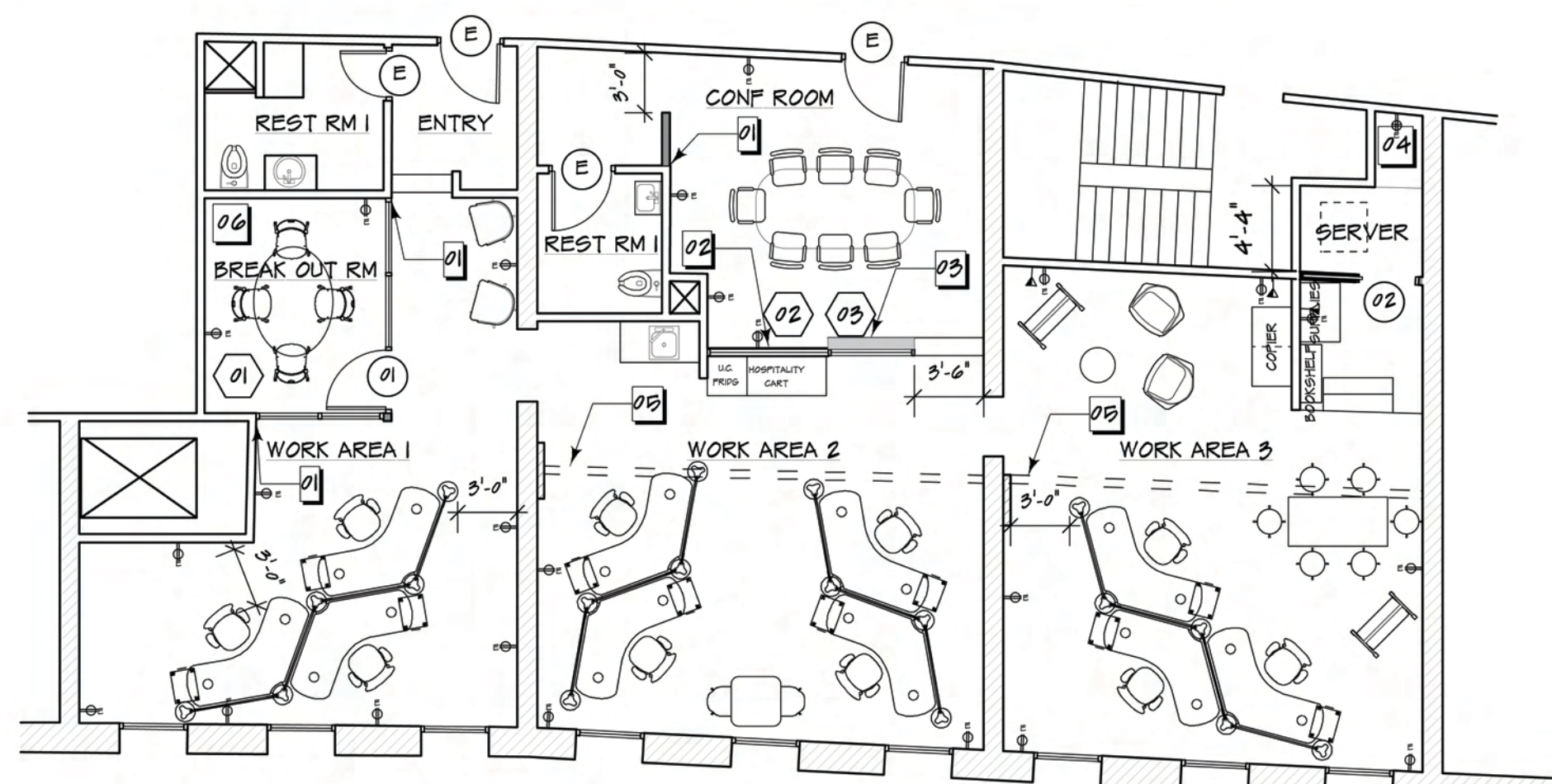


- KEYNOTES**
- 01 DOOR TO BE REMOVED
 - 02 TRANSOM GLASS TO BE REMOVED (POSSIBLE REUSE IN CONF ROOM OVER 1/2 WALL IN LIEU OF NEW WINDOW)
 - 03 REMOVE INFILLED WALL TO EXPOSE (E) WALL OPENING
 - 04 REMOVE PORTION OF (E) KITCHEN COUNTER TOP - CUT BACK TO (E) LOWER CABINETS
 - 05 REPLACE (E) FIXTURES IN RESTROOM

- WALL LEGEND**
- (E) WALL TO REMAIN
 - (E) MASONRY WALL TO REMAIN
 - (E) WALL TO BE REMOVED

EXISTING PLAN
Scale: 1/8" = 1'-0"

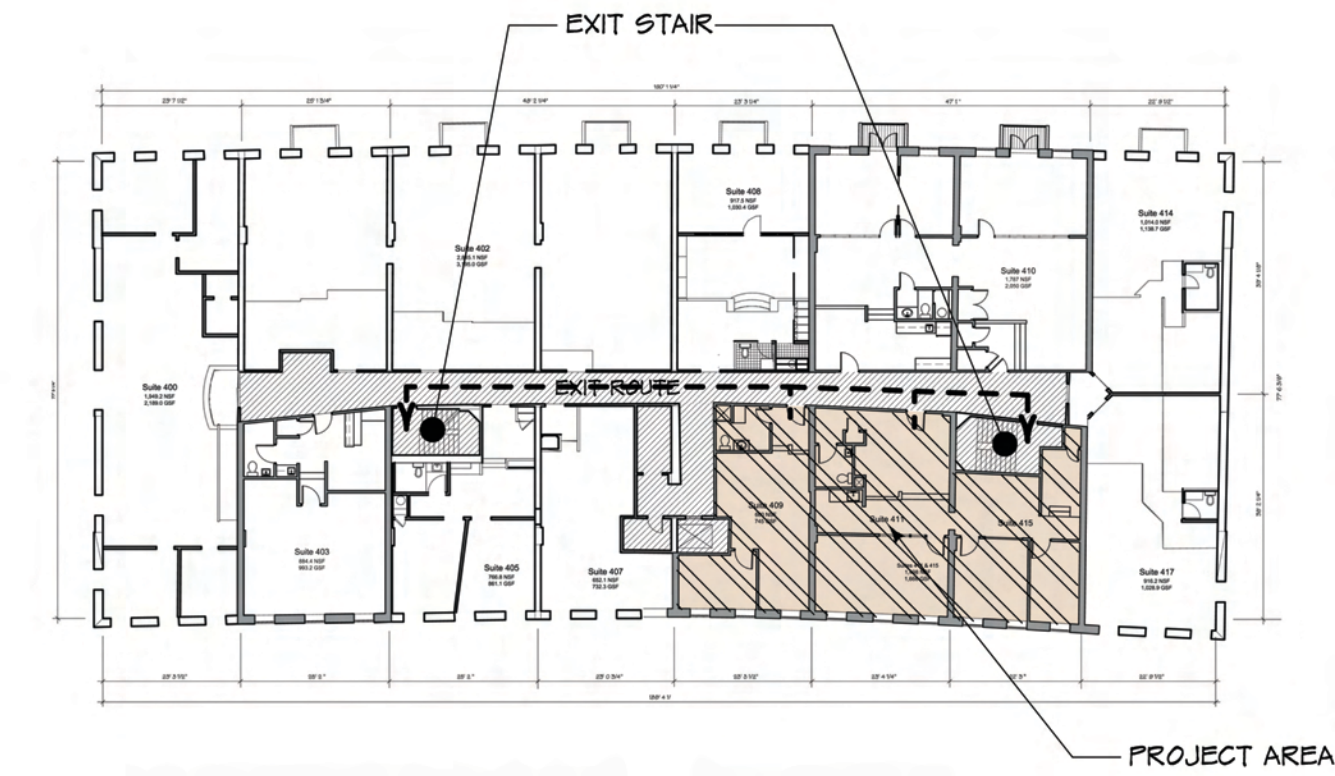


- KEYNOTES**
- 01 ALIGN (N) WALL WITH EDGE OF (E) WALL
 - 02 GLASS ABOVE (E) 1/2 WALL (CONTRACTOR TO CONSIDER REUSING TRANSOM REMOVED FROM (E) OFFICE)
 - 03 INFILL STEP; NEW FULL HEIGHT GLASS (CONTRACTOR TO CONSIDER REUSING PANES OF GLASS REMOVED IN OFFICES FOR WIN 03)
 - 04 NEW ADJUSTABLE SHELVING IN CLOSET
 - 05 DASHED LINES INDICATE DRYWALL HEADER ABOVE AND BREAK BETWEEN ACT & EXPOSED CLG
 - 06 PROVIDE NEW ACT IN BREAKOUT ROOM TO MATCH (E) ACT ELSEWHERE IN OFFICE - PROVIDE LIGHTING TO MATCH (E) CONF ROOM

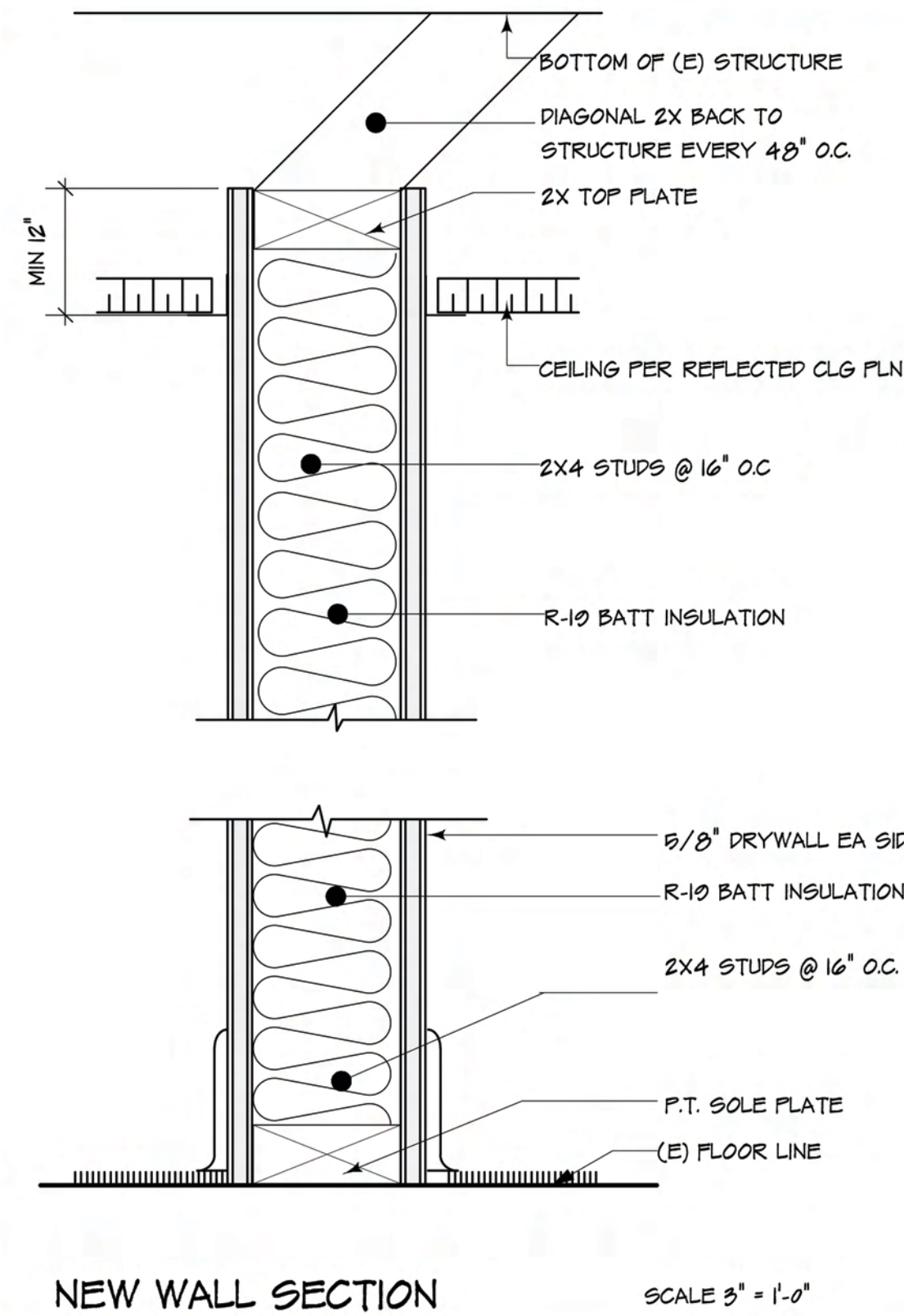
- WALL LEGEND**
- (E) WALL TO REMAIN
 - (E) MASONRY WALL TO REMAIN
 - (N) 3/8" MTL STUDS @ 16" O.C. W/ 5/8" DRYWALL EA. SIDE - GOES TO +/- 10'-0" AFF.

- MISC. ELECTRICAL LEGEND:**
- DUPLEX OUTLET PER OWNER SPECS (E) DESIGNATES EXISTING OUTLET TO REMAIN (D.C INDICATES DEDICATED CIRCUIT) GFCI REQUIRED AT ALL COFFEE AREAS OR NEAR WATER
 - QUAD OUTLET PER OWNER SPECS (E) DESIGNATES EXISTING OUTLET TO REMAIN
 - VOICE/DATA PER OWNER SPECS (E) DESIGNATES EXISTING OUTLET TO REMAIN
 - SWITCH; A/B & MOTION AS NOTED 'M' AT SWITCH INDICATED WATTSTOPPER WALL MOTION SENSOR. SINGLE CIRCUIT UNO.

PROPOSED PLAN
Scale: 1/8" = 1'-0"



KEYPLAN
NO SCALE



NEW WALL SECTION
SCALE 3/8" = 1'-0"

NFPA 101 2009 & NFPA 220 2006: CODE DATA

OCCUPANT LOAD	20 PEOPLE
USE GROUP CLASSIFICATION	BUSINESS
TYPE OF CONSTRUCTION	1,200 - UNRESTRICTED
TOTAL AREA OF WORK	2,010 SF
ACTUAL BUILDING AREA	15,400 SF FLOOR
BUILDING HEIGHT	4 STORIES - EXISTING
BUILDING HEIGHT LIMITATION - STORIES	N/A
AUTOMATIC SPRINKLER SYSTEM HEIGHT INCREASE	N/A
FIRE SUPPRESSION	NONE
EXIT ACCESS FIRE RATINGS	
FIRE WALLS	0 HR
STAIR ENCLOSURES	2 HR (EXISTING TO REMAIN, NO WORK)
SHAFTS	2 HR (EXISTING TO REMAIN, NO WORK)
EXIT ACCESS CORRIDORS	20 MIN. (EXISTING TO REMAIN, NO WORK)
FIRE PROTECTION OF STRUCTURE:	
COLUMNS	0 HR
BEAMS, GIRDERS, TRUSSES & ARCHES	0 HR
LOAD BEARING WALLS - EXTERIOR	1 1/2" MASONRY EXTERIOR BEARING WALL
LOAD BEARING WALLS - INTERIOR	0 HR
NON-LOAD BEARING WALLS - EXTERIOR	0 HR
NON-LOAD BEARING WALLS - INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
GENERAL NOTES	
INTERIOR FINISHES:	WALLS & CEILINGS, CLASS A, B, OR C
FLOORS:	CLASS 1 FOR 2
F.F.E. SHALL MEET NFPA 265 & 701.	

IBC 2009: CODE DATA

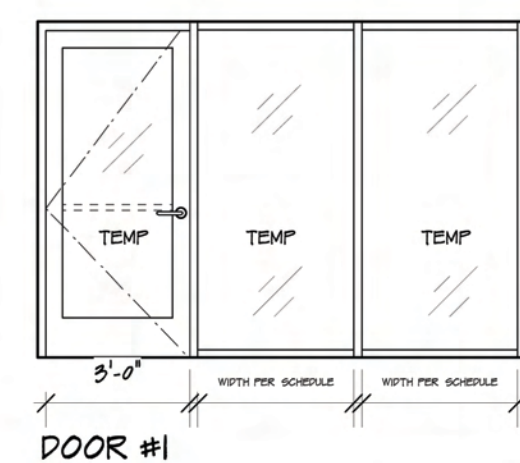
OCCUPANT LOAD	20 PEOPLE
USE GROUP CLASSIFICATION	BUSINESS
TYPE OF CONSTRUCTION	3B
TOTAL AREA OF WORK	2,010 SF
ACTUAL BUILDING AREA	15,400 SF FLOOR
BUILDING HEIGHT	4 STORIES - EXISTING
BUILDING AREA LIMITATION - SQ. FT. (TABLE 503)	19,000 S.F. / FLOOR
BUILDING HEIGHT LIMITATION - STORIES (TABLE 503)	13 STORIES
STREET FRONTAGE INCREASE (150% - 80 FT.)	N/A
AUTOMATIC SPRINKLER SYSTEM AREA INCREASE (200%) - SQ. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM HEIGHT INCREASE (1 STORY)	N/A
FIRE SUPPRESSION	NONE
EXIT ACCESS FIRE RATINGS	
FIRE WALLS	0 HR
STAIR ENCLOSURES	2 HR (EXISTING TO REMAIN, NO WORK)
SHAFTS	2 HR (EXISTING TO REMAIN, NO WORK)
EXIT ACCESS CORRIDORS	20 MIN. (EXISTING TO REMAIN, NO WORK)
FIRE PROTECTION OF STRUCTURE:	
PRIMARY STRUCTURAL FRAME	0 HR
LOAD BEARING WALLS - EXTERIOR	1 1/2" MASONRY EXTERIOR BEARING WALL
LOAD BEARING WALLS - INTERIOR	0 HR
NON-LOAD BEARING WALLS - EXTERIOR	0 HR
NON-LOAD BEARING WALLS - INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
GENERAL NOTES:	
OCCUPANT LOAD:	
TENANT SPACE (BUSINESS):	2,010 SF / 100 SF / PERSON (GROSS) = 20 PEOPLE

DOOR SCHEDULE

NUMBER	TYPE	DOOR WIDTH	SIDELITE/OVERALL WIDTH	HEIGHT	PAIR	DR. MATL.	DR. FIN.	FRM. MATL.	FRM. FIN.	REMARKS
01		3'0"	+/- 10'10" (2) EQ. PANES	7'0"		GL	FF	AL	FF	MATCH BUILDING STANDARD
02	POCKET	2'10"		7'0"		SC	F	WD	F	

ALL GLASS DOORS TO BE TEMPERED;

DOORS:



INTERIOR CLEAR ANODIZED ALUM.
WIDE STILE ALL TEMPERED CLEAR GLASS

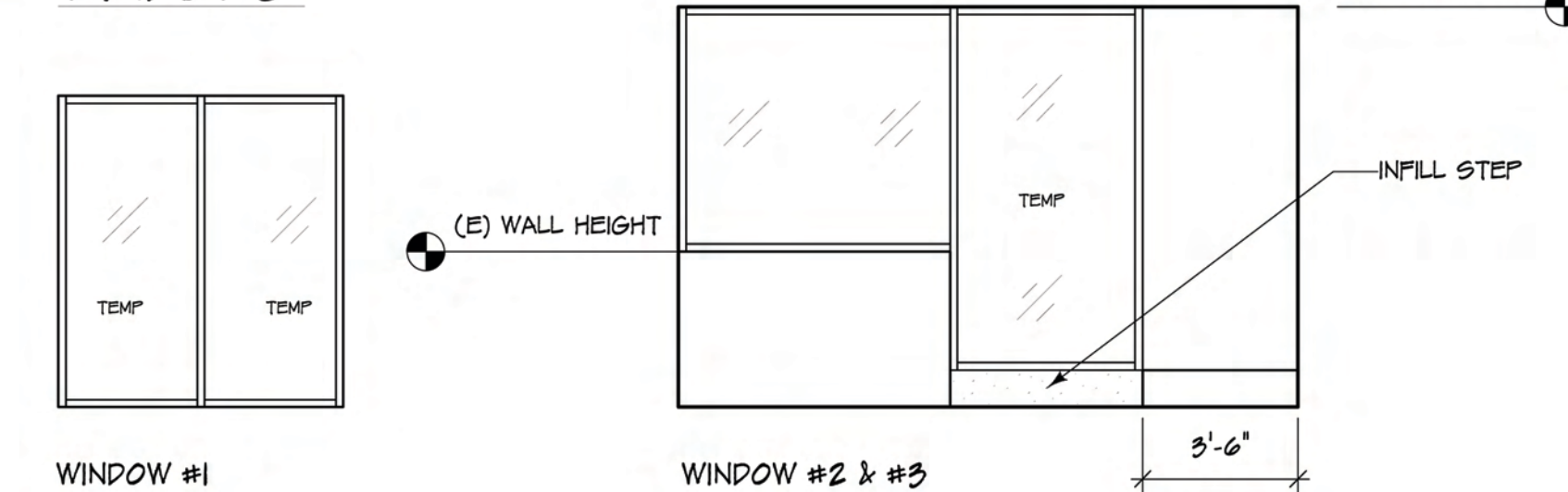
DOOR & WINDOW LEGEND

CODE	DESCRIPTION
DOORS/WINDOWS	
HM	HOLLOW METAL
GL	GLASS
SC	SOLID CORE
AL	ALUMINUM
FF	FACTORY FINISH
F	PAINT
MTL	METAL
WD	WOOD

WINDOW SCHEDULE

NUMBER	FRM.	WIDTH	HEIGHT	SILL HEIGHT	FRAME COLOR	REMARKS
01	AL	+/- 6'5"	7'0"			MATCH BUILDING STANDARD
02	AL	+/- 6'1"	+/- 5'6"			MATCH BUILDING STANDARD
03	AL	+/- 4'4"	+/- 8'2"			MATCH BUILDING STANDARD

WINDOWS:



WINDOW #1

WINDOW #2 & #3

ALL WINDOWS ARE TO BE CLEAR GLASS & TEMPERED; CONTRACTOR TO VERIFY HEIGHTS AS FLOOR IS NOT LEVEL; A CONTINUOUS 3" ALUM. SILL MAY BE USED IF THIS HELPS SOLVE THE VARIATION IN SLOPE OF THE (E) FLOOR.

FIELD VERIFY ALL WIDTHS



OWNERSHIP OF INSTRUMENTS OF SERVICE
All reports, plans, specifications, computer generated data, notes and other documents prepared by or for HANSON MARGETCH ARCHITECTS are the property of HANSON MARGETCH ARCHITECTS. HANSON MARGETCH ARCHITECTS reserves all rights, including the copyright therein.

Hanson Margetch Architects
Architect:
esri
Contact: Janice Orr
(909) 793-2853
P.O. Box 9005 ~ Redlands, CA 92375
Ph: 909-989-0747 ~ Fax: 909-989-0675
www.hm-arch.com

Job Title:
esri - Portland, Maine
Remodel of suites 409, 411, 415
- Portland, ME

Sheet Title:

EXISTING PLAN/ PROPOSED PLAN/
SCHEDULES

Job Number: 13-1100

Revisions/
Issues:

Scale: AS NOTED

Date: 7/26/13

Drawn By: MELISSA HANSON

Sheet Number:

A-1.0