nothing in the permit shall be construed to justify or authorize any invasion to the private rights of others.

f. Nothing in the permit will limit or modify the authority of the Board of Harbor Commissioners within their applicable statute.

g. Unless otherwise stipulated, the permit has an automatic expiration date of one year from the date of approval. Only if the Harbor Master has been notified in advance of the expiration date, may he/she issue a six-month extension upon review of the project.

13. The following statement appears on all permits granted by the Board of Harbor Commissioners:

"This permit is a limited authorization which contains a stated set of conditions with which the permit holder must comply. If a contractor performs the work for you, both you and the contractor are responsible for assuring the work is done in conformance with the conditions and limitations of this authorization. Please be sure the person who be performing the work has read and understands these conditions.

Performing any work not specifically authorized by this permit, or that fails to comply with its conditions, may subject you to the enforcement provisions of Harbor Commission regulations. If any change in plans or construction methods is found necessary, please contact the Harbor Commission immediately to discuss modifications to your authorization. Any change must be approved by the Harbor Commission before it is undertaken."

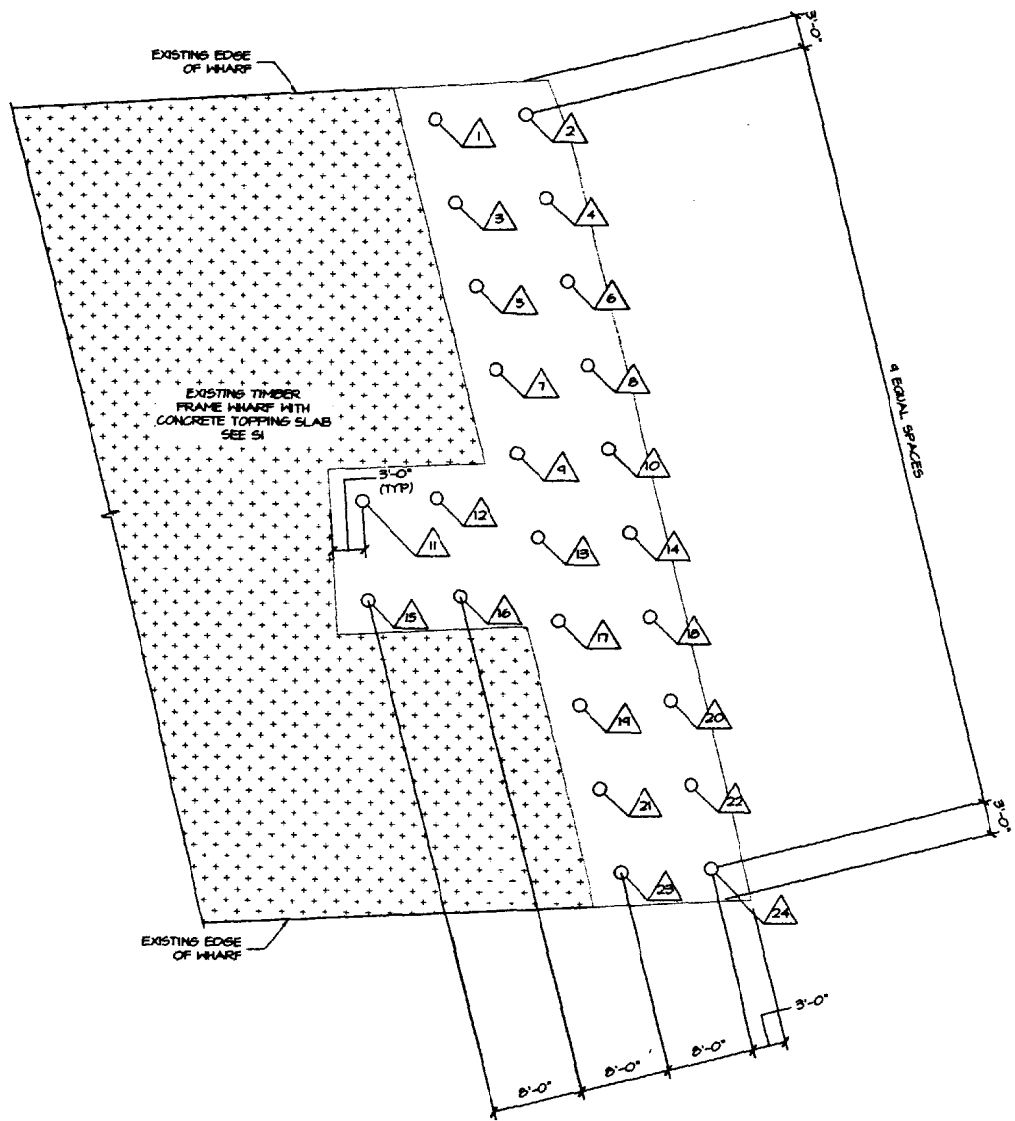
Date 8-16-02

William K. Hopkins  
Name of Applicant (please print)

W.K. Hopkins, Architect  
Signature and Title of applicant's agent

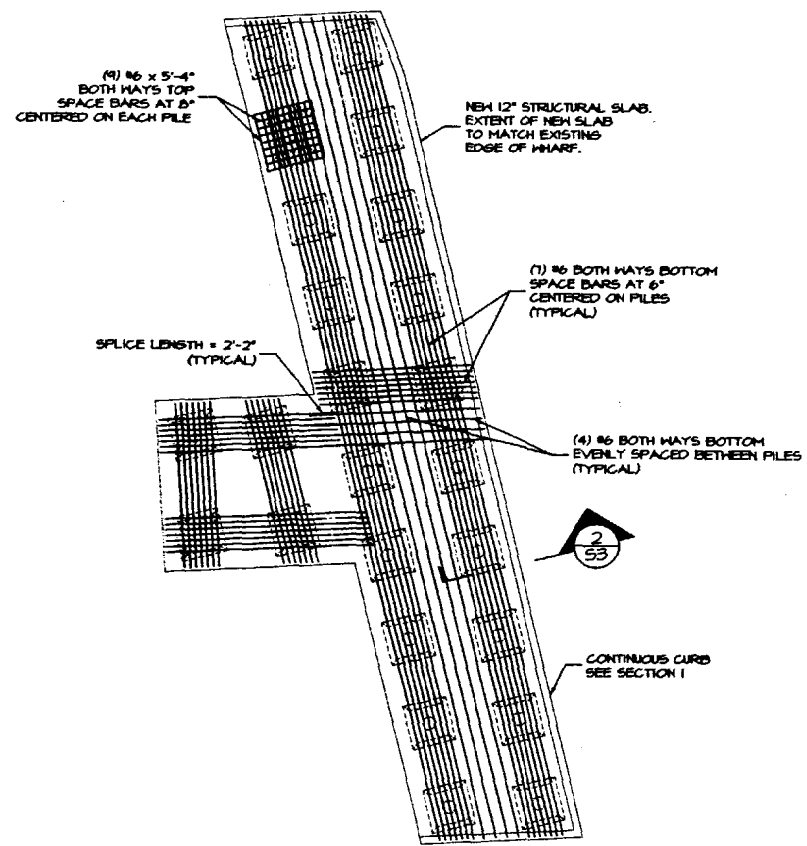
Agent's telephone number 772 6020

Agent's fax number 772 4054



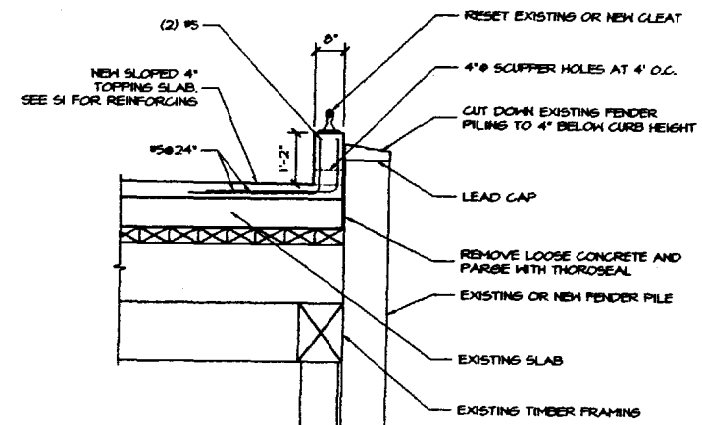
WHARF SUPPORT PILE LAYOUT PLAN  
1/8"=1'-0"

△ INDICATES PILE NUMBER. CONTRACTOR TO KEEP ACCURATE RECORD OF PILE DRIVING.

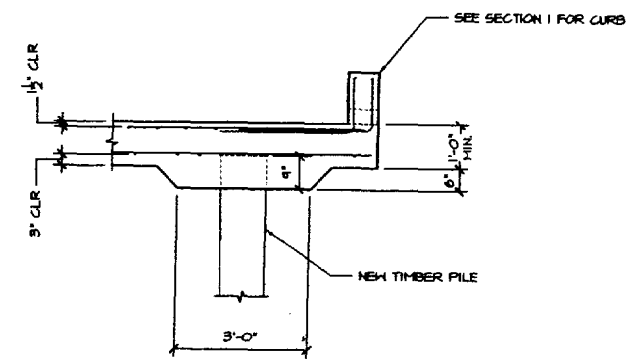


STRUCTURAL SLAB PLAN  
1/8"=1'-0"

TYPICAL TOP REINFORCING IS #5@12" BOTH WAYS.  
DO NOT GET CONTROL JOINTS AT STRUCTURAL SLAB.

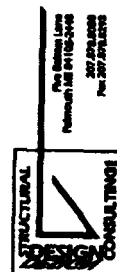


SECTION 1  
1/2"=1'-0" S1



SECTION 2  
1/2"=1'-0" S3

SEE PLAN FOR REINFORCING SIZES AND SPACINGS.



The Maine Wharf  
Portland, Maine

description  
Issued For Permitting  
Issued For Construction

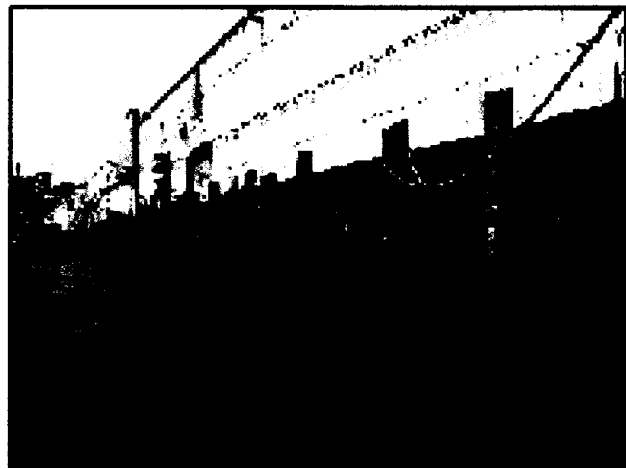
date  
8/15/02  
8/29/02

revision number

sheet title

Sections and Enlarged Plans

S2



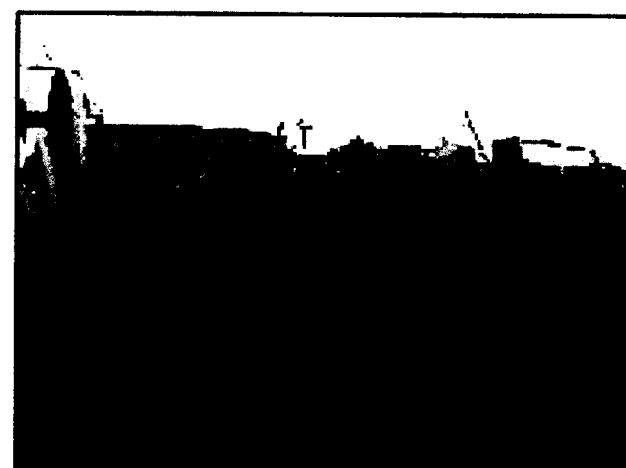
PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



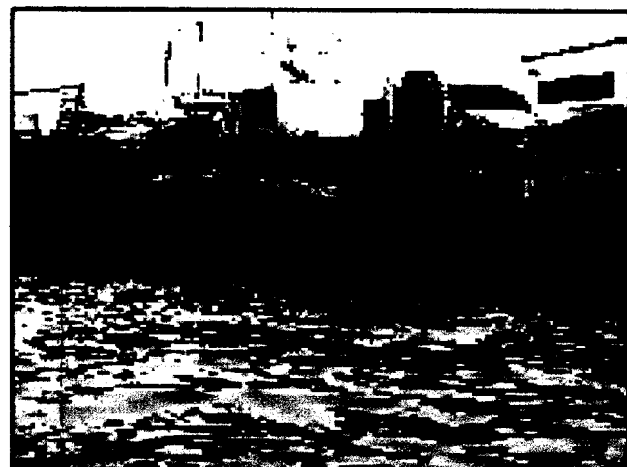
PHOTOGRAPH 4



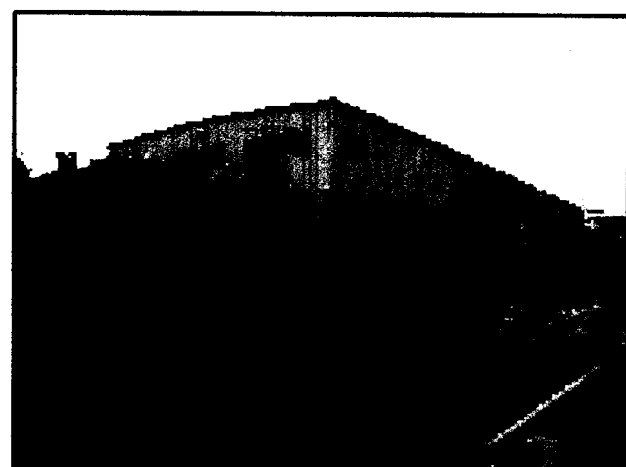
PHOTOGRAPH 5



PHOTOGRAPH 6



PHOTOGRAPH 7



PHOTOGRAPH 8



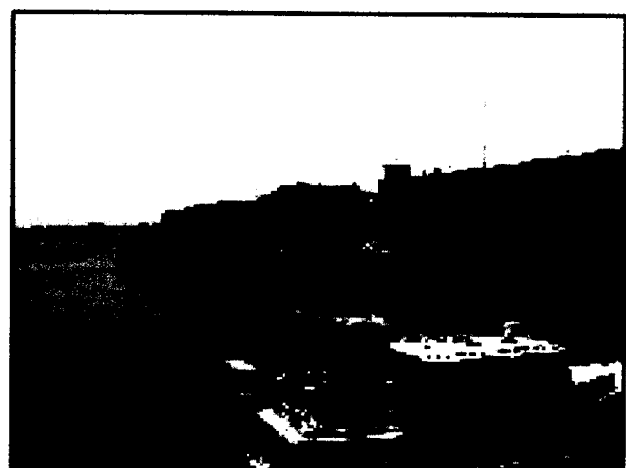
PHOTOGRAPH 9



PHOTOGRAPH 10



PHOTOGRAPH 11



PHOTOGRAPH 12



The Maine Wharf  
Portland, Maine

Drawn	Checked	Approved
8/14/02	8/14/02	8/14/02
8/20/02		
Submitted For Permitting		
Submitted For Construction		
Sheet No.		
Existing Conditions Photographs		

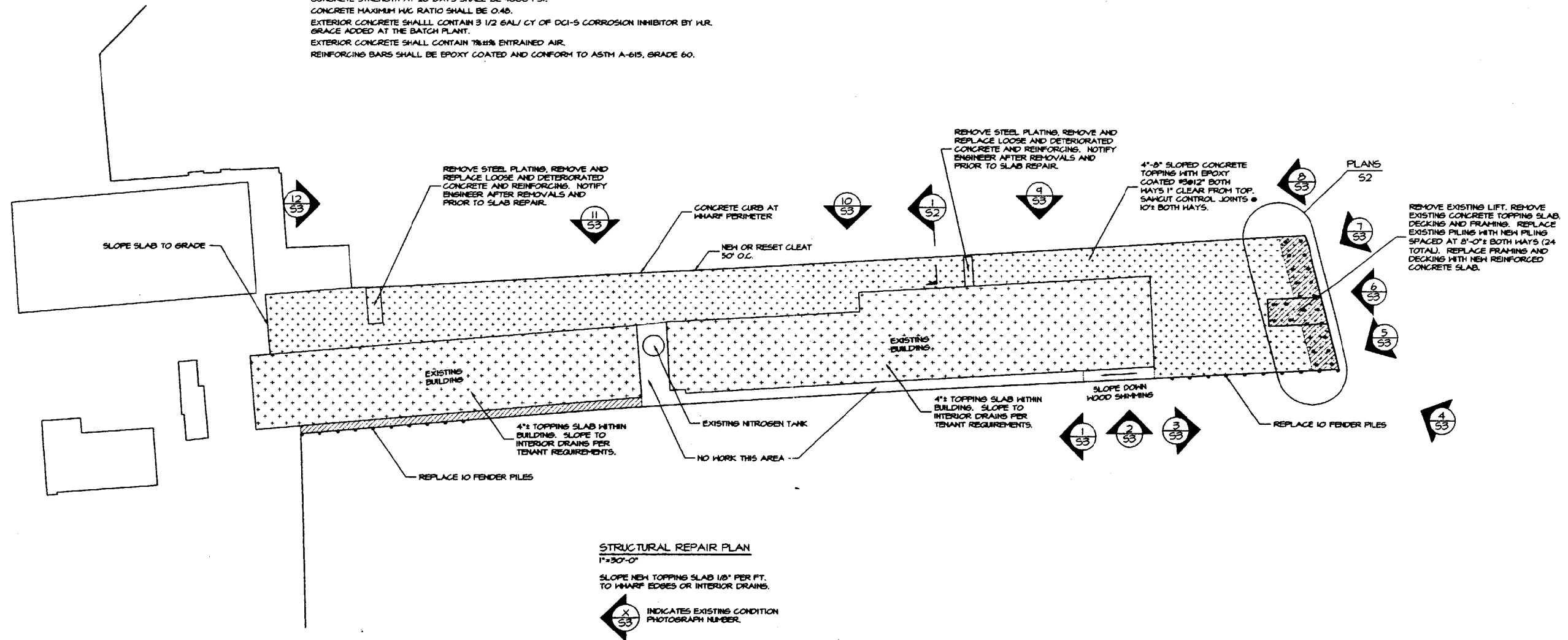
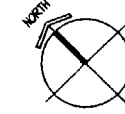



GENERAL NOTES:  
 ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.  
 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

DESIGN CRITERIA:  
 BUILDING CODE: 1999 BOCA NATIONAL BUILDING CODE  
 DESIGN LOADS:  
 A. SNOW LOAD:  
 GROUND SNOW LOAD, P<sub>g</sub> 60 PSF  
 SNOW EXPOSURE FACTOR 0.7  
 SNOW LOAD IMPORTANCE FACTOR 1.0  
 B. LIVE LOADS:  
 WHARF PARKING 50 PSF

PILE CRITERIA:  
 REPLACEMENT FENDER PILES -  
 NEW PEELED OAK PILING WITH A MINIMUM DIAMETER OF 12" AT 24" FROM BUTT AND A MINIMUM TIP DIAMETER OF 5".  
 REPLACEMENT WHARF SUPPORT PILES -  
 NEW, TYPE B, SOUTHERN YELLOW PINE, NATURAL TAPER PILES IN CONFORMANCE WITH ASTM D-25.  
 TREAT WITH 2 1/2 PCF OF CCA IN ACCORDANCE WITH ANPA C3, MARINE USE.  
 DRIVE TO A CAPACITY OF 15 TONS BASED ON WAVE EQUATION ANALYSIS.  
 SUBMIT DRIVING RECORDS TO ENGINEER.

CONCRETE NOTES:  
 ALL CONCRETE WORK SHALL CONFORM TO ACI 318-99.  
 CONCRETE STRENGTH AT 28 DAYS SHALL BE 4000 PSI.  
 CONCRETE MAXIMUM W/C RATIO SHALL BE 0.48.  
 EXTERIOR CONCRETE SHALL CONTAIN 3 1/2 GAL/ CY OF DCI-5 CORROSION INHIBITOR BY W/R. GRACE ADDED AT THE BATCH PLANT.  
 EXTERIOR CONCRETE SHALL CONTAIN 18.8% ENTRAINED AIR.  
 REINFORCING BARS SHALL BE EPOXY COATED AND CONFORM TO ASTM A-615, GRADE 60.



STRUCTURAL REPAIR PLAN  
 1"=30'-0"  
 SLOPE NEW TOPPING SLAB 1/8" PER FT. TO WHARF EDGES OR INTERIOR DRAINS.  
 INDICATES EXISTING CONDITION PHOTOGRAPH NUMBER.



The Maine Wharf  
 Portland, Maine

revision number	description
1	Issued For Permitting
2	Issued For Construction

date: 8/15/02 / 8/20/02  
 sheet title: Structural Repair Plan  
 S1