

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0638	Issue Date: JUN 12 2001	CB#: 010 D001001
-----------------------	----------------------------	------------------

Location of Construction: 68 Commercial St	Owner Name: Point East Trust	Owner Address: 288 State St CITY OF PORTLAND	Phone: 767-871-1001
Business Name: n/a	Contractor Name: CPM Constructors	Contractor Address: 30 Bonney Rd. Freeport	Phone: 2078650000
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Building Miscellaneous	Zone: WCT

Past Use: Commercial: Formerly Seafood Processing and Storage.	Proposed Use: Marine & Accessory: Demo. Of wharf components installation of new pilings & Wharf Components. Call Wayne at 767-6068	Permit Fee: \$5,736.00	Cost of Work: \$952,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type:	

Proposed Project Description: Demolition of Wharf Components, Installation of New Pilings & Wharf Decking.	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: cih	Date Applied For: 06/01/2001	Zoning Approval	
-------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK with conditions</i> <i>6/11/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
--	---	---	---

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

01-0638

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Southeastern end of Custom House Wharf, Portland

Total Square Footage of Proposed Structure Reconstructed Wharf: 8872+/- (157'x56'+/-)	Square Footage of Lot Entire Wharf - 146,186
--	---

Tax Assessor's Chart, Block & Lot Number Chart# 30 Block# A Lot# 1-2	Owner: The Proprietors of Custom House Wharf	Telephone#: 207-871-1001 (Kenneth Macgowan)
---	---	---

Lessee/Buyer's Name (If Applicable) N/A	Owner's/Purchaser/Lessee Address: 5 Eastern Promenade Portland, ME 04101	Cost Of Work: \$ 952,000 Fee: \$ 5736
--	--	--

Current use: VACANT SPACE (FORMERLY SEAFOOD PROCESSING & STORAGE)

If the location is currently vacant, what was prior use: SEAFOOD PROCESSING & STORAGE
Approximately how long has it been vacant: REMOVAL OF PRIOR STRUCTURE COMMENCED 1999, FINAL DEMOLITION OF REMAINING COMPONENTS IS ONGOING.

Proposed use: MARINE & ACCESSORY - SEE PLANNING BOARD SITE PLAN APPROVAL DATED 10/5/1999.

Project description: PERMIT IS SOUGHT FOR PHASE I OF BUILDING PROJECT: DEMOLITION OF WHARF COMPONENTS, INSTALLATION OF NEW PILINGS & WHARF DECKING. FULL CONSTRUCTION EXPECTED TO COMMENCE IN SEPTEMBER, 2001.

Contractor's Name, Address & Telephone: CPM CONSTRUCTORS 207-865-0000
30 BONNEY ST.
FREEPORT, ME 04032

Applicants Name, Address & Telephone: THE PROPRIETORS OF CUSTOM HOUSE WHARF 207-871-1001
5 EASTERN PROMENADE (K, Macgowan)
PORTLAND, ME 04101

Who should we contact when the permit is ready: WAYNE DUFFETT (TEG ASSOCIATES); F. JAY MEYER, ESQ.
Telephone: 207-767-6068 (DUFFETT); 207-774-7600 (MEYER)

If you would like the permit mailed, what mailing address should we use:
KENNETH MACGOWAN
MAINE HOME MORTGAGE
5 MILK ST.
PORTLAND, ME 04101

Rec'd By:
[Signature]
6/1/01

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date: 6-1-01

BUILDING PERMIT REPORT

DATE: 7 June 2001 ADDRESS: 68 Commercial ST. CBL: 030-D-001
REASON FOR PERMIT: Demolition of Wharf Components - Drive Piles & Manfolding
BUILDING OWNER: Point East Trust
PERMIT APPLICANT: _____ CONTRACTOR: CPM Constructors
USE GROUP: U CONSTRUCTION TYPE: _____ CONSTRUCTION COST: 952,000.00 PERMIT FEES: 5,736.64

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

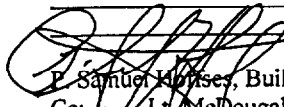
This permit is being issued with the understanding that the following conditions shall be met: X1, #37, #38, #39, #40

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

d/1/01

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements.
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

* 38. ~~This permit is for foundation piles and wharf components~~
 39. ~~Special inspections shall be done on this project as per section 1705.0 of the bldg. code. All reports shall be copied to this office care of Sam Haffses~~
 40. ~~Concrete-filled steel pipe and tube piles shall comply with section 1819.0 of the bldg. code.~~



E. Samuel Haffses, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

LAND USE - ZONING REPORT

ADDRESS: 68 Commercial Ct DATE: 6/11/01

REASON FOR PERMIT: Demolition of Wharf Components - Drive Piles: wharf deck

BUILDING OWNER: Pontstout Trust C-B-L: 030-D-001

PERMIT APPLICANT: _____

APPROVED: with conditions #1, #12, #13

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.
12. Other requirements of condition: The Area And footprint of The Existing wharf shall not be increase. Any increases shall require a separate site plan review.
13. Any uses, Exterior or interior, such as outside dining, or new parking areas, shall apply for separate permits and approval
Marge Schmuckal Marge Schmuckal, Zoning Administrator

THOMPSON, BULL, FUREY, BASS & MACCOLL, LLC, P.A.

COUNSELORS AT LAW

NICHOLAS BULL
MARK G. FUREY *
JOHN R. BASS, II
EDWARD S. MacCOLL
F. JAY MEYER **

* ALSO ADMITTED IN MA
** ALSO ADMITTED IN VT

PETER P. MICHAUD
OF COUNSEL

120 EXCHANGE STREET
6th Floor
P.O. BOX 447
PORTLAND, MAINE 04112-0447

TELEPHONE (207) 774-7600
FACSIMILE (207) 772-1039

BENJAMIN THOMPSON
RETIRED

BENJAMIN THOMPSON
(1857-1918)
NATHAN W. THOMPSON
(1895-1969)

June, 2001

Michael Nugent
Inspection Services
City of Portland
389 Congress Street, Rm. 315
Portland, ME 04101

Re: Custom House Wharf, CBL 30-A-1

Dear Mr. Nugent:

Enclosed please find a Building Permit Application for wharf reconstruction at Custom House Wharf in Portland. Additionally, I am enclosing a check in the amount of \$5,736.00 to cover your application fee.

This wharf reconstruction is the first phase in a project to replace an old building at the southeastern end of Custom House Wharf. The City's Planning Department has performed a site plan review of this project, which is the subject of an approval letter from the Planning Board dated October 5, 1999. I have been working with William Needelman in the Planning Department to coordinate the project.

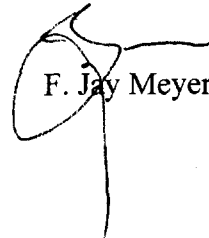
I am today delivering to Mr. Needelman a check to cover the City's inspection fee for this phase of the project. Additionally, he and I are arranging a performance guarantee. I am hopeful that the guarantee will be in place early next week. At that time, I understand that the Building Permit can issue subject to your office's requirements. I will notify you as soon as the performance guarantee is in place.

In the meantime, demolition work at the site is continuing pursuant to a demolition permit issued by your office earlier this week. As discussed with Sam Hoffses this morning, the contractor (i.e., CPM Constructors) plans to drive a very limited number (approximately two) of test piles in the course of that demolition, which test piles may be driven as early as Monday or Tuesday of next week. From my conversation with Mr. Hoffses, I understand that it is acceptable for that very limited number of test piles to be driving pending issuance of the Building Permit.

Michael Nugent
City of Portland - Inspection Services
June 1, 2001
Page 2

Thank you for your attention to this matter. If you have any questions or comments, please do not hesitate to contact me.

Sincerely,



F. Jay Meyer

Enclosures

cc: Kenneth Macgowan (w/o enclosures)
William Needelman (w/o enclosures)
Wayne Duffett (w/o enclosures)
Glenn Berry (w/ enclosures)



CITY OF PORTLAND

May 31, 2001

F. Jay Meyer
Thompson, Bull Furey, Bass & MacColl, LLC, P.A.
120 Exchange Street
P.O. Box 447
Portland, Maine 04112-0447

Re: 47 Custom House Wharf performance guarantee.
CBL 30-A-1

Dear Jay:

Thank you for supplying the cost estimates for installation of the stormwater treatment device required for the approved site plan at 47 Custom House Wharf. As per our conversation on May 30, 2001, the installation of the stormwater treatment tank will be the only construction improvement requiring coverage under a performance guarantee and City engineering staff has approved your supplied cost estimate for the Vortechs tank.

Please find enclosed two documents: (1) a letter describing the performance guarantee process including sample forms, and (2) a blank Stormwater Drainage System Maintenance Agreement form. The performance guarantee ensures the proper installation of the device, and the maintenance agreement ensures its continued effective operation. Please review these documents and call if you have any questions.

Additionally, as you have stated that your client intends to construct the project in phases, (the deck first with the building to follow) please make your client aware of the following issues. The site plan approval only permits the parking of 22 cars on this portion of the site. As parking is a conditional use within the WCZ zone and not covered under your site plan approval, these spaces are intended to serve the pier's marine facilities and are not to be available to the general public.

On a final note, it came to our attention that the last lighting submission, dated July 14, 2000, included three non-cut off fixtures at the pier end – fixture “c.” Please submit an alternative fixture choice for the southerly end of the pier that provides full cut off shading. If you have any questions, please contact me at any time.

Sincerely:

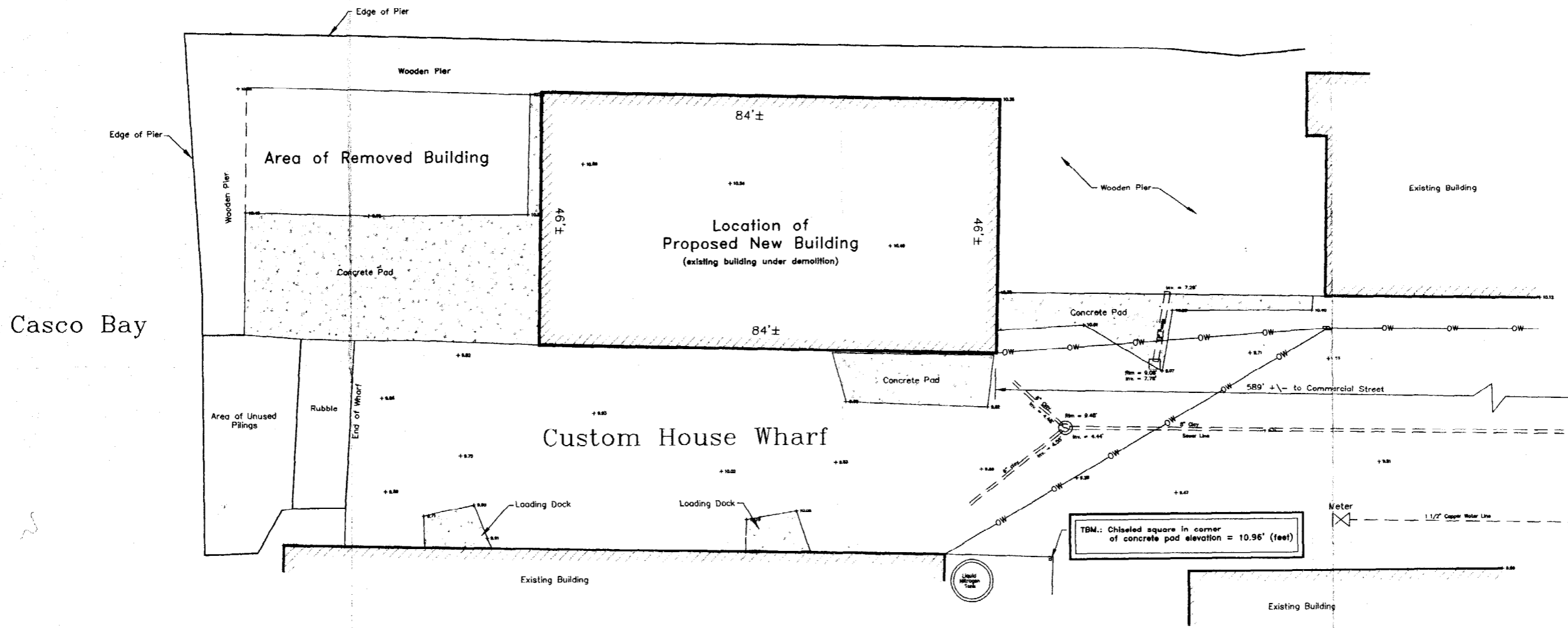
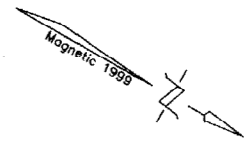


William B. Needelman, Senior Planner

Cc: Alexander Jaegerman, Chief Planner
Sara Hopkins, Development Review Services Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
— Michael Nugent, Inspection Services Manager

LEGEND

⊕	Utility Pole
□	Catch Basin
▨	Existing Building
⊙	Sewer Manhole
—OW—	Overhead Wire
—W—	Water Line
+ 10.00	Spot Elevation (feet)



Casco Bay

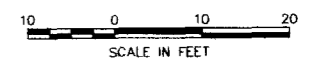
Custom House Wharf

Notes:

1. Bearings are referenced to Magnetic North 1999.
2. Deed and Plan Book references are to the Cumberland County Registry of Deeds.
3. Elevations are in feet above mean sea level (City of Portland datum). Benchmark: P.K. Nail in Pole J-1 Pier Elevation = 8.61' (feet).
4. This is Not a Standard Boundary Survey. Surveyor's seal is for Existing Conditions Survey only.

References:

1. Plan of Land on Commercial Street, Portland, Maine, made for City of Portland by Owen Hoskel, Inc., dated August, 1984.

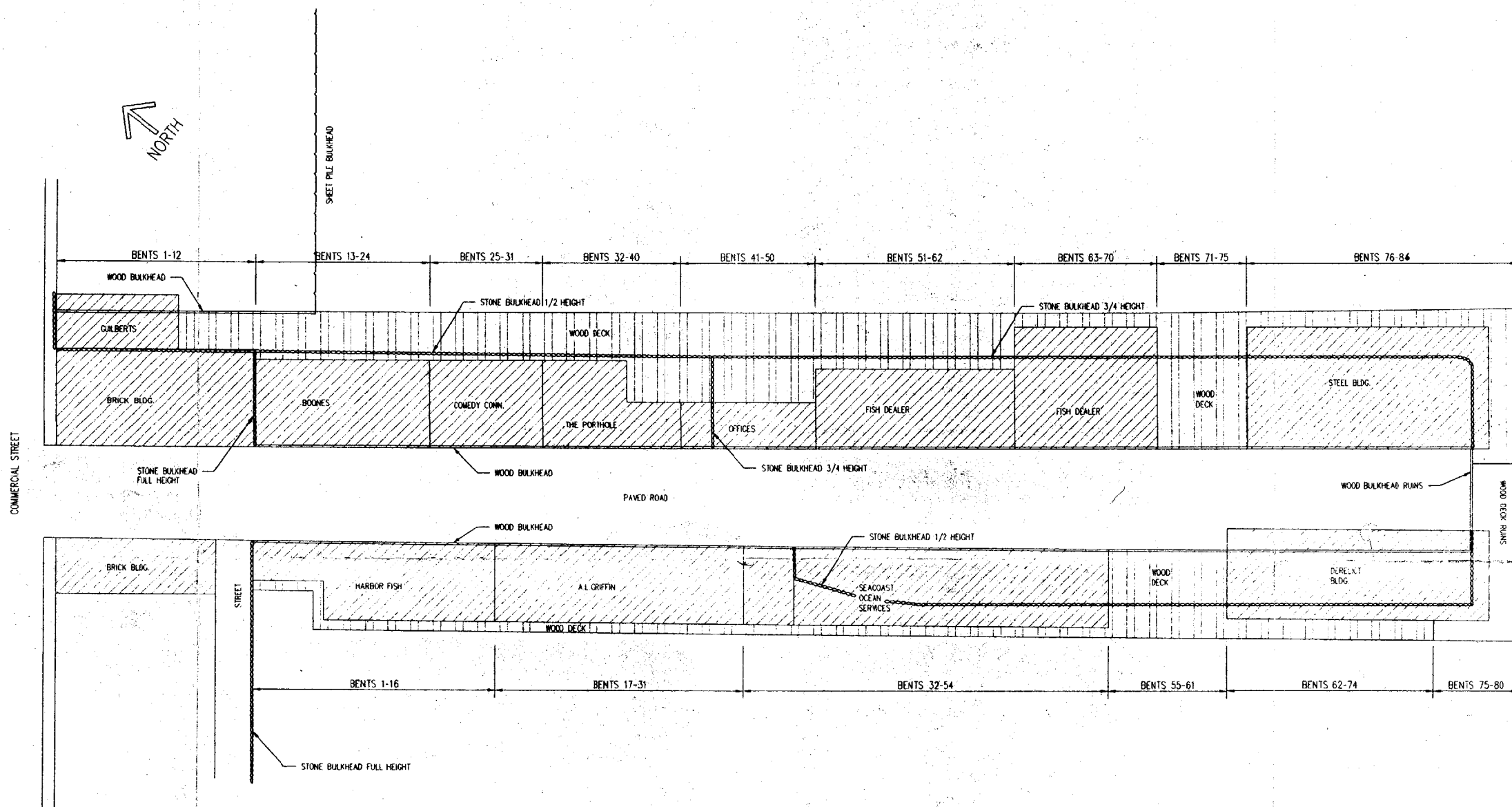


CERTIFICATION

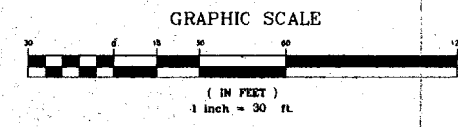
This is Not a Standard Boundary Survey. Surveyor's seal is for Existing Conditions Survey only.

[Signature]
David E. Thorne PLS 1273

EXISTING CONDITIONS SURVEY CUSTOM HOUSE WHARF PORTLAND, MAINE		
MADE FOR THOMPSON McNABOE ASHLEY & BULL 120 EXCHANGE STREET PORTLAND, MAINE 04112		
JOB# 99004	DATE: 2/18/99	SCALE: 1"=10'
BOOK# 658	Titcomb Associates Portland North Business Park Falmouth, Maine 04105	
DISC#		
FILE# 7878		



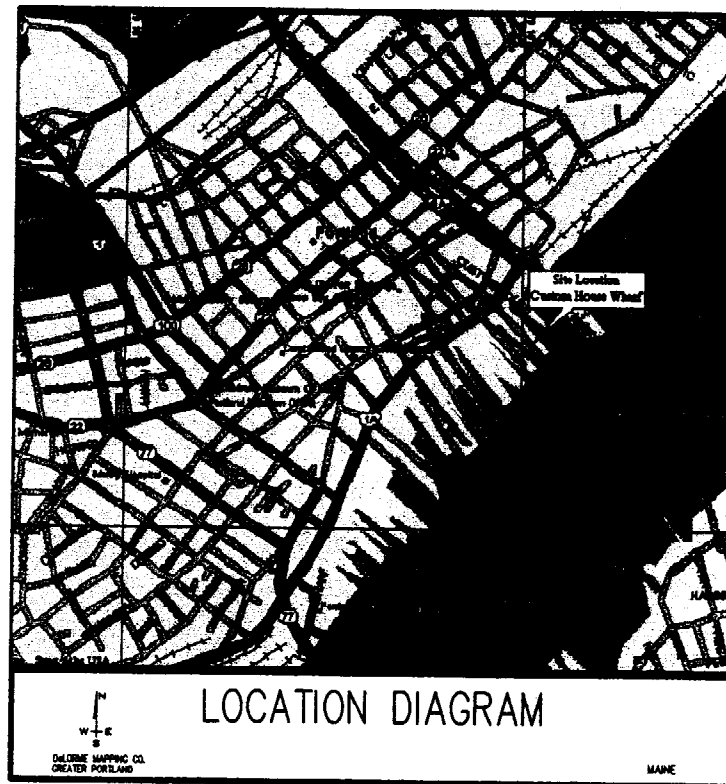
PORTLAND HARBOR
 17-000
 1800



C.B. MARINE CORPORATION PORTLAND, MAINE			
CUSTOM HOUSE WHARF PLAN VIEW			
		<small>CONSULTING ENGINEERS</small> <small>169 FRONT STREET SOUTH PORTLAND, MAINE 04106</small>	
SCALE 1"=30'	DATE 2/26/97	REV. NO.	DRAWING NO.
JOB NUMBER	DESIGNED BY JOL	REV. NO.	1 OF 1

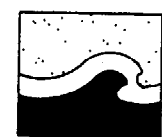
CUSTOM HOUSE WHARF PORTLAND, MAINE

MARINE USE FACILITY



LIST OF DRAWINGS

1. PILE AND PILE CAP PLAN
2. PILE CAP A
3. PILE CAP B
4. PILE CAP C
5. PILE CAP D & E
6. PILE CAP 22
7. PILE CAP 1
8. PILE CAP DETAILS
9. PRECAST DECK PLANKS
10. CAST-IN-PLACE DECK
11. FENDER & CLEAT DETAILS
12. FENDER & LADDER DETAILS



TEC ASSOCIATES

46 SAWYER STREET

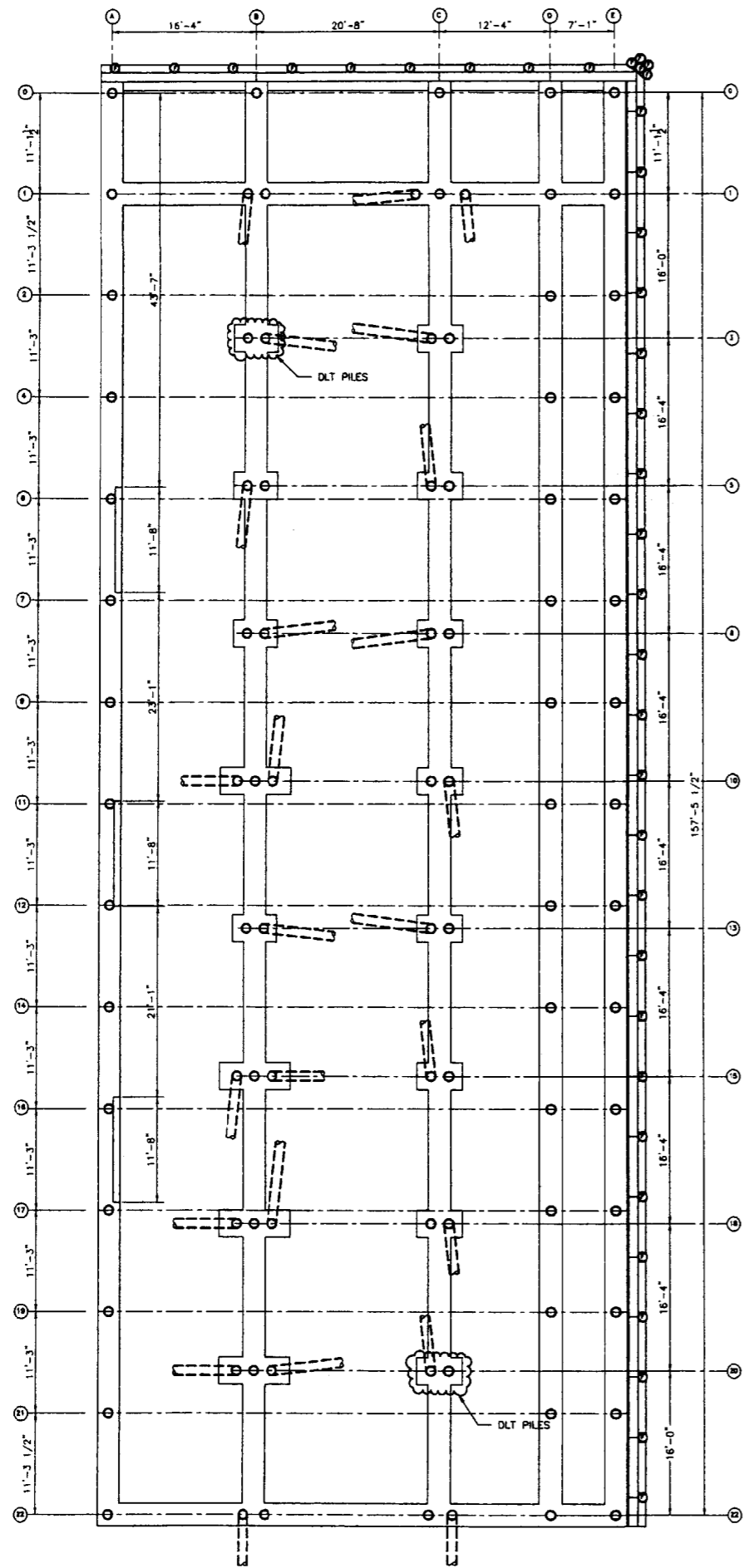
SOUTH PORTLAND, MAINE

CONSULTING
ENGINEERS

04106



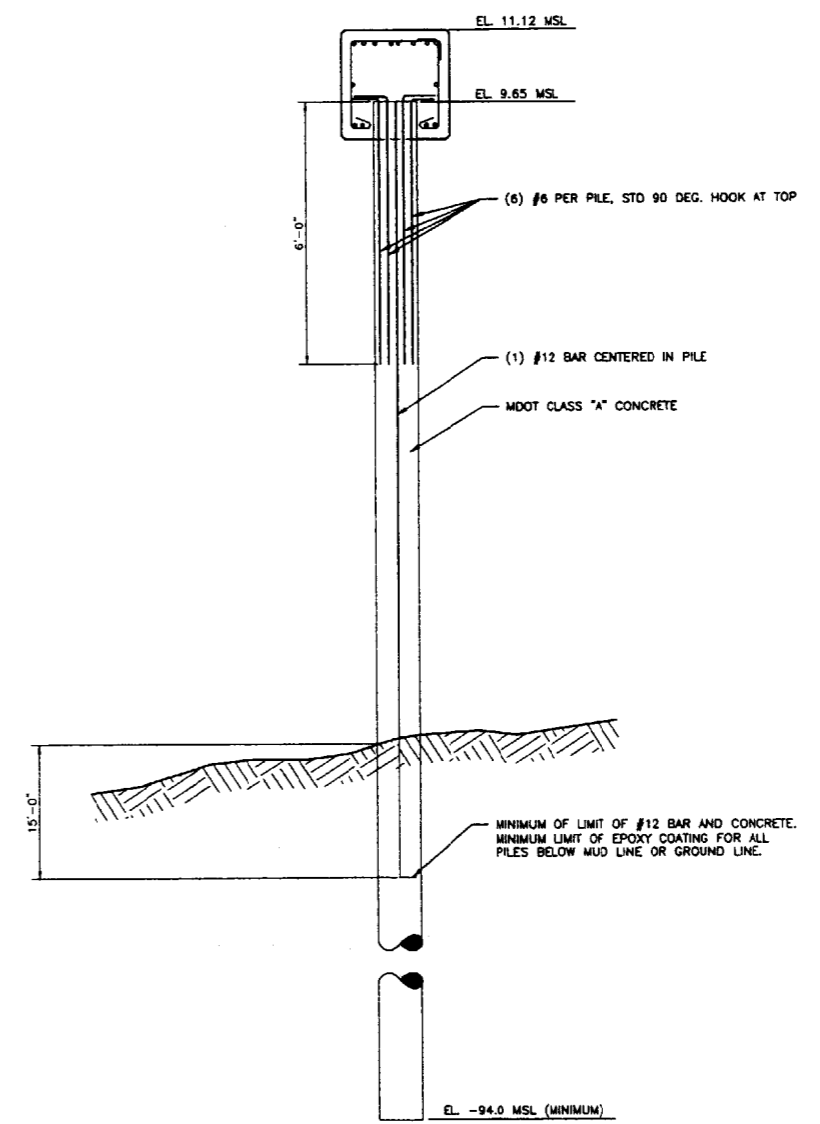
TEC ASSOCIATES CONSULTING ENGINEERS <small>46 SAWYER STREET SOUTH PORTLAND, MAINE 04106</small>			
SCALE	N.T.S.	DATE	5/26/98
DESIGNED BY	JOE	CHECKED BY	JOE
DRAWN BY	JDL	DATE	5/26/98
NO. 9814-1			COVER



LEGEND

- PIPE PILE 12" DIA. A252 GRADE 3
- ⊕ WOOD FENDER PILE

NOTE: BATTER PILES 3:12 (TYP)



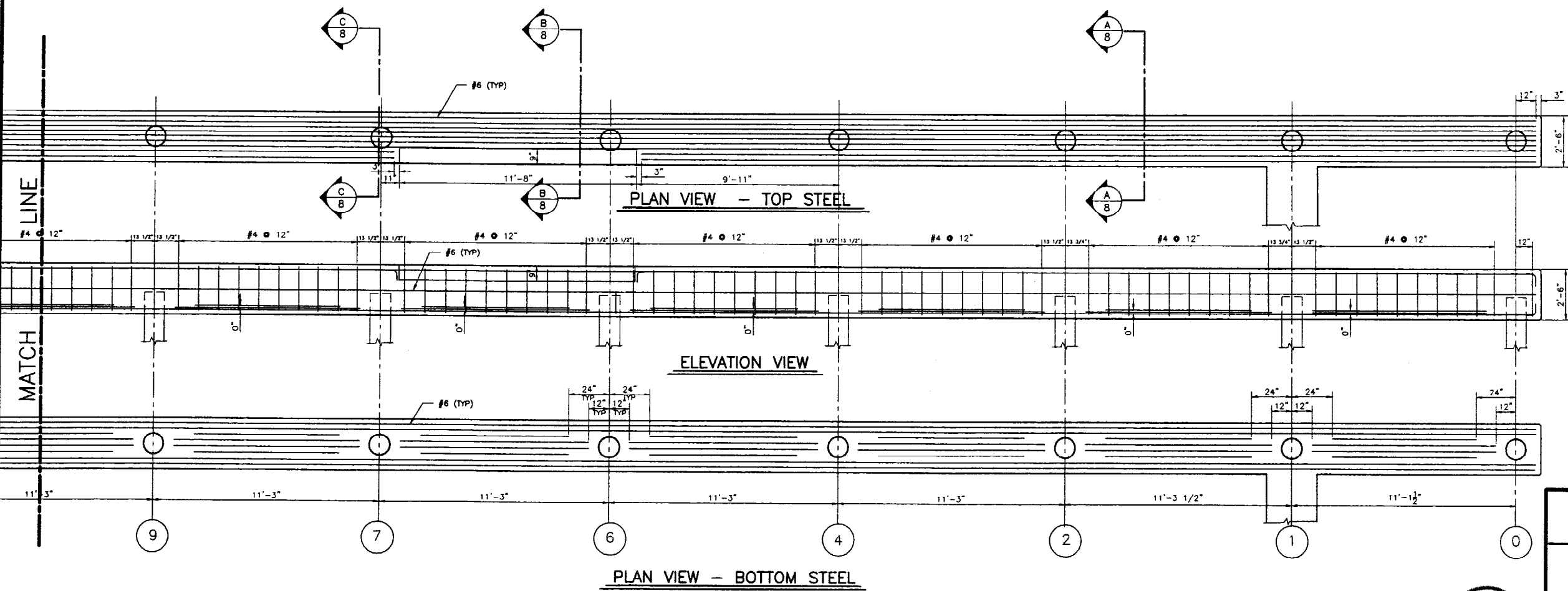
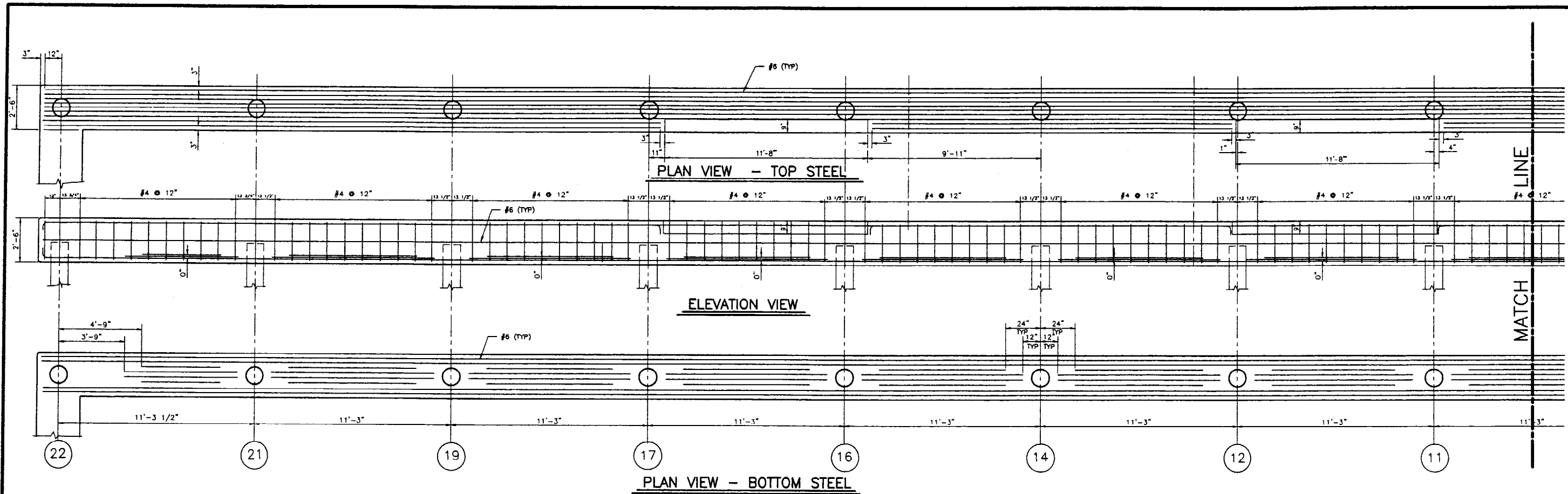
PIPE PILE CROSS SECTION

NTS

S:\S05\PROJ\CUSTOMHOUSE24.dwg Thu Jun 04 09:13:34 2001 TEC ASSOCIATES



CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY PILE AND PILE CAP PLAN	
SCALE 1/8"=1'-0"	DATE 27 DECEMBER 98
DESIGNED BY JCL	DRAWN BY JCL
9902-2	1

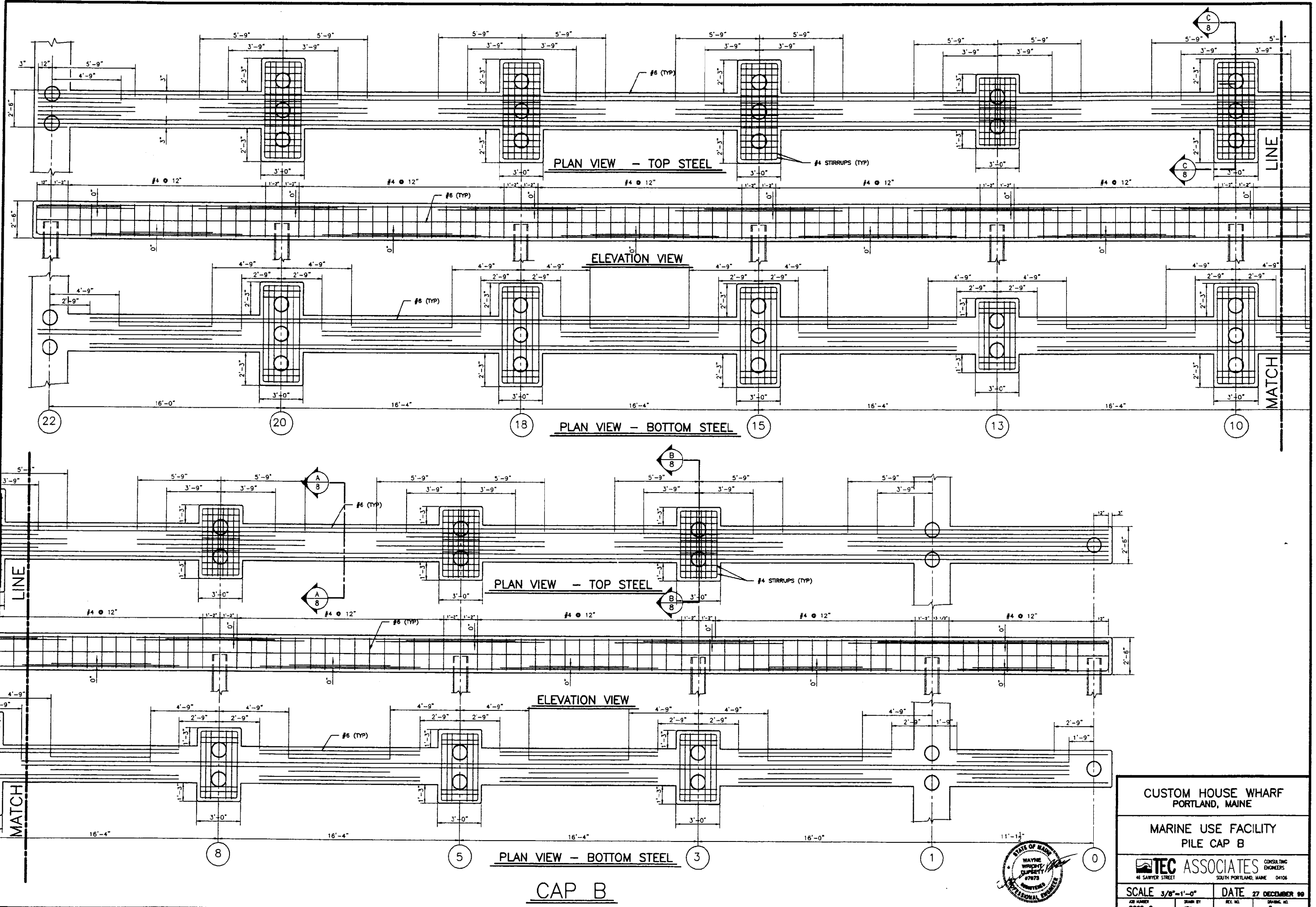


CAP A

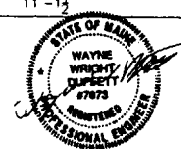


CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY PILE CAP A	
TEC ASSOCIATES CONSULTING ENGINEERS 46 SAWYER STREET SOUTH PORTLAND, MAINE 04106	
SCALE 3/8"=1'-0"	DATE 27 DECEMBER 99
JOB NUMBER 9902-2	DRAWN BY JLL REV. NO. 2

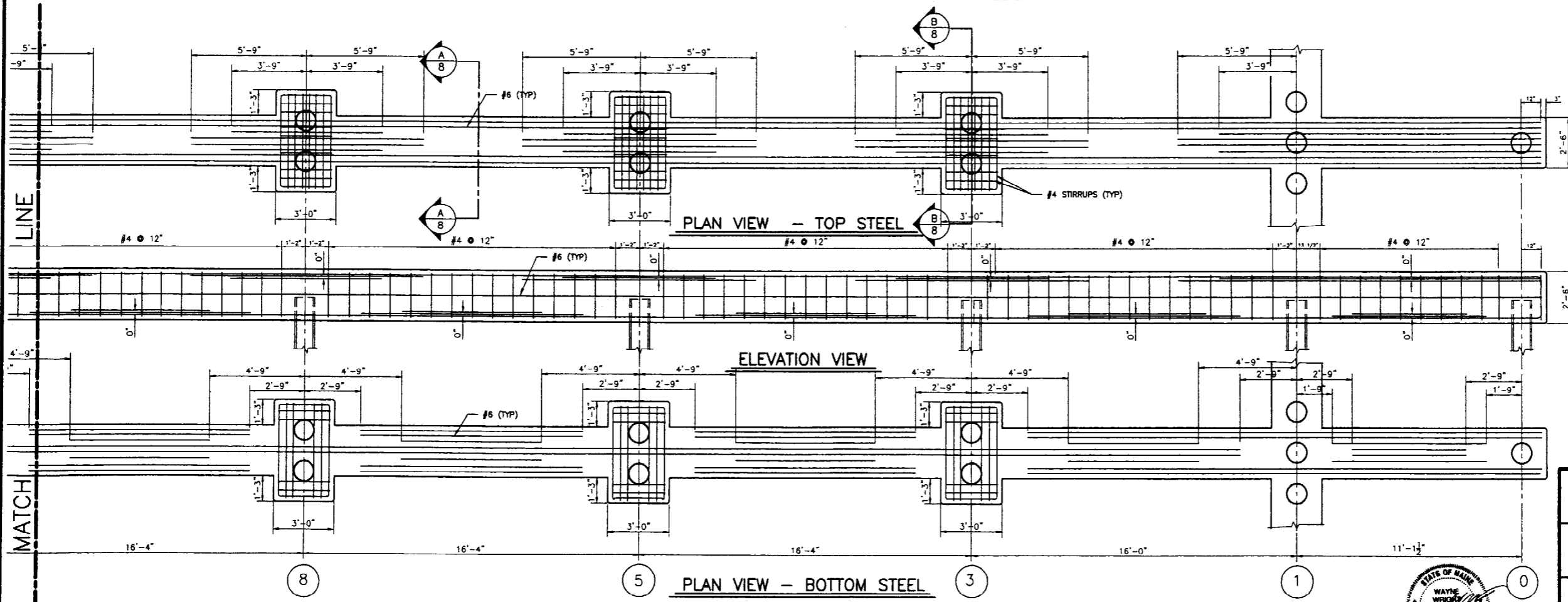
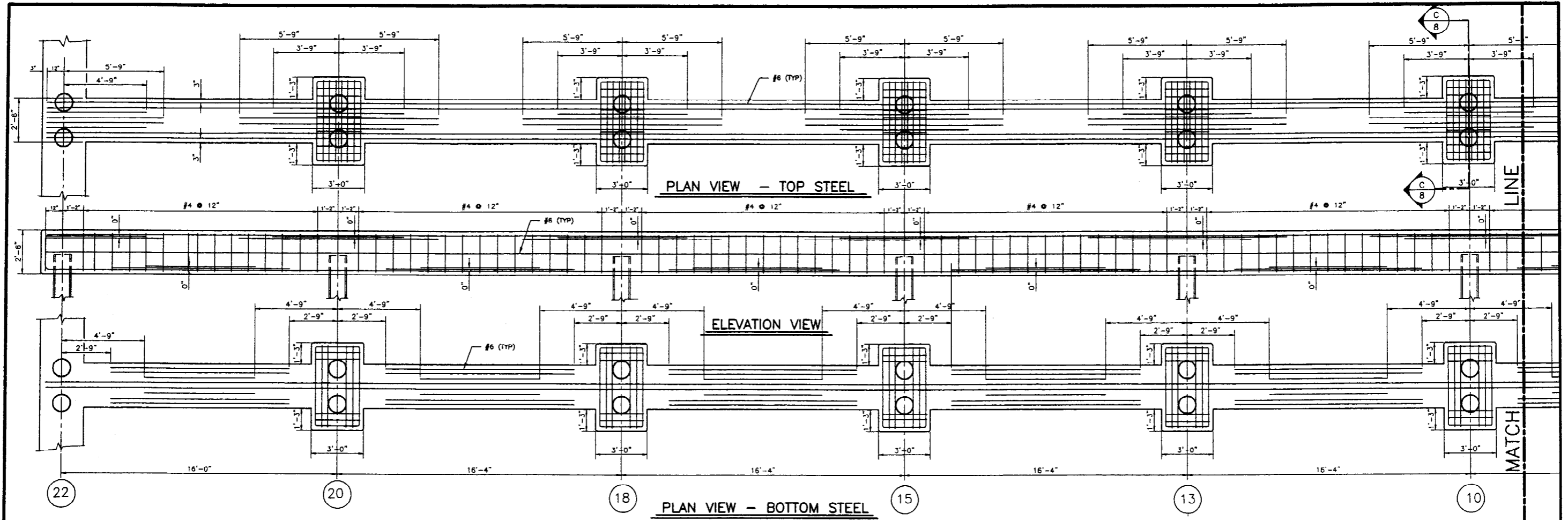
C:\SSS\PROJ\CUSTOM\SEA.dwg Thu Jun 04 10:48:47 2003 TEC ASSOCIATES



CAP B

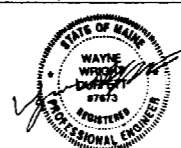


CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY PILE CAP B	
TEC ASSOCIATES CONSULTING ENGINEERS 45 SAWYER STREET SOUTH PORTLAND, MAINE 04106	
SCALE 3/8"=1'-0"	DATE 27 DECEMBER 09
JOB NUMBER 8902-2	DRAWING NO. 3

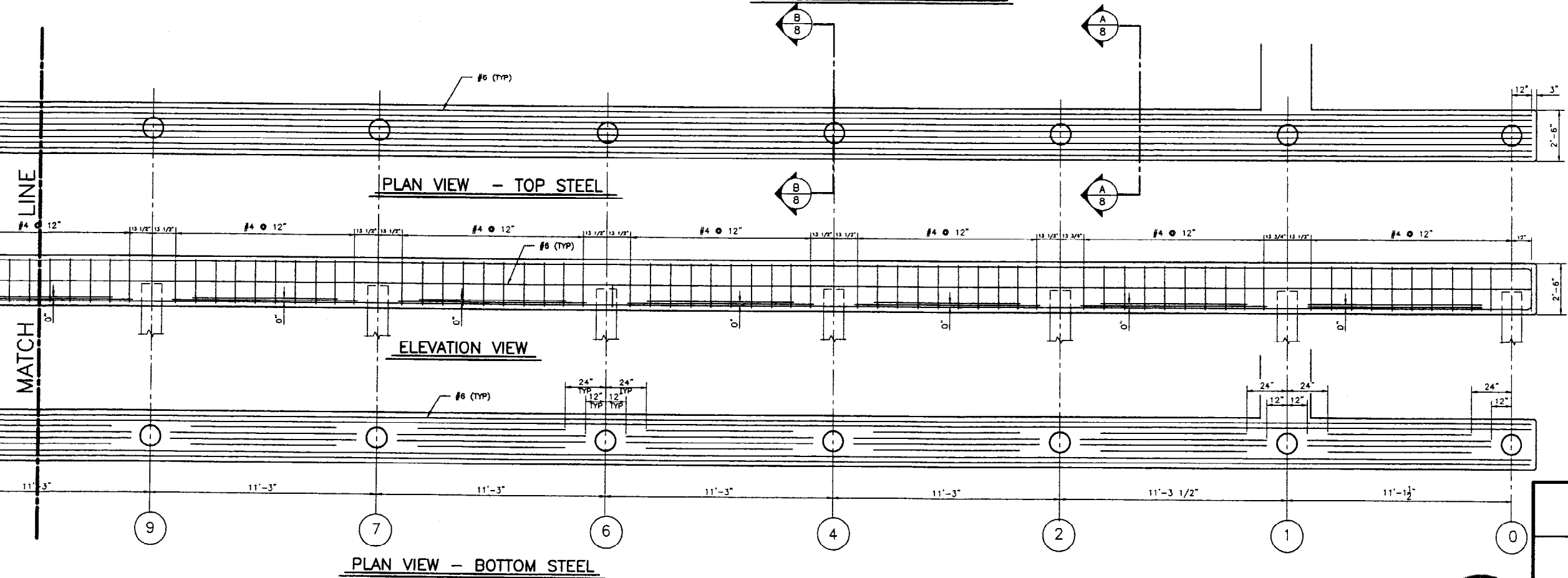
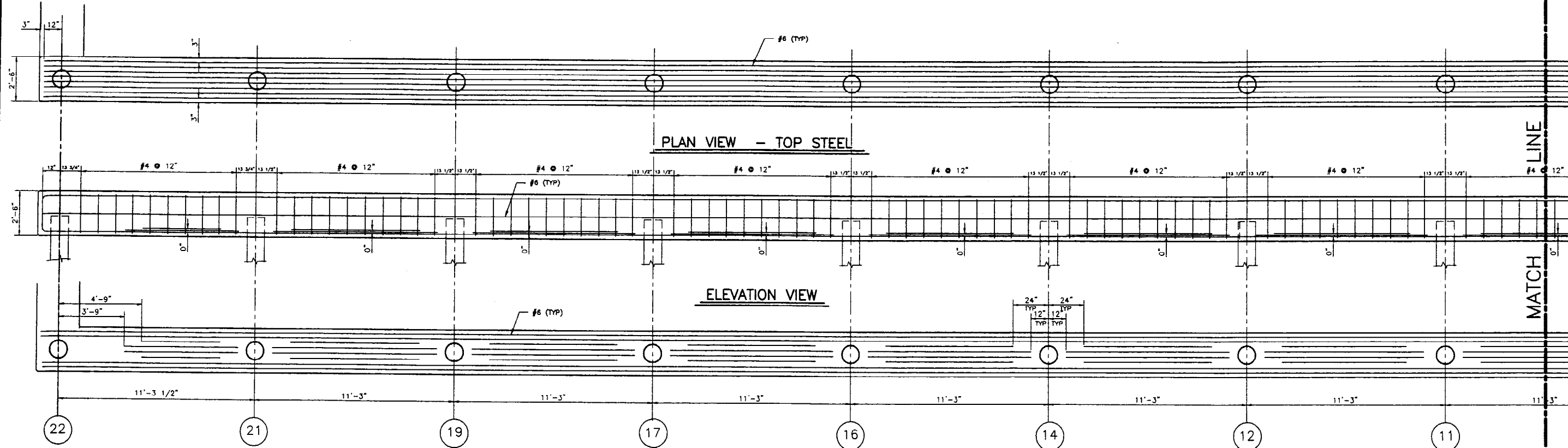


CAP C

CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY PILE CAP C	
TEC ASSOCIATES CONSULTING ENGINEERS 46 SAWYER STREET SOUTH PORTLAND, MAINE 04106	
SCALE 3/8"=1'-0"	DATE 27 DECEMBER 99
JOB NUMBER 9902-2	DRAWN BY JOL
REV. NO.	GRAPHIC NO. 4



C:\SOSK\PROJ\CUSTOMERSEA.dwg Thu Jan 04 11:25:01 2001 TEC ASSOCIATES



CAP D & E

CUSTOM HOUSE WHARF
PORTLAND, MAINE

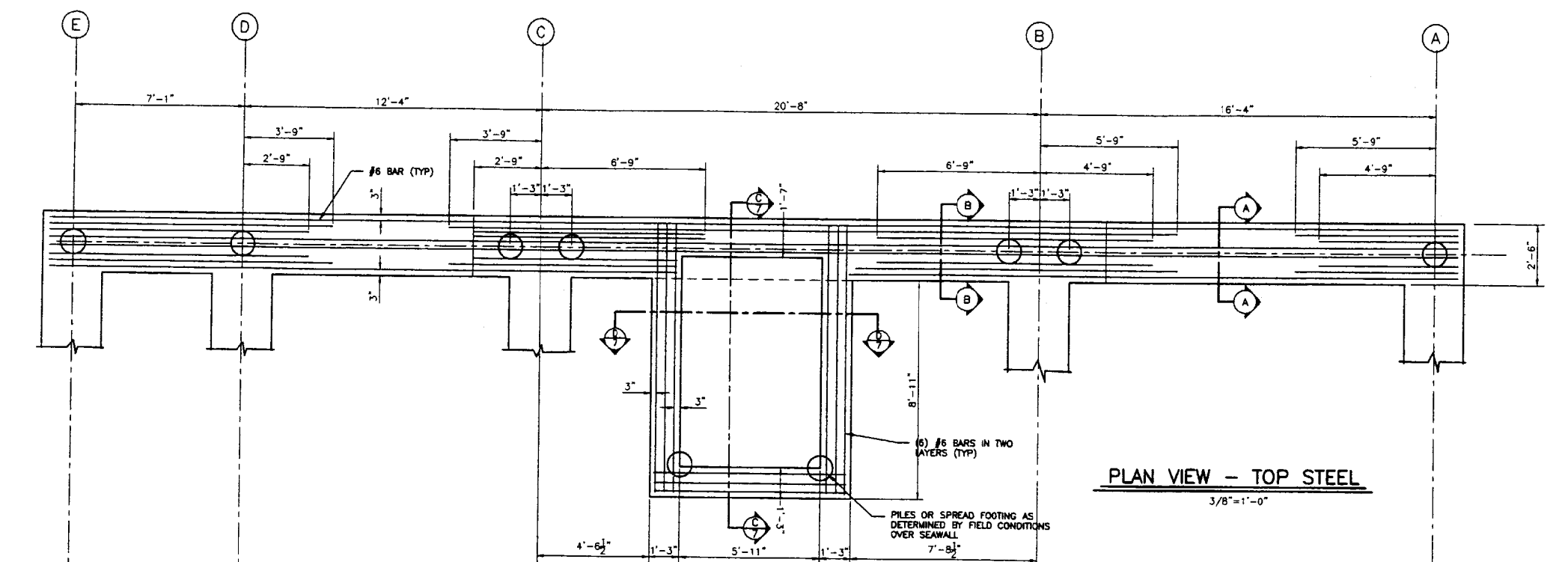
MARINE USE FACILITY
PILE CAP D & E

TEC ASSOCIATES CONSULTING ENGINEERS
46 SARVER STREET SOUTH PORTLAND, MAINE 04106

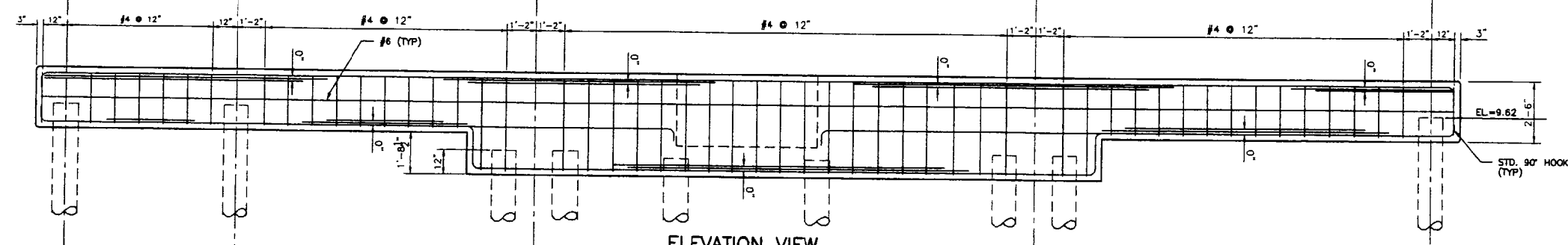
SCALE 3/8"=1'-0" DATE 27 DECEMBER 99

28 NUMBER 9902-2 DRAWN BY JCL REV. NO. 5

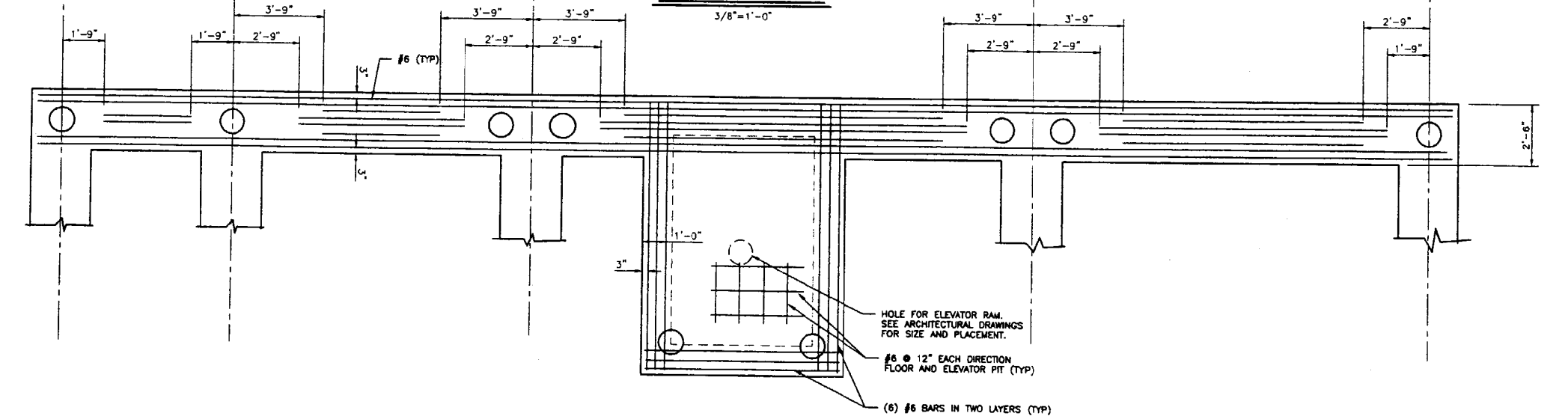




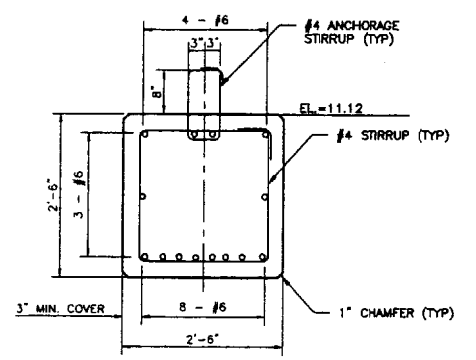
PLAN VIEW - TOP STEEL
3/8"=1'-0"



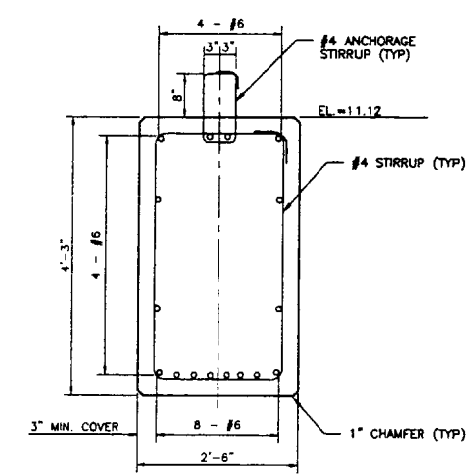
ELEVATION VIEW
3/8"=1'-0"



PLAN VIEW - BOTTOM STEEL
3/8"=1'-0"



SECTION A-A
3/4"=1'-0"

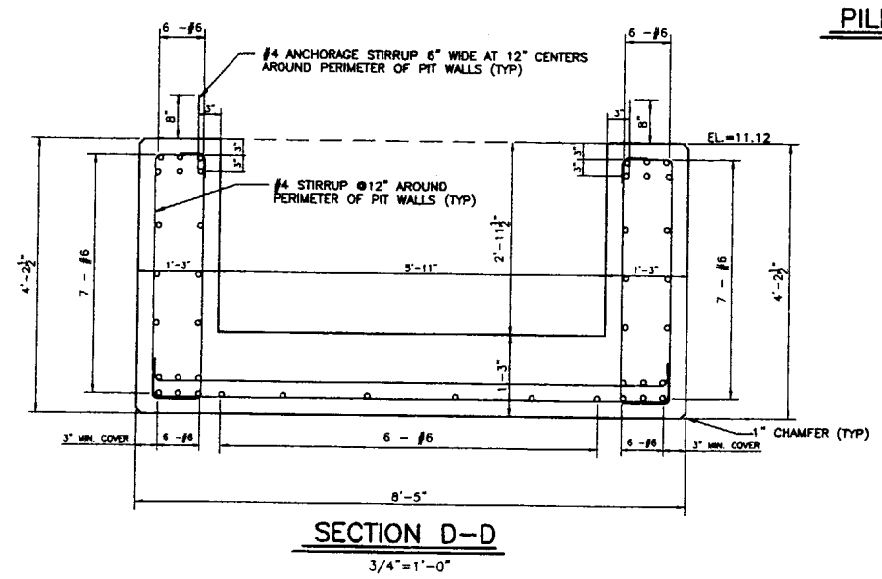
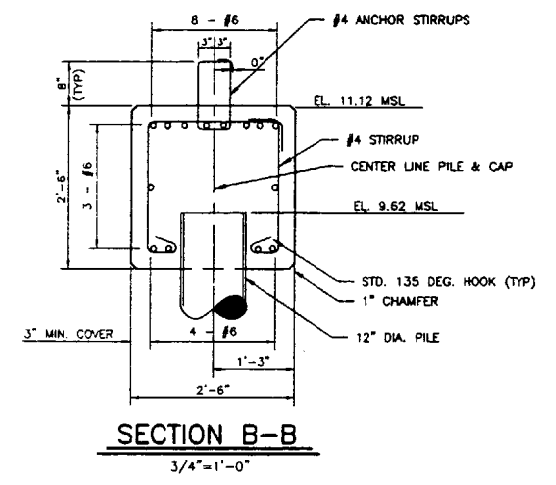
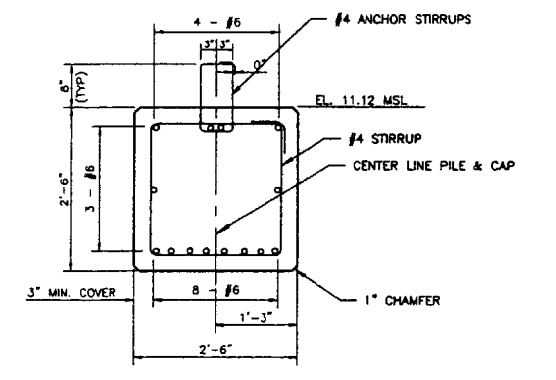
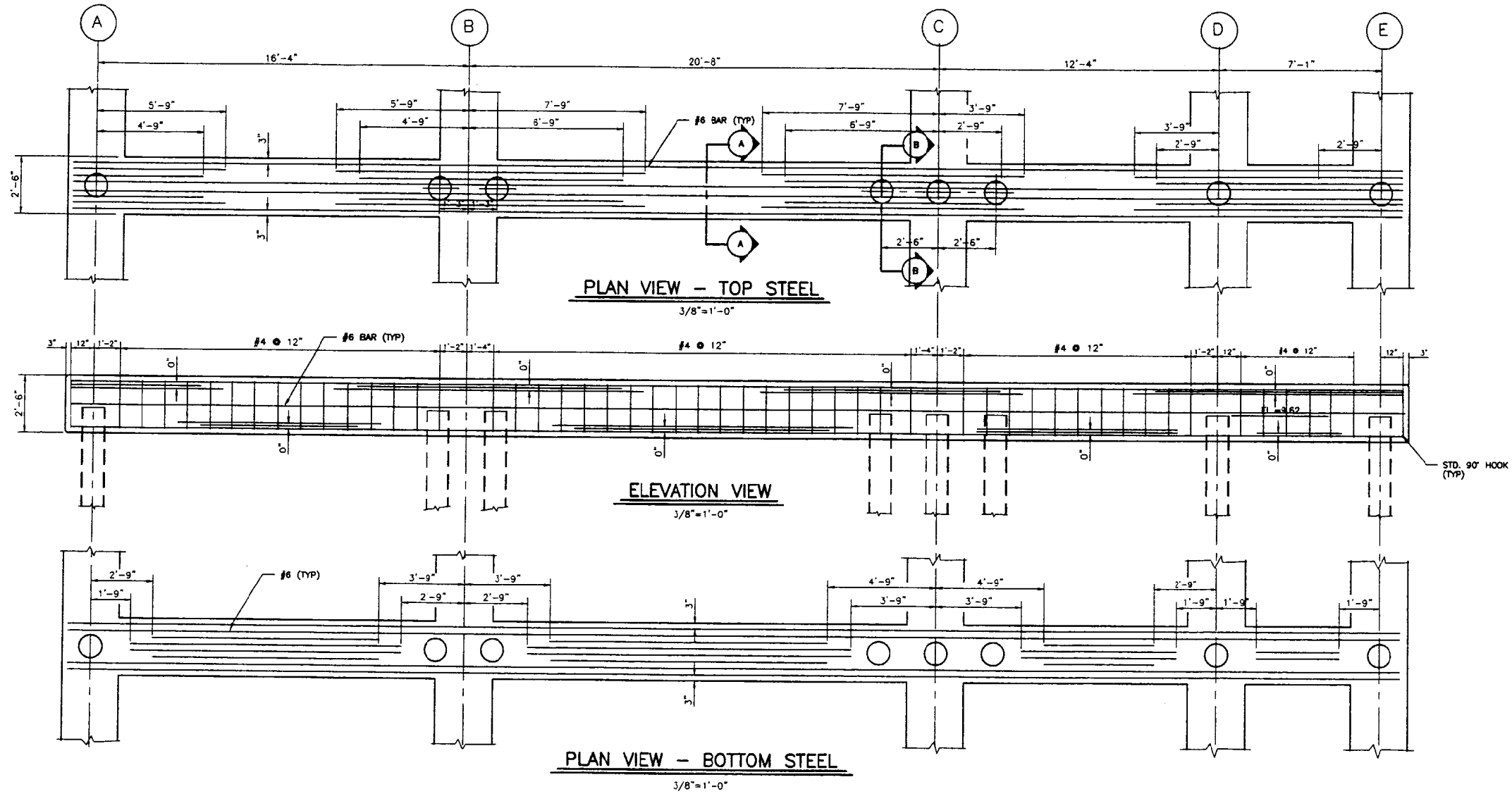


SECTION B-B
3/4"=1'-0"

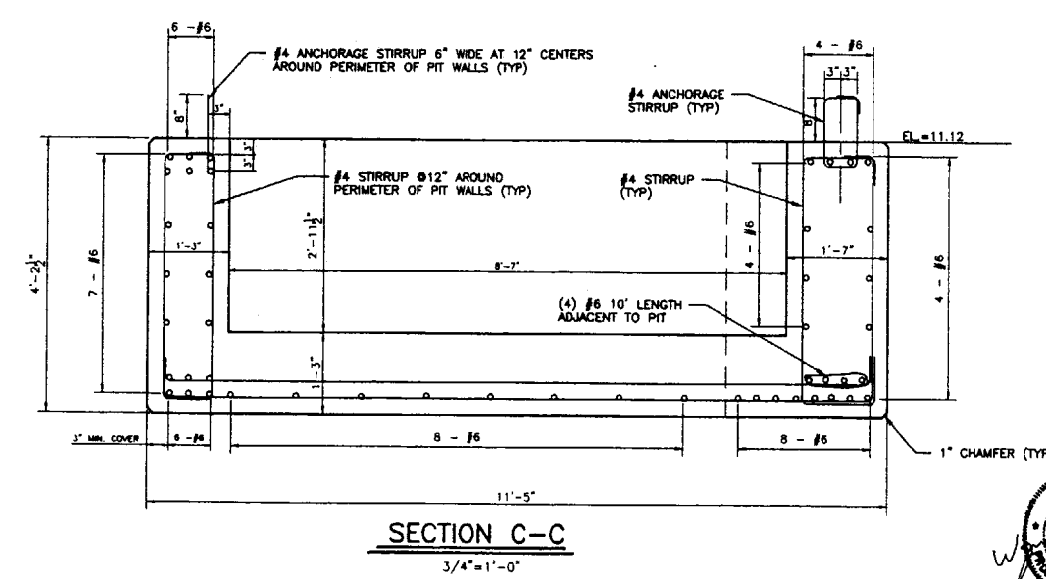
C:\SDS\B\PROJ\10\STAKE24.dwg Thu Jan 04 11:06:23 2001 TEC ASSOCIATES



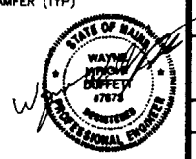
CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY PILE CAP 22	
SCALE AS NOTED	DATE 27 DECEMBER 99
JOB NUMBER 9902-2	DRWING NO. 8

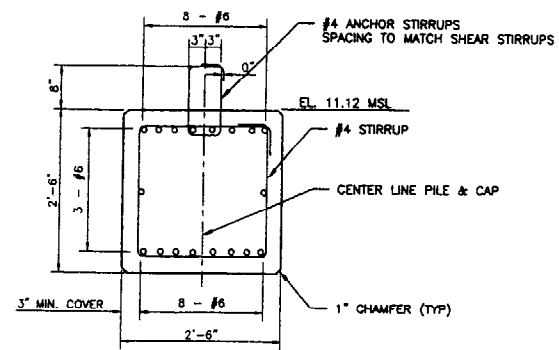


PILE CAP 1



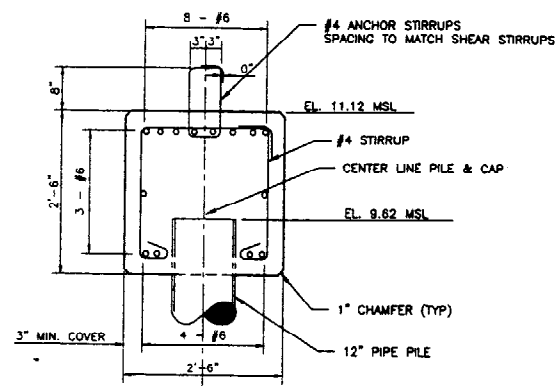
CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY PILE CAP 1	
SCALE AS NOTED	DATE 27 DECEMBER 09
JOB NUMBER 9902-2	REV. NO. 7





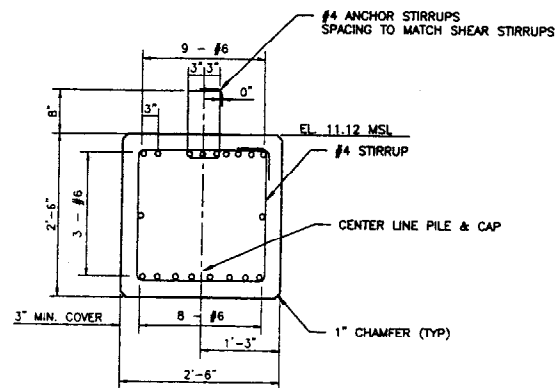
CAP D & E SECTION A-A

3/4"=1'-0"



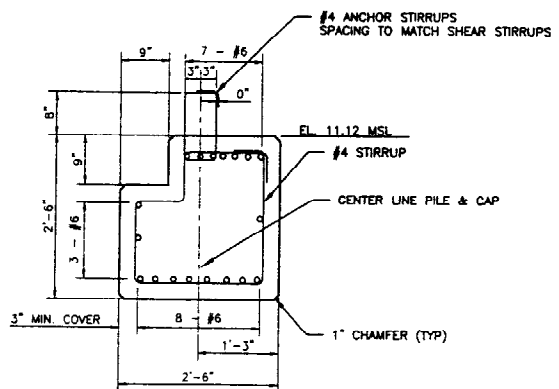
CAP D & E SECTION B-B

3/4"=1'-0"



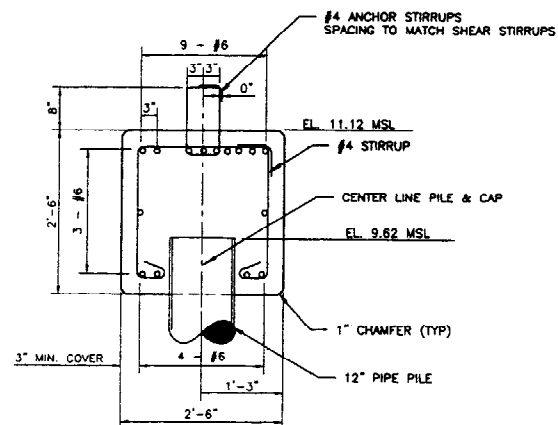
CAP A SECTION A-A

3/4"=1'-0"



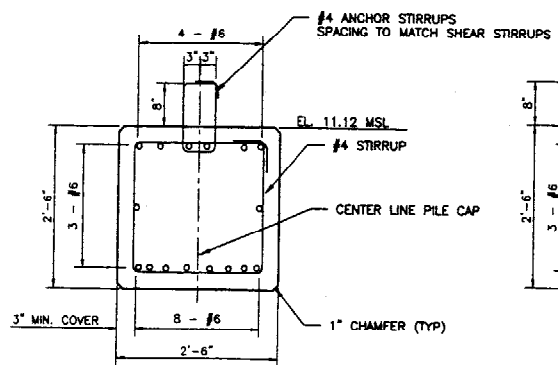
CAP A SECTION B-B

3/4"=1'-0"



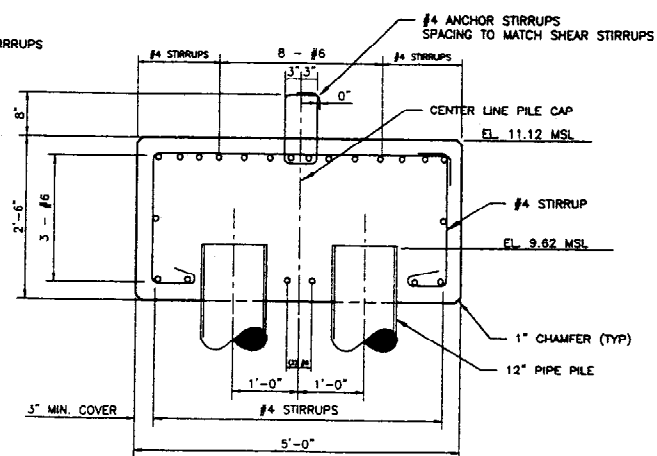
CAP A SECTION C-C

3/4"=1'-0"



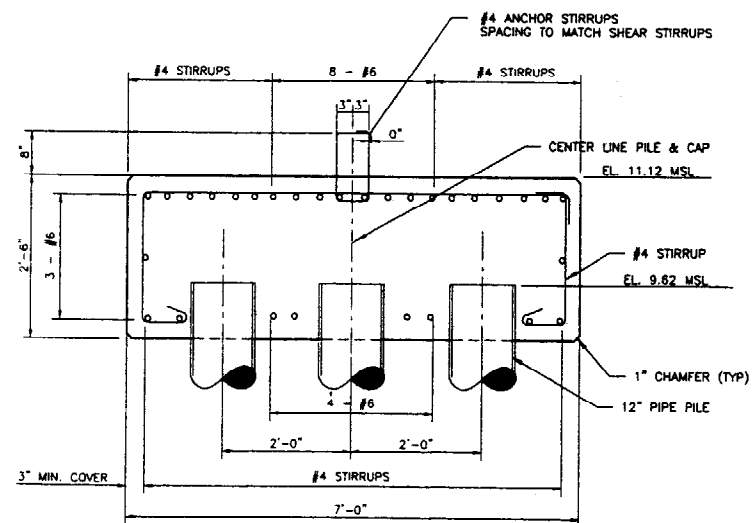
CAP B&C SECTION A-A

3/4"=1'-0"



CAP B&C SECTION B-B

3/4"=1'-0"



CAP B SECTION C-C

3/4"=1'-0"

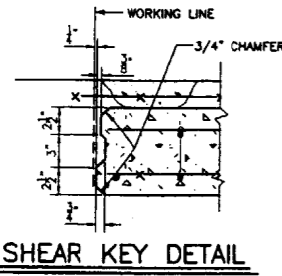


CUSTOM HOUSE WHARF
PORTLAND, MAINE

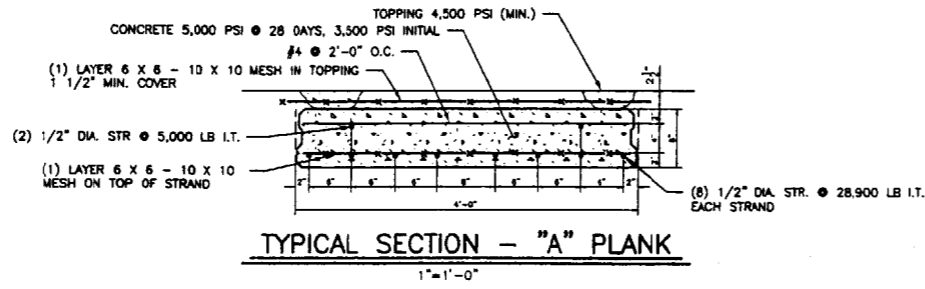
MARINE USE FACILITY
PILE CAP DETAILS

TEC ASSOCIATES CONSULTING ENGINEERS
46 SAWYER STREET SOUTH PORTLAND, MAINE 04106

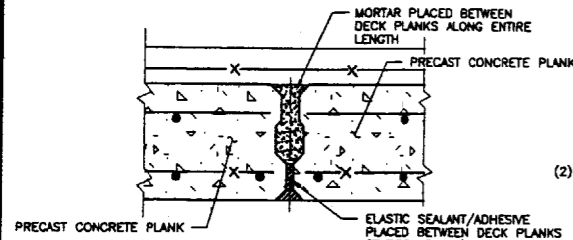
SCALE AS NOTED DATE 27 DECEMBER 99



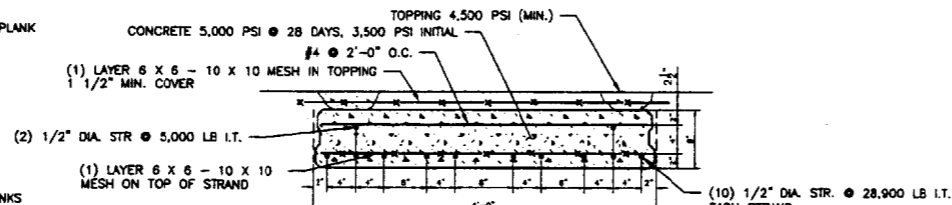
SHEAR KEY DETAIL



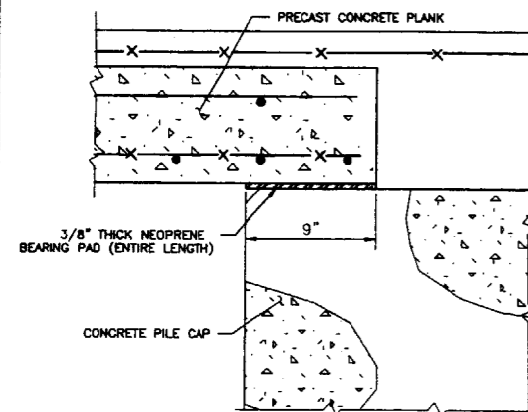
TYPICAL SECTION - "A" PLANK



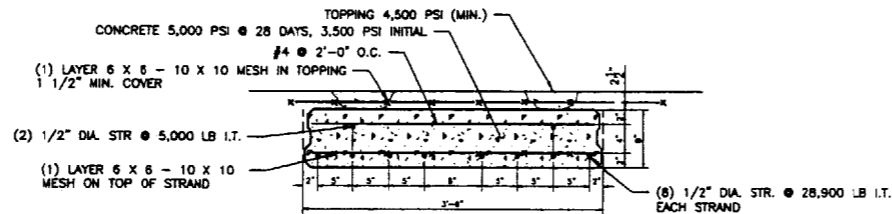
DECK PLANK ASSEMBLY DETAIL



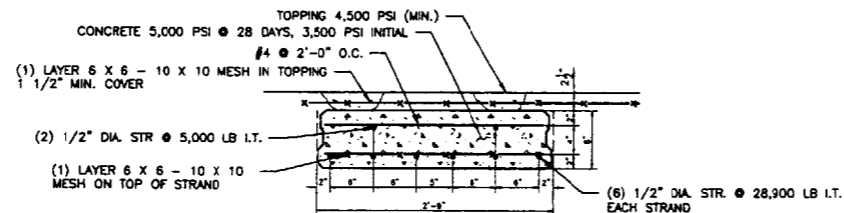
TYPICAL SECTION - "B" PLANK



BEARING PAD DETAIL



TYPICAL SECTION - "C" PLANK



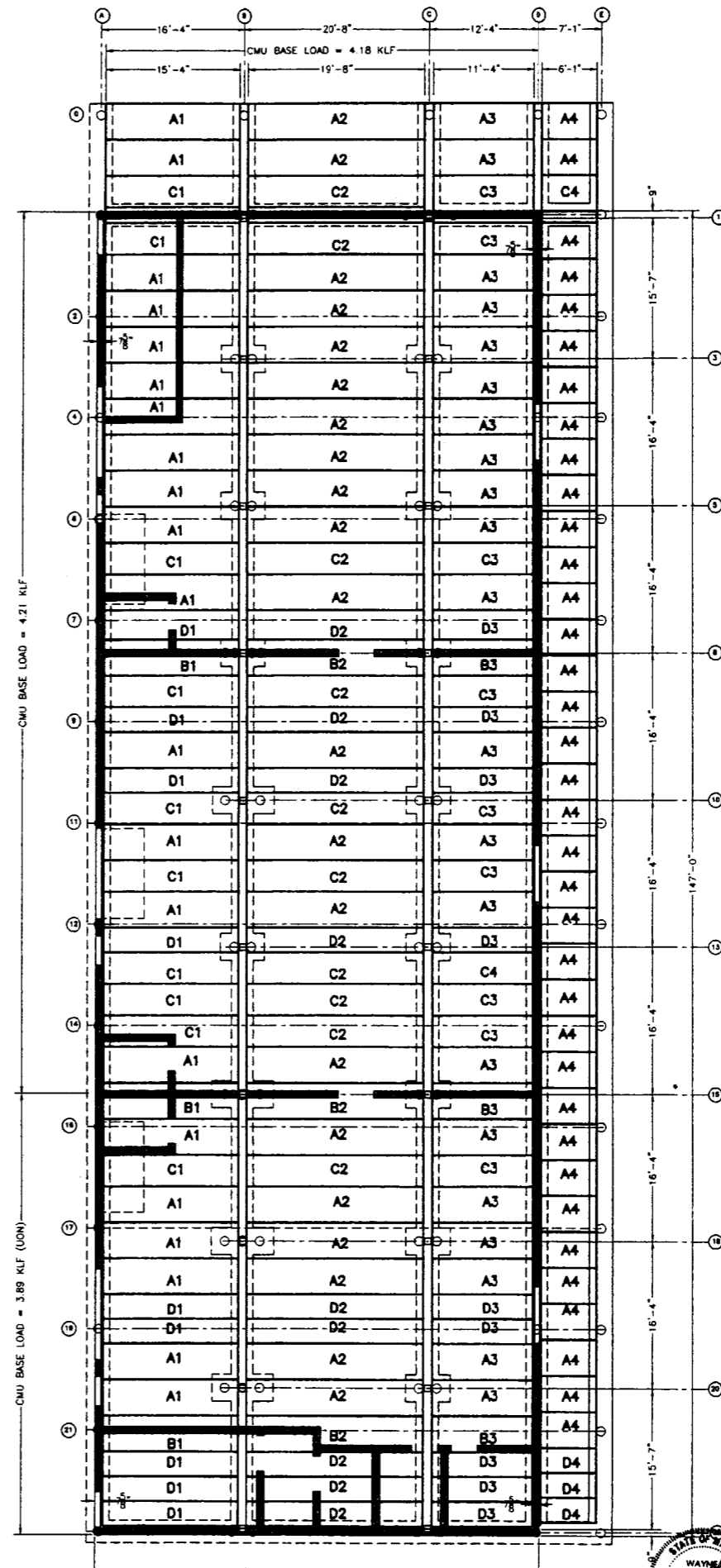
TYPICAL SECTION - "D" PLANK

NOTES

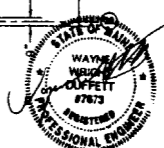
1. CONCRETE COMPRESSIVE STRENGTH OF PRECAST DECK PLANKS WILL BE 5,000 PSI @ 28 DAYS (MIN.) AND 3,500 PSI INITIAL.
2. PRESTRESSING STEEL WILL BE LOW RELAXATION WITH AN ULTIMATE STRENGTH OF 270,000 PSI, WITH INITIAL PULL OF 28.9 KIPS/EACH BOTTOM STRAND AND 5 KIPS/EACH TOP STRAND.
3. PLANK WIDTHS ILLUSTRATED ARE "WORKING WIDTHS". CONTRACTOR SHALL DETERMINE ACTUAL DIMENSIONS TO ACCOMMODATE SHEAR KEY AND INSTALLATION.
4. ALL PLANKS TO HAVE A SHEAR KEY ALONG BOTH EDGES.
5. TOPPING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI.

DECK PLANK SCHEDULE

SYMBOL	DIMENSIONS				QTY.
	W	X	L	D	
A1	4'-0"	15'-4"	8"	21	
A2	4'-0"	19'-8"	8"	21	
A3	4'-0"	11'-4"	8"	21	
A4	4'-0"	6'-1"	8"	36	
B1	4'-0"	15'-4"	8"	3	
B2	4'-0"	19'-8"	8"	3	
B3	4'-0"	11'-4"	8"	3	
C1	3'-6"	15'-4"	8"	10	
C2	3'-6"	19'-8"	8"	10	
C3	3'-6"	11'-4"	8"	10	
C4	3'-6"	6'-1"	8"	1	
D1	2'-9"	15'-4"	8"	9	
D2	2'-9"	19'-8"	8"	9	
D3	2'-9"	11'-4"	8"	9	
D4	2'-9"	6'-1"	8"	3	



DECK PLANK LAYOUT



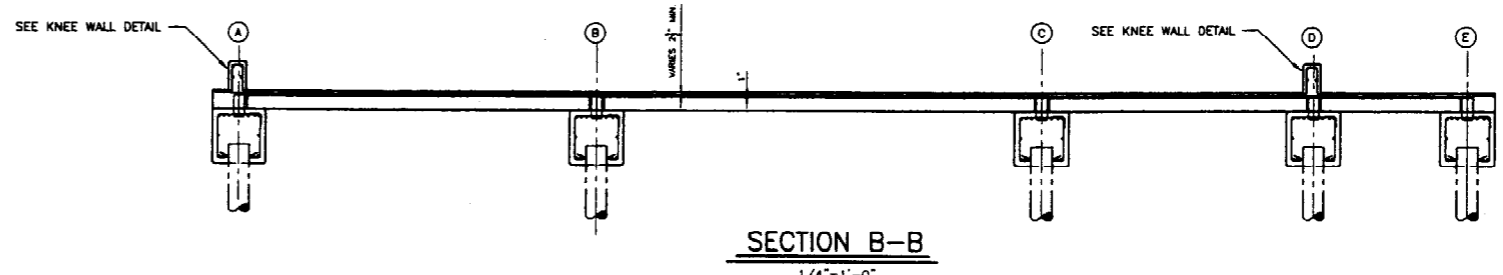
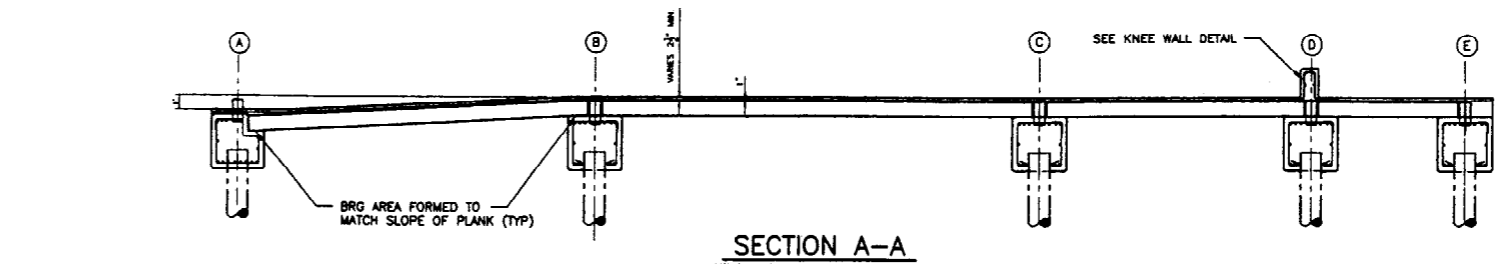
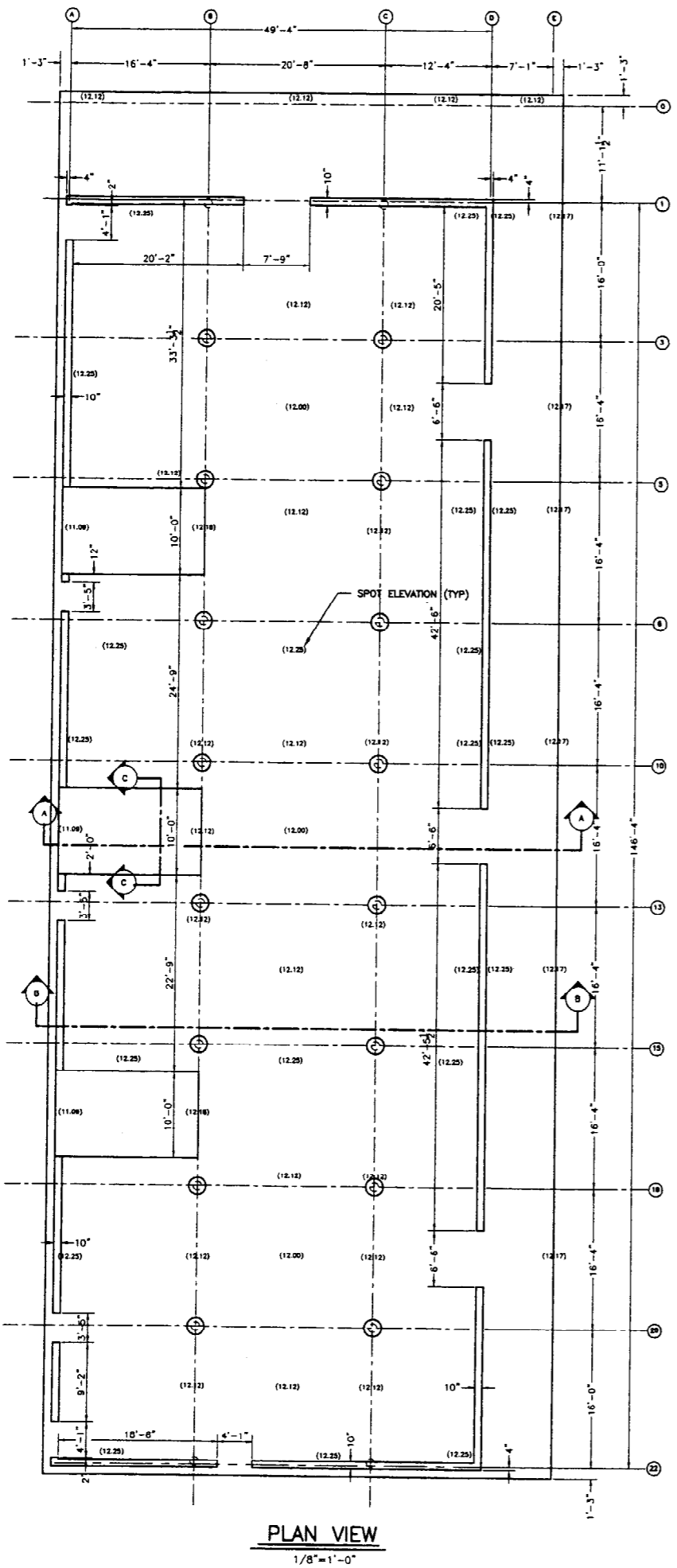
CUSTOM HOUSE WHARF
PORTLAND, MAINE

MARINE USE FACILITY
PRECAST DECK PLANKS

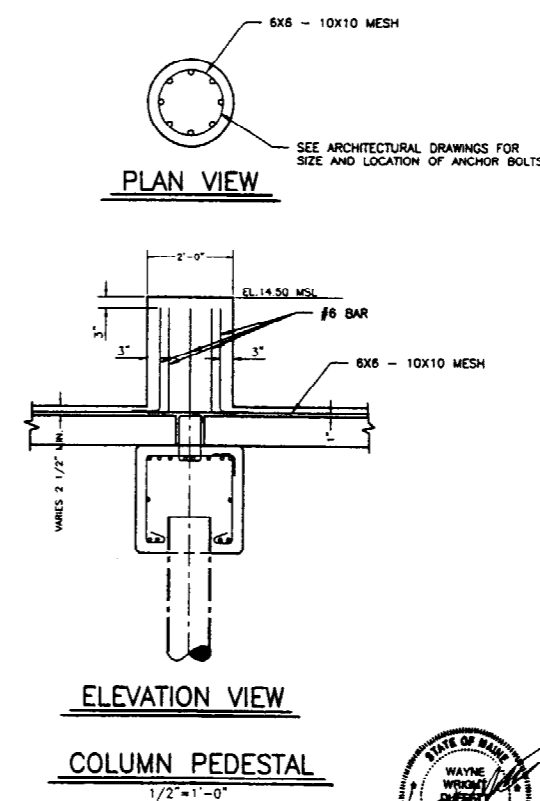
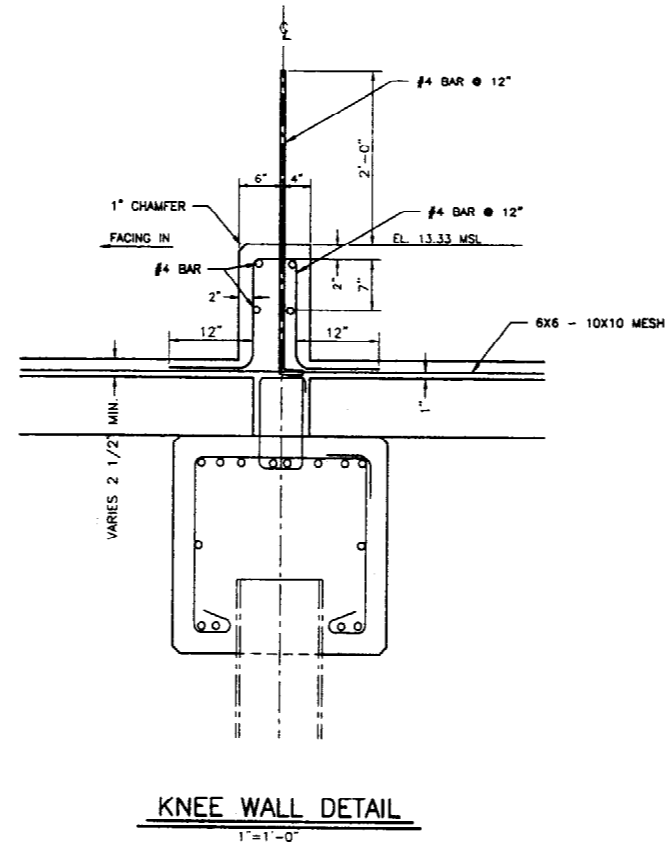
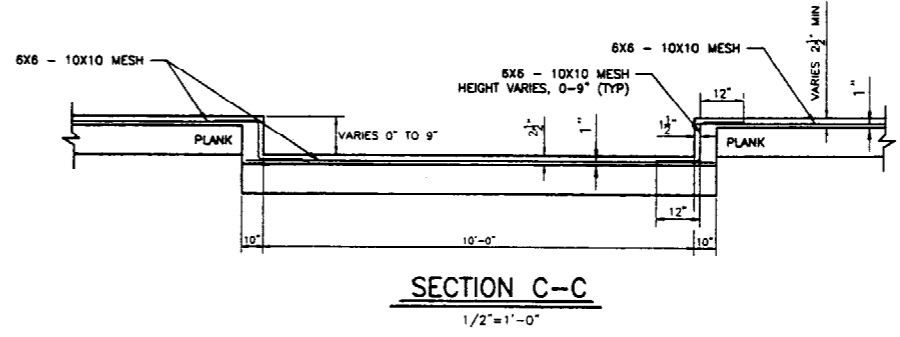
TEC ASSOCIATES CONSULTING ENGINEERS
46 SAWYER STREET SOUTH PORTLAND, MAINE 04106

SCALE 1/8"=1'-0" DATE 27 DECEMBER 99

JOB NUMBER 9902-2 DRAWN BY JLL REV. NO. 9



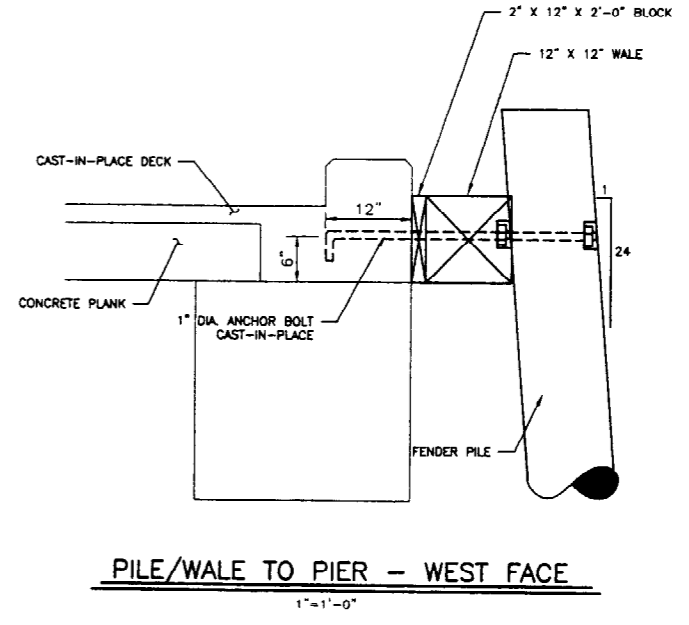
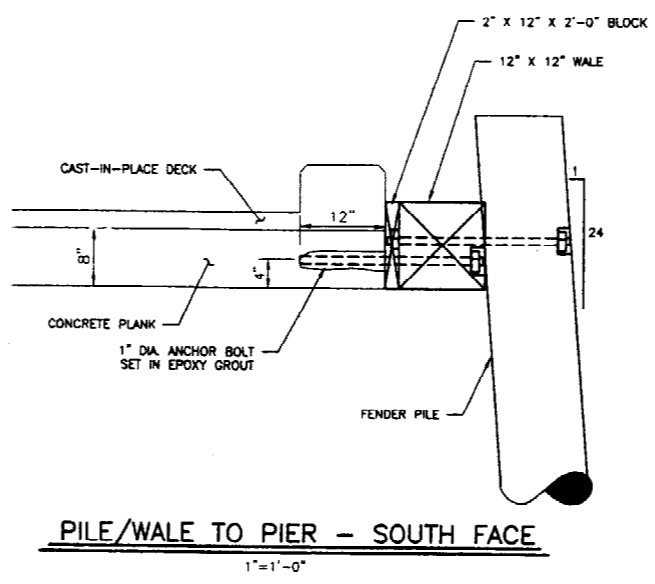
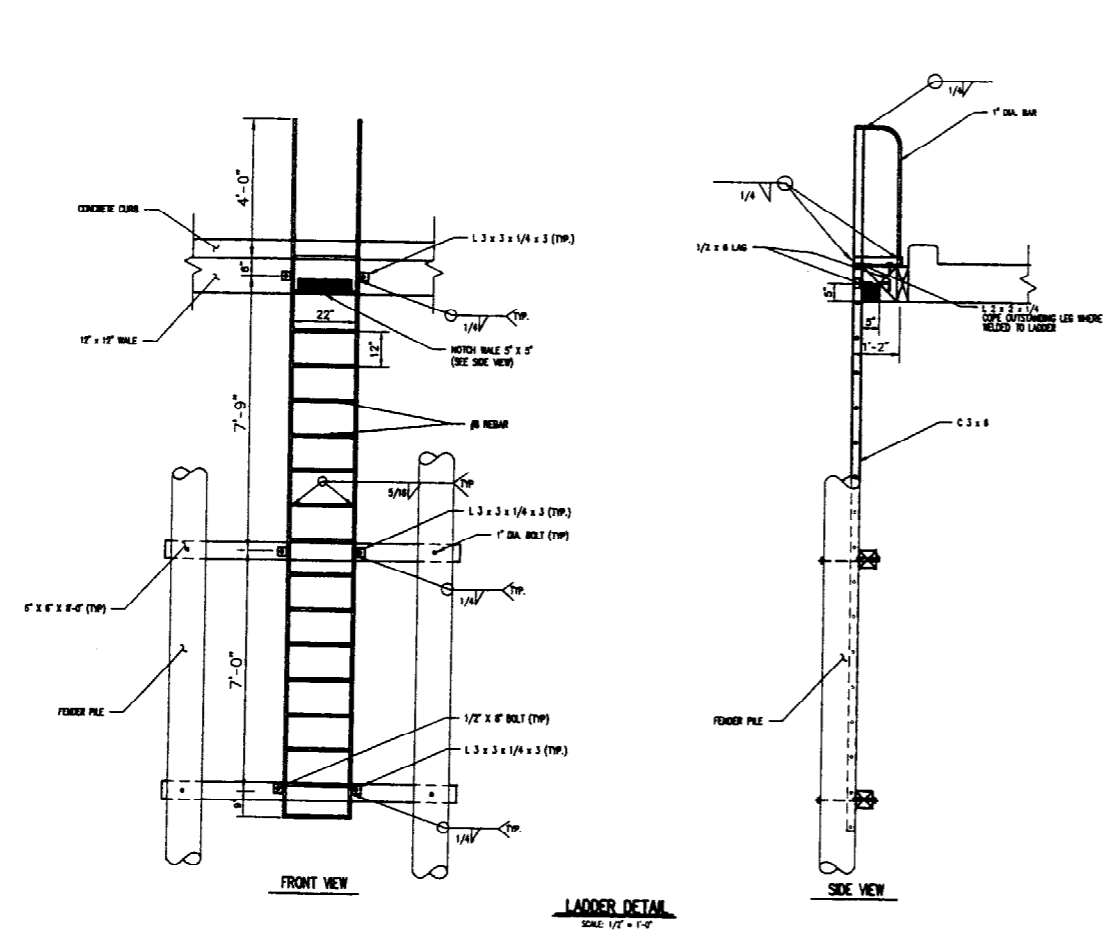
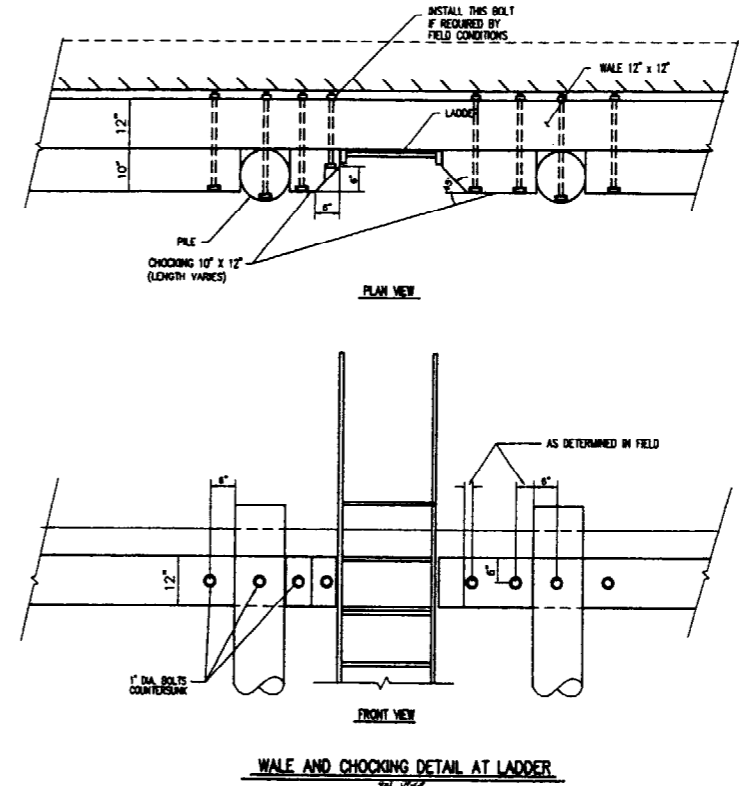
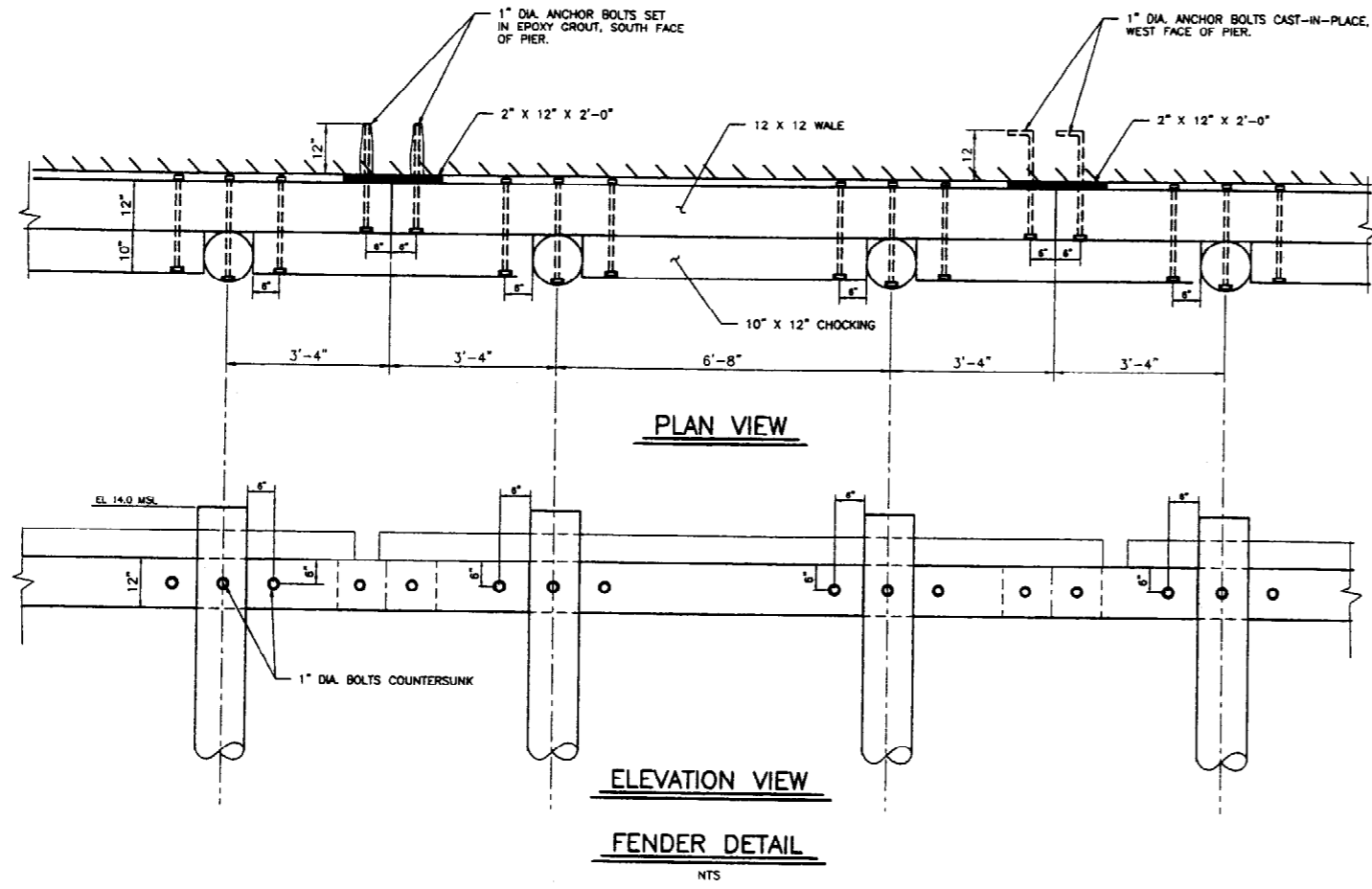
NOTE
 1. FINISHED FLOOR ELEVATIONS SUBJECT TO FINAL PLACEMENT OF INTERIOR PARTITION WALLS. CONSULT WITH OWNER PRIOR TO PLACING FLOOR. ELEVATIONS ARE BASED ON MEAN SEA LEVEL (MSL).
 2. SEE SHEET #11 FOR CAST-IN-PLACE CURB DETAILS.



PLAN VIEW



CUSTOM HOUSE WHARF PORTLAND, MAINE	
MARINE USE FACILITY CAST IN PLACE DECK	
SCALE AS NOTED 9802-2	DATE 27 DECEMBER 09 10



NOTE
ALL LADDERS SHALL BE GIVEN TWO COATS OF A RUST INHIBITIVE YELLOW PAINT. SURFACE PREPARATION SHALL BE COMMERCIAL BLAST PER SSPC - SP6.



CUSTOM HOUSE WHARF PORTLAND, MAINE			
MARINE USE FACILITY FENDER & LADDER DETAILS			
TEC ASSOCIATES		CONSULTING ENGINEERS	
46 SAWYER STREET		SOUTH PORTLAND, MAINE 04106	
SCALE AS NOTED	DATE 27 DECEMBER 99	JOB NUMBER 9902-2	DRWN BY JOL
REV. NO.	12	DATE	27 DECEMBER 99