

30-A-1

1999-0001

47 Custom House Wharf

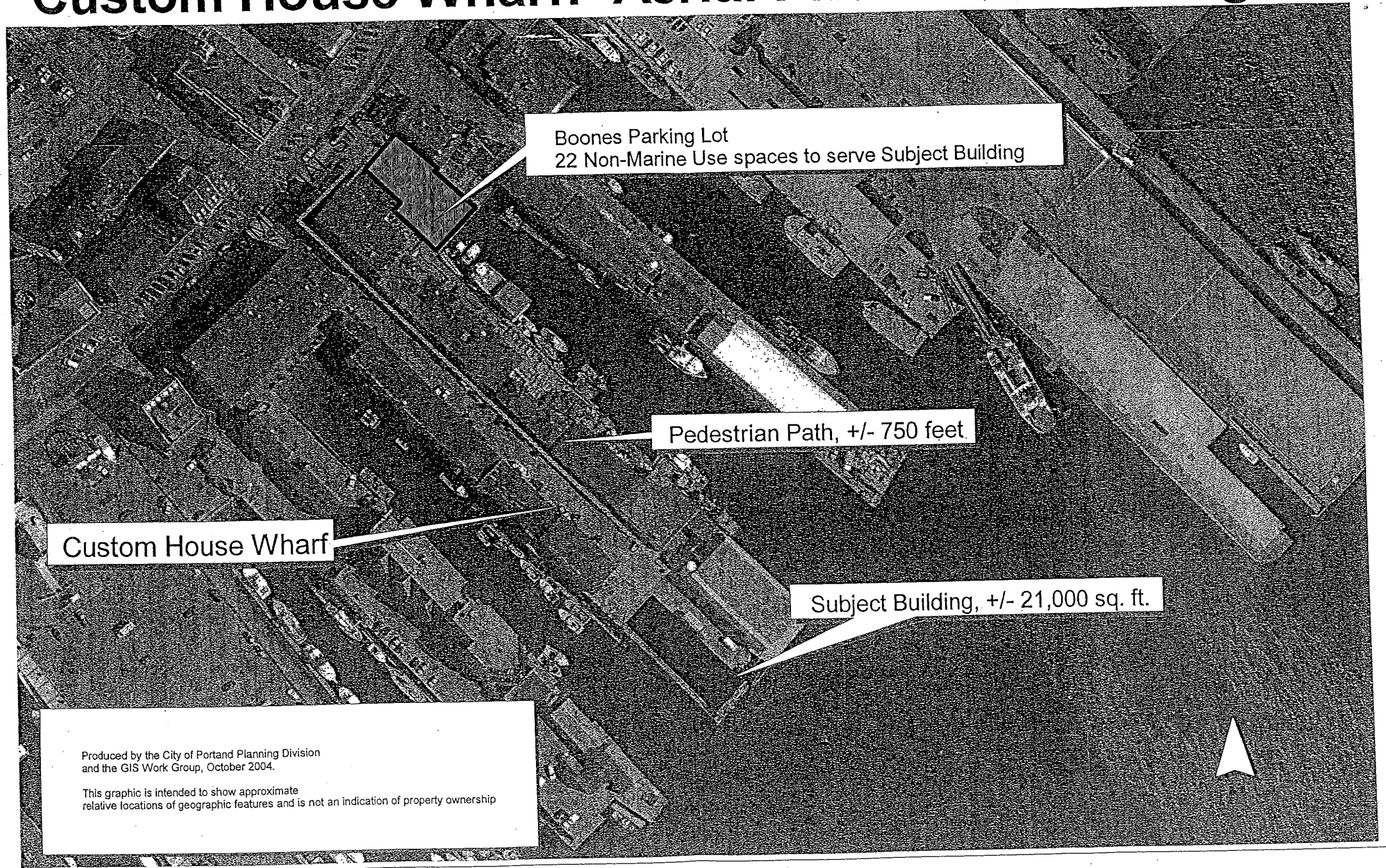
General marine + marine office fac.

Proprietors of Custom House Wharf

add to file already on
G: Drive

added to Spreadsheet

Custom House Wharf: Aerial Photo with Parking



Boones Parking Lot
22 Non-Marine Use spaces to serve Subject Building

Pedestrian Path, +/- 750 feet

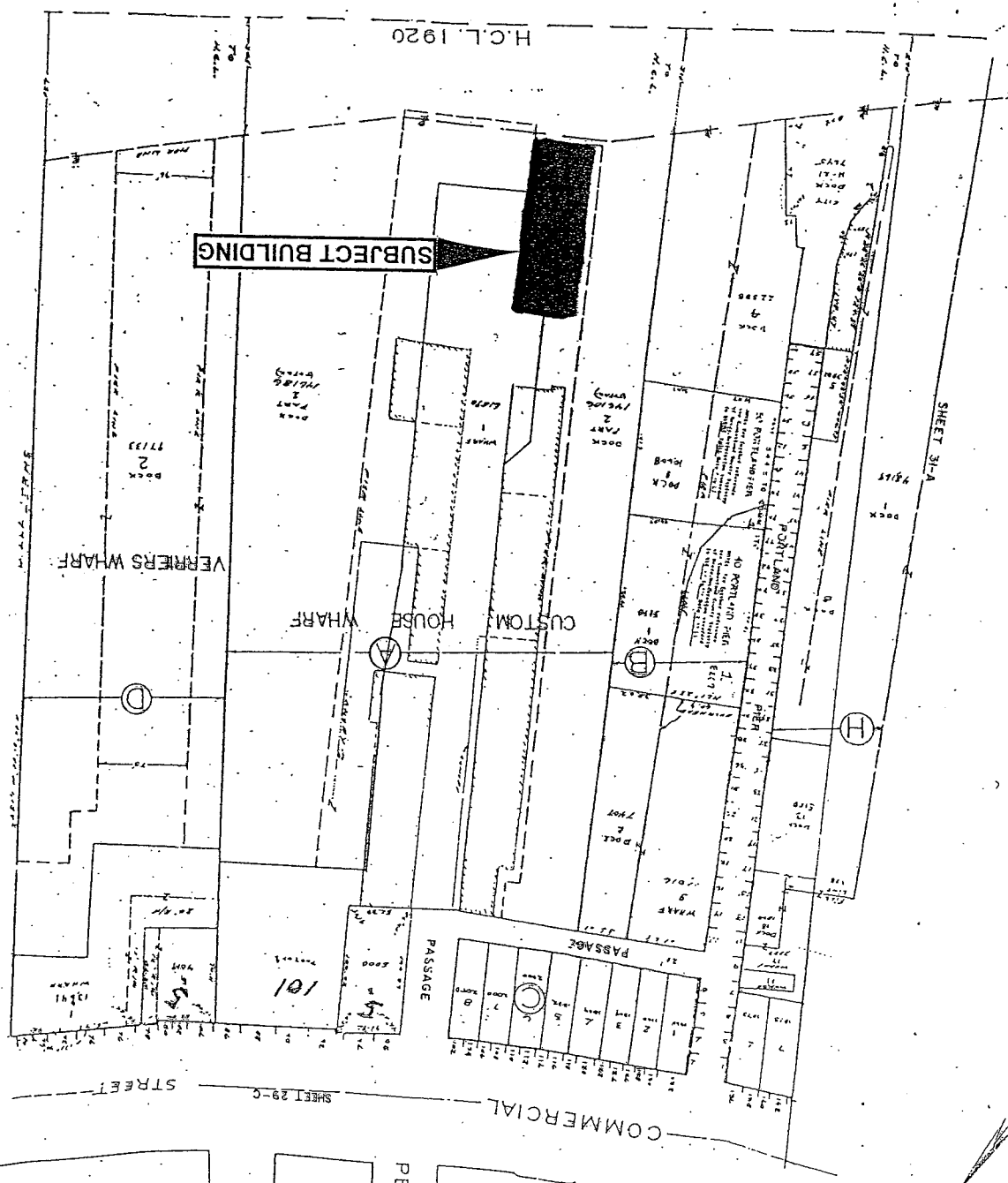
Custom House Wharf

Subject Building, +/- 21,000 sq. ft.

Produced by the City of Portland Planning Division
and the GIS Work Group, October 2004.

This graphic is intended to show approximate
relative locations of geographic features and is not an indication of property ownership

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50' ±
REVISED 7/21/82 RSB/PL

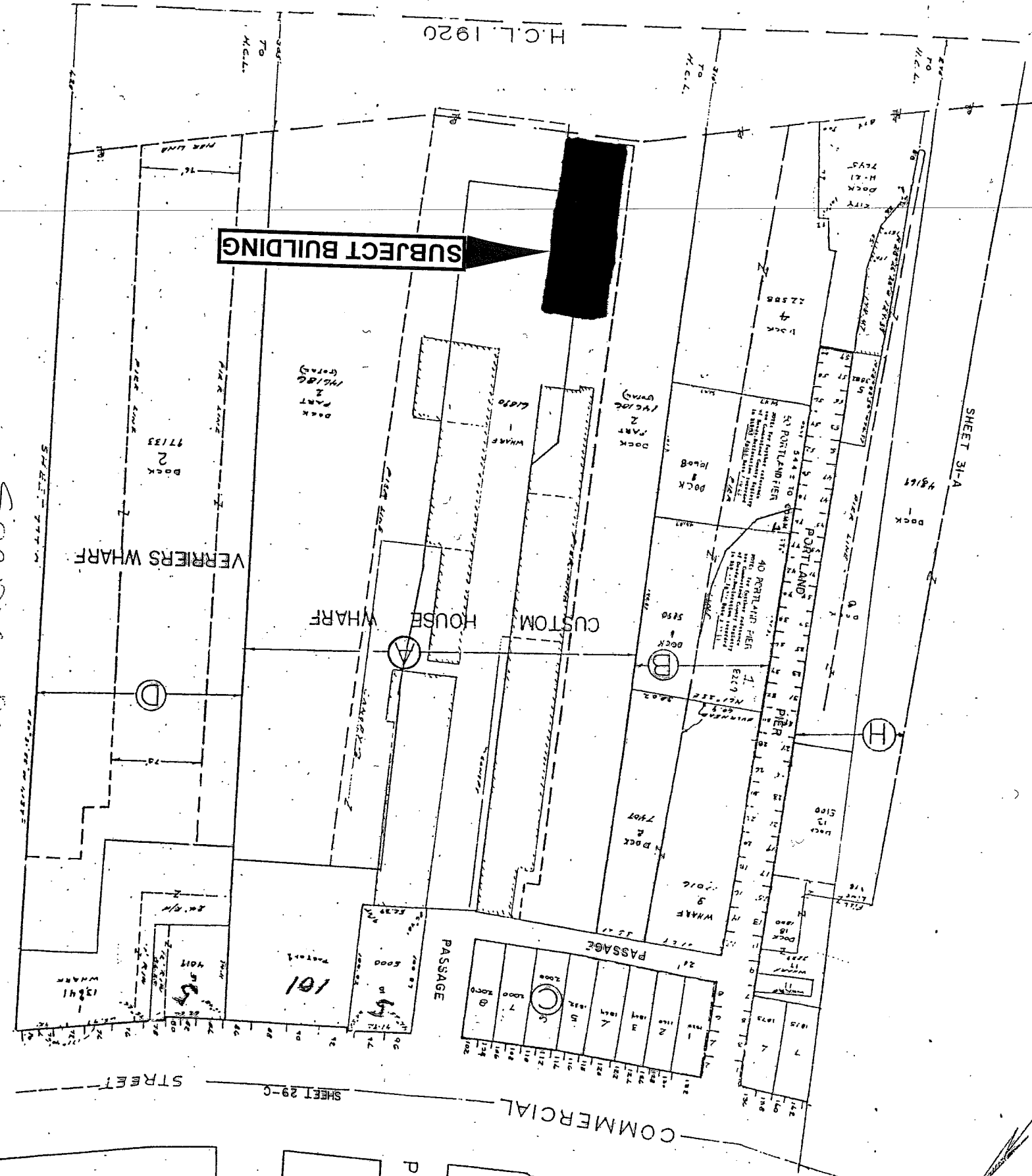


Seemay 07
or 444

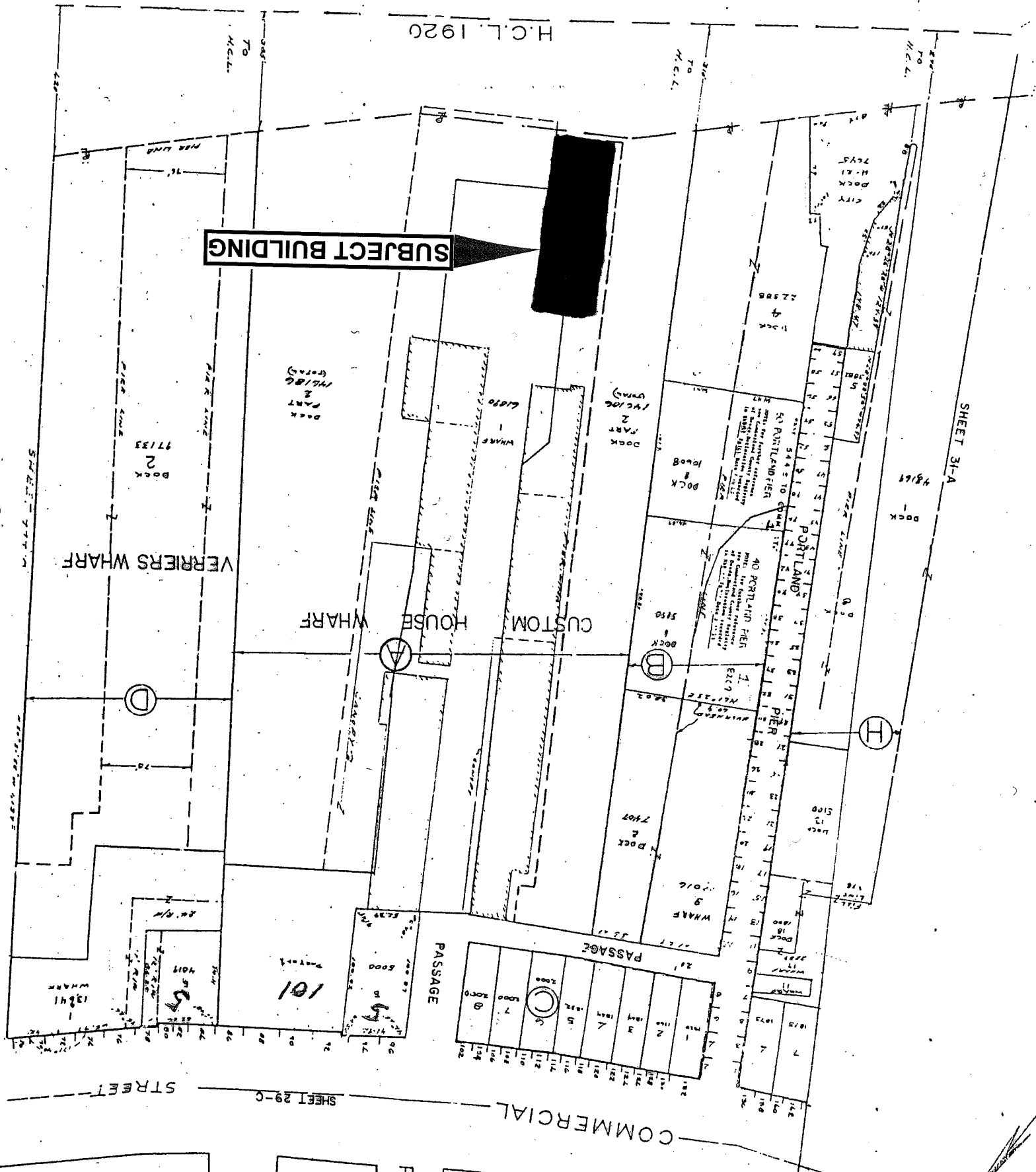
ATTACHMENT 1

FRANKLIN
ARTERIA

PEARL S



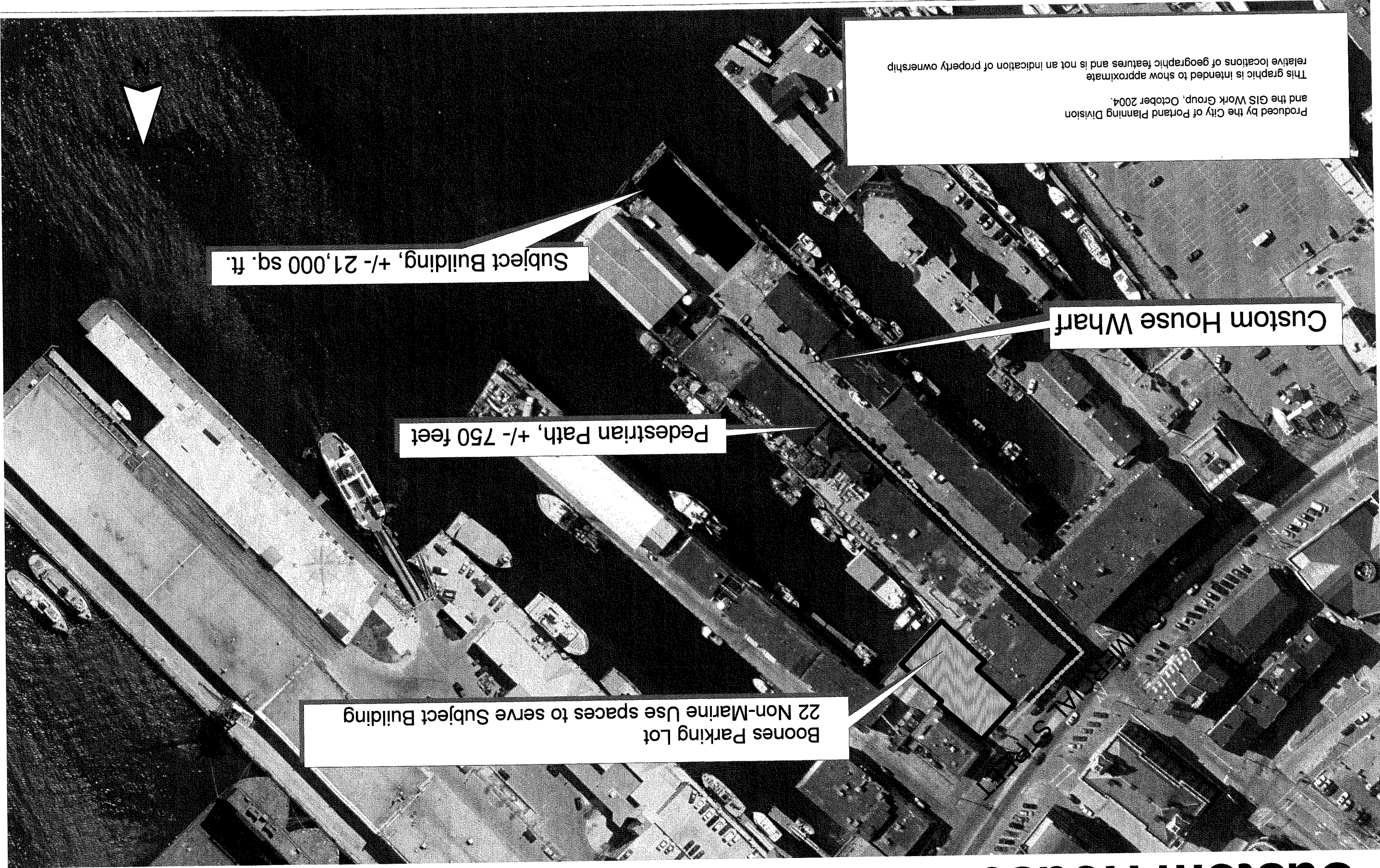
See map of
of 444



See map of
of 444

SUBJECT BUILDING

Custom House Wharf: Aerial Photo with Parking



Custom House Wharf

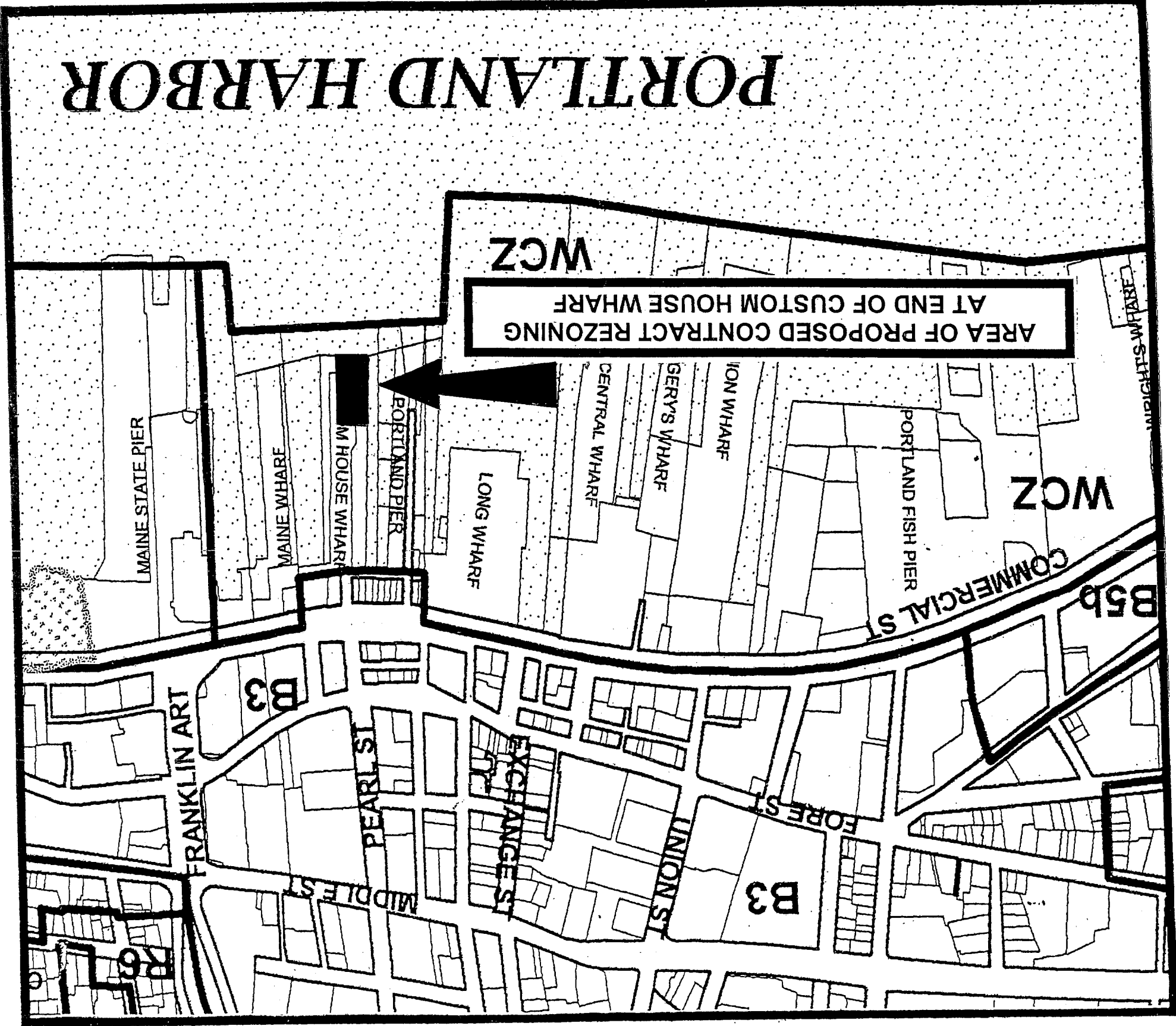
Pedestrian Path, +/- 750 feet

Subject Building, +/- 21,000 sq. ft.

Boones Parking Lot
22 Non-Marine Use spaces to serve Subject Building

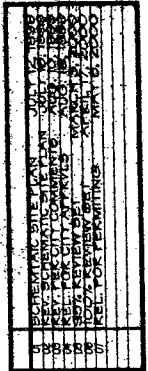
Produced by the City of Portland Planning Division
and the GIS Work Group, October 2004.
This graphic is intended to show approximate
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PORTLAND HARBOR



AA 5

AA 5-15



SITE DATA

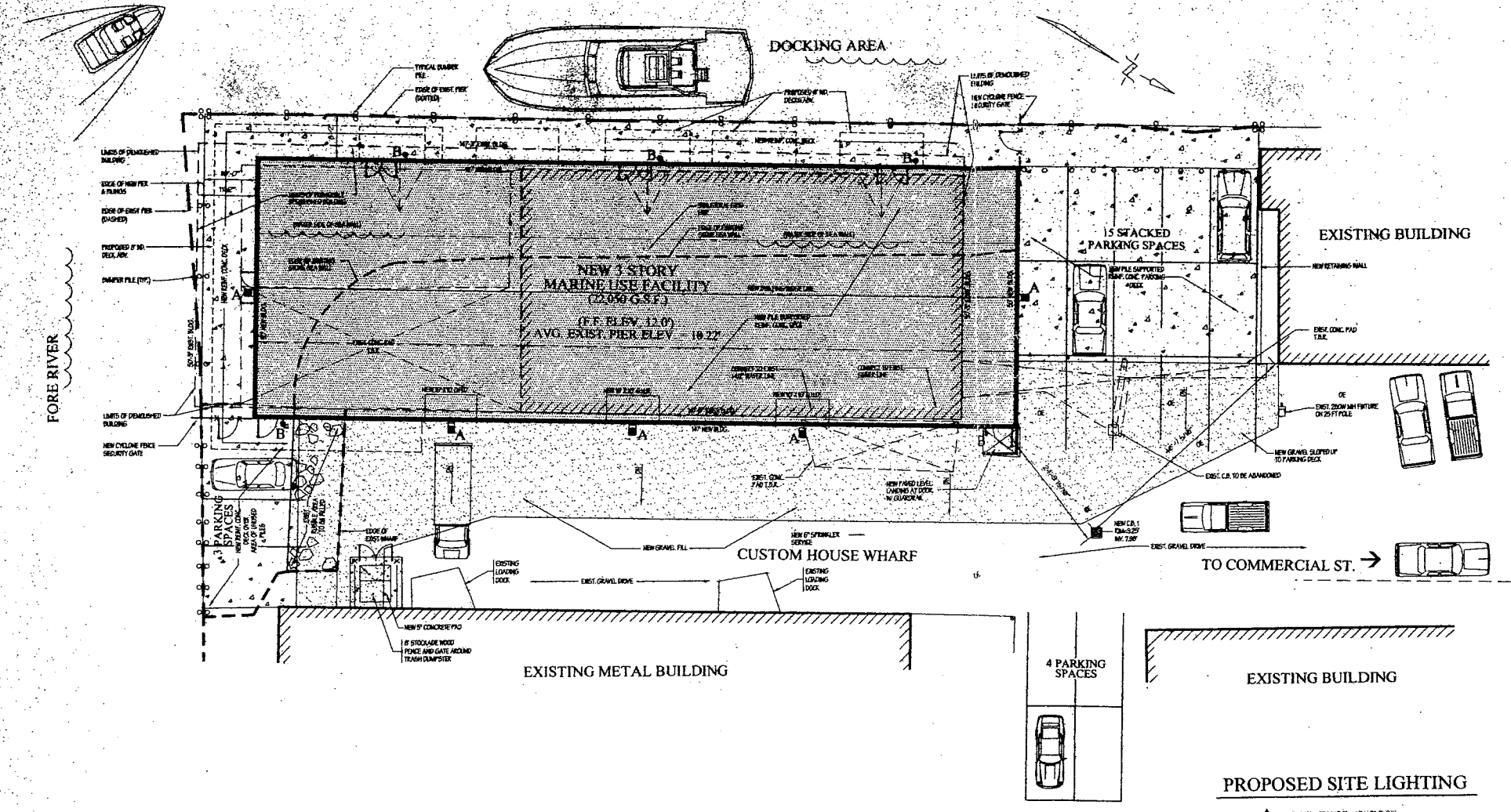
- PROPERTY INFORMATION:**
 - UNDEVELOPED PROPERTY PROPERTIES OF CUSTOM HOUSE WHARF, SHOWN FROM PORTLAND, MAINE DATA.
 - PLANNED ZONING: WATERFRONT CENTRAL ZONE (WAZ), BOROGLAND ZONE & FLOOD PLAIN/AZ.
 - USE: RECREATION PROCESSING (PERMITTED USE).
 - AREA OF PARCEL: UNKNOWN.
- SPACES & YARDS (MINIMUM REQUIRED):**
 - MIN. LOT SIDE - NONE
 - MIN. STREET FRONTAGE - NONE
 - MIN. LOT DEPTH - 100 FT.
 - MIN. FRONT YARD - NONE (PRINCIPAL STRUCTURE)
 - MIN. REAR YARD - NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) - NONE (ACCESSORY STRUCTURE)
 - MIN. SIDE YARD (WEST) - NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) - NONE (ACCESSORY STRUCTURE)
 - MIN. REAR YARD - NONE (PRINCIPAL STRUCTURE)
- UTILITIES:**
 - THIS FACILITY WILL BE FULLY SERVICED BY THE UTILITY COMPANIES AND OPERATED BY THE OPERATOR.
 - UTILITIES TO BE PROVIDED:
 - SEWER SERVICE
 - WATER SERVICE
 - ELECTRIC SERVICE
 - TELEPHONE SERVICE
 - STORM SEWER SERVICE
 - WATER SERVICE
 - SPRINKLER SERVICE
- STREET FRONTAGE:**
 - EXISTING FRONTAGE: 111 FEET 4 INCHES
 - PROPOSED FRONTAGE: 111 FEET 4 INCHES
- OFF-STREET PARKING:**
 - EXISTING OFF-STREET PARKING: 15 SPACES
 - PROPOSED OFF-STREET PARKING: 15 SPACES
- STREET FRONTAGE:**
 - PROVIDE EXISTING SIDEWALK IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - ALL SIDE WALKS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
 - BEFORE CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.

PLAN REFERENCES:

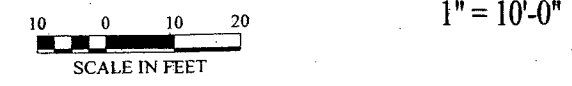
- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TITCOMB ASSOCIATES DATED FEBRUARY 19 1998.
- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY DAN HENKELL, INC. DATED AUGUST, 1984.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-204; PERMITTED USES OR SEC. 14-205; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-302.5; NO ADVERSE IMPACT ON MARINE USE.
- BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1988.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 650.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-L. PIER ELEVATION = 8.61 (FEET).
- THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TITCOMB ASSOCIATES MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TITCOMB ASSOCIATES FURTHER DOES NOT WARRANT INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICLE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS THROUGH ALL EARTH DISTURBANCE PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THROUGH FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK, ACCORDING TO THE WPA PERMIT BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES SECTION 16.13.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- SILTATION FENCES AND HAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.



SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23°-02'-00" E 179.26'	NEW CONTOUR	WATER VALVE	NEW LOAM & SEED	PERIMETER FON. DRAIN
EASEMENT LINE	EXISTING CONTOUR	TRANSFORMER PAD	OVERHEAD ELEC. LINE	UNDERDRAIN
EXIST. EDGE OF VEGETATION	BENCH MARK	DECIDUOUS TREE	OVERHEAD TELEPHONE	UNDERDRAIN ELEC. CIRCUIT (1" PVC CONDUIT)
SILT/HAYBALE BARRIER	CONCRETE MONUMENT FOUND	CONIFEROUS TREE	UNDERGROUND ELEC.	
SWALE	IRON PIPE FOUND		UNDERGROUND TEL.	
CULVERT	UTILITY POLE	NEW CONCRETE SURFACE	UNDERGROUND CATV	
EDGE OF TRAVELED WAY	MANHOLE	NEW PLANTING BED	STORM SEWER	
EXIST. SPOT ELEVATION	HYDRANT	NEW CRUSHED STONE DRAINAGE COURSE	SANITARY SEWER	
NEW SPOT ELEVATION	CATCH BASIN		WATER SERVICE	
	CATCH BASIN (SOIL DISPERSION TYPE)		SPRINKLER SERVICE	
	FRENCH DRAIN			

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE
 PH. (207) 797-8661
 PROJECT NO. 99113 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
 SHEET TITLE: SITE PLAN - GENERAL
 SCALE: 1" = 10'-0"

REL. FOR PERMITTING - MAY 5, 2000

MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE

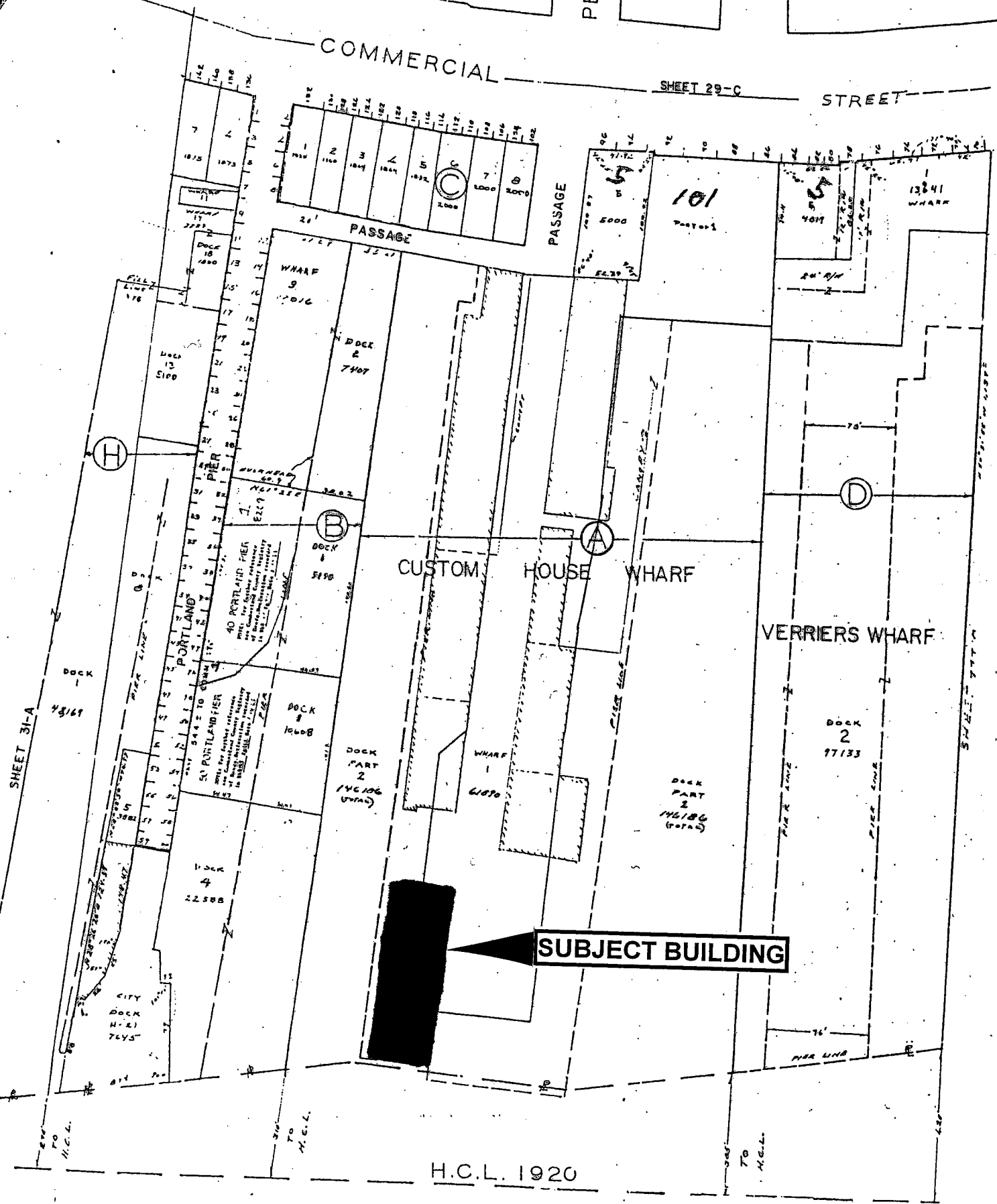
C-200

PEARL ST

FRANKLIN
ARTERIAL

COMMERCIAL STREET

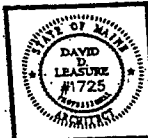
SHEET 29-C



SUBJECT BUILDING

See map of
444 JO

H.C.L. 1920

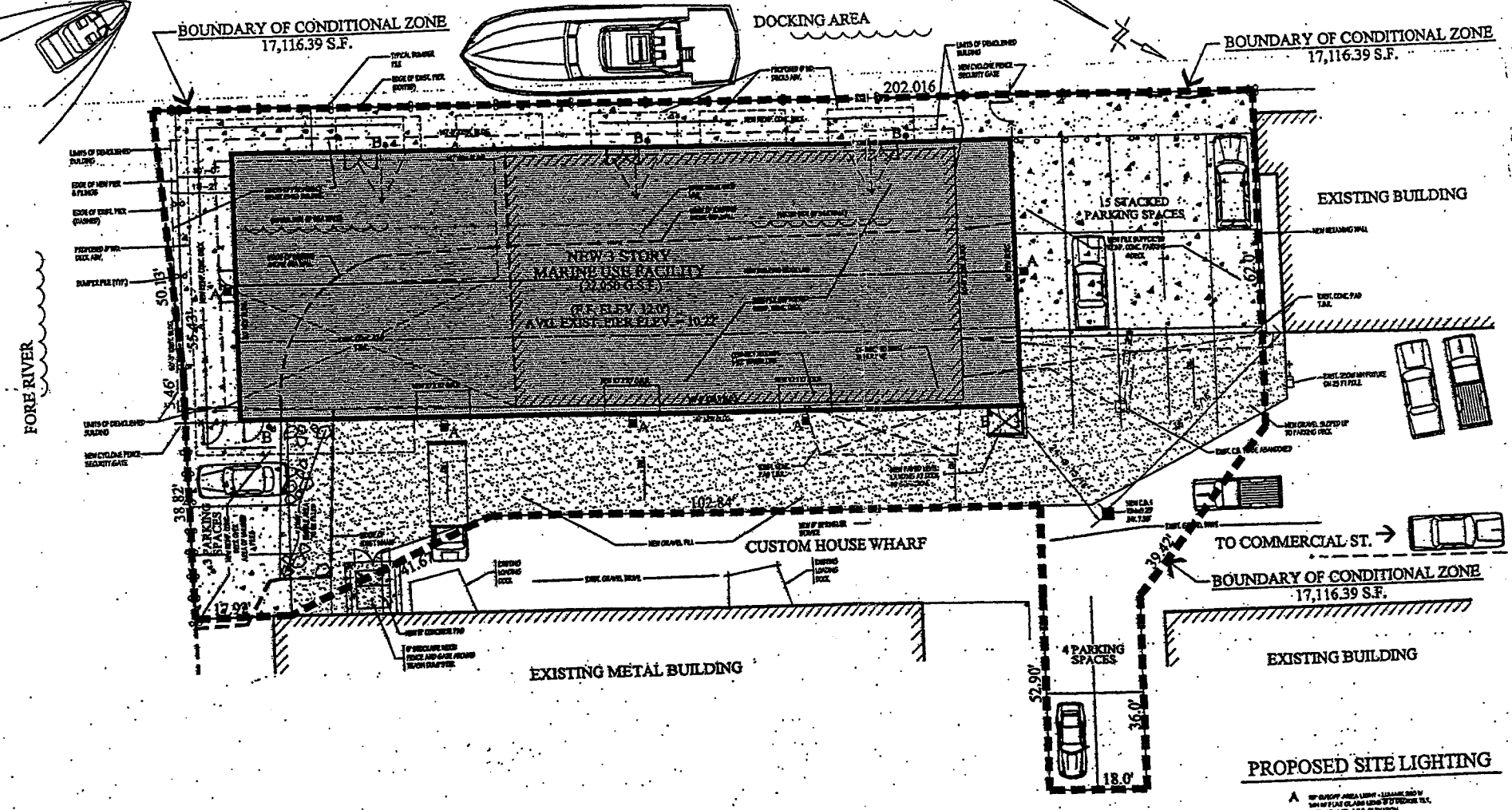


DATE	DESCRIPTION
JULY 15, 2004	REVISION 1
AUG 10, 2004	REVISION 2
AUG 15, 2004	REVISION 3
AUG 20, 2004	REVISION 4
SEPT 17, 2004	REVISION 5
SEPT 20, 2004	REVISION 6
OCT 17, 2004	REVISION 7
OCT 20, 2004	REVISION 8
NOV 17, 2004	REVISION 9
NOV 20, 2004	REVISION 10
DEC 17, 2004	REVISION 11
DEC 20, 2004	REVISION 12
JAN 17, 2005	REVISION 13
JAN 20, 2005	REVISION 14
FEB 17, 2005	REVISION 15
FEB 20, 2005	REVISION 16
MAR 17, 2005	REVISION 17
MAR 20, 2005	REVISION 18

SITE DATA

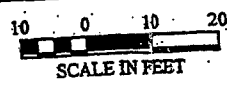
<p>1. RECORD OWNER OF PROPERTY & OPERATORS OF CUSTOM HOUSE WHARF, 5 EASTERN FRIEL, PORTLAND, MAINE 04101</p> <p>2. PARCEL ZONING: WATERFRONT CENTRAL ZONE (W-CZ), SHORCLAND ZONE & FLOOD PLAIN AS.</p> <p>3. SITE USE: SEAFOOD PROCESSING (PERMITTED USE)</p> <p>4. AREA OF PARCEL = UNKNOWN</p>	<p>5. SPACE & BULK REQUIREMENTS: RESIDENTIAL (R-4) REQUIREMENT</p> <ul style="list-style-type: none"> MIN. LOT SIZE = NONE MIN. STREET FRONTAGE = NONE MIN. LOT DEPTH = 100 FT. MIN. FRONT YARD = NONE (PRINCIPAL STRUCTURE) MIN. SIDE YARD (EAST) = NONE (PRINCIPAL STRUCTURE) MIN. SIDE YARD (WEST) = NONE (PRINCIPAL STRUCTURE) MIN. SIDE YARD (EAST) = NONE ACCESSORY STRUCTURE MIN. REAR YARD = NONE (PRINCIPAL STRUCTURE) 	<p>6. FACILITY UTILITIES</p> <p>THE NEW FACILITY WILL BE FULLY SELF-SUFFICIENT. COMMON AREAS AND CORRIDORS ARE UTILIZED.</p> <p>SANITARY SEWER: MUNICIPAL</p> <p>DOMESTIC WATER: EXISTING SITE CATCH BASIN</p> <p>ELECTRIC SERVICE: UTILITY COMPANY (C&P) NONE AT THIS TIME.</p> <p>STILITY COMPANY (C&P) NONE AT THIS TIME.</p> <p>7. OFF STREET LOADING</p> <p>(B) NEW DRIVE-IN LOADING BAYS PROVIDED</p>	<p>8. OFF STREET PARKING</p> <ul style="list-style-type: none"> GROUND FLOOR (BUSINESS NOT CATERING TO RETAIL TRADE WITH FLOOR AREA OVER 3,000 S.F. = 1.5 SPACES/1,000 S.F. REQUIRED 2ND FLOOR: 17,116 S.F. (BUSINESS OFFICE) = 1.5 SPACES PER 1,000 S.F. REQUIRED 3RD FLOOR: 17,116 S.F. (BUSINESS OFFICE) = 1.5 SPACES PER 1,000 S.F. REQUIRED 4TH FLOOR: 17,116 S.F. (BUSINESS OFFICE) = 1.5 SPACES PER 1,000 S.F. REQUIRED <p>TOTAL PARKING REQUIRED: 103 SPACES (SOIL REDUCTION PERMITTED)</p> <p>TOTAL PARKING SPACE PROVIDED: 103 SPACES (INCLUDING 8 SPACES WITHIN FACILITY)</p>	<p>9. OTHER REQUIREMENTS</p> <ul style="list-style-type: none"> PROVIDE EROSION CONTROLS IN ACCORDANCE WITH FEDERAL, STATE AND MUNICIPAL REQUIREMENTS. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS. THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES. BEFORE CONSTRUCTION THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.
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- ### PLAN REFERENCES:
- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TITCOMB ASSOCIATES DATED FEBRUARY 18 1999.
 - PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY OWEN HASKELL, INC. DATED AUGUST, 1984.
- ### GENERAL NOTES:
- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-314; PERMITTED USES OR SEC. 14-305; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-306.5; NO ADVERSE IMPACT ON MARINE USE.
 - BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1990.
 - DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 65A.
 - ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK P.S. NAIL IN POLE - J-L PER ELEVATION = 8.61 (FEET).
 - THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
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 - GENERAL CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
 - GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEARING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
 - NOTIFY ADJACENT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
 - PROVIDE BENT PENCING AROUND JUNCTION AND ON-SITE CATCH BASINS DURING ALL EARTH DISTURBANCE PROCEDURES.
 - PROVIDE SECONDARY TYPE SLEEVES OF 3/8" IN MATERIAL WHERE FITTING, AND CONDUIT PASS THROUGH FOUNDATION WALLS AND SLABS.
 - GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE METH. PERMIT BY STATE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SECTION 14.11.
 - ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUIY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 18" BELOW FINISH GRADE ELEVATION.
 - ALL UNDERGROUND SITE LIGHTING CIRCUIY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 18" BELOW FINISH GRADE ELEVATION.
 - SILTATION FENCES AND MAT BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO BEARS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.



SITE PLAN - GENERAL

1" = 10'-0"



SITE LEGEND

PROP. LINE BOUNDARY	S 23 - 02' - 00" E 179.26'	NEW CONTOUR	—○—	WATER WADE	—○—	NEW LOW & SEED	—○—	PERMITTED FOR DRAW	—○—
EXISTENT LINE	—	EXISTING CONTOUR	—○—	TRANSFORMER PAD	—□—	OVERHEAD ELEC. LINE	—OC—	UNDERGROUND	—UD—
EXIST. EDGE OF WEDGION	—	BENCH MARK	—●—	DESOLUCUS TREE	—○—	OVERHEAD TELEPHONE	—OCATY—	UNDERGROUND ELEC. CIRCUIT (1" PVC CONDUIT)	—○—
NEW/ABANDONED BARRIER	—S—S—	CONCRETE MONUMENT FOUND	—●—	CONFOLUCUS TREE	—●—	UNDERGROUND ELEC.	—UE—		
SHALE	—	IRON PIPE FOUND	—●—	NEW CONCRETE SURFACE	—■—	UNDERGROUND TEL.	—UTL—		
GRAVEL	—	UTILITY POLE	—●—	NEW PLANTING BED	—■—	UNDERGROUND C&P	—UCATY—		
EDGE OF TRAVELED HWY	—	"MANHOLE"	—○—	NEW CRUSHED STONE DRAINAGE COURSE	—■—	STORM SEWER	—ST—		
EDGE OF DRIVEWAY	—	HYDRANT	—●—			SANITARY SEWER	—SS—		
EXIST. SPOT ELEVATION	+	CATCH BASIN	—□—			WATER SERVICE	—WS—		
	11.92'	CATCH BASIN (SOIL DISPERSION TYPE)	—□—			SPRINKLER SERVICE	—SP—		

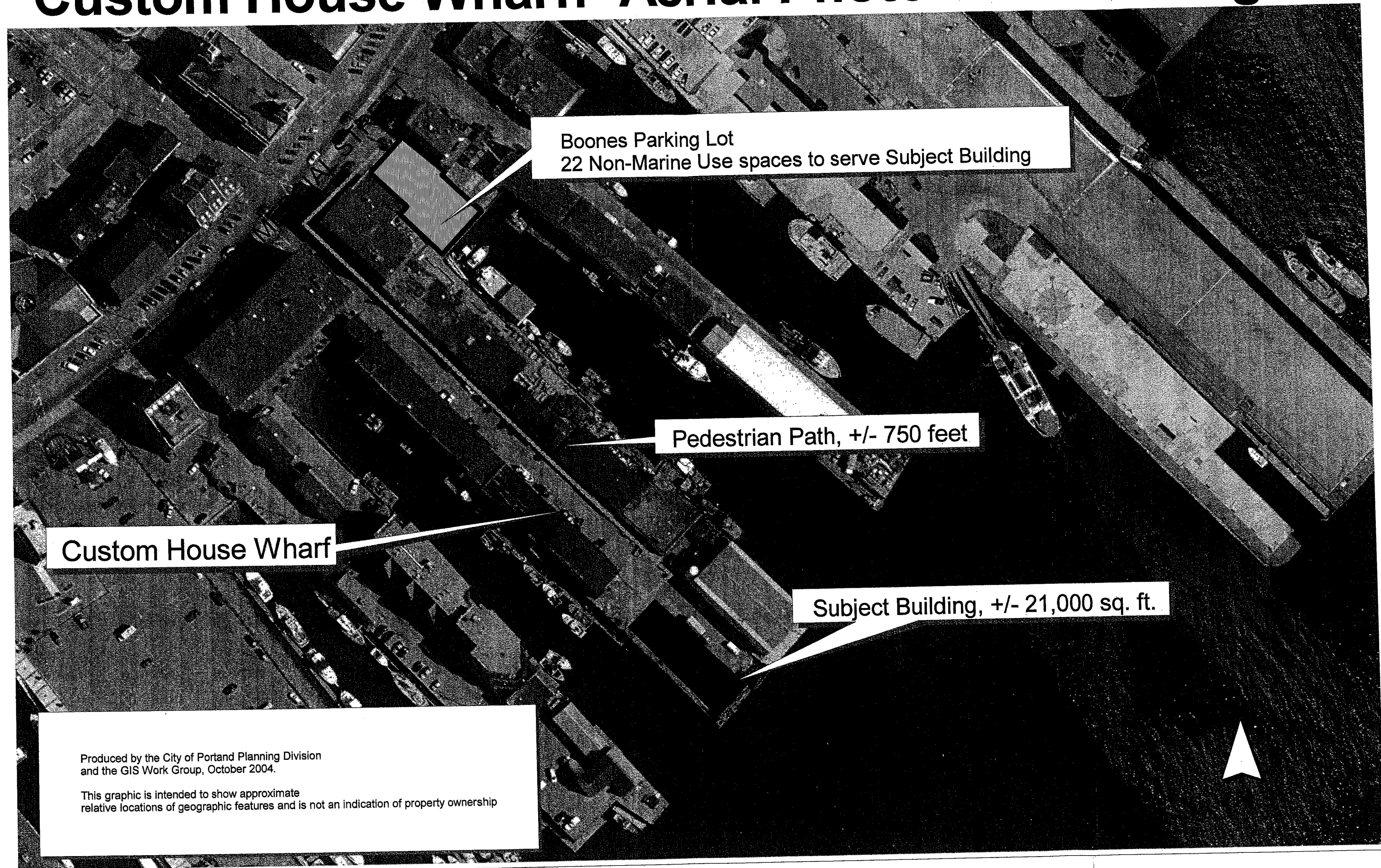
REVISED SITE PLAN - JANUARY 19, 2004

**MARINE USE FACILITY
CUSTOM HOUSE WHARF
PORTLAND WATERFRONT
PORTLAND, MAINE**

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE
 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
 SHEET TITLE: SITE PLAN - GENERAL
 SCALE: 1" = 10'-0"
 PH. (207) 797-8661 FAX (207) 797-8533

C-200R

Custom House Wharf: Aerial Photo with Parking



Boones Parking Lot
22 Non-Marine Use spaces to serve Subject Building

Pedestrian Path, +/- 750 feet

Custom House Wharf

Subject Building, +/- 21,000 sq. ft.

Produced by the City of Portland Planning Division
and the GIS Work Group, October 2004.

This graphic is intended to show approximate
relative locations of geographic features and is not an indication of property ownership

AA 5

AA 5-15



DATE	05/05/2000
PROJECT	MAINE USE FACILITY - CUSTOM HOUSE WHARF
SHEET NO.	1
TOTAL SHEETS	1
SCALE	1" = 10'-0"
DESIGNED BY	DD
DRAWN BY	DD
CHECKED BY	DD
APPROVED BY	DD

SITE DATA

GENERAL NOTES:

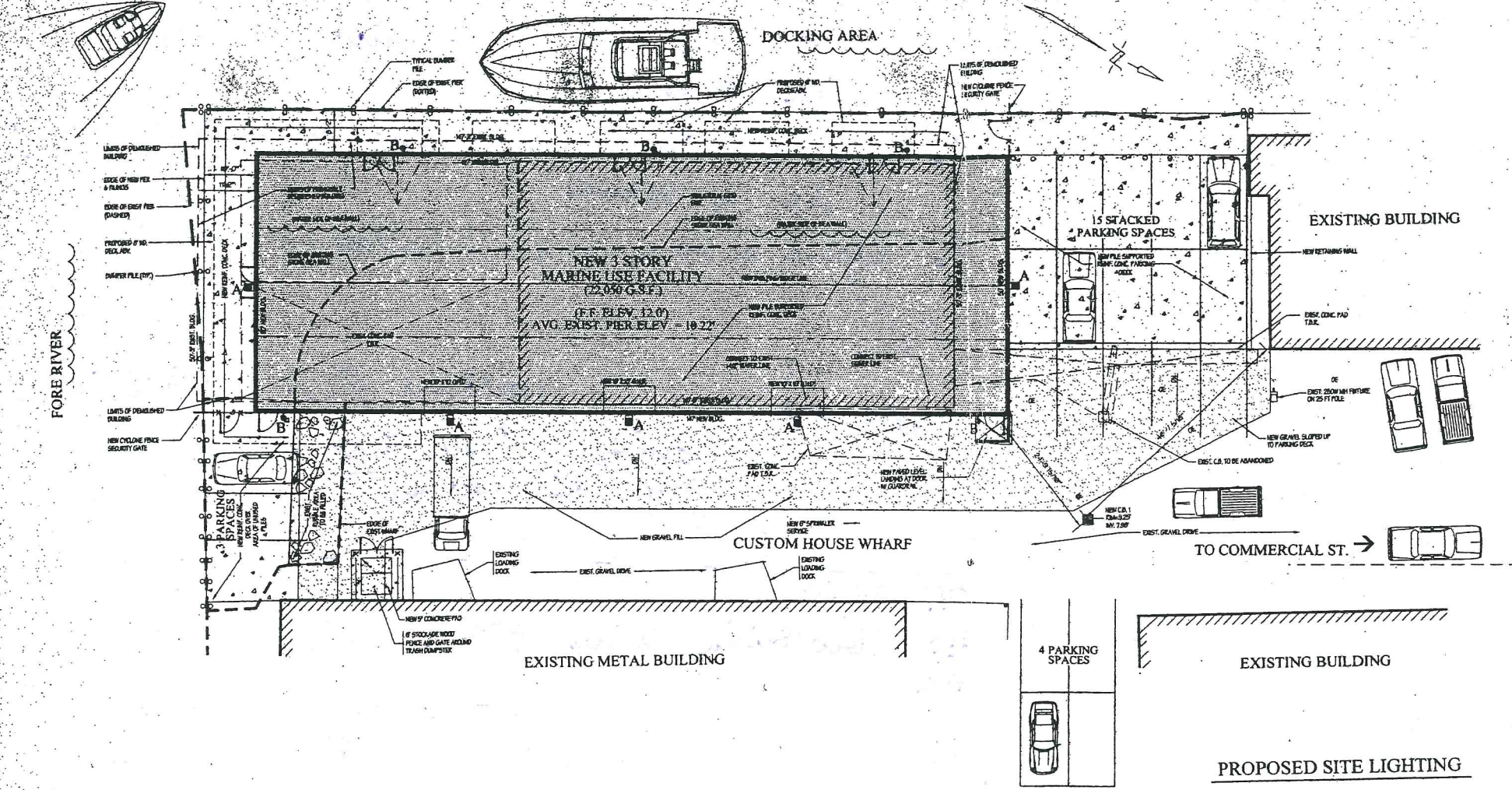
- EXISTING BUILDING AND FOUNDATION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
- ALL UTILITIES SHALL BE RELOCATED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
- BEFORE CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.

OFF-SITE PARKING:

- REQUIRED PARKING SHALL BE PROVIDED OUTSIDE THE METAL BUILDING IN A LOT AREA OF 3,000 SQ. FT. (MINIMUM 15 SPACES).
- REQUIRED PARKING SHALL BE PROVIDED OUTSIDE THE METAL BUILDING IN A LOT AREA OF 3,000 SQ. FT. (MINIMUM 15 SPACES).
- REQUIRED PARKING SHALL BE PROVIDED OUTSIDE THE METAL BUILDING IN A LOT AREA OF 3,000 SQ. FT. (MINIMUM 15 SPACES).

OTHER REQUIREMENTS:

- EXISTING BUILDING AND FOUNDATION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
- ALL UTILITIES SHALL BE RELOCATED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
- BEFORE CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.



PLAN REFERENCES:

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- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY OWEN HESKELL, INC. DATED AUGUST 1994.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-304: PERMITTED USES OR SEC. 14-305: CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-302.5: NO ADVERSE IMPACT ON MARINE USE.
- BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1999.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 658.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-L PIER ELEVATION = 8.61 (FEET).
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- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS DURING ALL EARTH DISTURBANCE PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THROUGH FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK, ACCORDING TO THE IRPA PERMIT BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES; SECTION 16.13.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- SILTATION FENCES AND HAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SOIL INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.

SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23 -02' -00" E 179.26	NEW CONTOUR	WATER VALVE	NEW LOAM & SEED	PERIMETER FORN. DRAIN
EASEMENT LINE	EXISTING CONTOUR	TRANSFORMER PAD	NEW GRAVEL FILL	UNDERDRAIN
EXIST. EDGE OF VEGETATION	BENCH MARK	DECIDUOUS TREE	OVERHEAD ELEC. LINE	UNDERGRD. ELEC. CIRCUIT (1" PVC CONDUIT)
SILT/HAYBALE BARRIER	CONCRETE MONUMENT FOUND.	CONIFEROUS TREE	OVERHEAD TELEPHONE	
SWALE	IRON PIPE FOUND	NEW CONCRETE SURFACE	UNDERGROUND ELEC.	
CULVERT	UTILITY POLE	NEW PLANTING BED	UNDERGROUND TEL.	
EDGE OF TRAVELED WAY	MANHOLE	NEW CRUSHED STONE DRAINAGE COURSE	UNDERGROUND CATV	
EXIST. SPOT ELEVATION	HYDRANT		STORM SEWER	
NEW SPOT ELEVATION	CATCH BASIN		SANITARY SEWER	
	CATCH BASIN (SOIL DISPERSION TYPE)		WATER SERVICE	
	FRENCH DRAIN		SPRINKLER SERVICE	

REL. FOR PERMITTING - MAY 5, 2000

MAINE USE FACILITY
CUSTOM HOUSE WHARF
PORTLAND WATERFRONT
PORTLAND, MAINE

C-200

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
14 SUNSET ROAD FALMOUTH, MAINE
PROJECT NO. 99113 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
SCALE: 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL

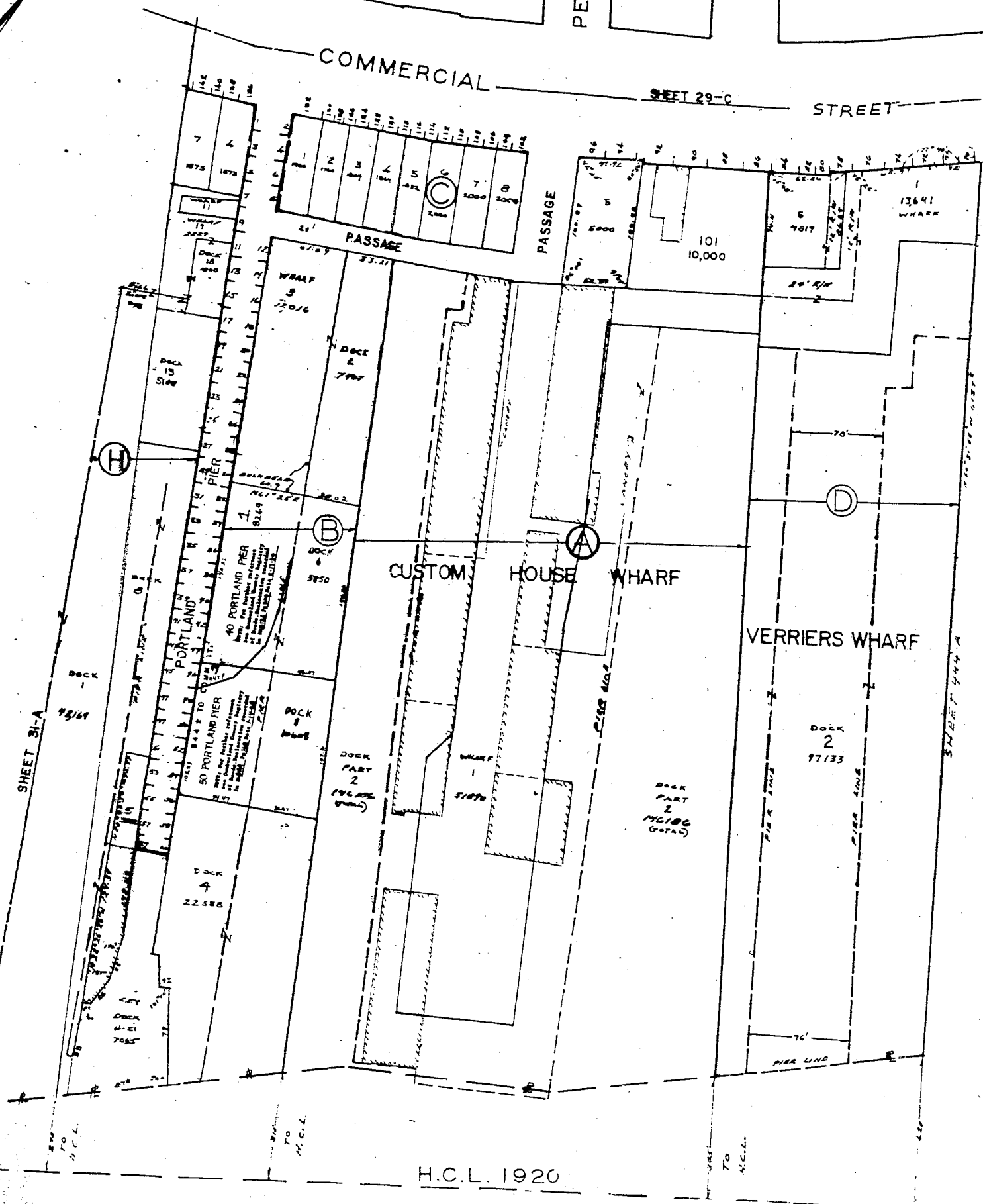
No 30
AH 5.14

FRANKLIN
ARTERIAL

PEARL ST.

COMMERCIAL STREET

SHEET 29-C



H.C.L. 1920

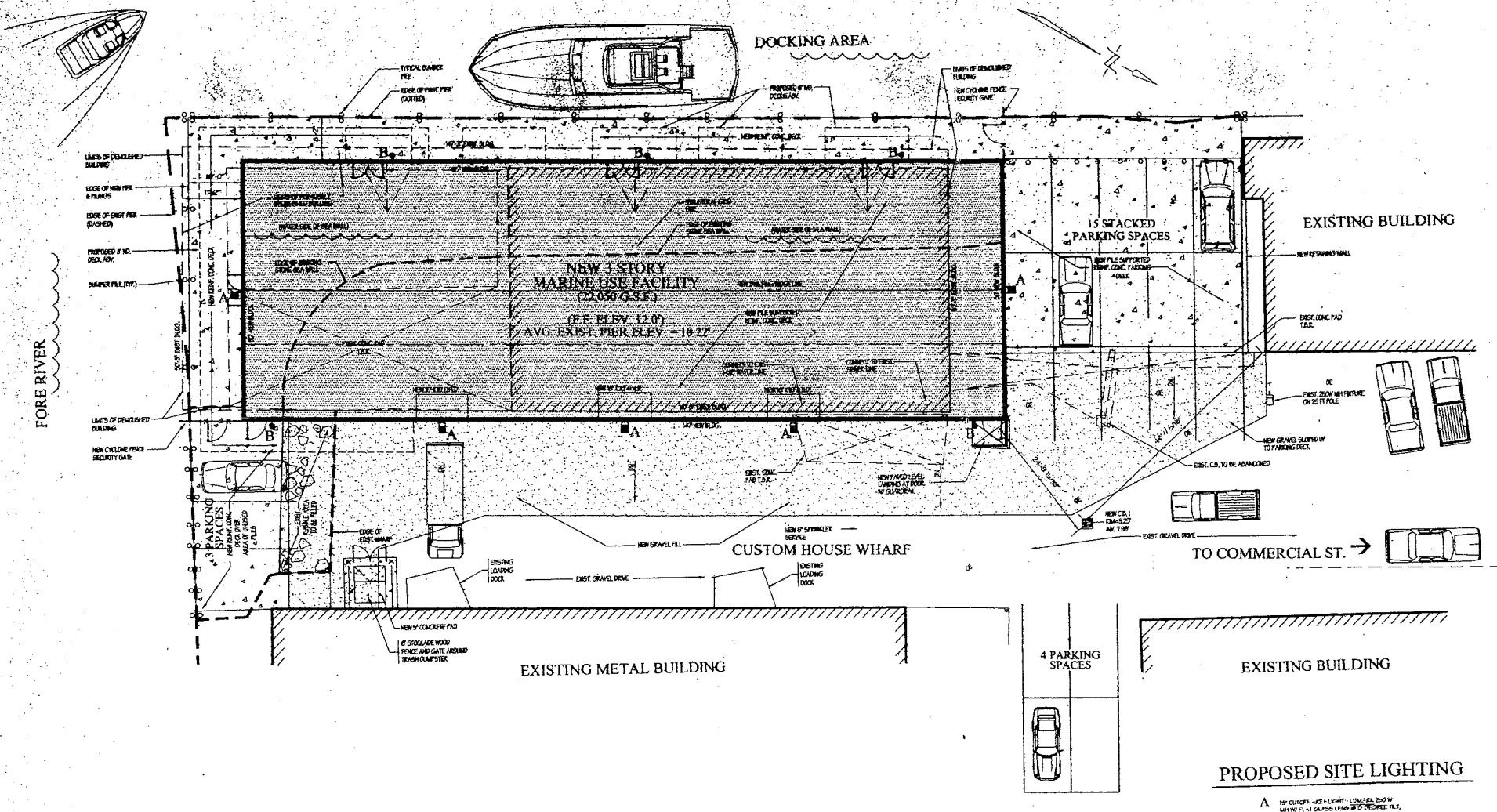
AH 5.15



BIOGRAPHIC SITE PLAN
 THIS PLAN IS THE PROPERTY OF DAVID D. LEASURE, ARCHITECTURAL ASSOCIATES INC.
 NO PART OF THIS PLAN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DAVID D. LEASURE, ARCHITECTURAL ASSOCIATES INC.

SITE DATA

- GENERAL NOTES:**
 - ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET.
 - ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 - ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 - ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
- SPACE & MASS REQUIREMENTS (GENERAL):**
 - MIN. LOT SIZE = NONE
 - MIN. STREET FRONTAGE = NONE
 - MIN. LOT DEPTH = 100 FT.
 - MIN. FRONT YARD = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) = NONE (PRINCIPAL STRUCTURE)
 - MIN. REAR YARD = NONE (PRINCIPAL STRUCTURE)
- PERMITTED USES:**
 - RESIDENTIAL
 - COMMERCIAL
 - INDUSTRIAL
 - OFFICE
 - RETAIL
 - RESTAURANT
 - BAR
 - CLUB
 - AMUSEMENT
 - RECREATION
 - EDUCATION
 - RELIGIOUS
 - CULTURAL
 - MEMORIAL
 - MONUMENTAL
 - LANDMARK
 - LANDSCAPE ARCHITECTURE
 - ARTS AND CRAFTS
 - DESIGN
 - RESEARCH
 - DEVELOPMENT
 - MANUFACTURING
 - WAREHOUSING
 - STORAGE
 - TRADING
 - FINANCIAL
 - INVESTMENT
 - LEGAL
 - ACCOUNTING
 - CONSULTING
 - ENGINEERING
 - ARCHITECTURE
 - LANDSCAPE ARCHITECTURE
 - ARTS AND CRAFTS
 - DESIGN
 - RESEARCH
 - DEVELOPMENT
 - MANUFACTURING
 - WAREHOUSING
 - STORAGE
 - TRADING
 - FINANCIAL
 - INVESTMENT
 - LEGAL
 - ACCOUNTING
 - CONSULTING
 - ENGINEERING
 - ARCHITECTURE
- OTHER REQUIREMENTS:**
 - PROVIDE EROSION CONTROL IN ACCORDANCE WITH FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
 - ALL WASTE MUST BE RECYCLED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
 - PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.



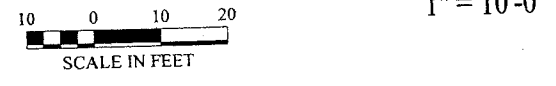
PLAN REFERENCES:

- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TITCOMB ASSOCIATES DATED FEBRUARY 15 1999.
- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY ONEN HASKELL, INC. DATED AUGUST, 1964.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-334; PERMITTED USES OR SEC. 14-335; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-335.5; NO ADVERSE IMPACT ON MARINE USE.
- BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1999.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 656.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-1. PIER ELEVATION = 8.61 (FEET).
- THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TITCOMB ASSOCIATES MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TITCOMB ASSOCIATES FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL, FENCES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS DURING ALL EARTH DISTURBANCE PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING, AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE 1974 PERMITS BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES SECTION 1.6.1.3.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- SILTATION FENCES AND RAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.

SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23°-02'-00" E 179.26'	NEW CONTOUR — S1 —	WATER VALVE ⊗	NEW LOAM & SEED — S —	PERIMETER FDN. DRAIN — PD —
EASEMENT LINE — — — — —	EXISTING CONTOUR — S2 —	TRANSFORMER PAD □	NEW GRAVEL FILL [Pattern]	UNDERDRAIN — UD —
EXIST. EDGE OF VEGETATION [Wavy Line]	BENCH MARK ⊙	DECIDUOUS TREE ⊙	OVERHEAD ELEC. LINE — OE —	UNDERG. ELEC. CIRCUIT (1" PVC CONDUIT) — C —
SILT/HAYBALE BARRIER — S — S —	CONCRETE MONUMENT FOUND ■	CONIFEROUS TREE ⊙	OVERHEAD TELEPHONE — OCATV —	
SWALE — S —	IRON PIPE FOUND — IP —	NEW CONCRETE SURFACE [Pattern]	UNDERGROUND ELEC. — UE —	
CULVERT — C —	UTILITY POLE ⊙	NEW PLANTING BED [Pattern]	UNDERGROUND TEL. — UTEL —	
EDGE OF TRAVELED WAY — E —	MANHOLE ⊙	NEW GRANISHED STONE DRAINAGE COURSE [Pattern]	UNDERGROUND CATV — UCATV —	
EXIST. SPOT ELEVATION X 11.92	HYDRANT ⊙		STORM SEWER — ST —	
NEW SPOT ELEVATION X 11.92	CATCH BASIN ■		SANITARY SEWER — SS —	
	CATCH BASIN (SOIL DISPERSION TYPE) ■		WATER SERVICE — W —	
	FRENCH DRAIN — FD —		SPRINKLER SERVICE — SP —	

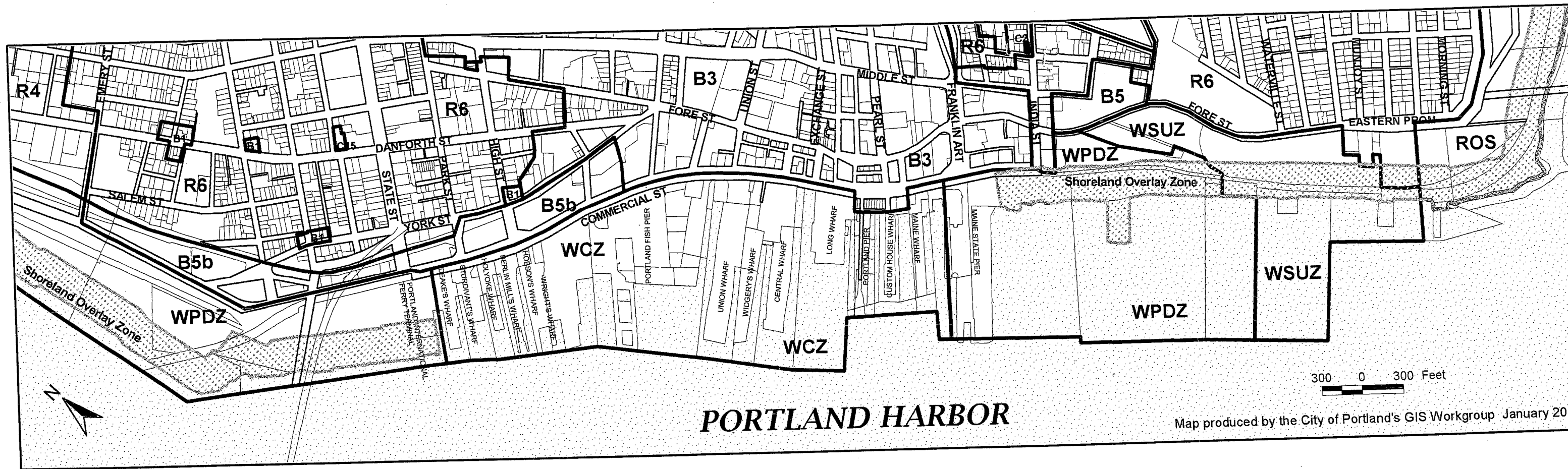
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE
 PROJECT NO. 99113 PROJECT TITLE: MARINE USE FACILITY - CUSTOM HOUSE WHARF
 SCALE: 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL
 PH. (207) 797-8661

REL. FOR PERMITTING - MAY 5, 2000

MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE

C-200

AH. 6.



PORTLAND HARBOR

Map produced by the City of Portland's GIS Workgroup January 2002

MAINE STATE PIER

A.H. 7

RANKLIN ART

3
2

MAINE WHARF

Proposed area for Conditional Rezoning

WINDMILL HOUSE WHARF



PEARL ST

PORTLAND PIER

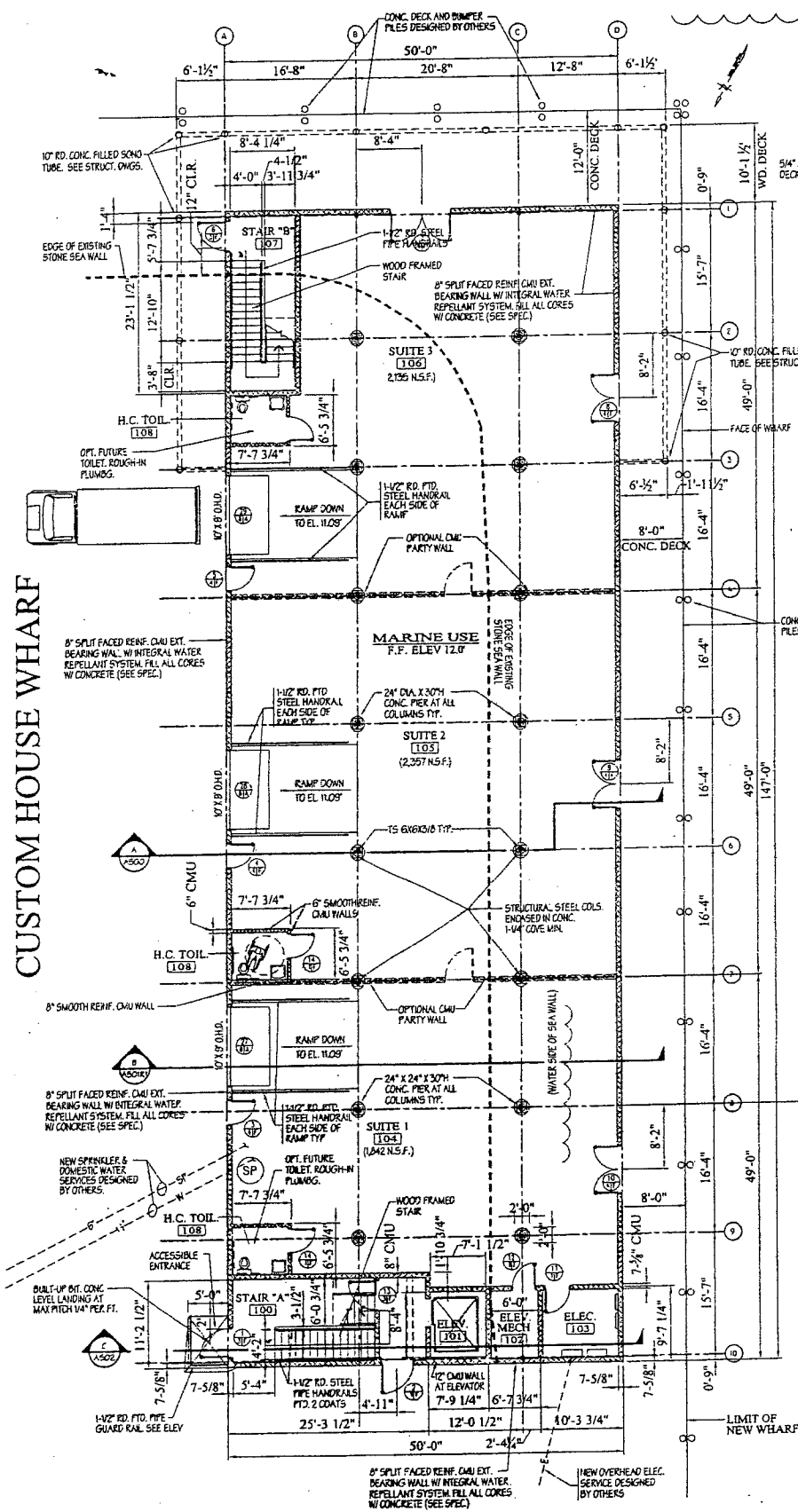
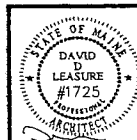
LONG WHARF

EXCHANGE

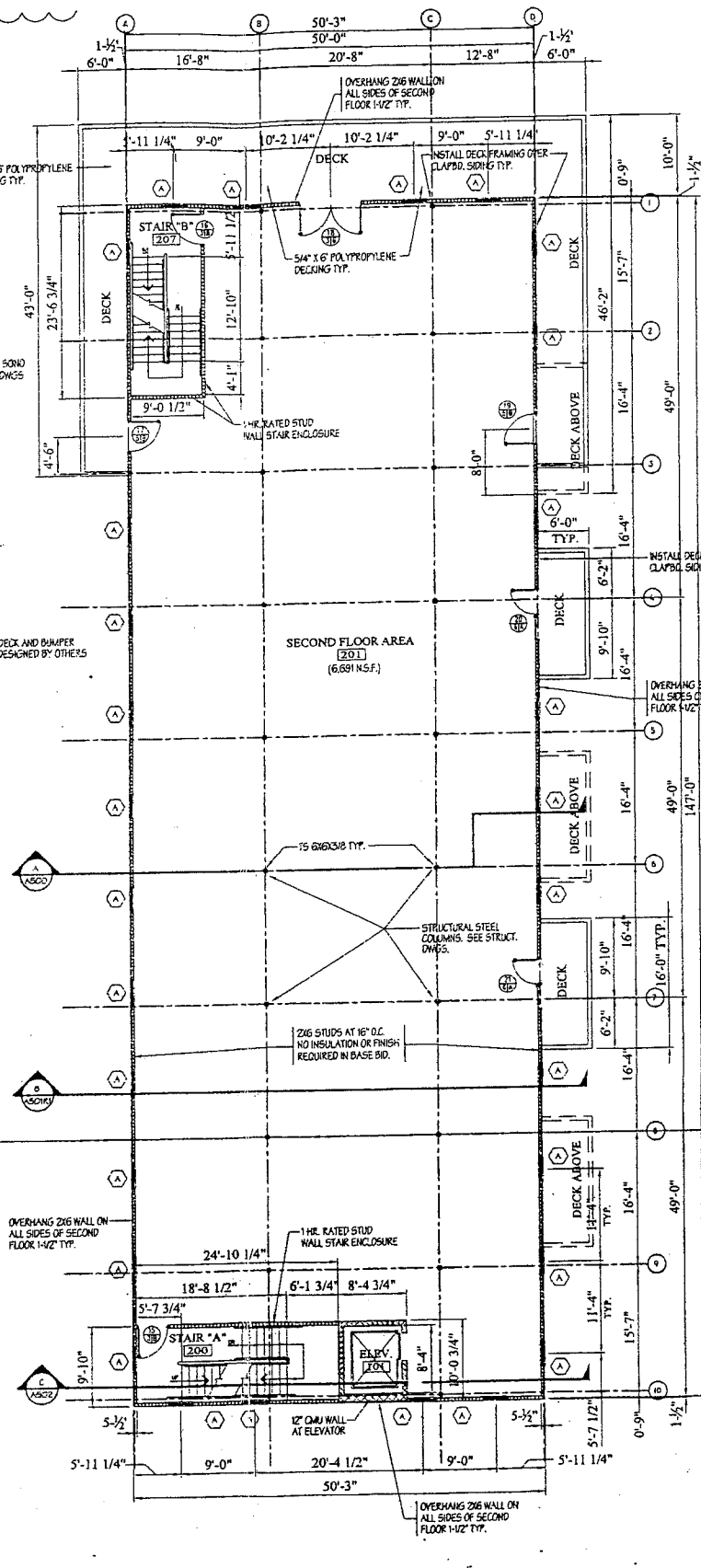
WCZ

FORE RIVER

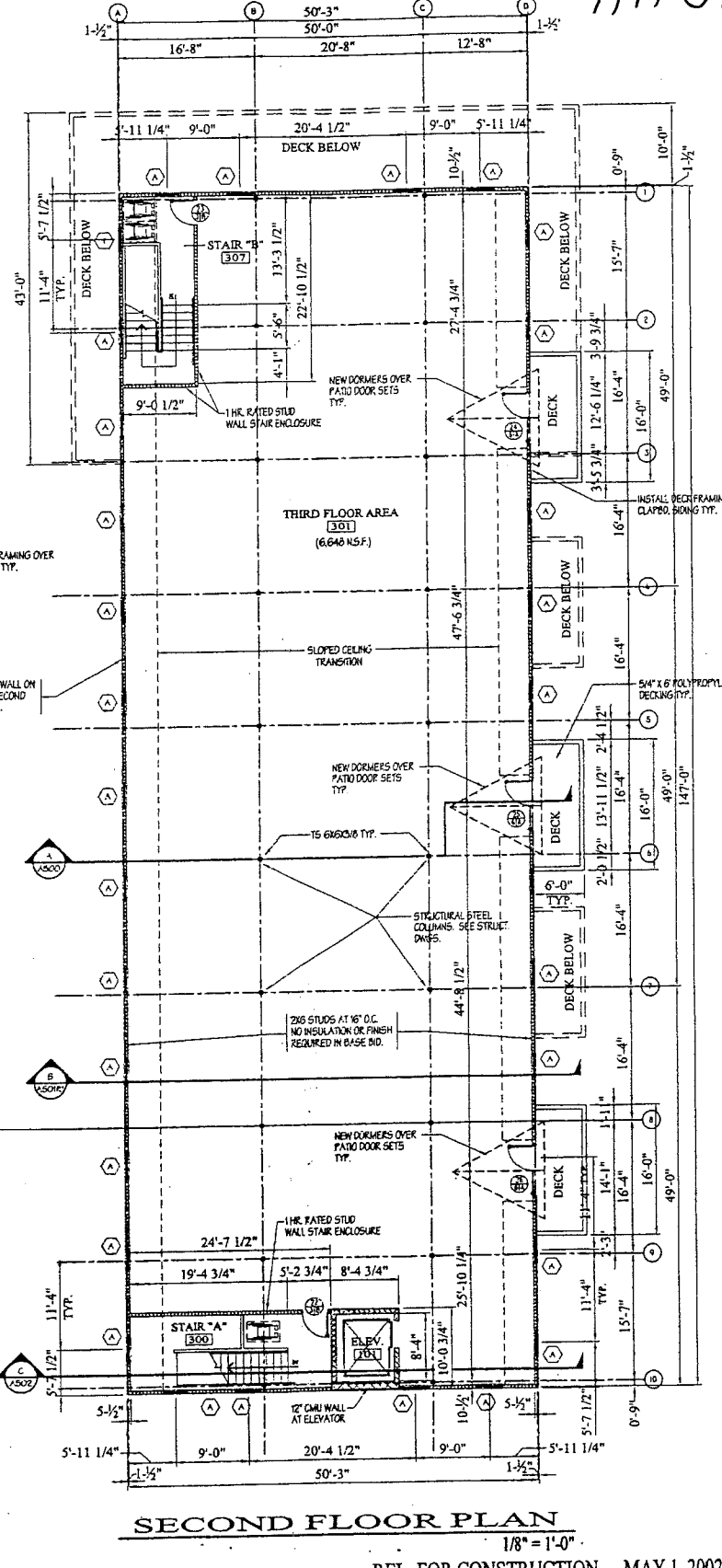
A# 5.16



DOCK LEVEL PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"

REL. FOR CONSTRUCTION - MAY 1, 2002

Table with 2 columns: Description and Date. Includes entries for Preliminary Site Plan, Review Comments, and Review Schedule.

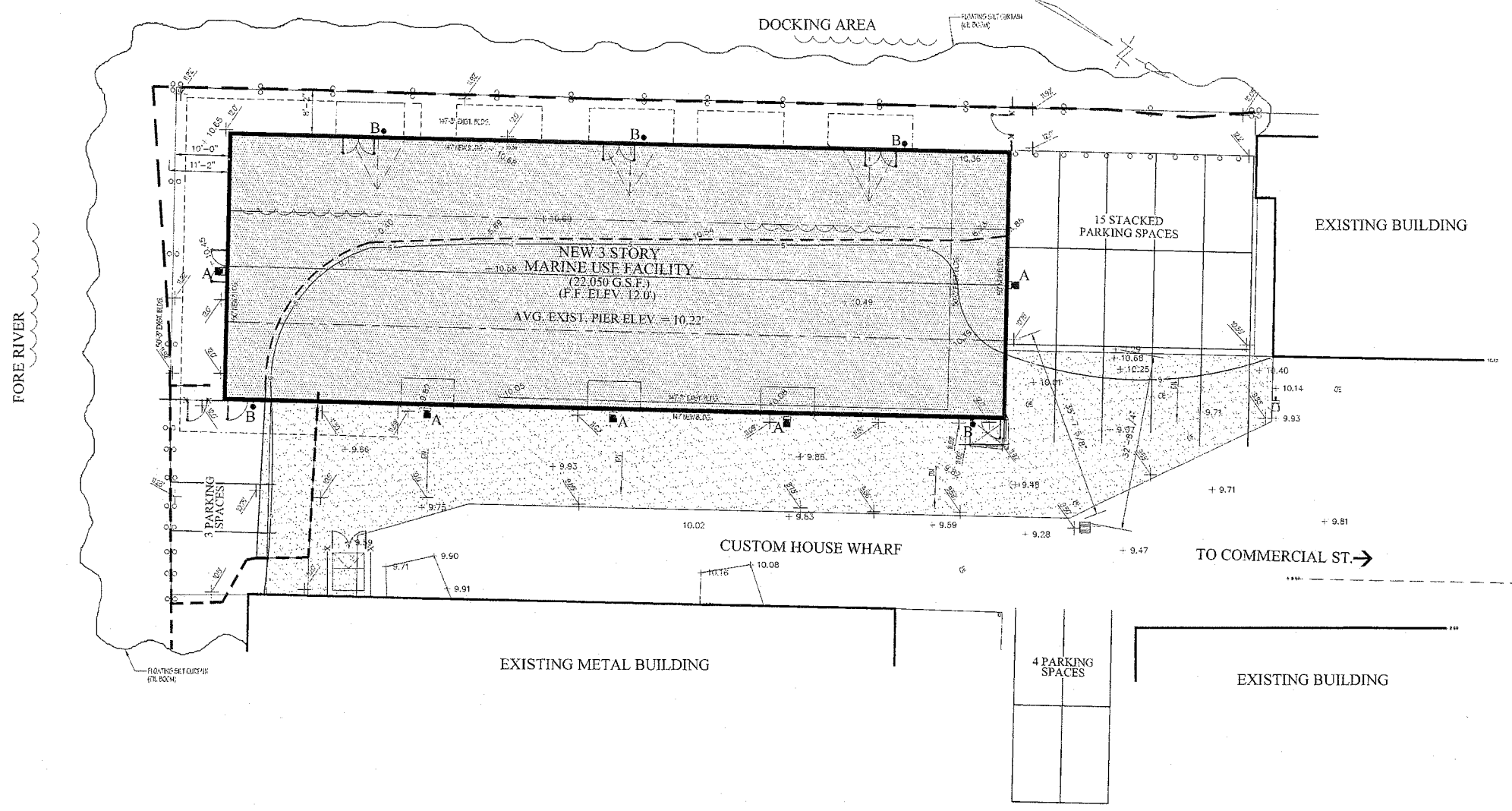
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 971-8661 FAX (207) 797-8533
PROJECT: 99113 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
SCALE: 1/8" = 1'-0" SHEET TITLE: REV. FLOOR PLAN - GENERAL

MARINE USE FACILITY
CUSTOM HOUSE WHARF
PORTLAND WATERFRONT
PORTLAND, MAINE

A-200R2



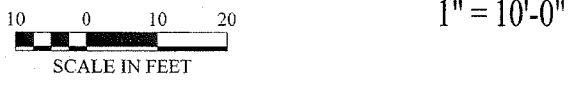
0	SUPPLEMENTAL SITE PLAN	JULY 12, 1999
1	REV. SCHEMATIC SITE PLAN	JULY 16, 1999
2	REV. PER CITY COMMENTS	AUG 10, 1999
3	REV. PER CITY COMMENTS	AUG 10, 1999
4	100% REVIEW SET REVISED	MARCH 2, 2000
5	100% REVIEW SET REVISED	APRIL 14, 2000
6	REV. FOR BIDDING	JULY 26, 2001



GENERAL NOTES:

1. THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-314; PERMITTED USES OR SEC. 14-315; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-313.5; NO ADVERSE IMPACT ON MARINE USE.
2. BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1989.
3. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 655.
4. ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-L. PIER ELEVATION = 9.61 (FEET).
5. THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
6. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TITCOMB ASSOCIATES MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TITCOMB ASSOCIATES FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
7. GENERAL CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
8. GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADINGS, AND ROAD OPENING PROCEDURES.
10. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
11. PROVIDE SILT BAGS AT ALL ON-SITE CATCH BASINS PRIOR TO DISTURBANCE OF ANY SOILS.
12. PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING, AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
13. GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE MSHA PERMIT BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SECTION 10.1.3.
14. ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MILD STEEL SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
15. ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MILD STEEL SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
16. SILTATION FENCES AND HAYBALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.

SITE TOPOGRAPHY & EROSION CONTROL PLAN



PROPOSED SITE LIGHTING

- A 50' CONCRETE AREA LIGHT - LUMENS: 231 W. 150 WATT. 4' DIA. 1800 K. 10' TYPICAL. MTD. AT 14' H. A.S.E. ELEVATION. CAT. NO. KAHN-FS 2201-1; 2' P/200
- B WALL LUMEN POLYPROPYLENE WALL LIGHT - 1' TYP. W/ CLEAR POLYESTER ACRYLIC PANEL. FRAGRANCE CALLED FROM 50' AWAY. 10' H. 10' W. 10' D. AT 50' H. 10' W. 10' D. ADD TO THE FLOOR ELEVATION.

SITE LEGEND

PROP LINE BEARING S 23 -02'-00" E 179.26'	NEW CONTOUR — 83 —	WATER VALVE ⊙	NEW LOAD & SEED — . . . —	PERIMETER FDN. DRAIN FD ———
EASEMENT LINE ———	EXISTING CONTOUR - - - - -	TRANSFORMER PAD ⊠	NEW GRAVEL FILL [Pattern]	UNDERDRAIN UD ———
EXIST. EDGE OF VEGETATION [Wavy line]	BENCH MARK ⊙	DECIDUOUS TREE ⊙	OVERHEAD ELEC. LINE — OC ———	UNDERGRD. ELEC. CIRCUIT (1" PVC CONDUIT) e ———
SILT/HAYBALE BARRIER — S — S —	CONCRETE MONUMENT FOUND ■	CONIFEROUS TREE ⊙	OVERHEAD TELEPHONE — OTEL ———	
SWALE — S — S —	IRON PIPE FOUND •	NEW CONCRETE SURFACE [Pattern]	OVERHEAD CATV — OCATV ———	
CULVERT [Dashed line]	UTILITY POLE ⊙	NEW PLANTING BED [Pattern]	UNDERGROUND ELEC. — UE ———	
EDGE OF TRAVELED HAY — E — E —	MANHOLE ⊙	NEW CRUSHED STONE DRAINAGE COURSE [Pattern]	UNDERGROUND TEL — UTEL ———	
EXIST. SPOT ELEVATION + 9.93	HYDRANT ⊙		UNDERGROUND CATV — UCATV ———	
NEW SPOT ELEVATION X 11.92'	CATCH BASIN [Symbol]		STORM SEWER — ST ———	
	CATCH BASIN (SOIL DISPERSION TYPE) [Symbol]		SANITARY SEWER — SS ———	
	FRENCH DRAIN [Symbol]		WATER SERVICE — W ———	
			SPRINKLER SERVICE — SP ———	

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 99113 PROJECT TITLE: MARINE USE FACILITY - CUSTOM HOUSE WHARF
 SCALE: 1" = 10'-0" SHEET TITLE: SITE TOPOGRAPHY & EROSION CONTROL PLAN

RELEASED FOR BIDDING - JULY 26, 2001

MARINE USE FACILITY
CUSTOM HOUSE WHARF
PORTLAND WATERFRONT
PORTLAND, MAINE

C-201

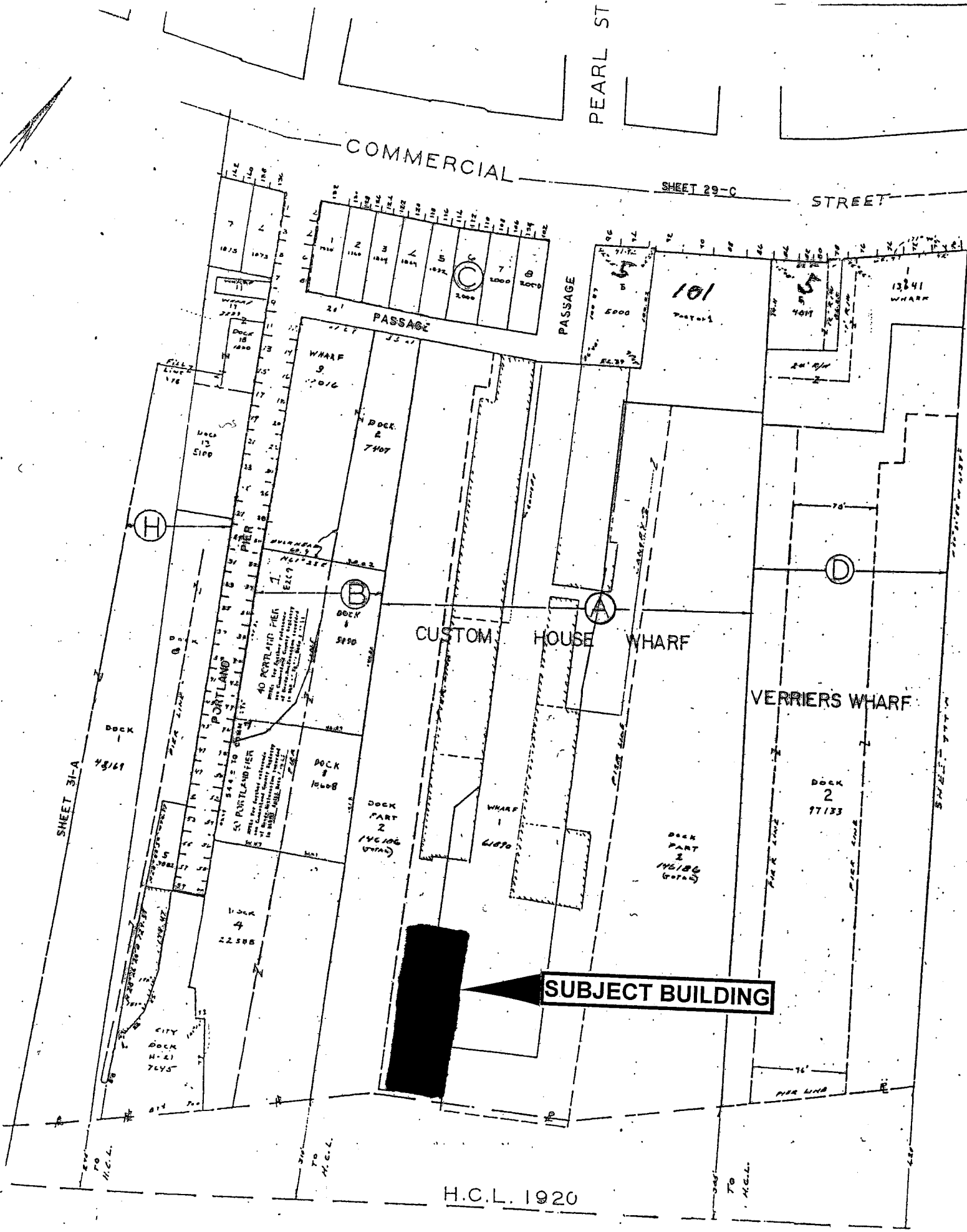
THIS DRAWING HAS BEEN REVIEWED BY DAVID D. LEASURE, REGISTERED PROFESSIONAL ENGINEER, NO. 1725, STATE OF MAINE. THE INFORMATION CONTAINED HEREIN IS SOLELY FOR THE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DAVID D. LEASURE ARCHITECTURAL ASSOCIATES INC.

PEARL ST

FRANKLIN
ARTERIAL

COMMERCIAL STREET

SHEET 29-C

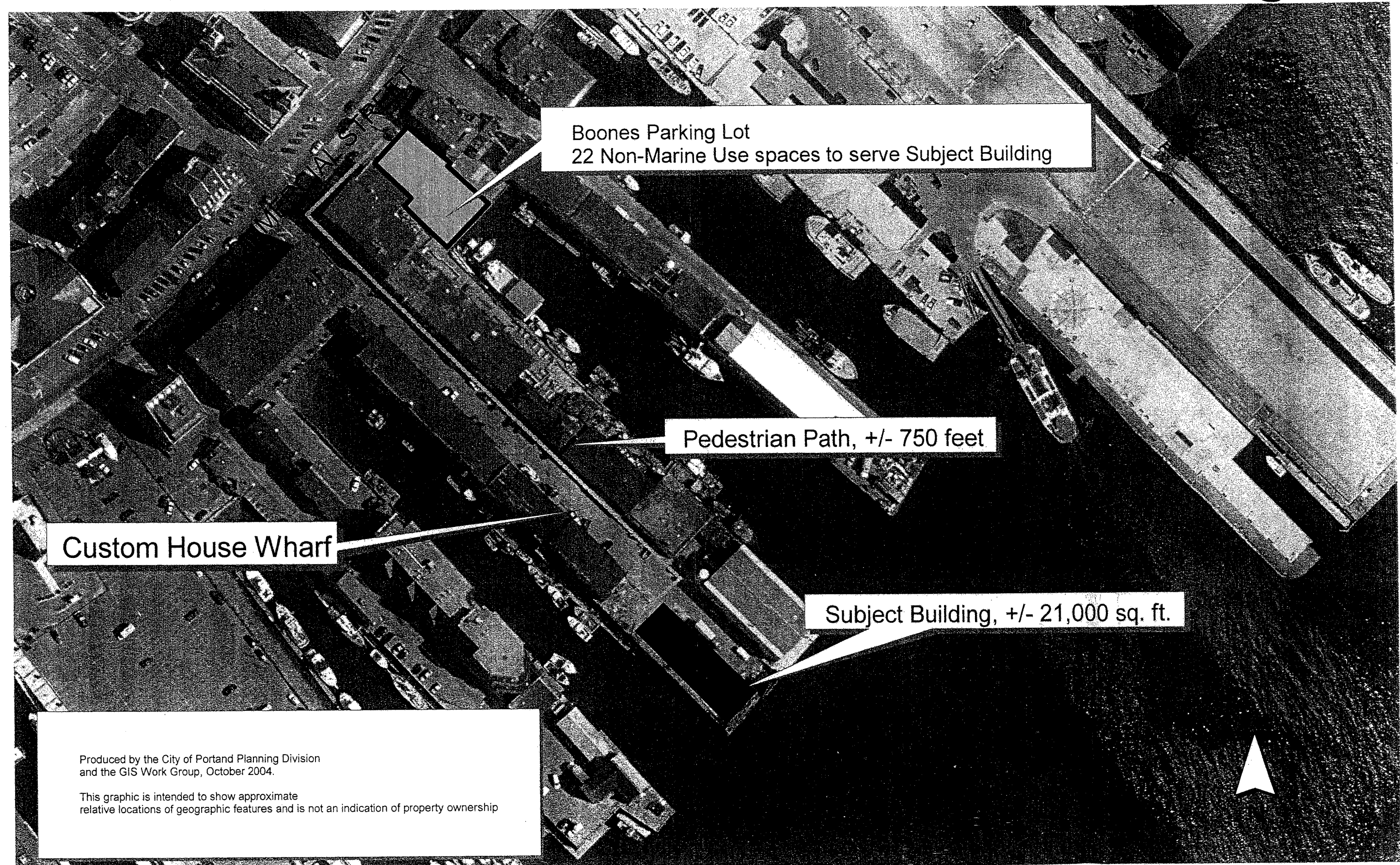


See map of
444 or 444

SUBJECT BUILDING

H.C.L. 1920

Custom House Wharf: Aerial Photo with Parking



Boones Parking Lot
22 Non-Marine Use spaces to serve Subject Building

Pedestrian Path, +/- 750 feet

Custom House Wharf

Subject Building, +/- 21,000 sq. ft.

Produced by the City of Portland Planning Division
and the GIS Work Group, October 2004.

This graphic is intended to show approximate
relative locations of geographic features and is not an indication of property ownership



PEARL ST

FRANKLIN ARTERIAL

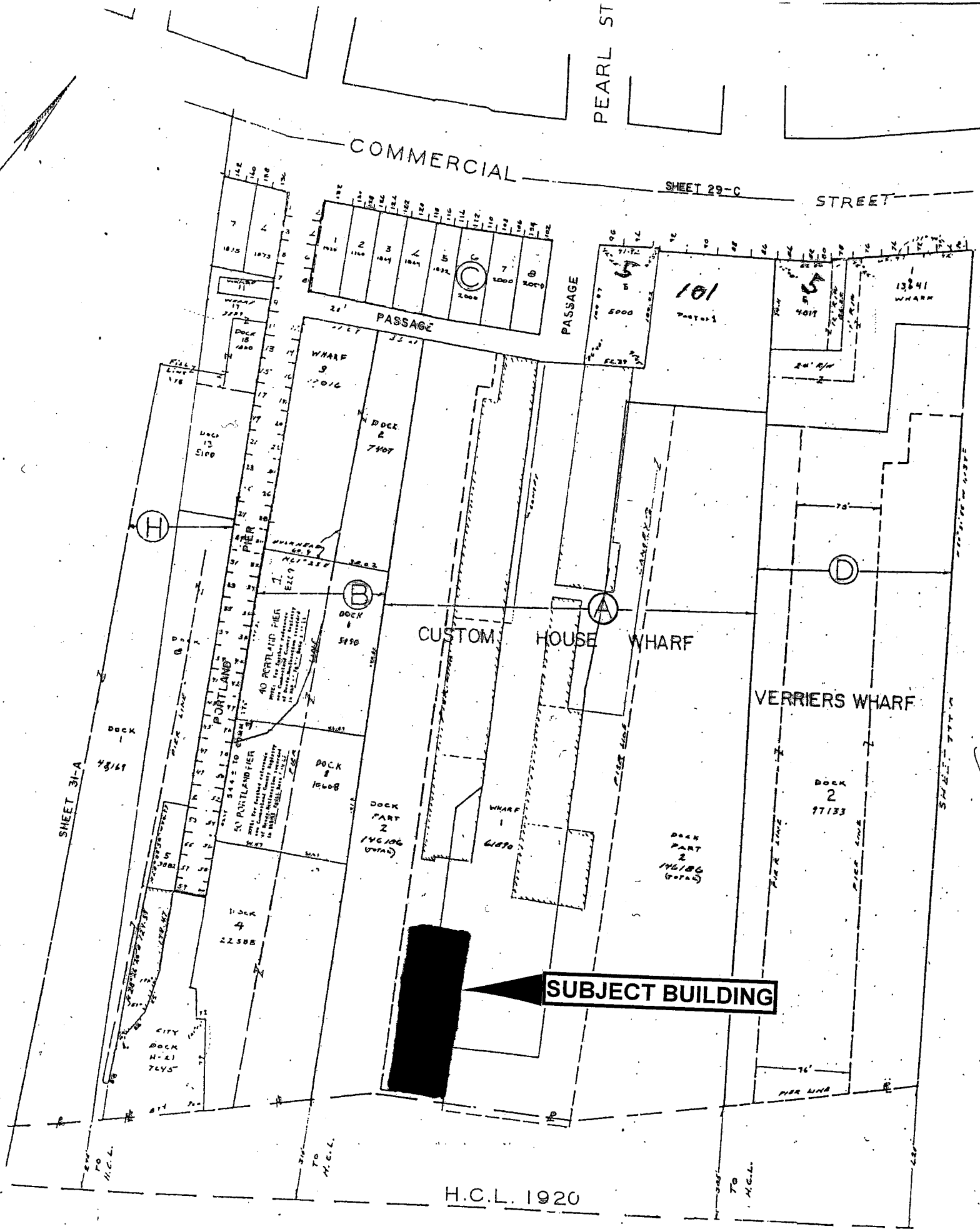
COMMERCIAL STREET

SHEET 29-C

SHEET 31-A

SHEET 31-B

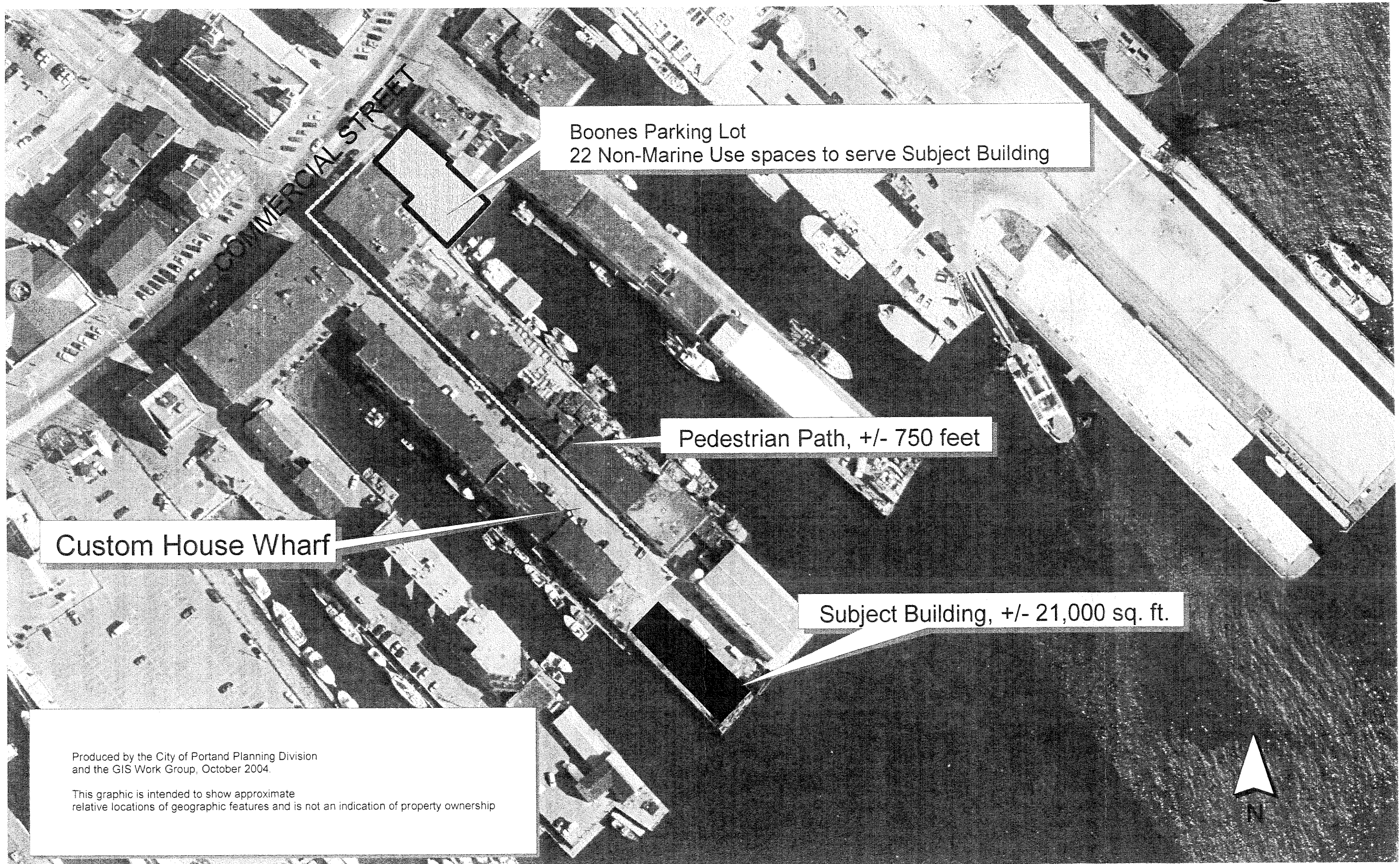
H.C.L. 1920



SUBJECT BUILDING

See map of 444 or 444

Custom House Wharf: Aerial Photo with Parking



Boones Parking Lot
22 Non-Marine Use spaces to serve Subject Building

Pedestrian Path, +/- 750 feet

Custom House Wharf

Subject Building, +/- 21,000 sq. ft.

Produced by the City of Portland Planning Division
and the GIS Work Group, October 2004.

This graphic is intended to show approximate
relative locations of geographic features and is not an indication of property ownership

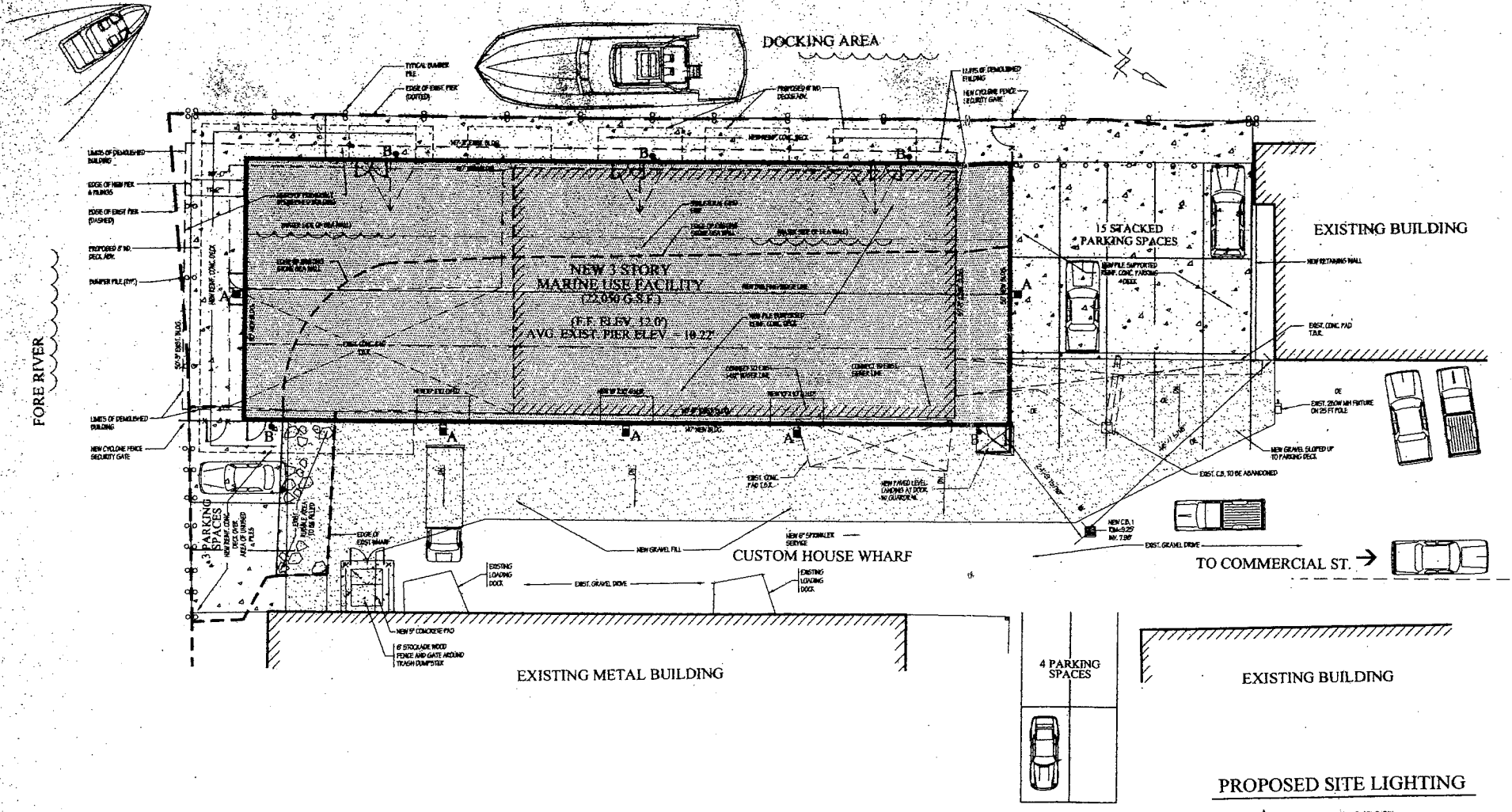


AT 5.15



SITE DATA

- GENERAL PROPERTY INFORMATION:**
 - PLANNED ZONING: WATERFRONT CENTRAL ZONE (W.C.Z.)
 - PLANNED ZONING ZONE & FLOOD PLAIN: AS
 - AREA OF PARCEL: UNKNOWN
- SPACES & YARD REQUIREMENTS (GENERAL):**
 - MIN. LOT SIDE (EAST) = NONE (PRINCIPAL STRUCTURE)
 - MIN. STREET FRONTAGE = NONE
 - MIN. LOT DEPTH = 100 FT.
 - MIN. FRONT YARD = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (WEST) = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) = NONE (ACCESSORY STRUCTURE)
 - MIN. REAR YARD = NONE (PRINCIPAL STRUCTURE)
- UTILITIES:**
 - SEWER: 12" DIA. 10' DEEP
 - WATER: 12" DIA. 10' DEEP
 - ELECTRIC: 4" DIA. 10' DEEP
 - GAS: 8" DIA. 10' DEEP
- OFF-STREET PARKING:**
 - GROUND FLOOR: 15 SPACES (SEE PLAN)
 - SECOND FLOOR: 15 SPACES (SEE PLAN)
 - THIRD FLOOR: 15 SPACES (SEE PLAN)
 - TOTAL PARKING SPACES PROVIDED: 45
- OTHER REQUIREMENTS:**
 - PROVIDE EROSION CONTROL IN ACCORDANCE WITH FEDERAL, STATE AND MUNICIPAL REGULATIONS.
 - ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
 - BEFORE CONSTRUCTION THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.



SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23°-02'-00" E 179.26'	NEW CONTOUR	WATER VALVE	NEW LAM & SEED	PERIMETER FON. DRAIN
EASEMENT LINE	EXISTING CONTOUR	TRANSFORMER PAD	NEW GRAVEL FILL	UNDERDRAIN
EXIST. EDGE OF VEGETATION	BENCH MARK	DECIDUOUS TREE	OVERHEAD ELEC. LINE	UNDERG. ELEC. CIRCUIT (1" PVC CONDUIT)
SILT/HAYBALE BARRIER	CONCRETE MONUMENT FOUND	CONIFEROUS TREE	OVERHEAD TELEPHONE	
SWALE	IRON PIPE FOUND	NEW CONCRETE SURFACE	OVERHEAD CATV	
CULVERT	UTILITY POLE	NEW PLANTING BED	UNDERGROUND ELEC.	
EDGE OF TRAVELED WAY	MANHOLE	NEW CRUSHED STONE DRAINAGE COURSE	UNDERGROUND TEL.	
EXIST. SPOT ELEVATION	HYDRANT		UNDERGROUND CATV	
NEW SPOT ELEVATION	CATCH BASIN		STORM SEWER	
	CATCH BASIN [SOIL DISPERSION TYPE]		SANITARY SEWER	
	FRENCH DRAIN		WATER SERVICE	
			SPRINKLER SERVICE	

PLAN REFERENCES:

- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TITCOMB ASSOCIATES DATED FEBRUARY 10, 1999.
- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY O'NEIL HERRICK, INC. DATED AUGUST, 1984.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-204; PERMITTED USES OR SEC. 14-205; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-203.5; NO ADVERSE IMPACT ON MARINE USE.
- BEAKINGS ARE REFERENCED TO MAGNETIC NORTH 1988.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 650.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-1. PEAK ELEVATION = 8.61 (FEET).
- THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TITCOMB ASSOCIATES MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TITCOMB ASSOCIATES FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- GENERAL CONT. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROMISE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS DURING ALL EARTH DISTURBANCE PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE MPA PERMIT BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION; BEST MANAGEMENT PRACTICES; SECTION 16.13.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- SILTATION FENCES AND HAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.

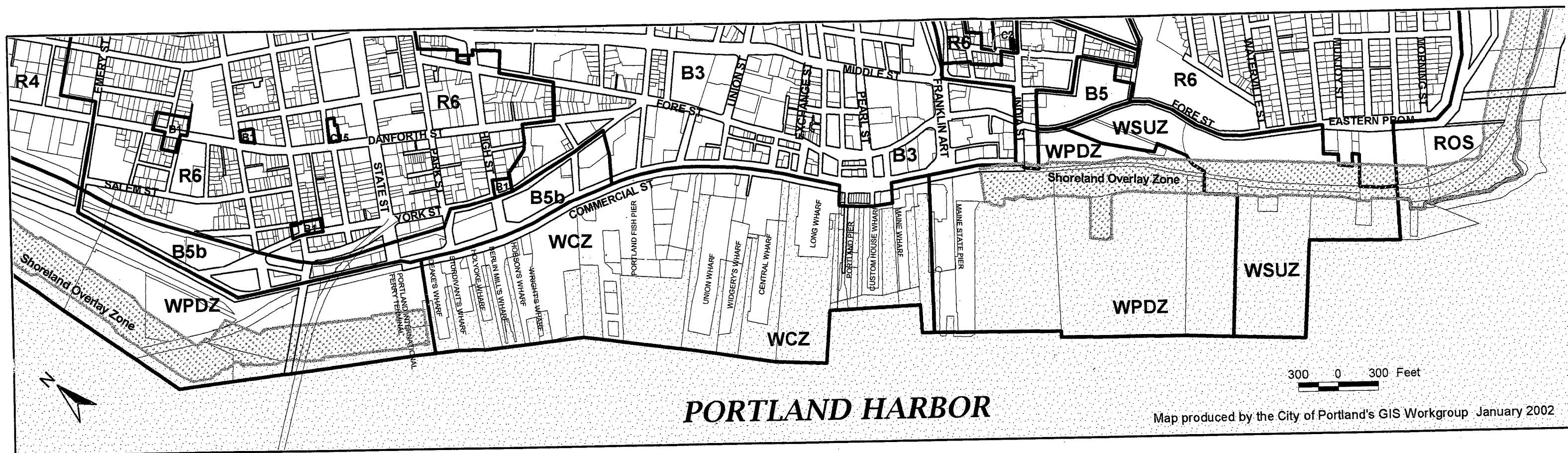
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE
 PROJECT NO. 99113 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
 SHEET TITLE: SITE PLAN - GENERAL
 SCALE: 1" = 10'-0"

REL. FOR PERMITTING - MAY 5, 2000

MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE

C-200

AH. 6.



PORTLAND HARBOR

Map produced by the City of Portland's GIS Workgroup January 2002

AH 7.11



Table with 2 columns: Date, Description. Includes dates from July 1989 to June 2006 and descriptions like 'SCHEDULED SITE PLAN', 'REVISIONS', 'APPROVED FOR CITY OFFICIALS', etc.

SITE DATA

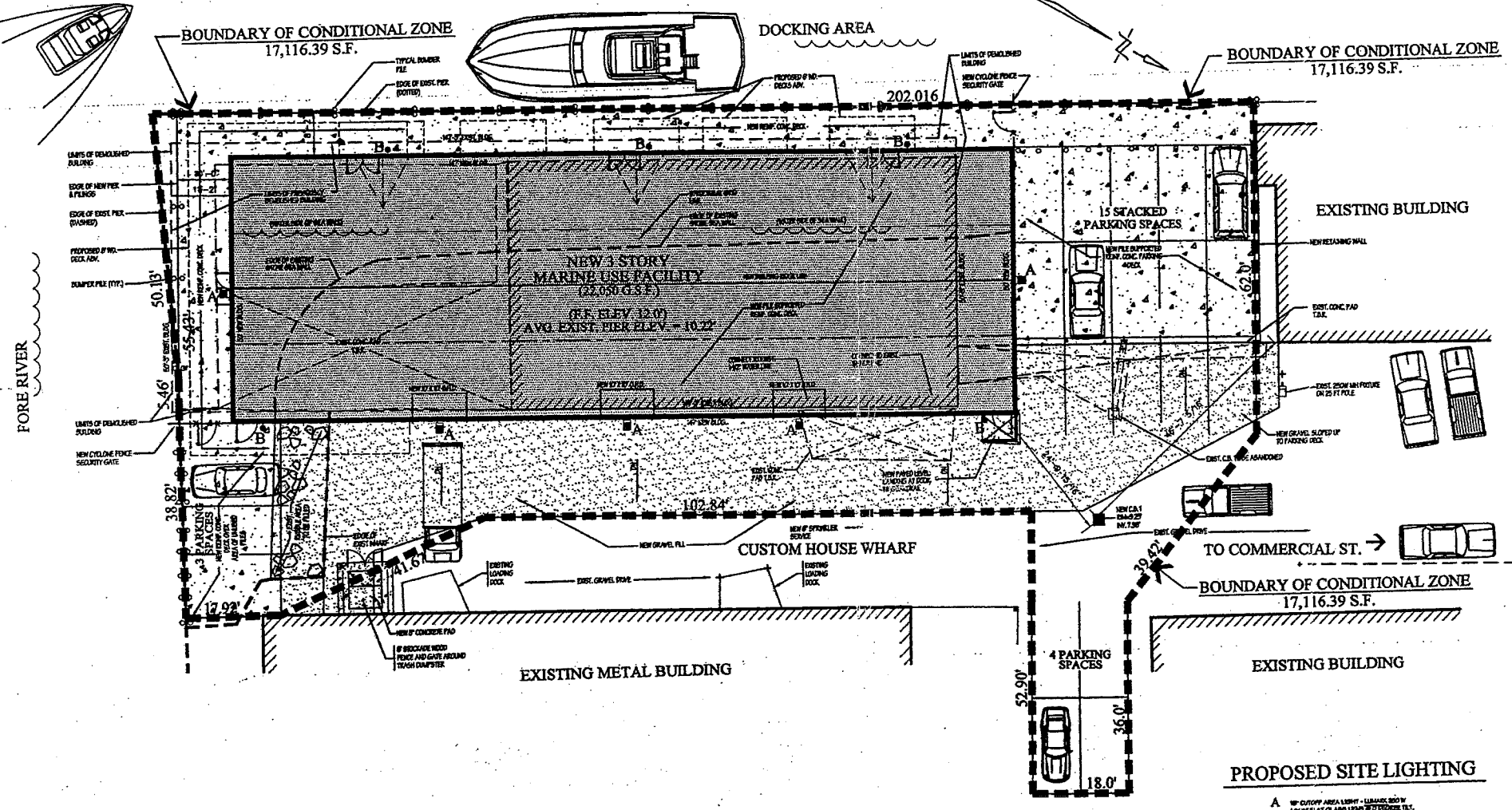
- 1. RECORD OWNER OF PROPERTY...
2. PARCEL ZONING: WATERFRONT CENTRAL ZONE (WAZ)...
3. SITE USE: SEAFOOD PROCESSING (PERMITTED USE)...
4. AREA OF PARCEL = UNKNOWN...
5. SPACE & BULK REQUIREMENTS: RESIDENTIAL (RA)...
6. FACILITY UTILITIES...
7. OFF STREET PARKING...
8. OFF STREET PARKING...
9. OTHER REQUIREMENTS...

PLAN REFERENCES:

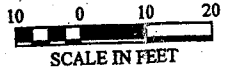
- 1. SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TITCOMB ASSOCIATES DATED FEBRUARY 16 1999.
2. PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY OWEN HASSELL, INC. DATED AUGUST, 1964.

GENERAL NOTES:

- 1. THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-314.
2. BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1999.
3. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 658.
4. ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-1. PIER ELEVATION = 8.61 (FEET).
5. THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
6. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TITCOMB ASSOCIATES MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TITCOMB ASSOCIATES FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
7. GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
8. GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES PURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
10. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
11. PROVIDE SILT FENCING AROUND MANHOLE AND ON-SITE CATCH BASINS DURING ALL EARTH DISTURBANCE PROCEDURES.
12. PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
13. GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE PERMITS BY MAINE STATEWORKS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SECTION 16.13.
14. ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
15. ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
16. SILTATION FENCES AND HAY BALE BANDS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MANHOLE OR ON-SITE CATCH BASINS.



SITE PLAN - GENERAL



SITE LEGEND

Table with 4 columns listing symbols for: PROP LINE BOUNDING, EASEMENT LINE, DIST. EDGE OF VEGETATION, SILT/WATERBARRIER, SINGLE CHANNEL, EDGE OF TRAVELED WAY, DIST. SPOT ELEVATION, NEW SPOT ELEVATION, NEW CONTOUR, EXISTING CONTOUR, BENCH MARK, CONCRETE MONUMENT FOUND, IRON PIPE FOUND, UTILITY POLE, MANHOLE, HYDRANT, CATCH BASIN, CATCH BASIN (SOIL DISPERSION TYPE), FRENCH DRAIN, WATER VALVE, TRANSFORMER PAD, DECIDUOUS TREE, CONIFEROUS TREE, NEW CONCRETE SURFACE, NEW PLANTING BED, NEW CRUSHED STONE DRAINAGE COURSE, NEW LOAM & SEED, NEW GRAVEL FILL, OVERHEAD ELEC. LINE, OVERHEAD TELEPHONE, OVERHEAD CAV, UNDERGROUND ELEC., UNDERGROUND TEL., UNDERGROUND CAV, STORM SEWER, SANITARY SEWER, WATER SERVICE, SPRINKLER SERVICE, PERIMETER FIN. DRAIN, UNDERDRAIN, UNDERG. ELEC. CIRCUIT (1" PVC CONDUIT).

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 99113 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
SCALE: 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL

REVISED SITE PLAN - JANUARY 19, 2004

MARINE USE FACILITY
CUSTOM HOUSE WHARF
PORTLAND WATERFRONT
PORTLAND, MAINE

C-200R

447

SITE DATA

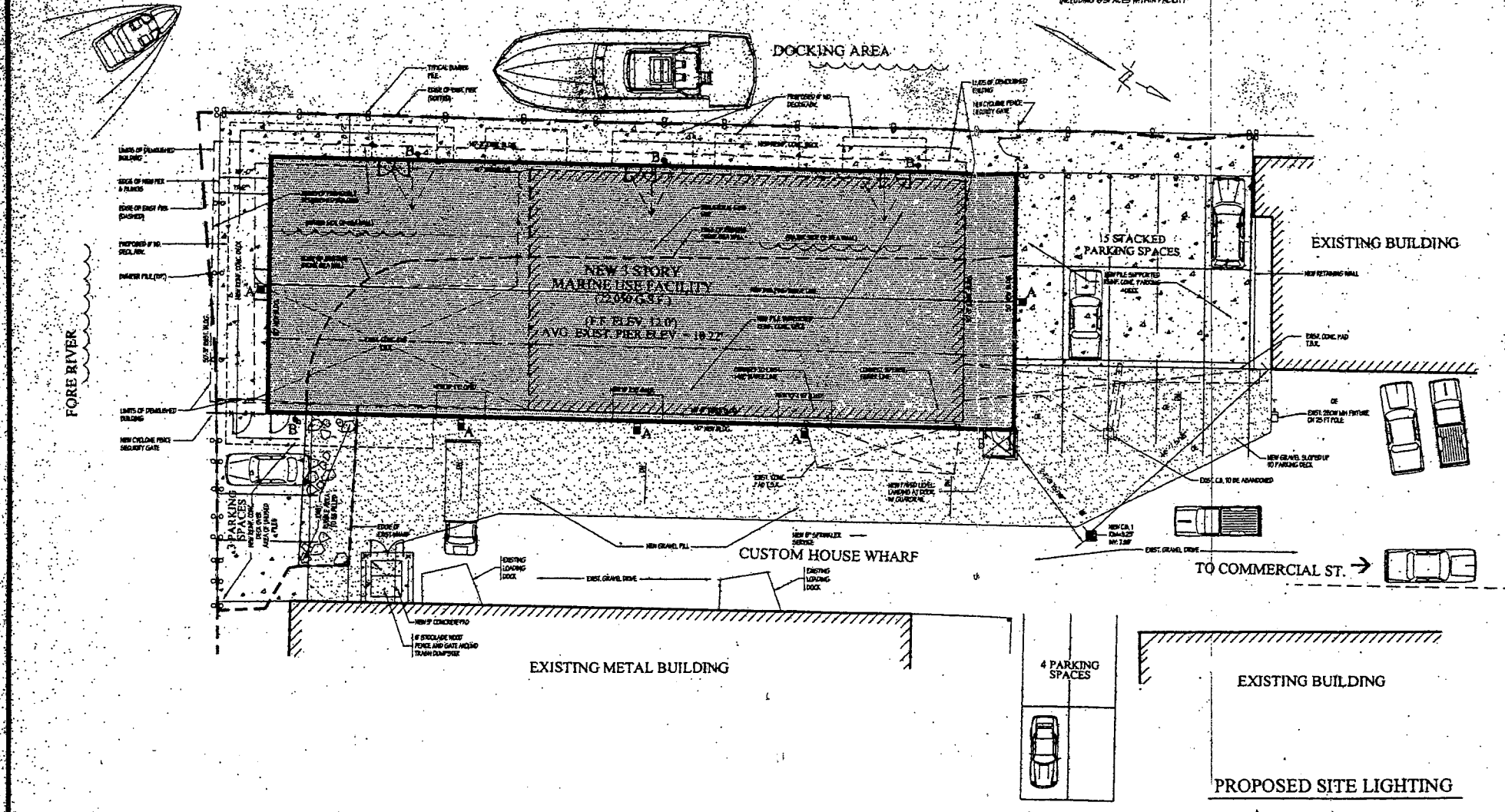
<p>PROPOSED FACILITY PROPERTIES OR CURRENT USES:</p> <ul style="list-style-type: none"> WATERFRONT CENTRAL ZONE (CZ-3) WATERFRONT ZONE & FLOOD PLANNING (FLOOD PLANNING) WATERFRONT PROCESSING (FLOOD PLANNING) AREA OF INTEREST - UNKNOWN 	<p>SPACING & BUILDING REQUIREMENTS (B.A.):</p> <ul style="list-style-type: none"> MIN. LOT SIDE - NONE MIN. STREET FRONTAGE - NONE MIN. LOT DEPTH - 300 FT. MIN. FRONT YARD - NONE (PRINCIPAL STRUCTURE) MIN. REAR YARD - NONE (PRINCIPAL STRUCTURE) MIN. SIDE YARD - NONE (PRINCIPAL STRUCTURE) MIN. SIDE YARD (FRONT) - NONE (PRINCIPAL STRUCTURE) MIN. SIDE YARD (REAR) - NONE (PRINCIPAL STRUCTURE) MIN. REAR YARD - NONE (PRINCIPAL STRUCTURE) 	<p>ADJUSTMENTS:</p> <ul style="list-style-type: none"> IF NON-FACILITY USES ARE FULLY SUPPLEMENTED BY PROPOSED FACILITY USES, ADJUSTMENTS ARE NOT REQUIRED. ADJUSTMENTS ARE REQUIRED IF PROPOSED FACILITY USES ARE NOT FULLY SUPPLEMENTED BY NON-FACILITY USES. 	<p>OFF-STREET PARKING:</p> <ul style="list-style-type: none"> REQUIRED FOR ALL NEW FACILITIES (OTHER THAN SINGLE-FAMILY RESIDENCES) IN THE CITY OF PORTLAND, MAINE. MINIMUM REQUIREMENTS: 1.5 SPACES PER 100 SF OF GROSS FLOOR AREA (OFFICE SPACE PER 400 SF, RESIDENTIAL PER 100 SF). MINIMUM REQUIREMENTS: 1.5 SPACES PER 100 SF OF GROSS FLOOR AREA (OFFICE SPACE PER 400 SF, RESIDENTIAL PER 100 SF). MINIMUM REQUIREMENTS: 1.5 SPACES PER 100 SF OF GROSS FLOOR AREA (OFFICE SPACE PER 400 SF, RESIDENTIAL PER 100 SF). 	<p>OTHER REQUIREMENTS:</p> <ul style="list-style-type: none"> PROVIDE PEDESTRIAN ACCESS WITH PEDESTRIAN PATHWAYS AND SIGNAGE. ALL SITE WORK SHALL BE ACCORDANCE WITH THE CITY OF PORTLAND ORDINANCES. THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES. UPON COMPLETION OF THE GENERAL CONTRACTOR'S WORK, THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.
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PLAN REFERENCES:

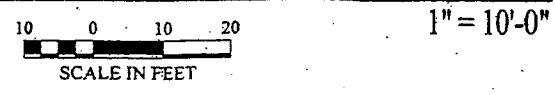
- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TICOM ASSOCIATES DATED FEBRUARY 19 1999.
- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY DAVID HESSELL, INC. DATED AUGUST, 1994.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND USE ORDINANCE SEC. 14-304 PERMITTED USES OR SEC. 14-305 CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-303.5; NO ADVERSE IMPACT ON MARINE USE.
- DEPARTS ARE REFERENCED TO MAGNETIC NORTH 1999.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK, 650.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-L PIER ELEVATION = 8.61 (FEET).
- THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TICOM ASSOCIATES HAS NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TICOM ASSOCIATES FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS PER ALL EARTH DISTURBANCE PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE FITTING, AND CONDUIT PASS THROUGH FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE CITY PERMITS BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SECTION 1.6.1.3.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" HDPE SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" HDPE SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- STATION FENCES AND WAIVER BARRIERS SHALL BE INSTALLED AROUND ANY SOLE DESIRED AREA TO PREVENT INGRESS OF SOIL INTO SEAS, STREAMS, BODIES, ROAD INTERLAKES, AND MUNICIPAL OR ON-SITE CATCH BASINS.



SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23°-02'-00" E 179.26'	NEW CONTOUR	WATER VALVE	NEW LOAM & SEED	PERIMETER FENCE DRAIN
EASEMENT LINE	EXISTING CONTOUR	TRANSFORMER PAD	NEW GRAVEL FILL	UNDERDRAIN
LAST. EDGE OF VEGETATION	BENCH MARK	DECIDUOUS TREE	OVERHEAD ELEC. LINE	UNDERG. ELEC. CIRCUIT (1" PVC CONDUIT)
SILT/NATURAL BARRIER	CONCRETE MONUMENT FOUND.	CONIFEROUS TREE	OVERHEAD TELEPHONE	
SWALE	IRON PIPE FOUND	NEW CONCRETE SURFACE	UNDERGROUND ELEC.	
CULVERT	UTILITY POLE	NEW PLANTING BED	UNDERGROUND TEL.	
EDGE OF TRAVELED WAY	MANHOLE	NEW CRUSHED STONE DRAINAGE COURSE	UNDERGROUND CATV	
DIST. SPOT ELEVATION	HYDRANT		STORM SEWER	
NEW SPOT ELEVATION	CATCH BASIN		SANITARY SEWER	
	CATCH BASIN (SOIL DISPERSION TYPE)		WATER SERVICE	
	FRENCH DRAIN		SPRINKLER SERVICE	

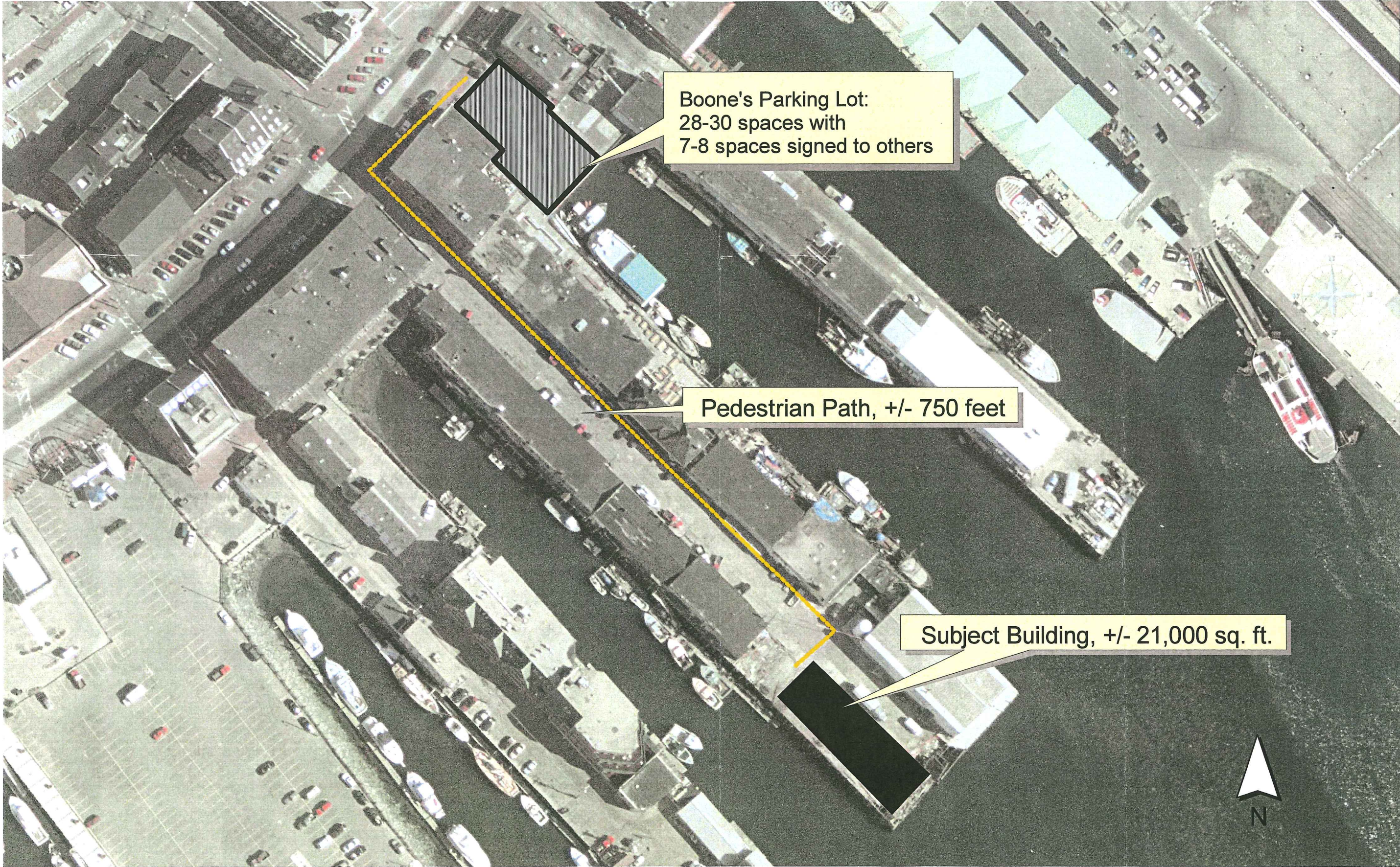
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE
 PROJECT NO. 99113 PROJECT TITLE: MARINE USE FACILITY - CUSTOM HOUSE WHARF
 SCALE: 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL
 PH. (207) 797-8661

REL. FOR PERMITTING - MAY 5, 2000

MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE
C-200

Custom House Wharf: Aerial Photo with Parking

Att. 8



Boone's Parking Lot:
28-30 spaces with
7-8 spaces signed to others

Pedestrian Path, +/- 750 feet

Subject Building, +/- 21,000 sq. ft.



C-200

MARINE USE FACILITY
CUSTOM HOUSE WHARF
PORTLAND WATERFRONT
PORTLAND, MAINE

REL. FOR PERMITTING - MAY 5, 2000

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
14 SUNSET ROAD FALMOUTH, MAINE
PROJECT NO. 99113 PROJECT TITLE: MARINE USE FACILITY - CUSTOM HOUSE WHARF
SCALE: 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL

PH: (207) 797-8661

DATE	DESCRIPTION
05/05/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN
04/15/00	REVISED SITE PLAN



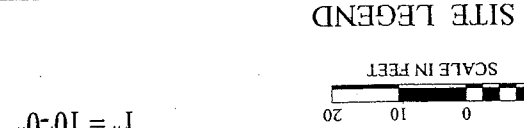
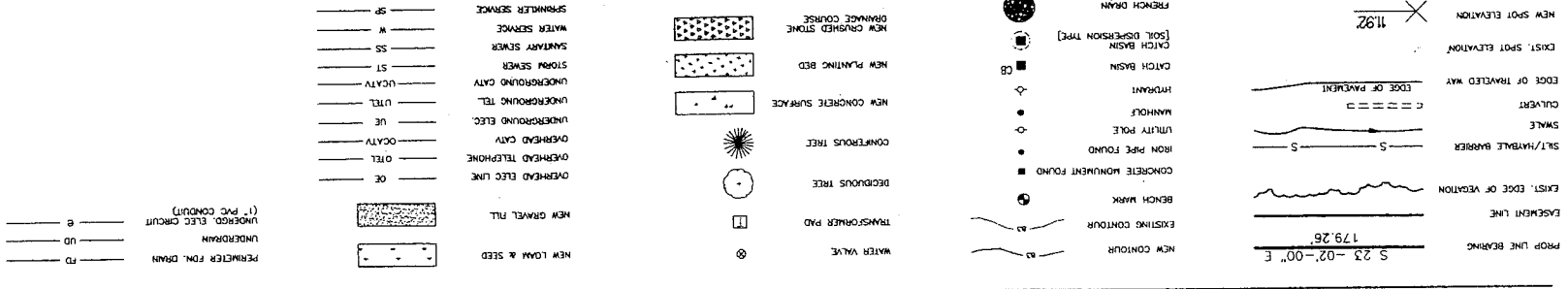
GENERAL NOTES:

1. THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND ZONING ORDINANCE SEC. 14.24C. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14.24C. NO ADVERSE IMPACT ON MARINE USE OF THE AREA SHALL BE CAUSED BY THE PROPOSED FACILITY.
2. PLAN OF LAND ON COMMON STREET, PORTLAND, MAINE, MADE FROM CRT OF PORTLAND BY DANIEL HASTELL, INC. DATED AUGUST, 1984.

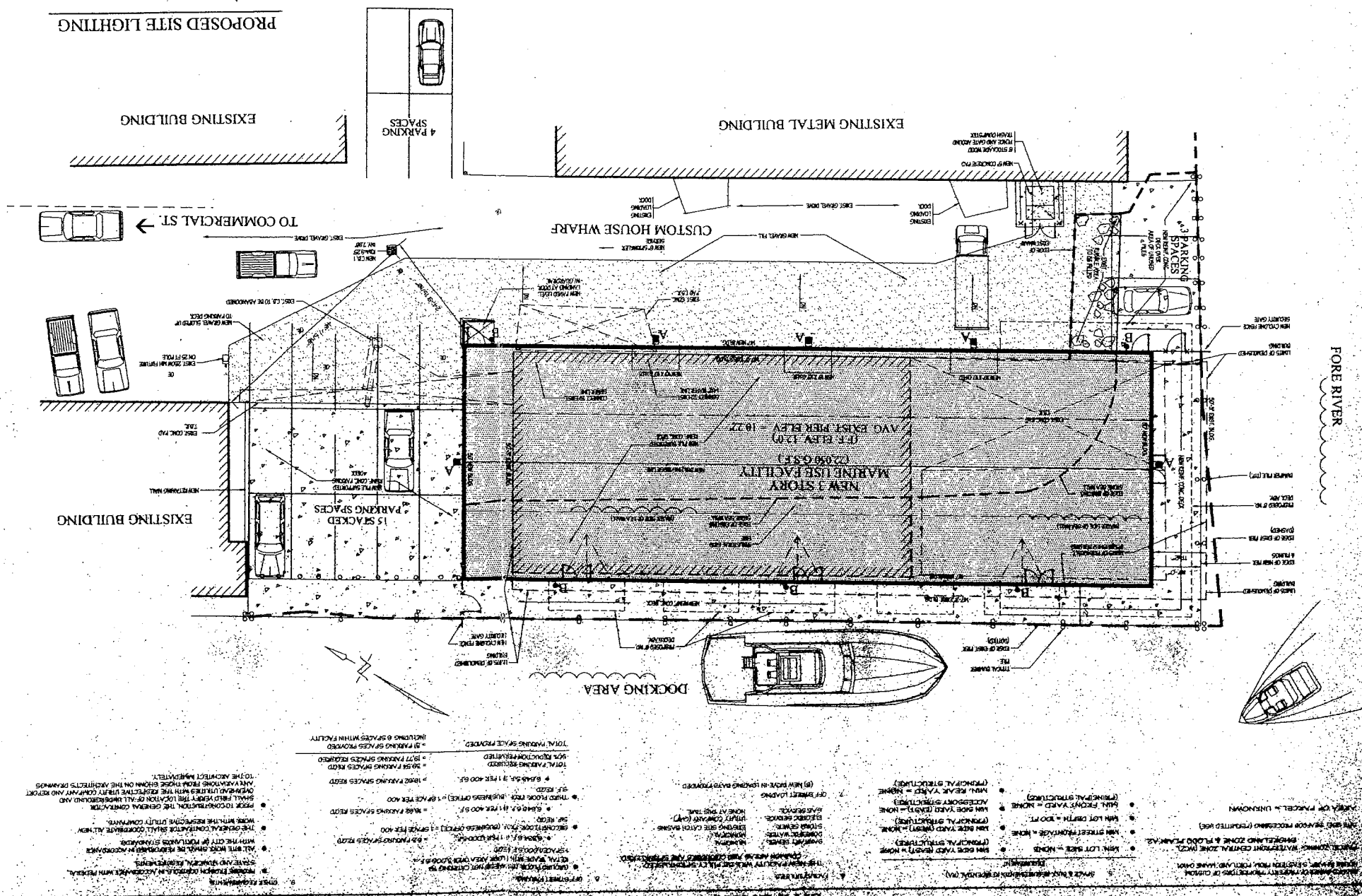
PLAN REFERENCES:

1. SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY DITCHCOCK ASSOCIATES, DATED FEBRUARY 10, 1999.
2. BY TITICOM ASSOCIATES, INC. DATED AUGUST, 1994.

AH 5.15



SITE PLAN - GENERAL



SITE DATA

1. THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND ZONING ORDINANCE SEC. 14.24C. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14.24C. NO ADVERSE IMPACT ON MARINE USE OF THE AREA SHALL BE CAUSED BY THE PROPOSED FACILITY.
2. PLAN OF LAND ON COMMON STREET, PORTLAND, MAINE, MADE FROM CRT OF PORTLAND BY DANIEL HASTELL, INC. DATED AUGUST, 1984.
3. BY TITICOM ASSOCIATES, INC. DATED AUGUST, 1994.
4. SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY DITCHCOCK ASSOCIATES, DATED FEBRUARY 10, 1999.

A-200R2

MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE

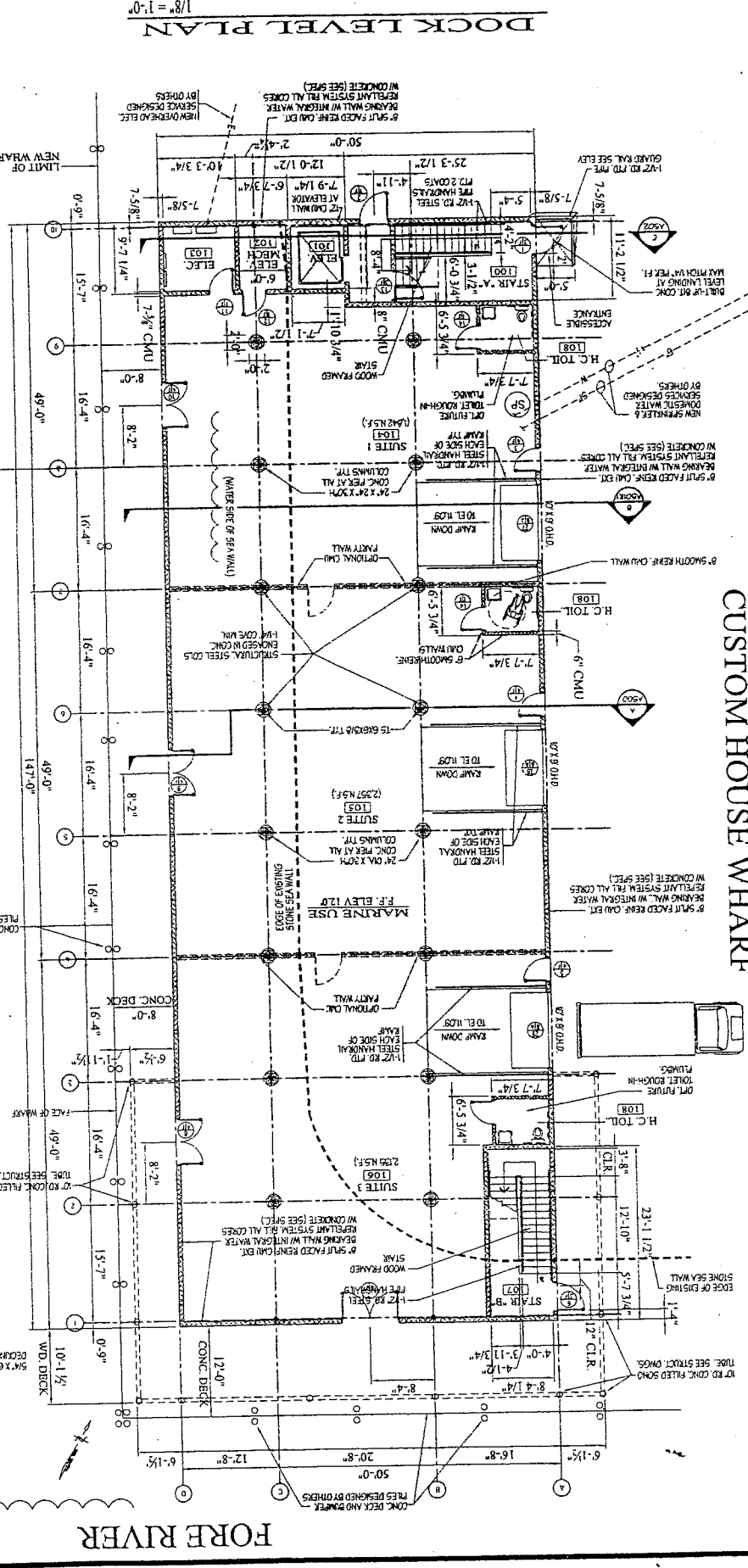
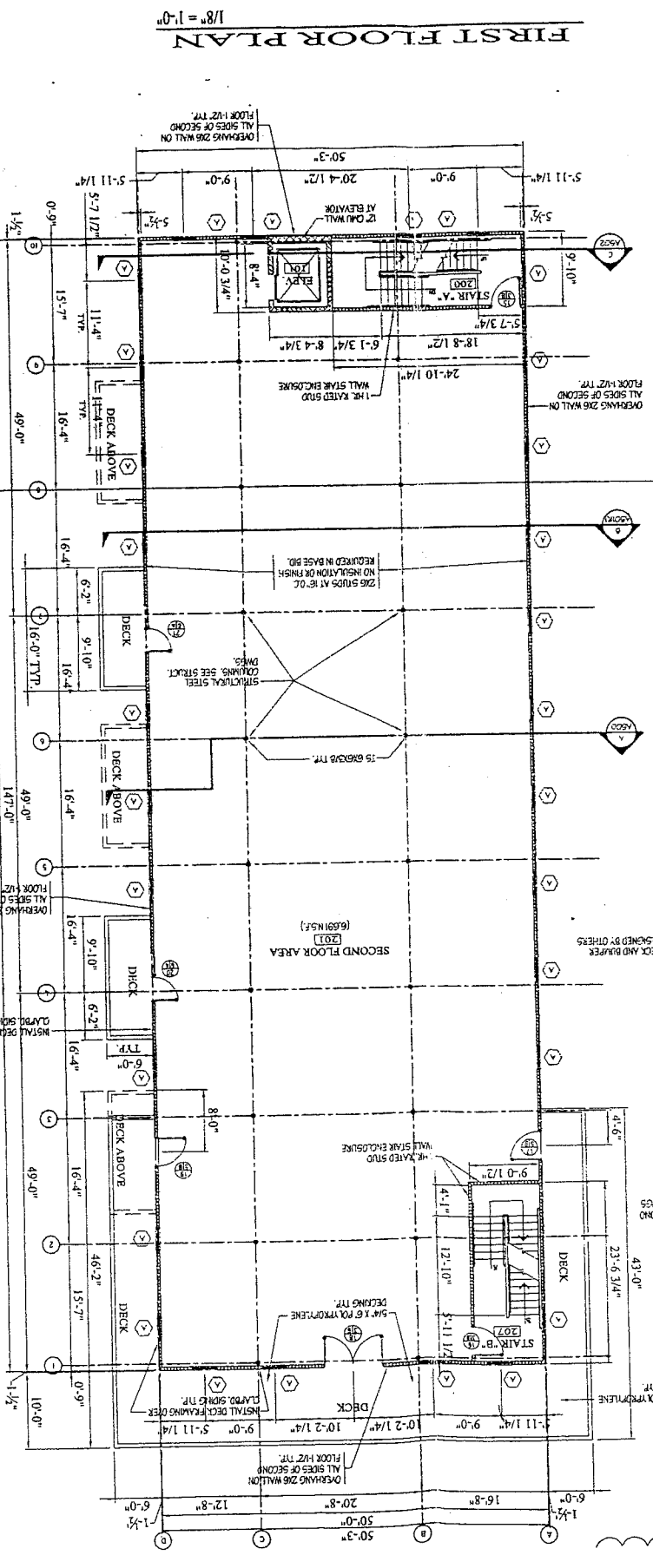
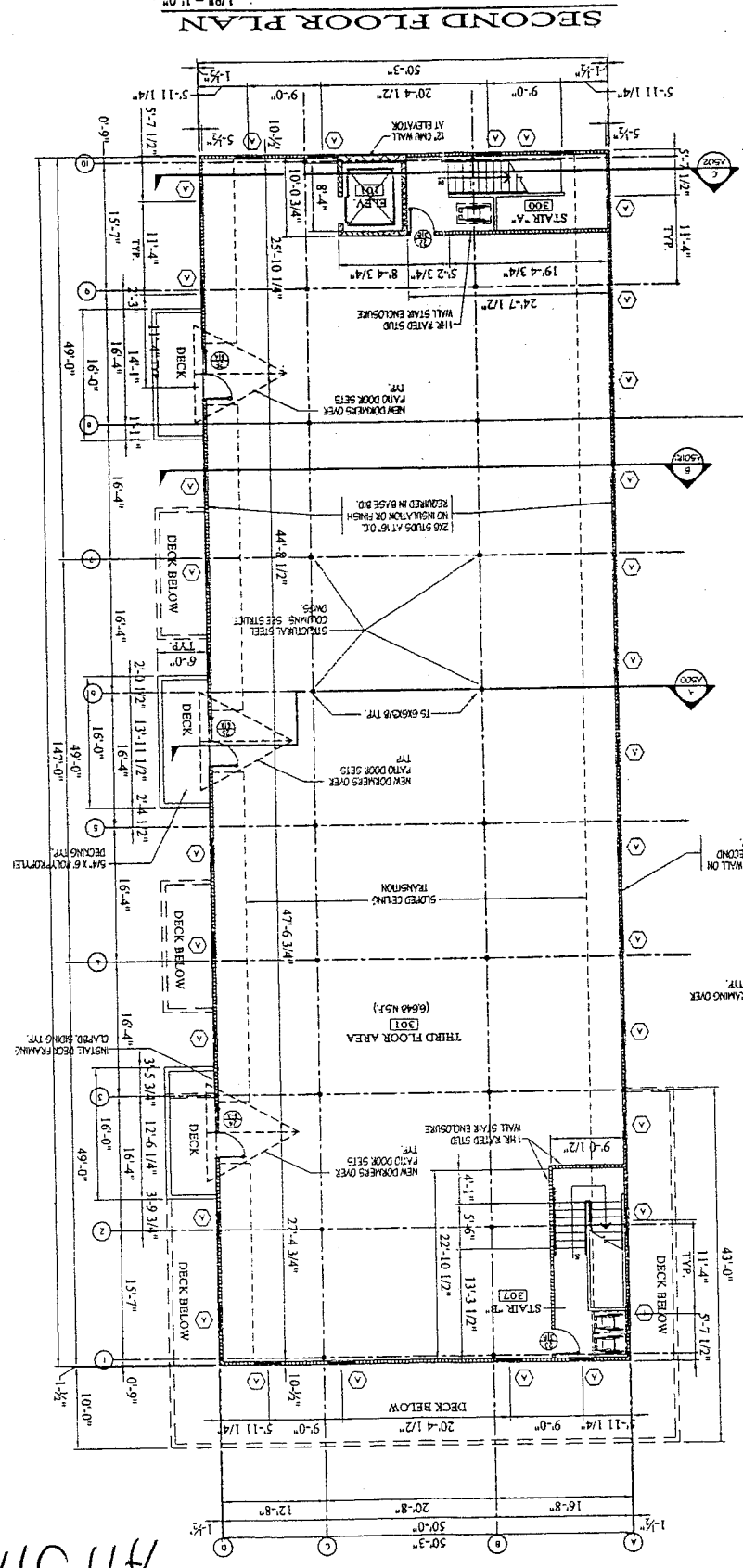
REL. FOR CONSTRUCTION - MAY 1, 2002
 1/8" = 1'-0"

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 99113 PROJECT TITLE: MARINE USE FACILITY - CUSTOM HOUSE WHARF
 SCALE: 1/8" = 1'-0" SHEET TITLE: REV. FLOOR PLAN - GENERAL

1	SCHEDULED SITE PLAN	JULY 12, 1999
2	REV. SCHEDULED SITE PLAN	JULY 16, 1999
3	REV. SCHEDULED SITE PLAN	JULY 16, 1999
4	REV. CITY COMMENTS	AUG 17, 1999
5	REV. CITY COMMENTS	AUG 17, 1999
6	REV. CITY COMMENTS	AUG 17, 1999
7	REV. CITY COMMENTS	AUG 17, 1999
8	REV. CITY COMMENTS	AUG 17, 1999
9	REV. CITY COMMENTS	AUG 17, 1999
10	REV. CITY COMMENTS	AUG 17, 1999
11	REV. CITY COMMENTS	AUG 17, 1999
12	REV. CITY COMMENTS	AUG 17, 1999
13	REV. CITY COMMENTS	AUG 17, 1999
14	REV. CITY COMMENTS	AUG 17, 1999
15	REV. CITY COMMENTS	AUG 17, 1999
16	REV. CITY COMMENTS	AUG 17, 1999
17	REV. CITY COMMENTS	AUG 17, 1999
18	REV. CITY COMMENTS	AUG 17, 1999
19	REV. CITY COMMENTS	AUG 17, 1999
20	REV. CITY COMMENTS	AUG 17, 1999
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25	REV. CITY COMMENTS	AUG 17, 1999
26	REV. CITY COMMENTS	AUG 17, 1999
27	REV. CITY COMMENTS	AUG 17, 1999
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30	REV. CITY COMMENTS	AUG 17, 1999



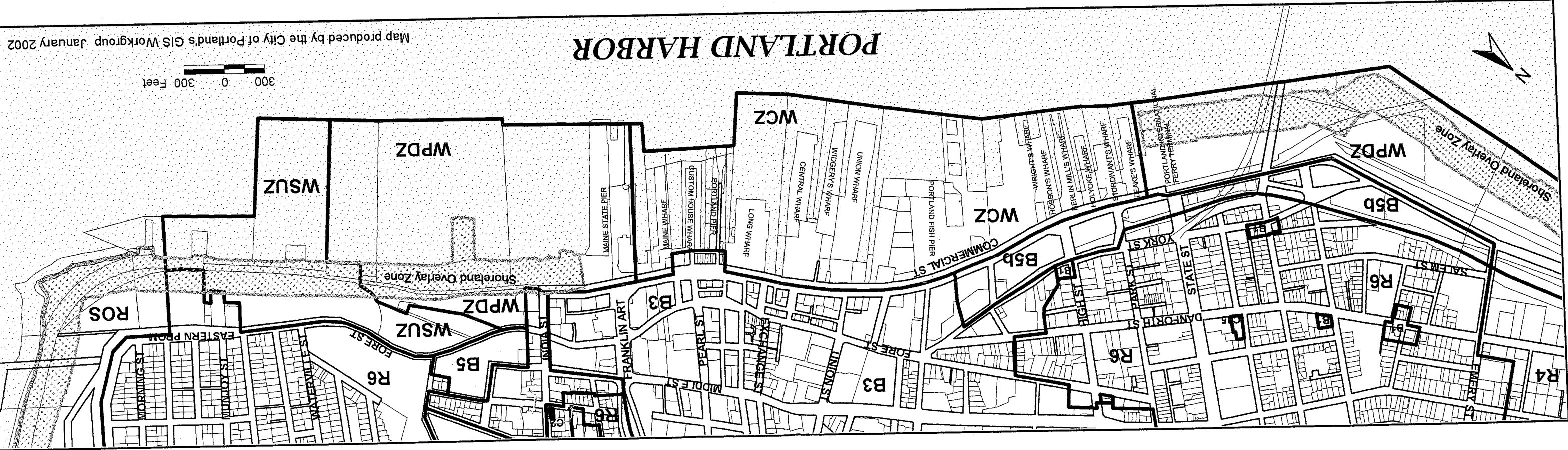
Aff 5,16



CUSTOM HOUSE WHARF

FORE RIVER

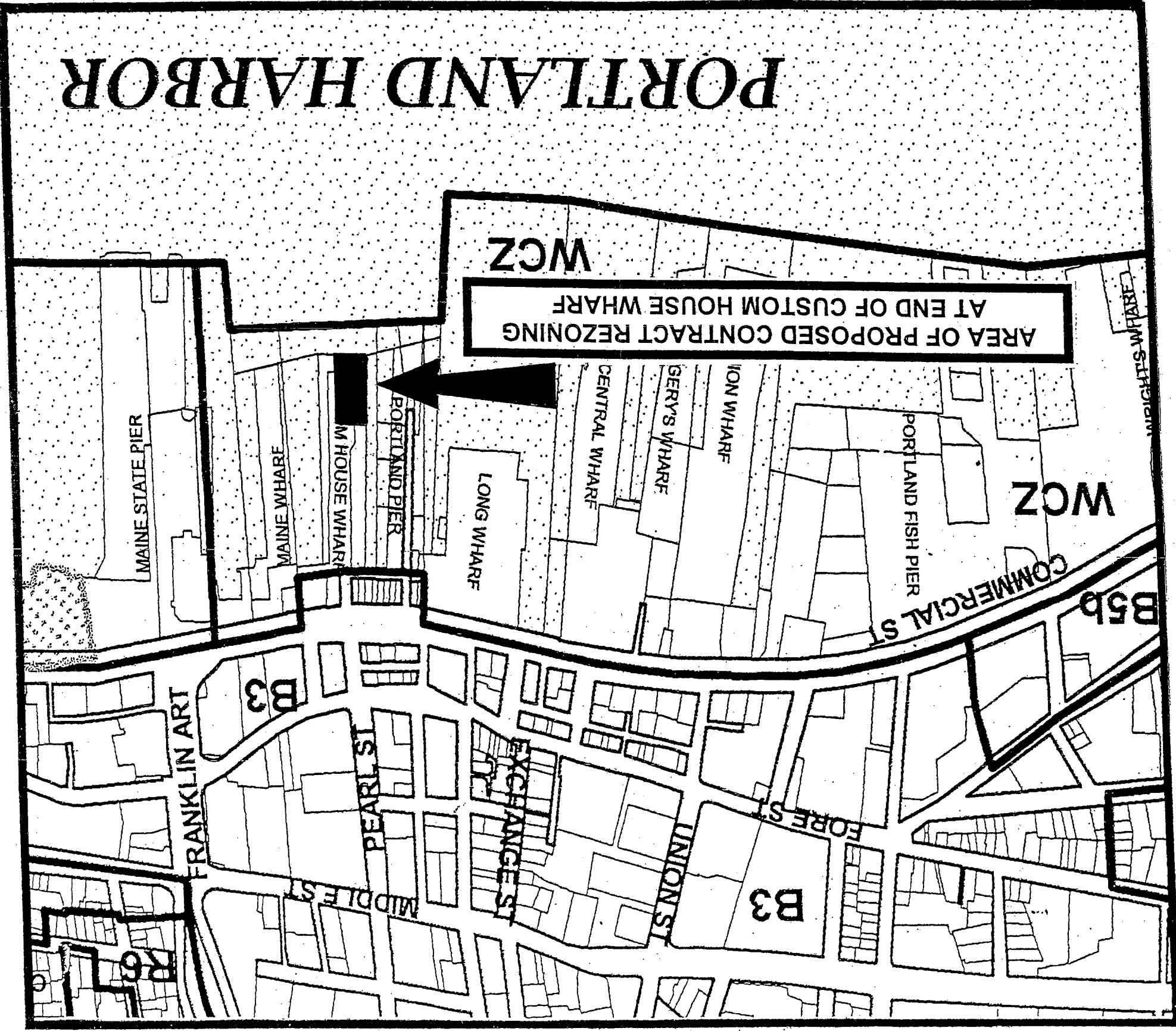
AH.6.



Map produced by the City of Portland's GIS Workgroup January 2002

PORTLAND HARBOR

PORTLAND HARBOR



447.2

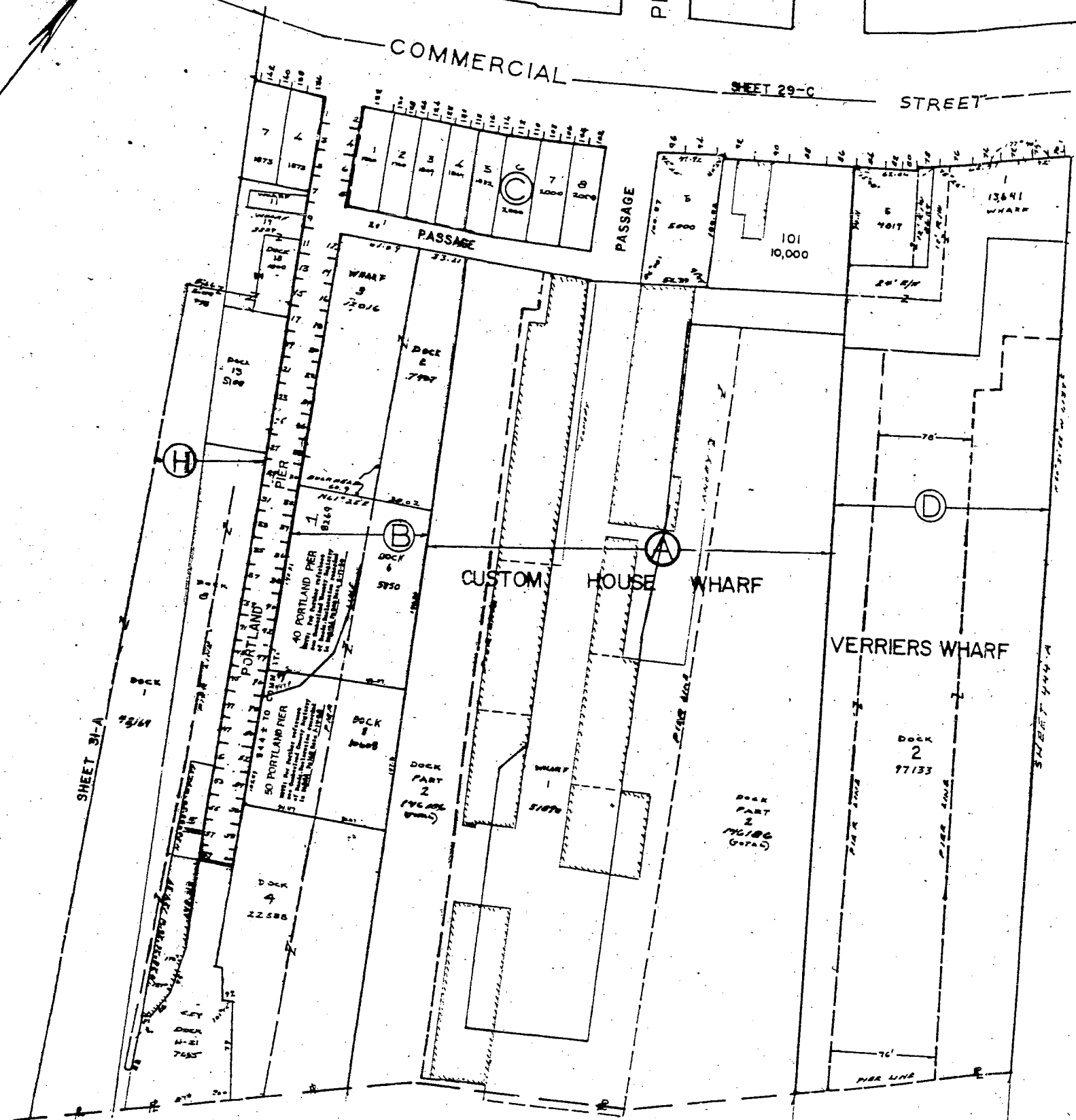
No 30
AH 5.14

FRANKLIN
ARTERIAL

PEARL ST.

COMMERCIAL STREET

SHEET 29-C



SHEET 31-A

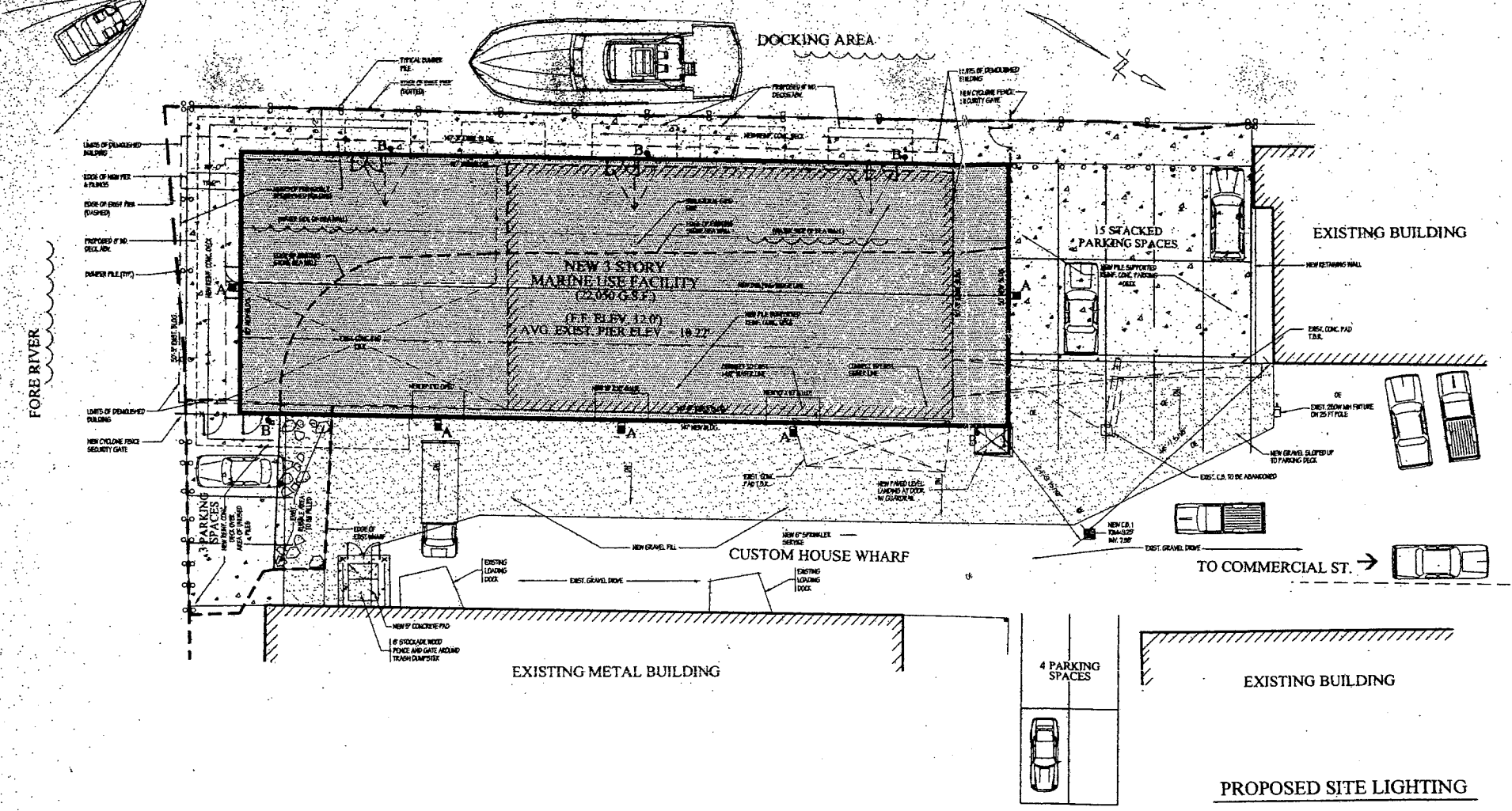
SHEET 34-A

H.C.L. 1920

AH 5.15

SITE DATA

- PROPOSED FACILITY:**
 - MIN. LOT AREA = 22,000 G.S.F.
 - MIN. STREET FRONTAGE = 100 FT.
 - MIN. LOT DEPTH = 300 FT.
 - MIN. FRONT YARD = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (WEST) = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) = NONE (ACCESSORY STRUCTURE)
 - MIN. REAR YARD = NONE (PRINCIPAL STRUCTURE)
- UTILITIES:**
 - UNDERGROUND UTILITIES TO BE LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS.
 - EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED.
 - NEW UTILITIES TO BE INSTALLED AS SHOWN ON THESE DRAWINGS.
- PROPOSED BUILDING:**
 - NEW 3 STORY MARINE USE FACILITY (22,000 G.S.F.)
 - (F.F. ELEV. 12.0)
 - AVG. EXIST. PIER ELEV. = 18.22'
- EXISTING BUILDINGS:**
 - EXISTING METAL BUILDING
 - EXISTING BUILDING
- OTHER REQUIREMENTS:**
 - PROVIDE EROSION CONTROL IN ACCORDANCE WITH FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
 - ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND STANDARDS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
 - PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.



SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23 - 02' - 00" E 179.26'	NEW CONTOUR	WATER VALVE	NEW LOAM & SEED	PERIMETER FDN. DRAIN
EASEMENT LINE	EXISTING CONTOUR	TRANSFORMER PAD	NEW GRAVEL FILL	UNDERDRAIN
EXIST. EDGE OF VEGETATION	BENCH MARK	DECIDUOUS TREE	OVERHEAD ELEC. LINE	UNDERDRAIN ELEC. CIRCUIT (1" PVC CONDUIT)
SILT/HAYBALE BARRIER	CONCRETE MONUMENT FOUND.	CONIFEROUS TREE	OVERHEAD TELEPHONE	
SWALE	IRON PIPE FOUND	NEW CONCRETE SURFACE	OVERHEAD CATV	
CULVERT	UTILITY POLE	NEW PLANTING BED	UNDERGROUND ELEC.	
EDGE OF TRAVELED WAY	MANHOLE	NEW CRUSHED STONE DRAINAGE COURSE	UNDERGROUND TEL.	
EXIST. SPOT ELEVATION	HYDRANT		UNDERGROUND CATV	
NEW SPOT ELEVATION	CATCH BASIN		STORM SEWER	
	CATCH BASIN (SOIL DISPERSION TYPE)		SANITARY SEWER	
	FRENCH DRAIN		WATER SERVICE	
			SPRINKLER SERVICE	

PLAN REFERENCES:

- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TITCOMB ASSOCIATES DATED FEBRUARY 15, 1998.
- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY OWEN HESSELL, INC. DATED AUGUST, 1984.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-204; PERMITTED USES OR SEC. 14-205; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-204.5; NO ADVERSE IMPACT ON MARINE USE.
- BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1999.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 656.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-L. PIER ELEVATION = 8.61 (FEET).
- THIS IS NOT A BOUNDARY SURVEY. PLAN TAKEN FROM AN EXISTING CONDITIONS SURVEY ONLY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY AND EXISTING DRAWINGS. TITCOMB ASSOCIATES MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. TITCOMB ASSOCIATES FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION PROCEDURES.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICLE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ROAD OPENING PROCEDURES.
- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS PURSUANT TO ALL EARTH RESTORATION PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK, ACCORDING TO THE MSHA PERMIT BY RULE STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES SECTION 1.6.13.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- SLUTION FENCES AND HAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT INTO SEAS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.



PROFESSIONAL SEAL OF DAVID D. LEASURE, ARCHITECTURAL ASSOCIATES INC., PORTLAND, MAINE. THE SEAL IS VALID FOR THE STATE OF MAINE AND IS NOT VALID FOR ANY OTHER STATE OR COUNTRY. THE SEAL IS VALID FOR PERMITTING.

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH, MAINE
 PH. (207) 797-8661
 PROJECT NO. 99113 PROJECT TITLE: MAINE USE FACILITY - CUSTOM HOUSE WHARF
 SHEET NO. 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL

REL. FOR PERMITTING - MAY 5, 2000

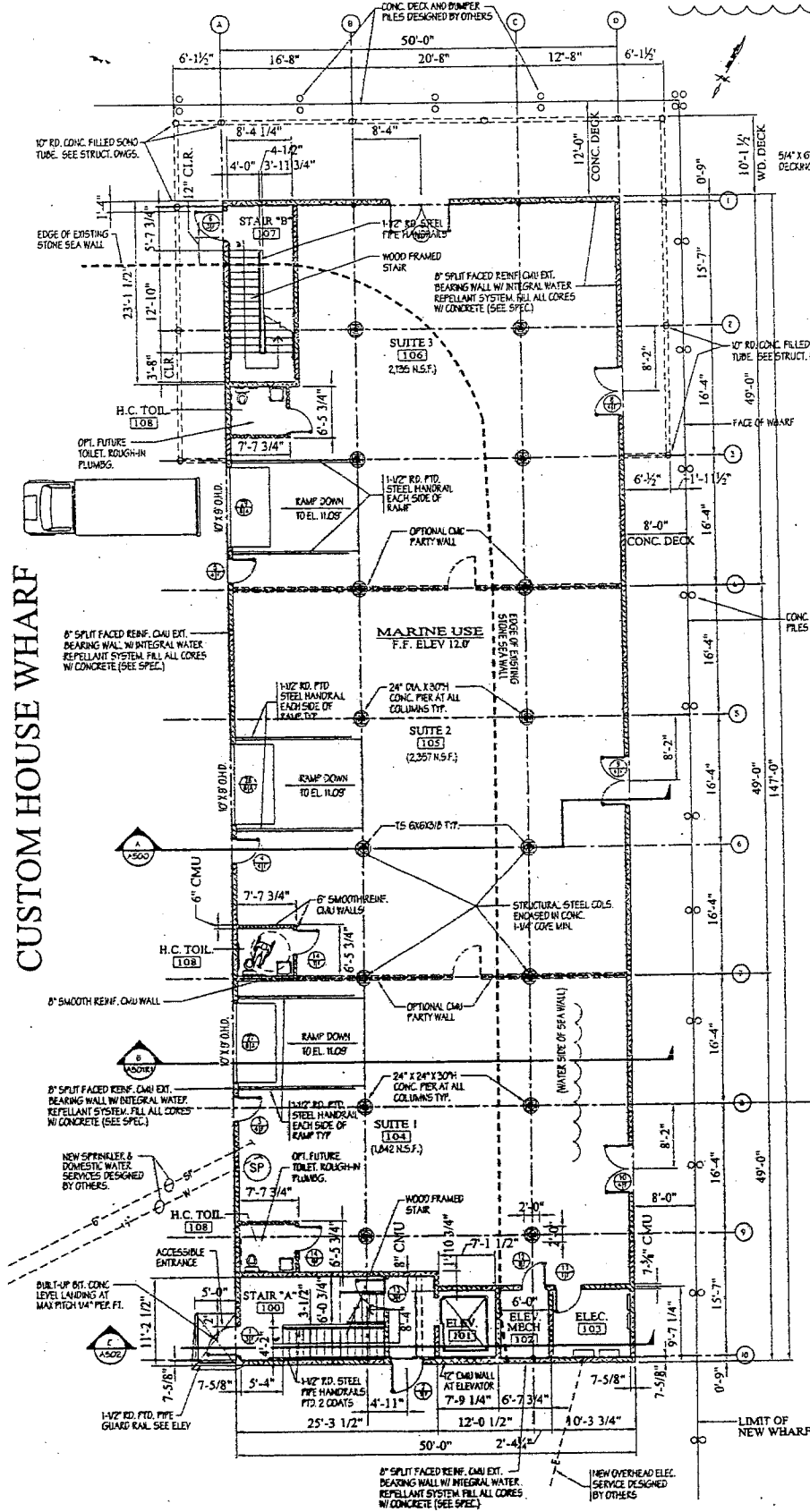
MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE

C-200

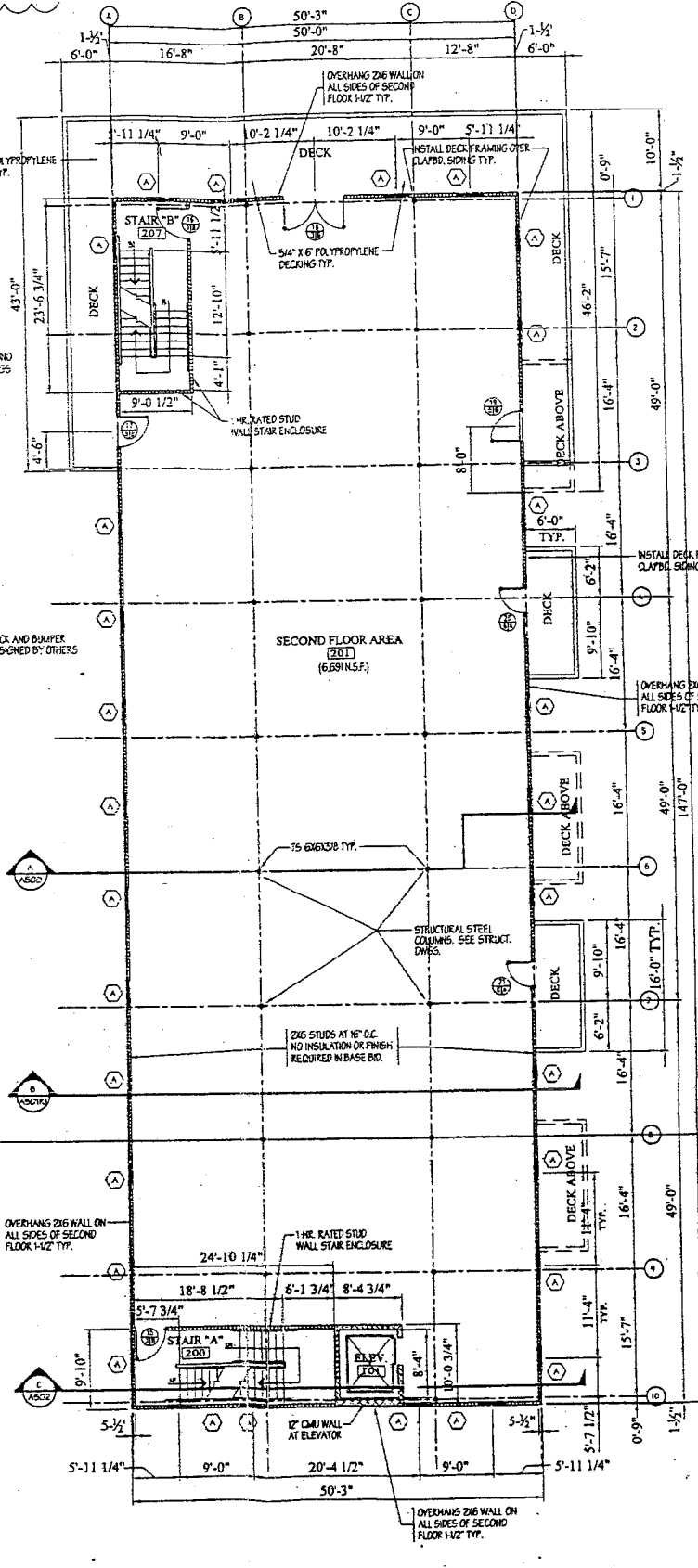
FORE RIVER

ATT 5,16

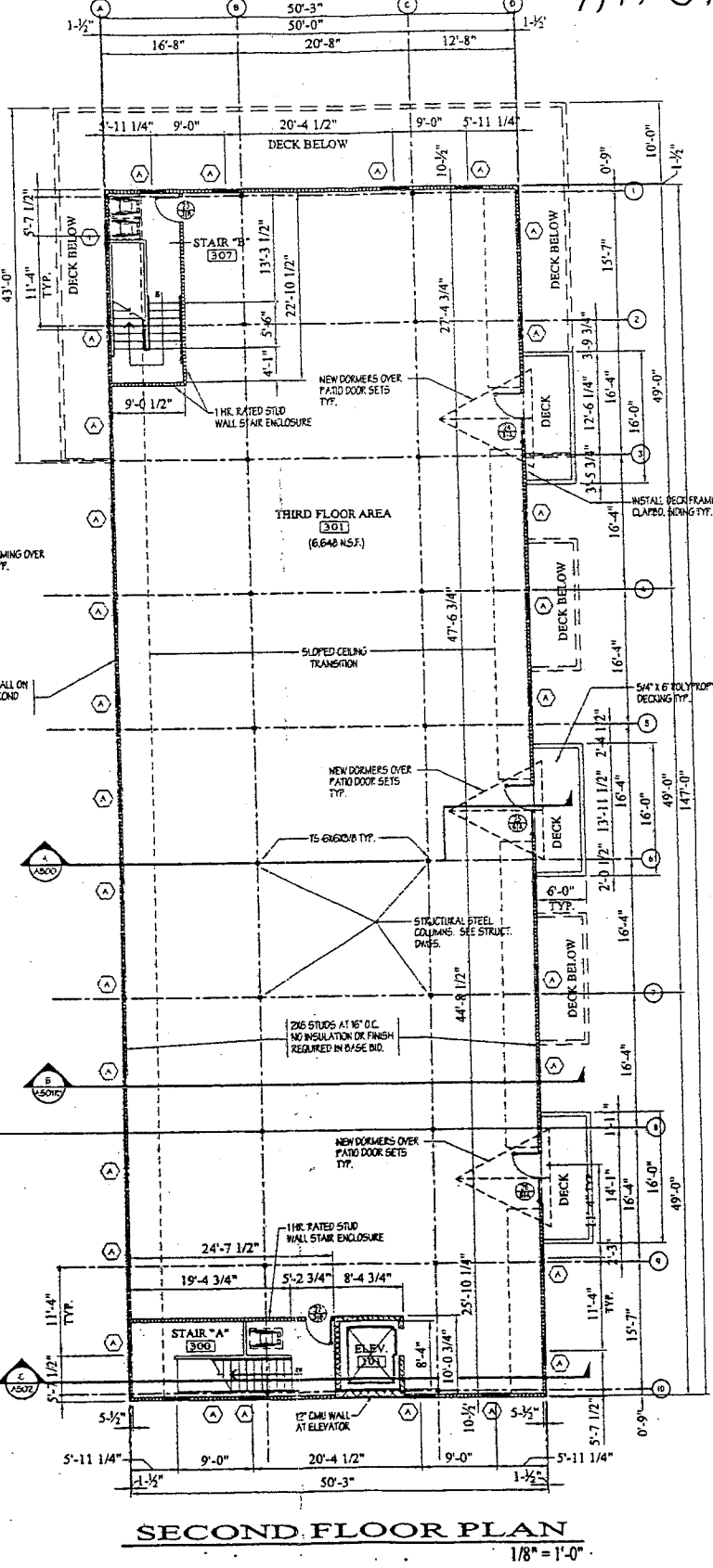
CUSTOM HOUSE WHARF



DOCK LEVEL PLAN
1/8" = 1'-0"

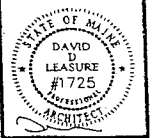


FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"

REL. FOR CONSTRUCTION - MAY 1, 2002

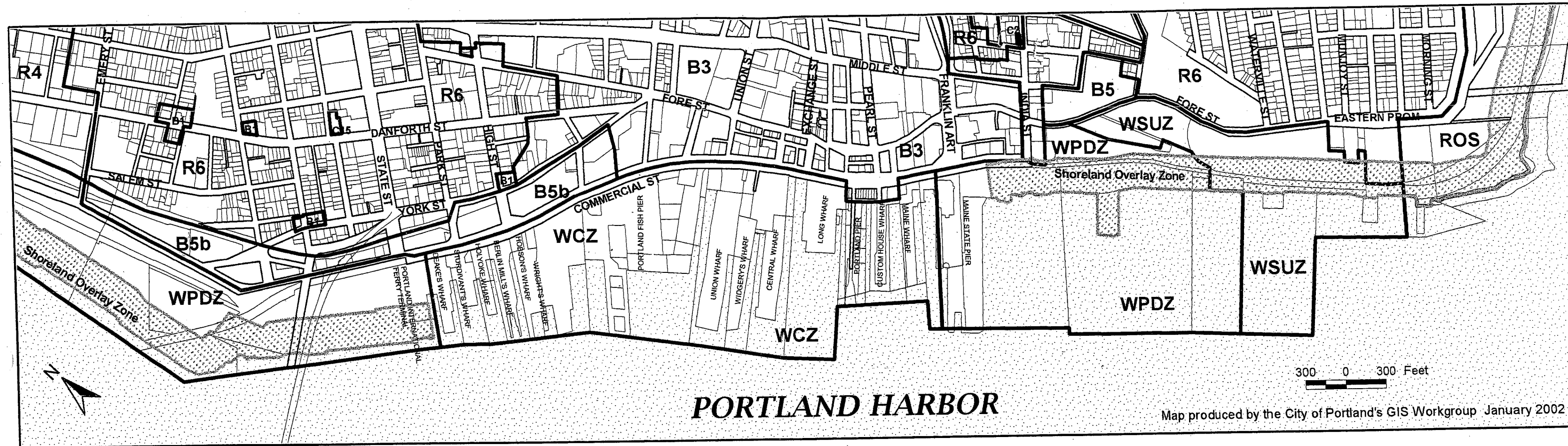


SCHEMATIC SITE PLAN JULY 12, 1998
 REV. SCHEMATIC SITE PLAN AUG 10, 1998
 DD SET FOR CITY APPROVALS AUG 16, 1998
 DD SET FOR CITY APPROVALS MAY 17, 2000
 DD SET FOR PERMITTING MAY 5, 2000
 DD SET FOR BIDDING JULY 28, 2000
 DD SET FOR CONSTRUCTION MAY 1, 2002

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8333
 PROJECT NO. 99113 PROJECT TITLE: MARINE USE FACILITY - CUSTOM HOUSE WHARF
 SCALE: 1/8" = 1'-0" SHEET TITLE: REV. FLOOR PLAN - GENERAL

A-200R2

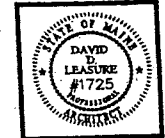
AH.6.



PORTLAND HARBOR

Map produced by the City of Portland's GIS Workgroup January 2002

AH 7.1



DATE	JULY 12, 1999
PROJECT	REVISIONS
NO.	DESCRIPTION
1	ISSUE FOR PERMITTING
2	ISSUE FOR PERMITTING
3	ISSUE FOR PERMITTING
4	ISSUE FOR PERMITTING
5	ISSUE FOR PERMITTING
6	ISSUE FOR PERMITTING
7	ISSUE FOR PERMITTING
8	ISSUE FOR PERMITTING
9	ISSUE FOR PERMITTING
10	ISSUE FOR PERMITTING

SITE DATA

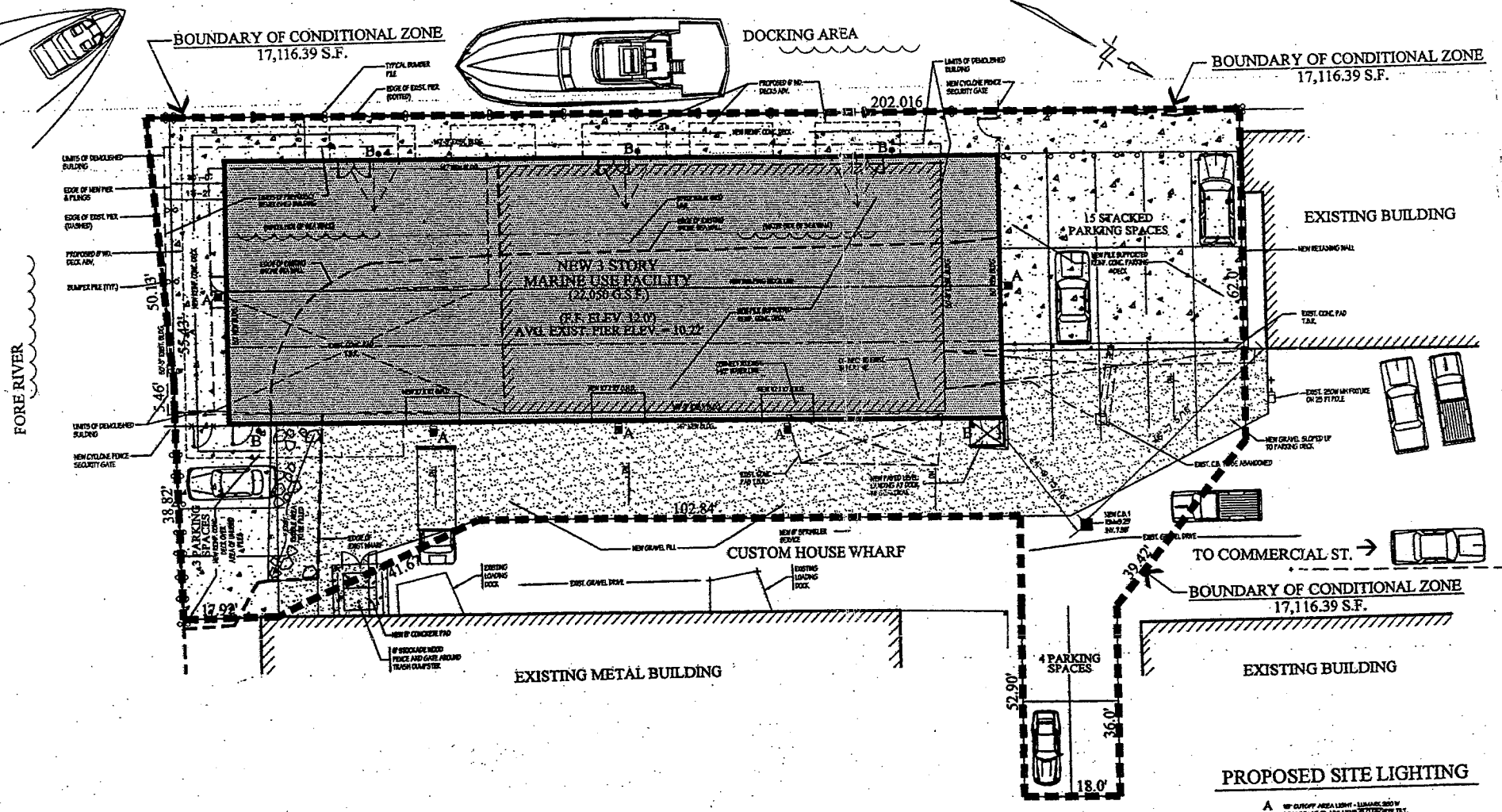
- 1. RECORD OWNER OF PROPERTY: PROPRIETORS OF CUSTOM HOUSE WHARF, 5 EASTERN FRIEL, PORTLAND, MAINE 04101
 - 2. PARCEL ZONING: WATERFRONT CONDITIONAL ZONE (WCZ), SHORELAND ZONE & FLOOD PLAIN A2.
 - 3. SITE USE: SEAFOOD PROCESSING (PERMITTED USE)
 - 4. AREA OF PARCEL = UNKNOWN
- SPACE & BULK REQUIREMENTS: RESIDENTIAL (RA) REQUIREMENT**
- MIN. LOT SIZE = NONE
 - MIN. STREET FRONTAGE = NONE
 - MIN. LOT DEPTH = 100 FT.
 - MIN. FRONT YARD = NONE (PRINCIPAL STRUCTURE)
 - MIN. REAR YARD = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (WEST) = NONE (PRINCIPAL STRUCTURE)
 - MIN. SIDE YARD (EAST) = NONE (ACCESSORY STRUCTURE)
 - MIN. REAR YARD = NONE (ACCESSORY STRUCTURE)
- 6. FACILITY UTILITIES:** THE NEW FACILITY WILL BE FULLY SPRINKLERED, COMMON AREAS AND CONDITIONS ARE SPRINKLERED.
- SANITARY SEWER: MUNICIPAL
 - DOMESTIC WATER: MUNICIPAL
 - STORM SEWER: EXISTING SITE CATCH BASIN
 - ELECTRIC SERVICE: UTILITY COMPANY (O&P) NONE AT THIS TIME
 - GAS SERVICE: NONE AT THIS TIME
- 7. OFF STREET LOADING:** (1) NEW DRIVE-IN LOADING BAYS PROVIDED
- 8. OFF STREET PARKING:**
- GROUND FLOOR (BUSINESS NOT CATERING TO RETAIL TRADE WITH FLOOR AREA OVER 3,000 S.F. = 1 S.F./400 S.F. REQ'D)
 - 0.254 S.F. @ 1 PER 1,000 S.F. = 0.3 PARKING SPACES REQ'D
 - 0.046 S.F. @ 1 PER 400 S.F. = 0.1 PARKING SPACES REQ'D
 - FIRST FLOOR (BUSINESS OFFICE) = 1 S.F./400 S.F. REQ'D
 - 0.254 S.F. @ 1 PER 1,000 S.F. = 0.3 PARKING SPACES REQ'D
 - 0.046 S.F. @ 1 PER 400 S.F. = 0.1 PARKING SPACES REQ'D
 - THIRD FLOOR (REST. (BUSINESS OFFICE)) = 1 S.F./400 S.F. REQ'D
 - 0.254 S.F. @ 1 PER 1,000 S.F. = 0.3 PARKING SPACES REQ'D
 - 0.046 S.F. @ 1 PER 400 S.F. = 0.1 PARKING SPACES REQ'D
- TOTAL PARKING REQUIRED: 102. REDUCTION PERMITTED: 51 PARKING SPACES PROVIDED INCLUDING 6 SPACES WITHIN FACILITY
- 9. OTHER REQUIREMENTS:**
- PROVIDE EROSION CONTROLS IN ACCORDANCE WITH FEDERAL STATE AND MUNICIPAL REQUIREMENTS.
 - ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF PORTLAND'S STANDARDS.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH THE RESPECTIVE UTILITY COMPANIES.
 - PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND REPORT ANY VARIATIONS FROM THOSE SHOWN ON THE ARCHITECT'S DRAWINGS TO THE ARCHITECT IMMEDIATELY.

PLAN REFERENCES:

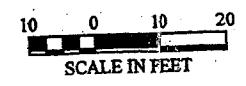
- SITE INFORMATION AS SHOWN IS TAKEN FROM A FIELD SURVEY BY TICOMB ASSOCIATES DATED FEBRUARY 18, 1999.
- PLAN OF LAND ON COMMERCIAL STREET, PORTLAND, MAINE, MADE FROM CITY OF PORTLAND BY DANEN HASKELL, INC. DATED AUGUST, 1984.

GENERAL NOTES:

- THE PROPOSED FACILITY SHALL HOUSE USES IN ACCORDANCE WITH CITY OF PORTLAND LAND USE ORDINANCE SEC. 14-314; PERMITTED USES, OR SEC. 14-315; CONDITIONAL USES. IN ADDITION, SUCH USES SHALL COMPLY WITH THE REQUIREMENTS OF SEC. 14-313.5; NO ADVERSE IMPACT ON MARINE USE.
- BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1999.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 658.
- ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (CITY OF PORTLAND DATUM). BENCHMARK: P.K. NAIL IN POLE J-I. PIER ELEVATION = 8.61 (FEET).
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- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SILT FENCING AROUND MUNICIPAL AND ON-SITE CATCH BASINS DURING ALL EXCAVATION DISTURBANCE PROCEDURES.
- PROVIDE SECONDARY PIPE SLEEVES OF SIMILAR MATERIAL WHERE PIPES AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK ACCORDING TO THE DEPT. PERMITS BY RULES STANDARDS AND THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SECTION 14.13.
- ALL NEW UNDERGROUND ELECTRICAL SERVICE CIRCUITRY TO BE INSTALLED IN 3" MIN. SCHEDULE 40 PVC AT 18" BELOW ROUGH GRADE ELEVATION.
- ALL UNDERGROUND SITE LIGHTING CIRCUITRY TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION.
- SILTATION FENCES AND HAY BALE BARRIERS SHALL BE INSTALLED AROUND ANY SOIL DISTURBED AREA TO PREVENT MOVEMENT OF SILT AND DEBRIS, STREAMS, BROOKS, ROAD DITCHES, AND MUNICIPAL OR ON-SITE CATCH BASINS.



SITE PLAN - GENERAL



SITE LEGEND

PROP. LINE BEARING S 23 -02'-00" E 179.26'	NEW CONTOUR	WATER VALVE	NEW LOW & SEED	PERIMETER FIN. DRAW
EXIST. LINE	EXISTING CONTOUR	TRANSFORMER PAD	NEW GRAVEL FILL	UNDERDRAN
EXIST. EDGE OF VEGETATION	BENCH MARK	DECEASED TREE	OVERHEAD ELEC. LINE	UNDERGROUND ELEC. CIRCUIT (1" PVC CONDUIT)
SILT/STAINABLE BARRIER	CONCRETE MONUMENT FOUND	CONIFER TREE	OVERHEAD TELEPHONE	
SHAKE	IRON PIPE FOUND	NEW CONCRETE SURFACE	OVERHEAD CATV	
CHAMERT	UTILITY POLE	NEW PLANTING BED	UNDERGROUND ELEC.	
EDGE OF TRAVELED HWY	MANHOLE	NEW CRUSHED STONE DRAINAGE COURSE	UNDERGROUND TEL.	
EXIST. SPOT ELEVATION	HYDRANT		UNDERGROUND CATV	
NEW SPOT ELEVATION	CATCH BASIN		STORM SEWER	
	CATCH BASIN (SOIL DISPERSION TYPE)		SANITARY SEWER	
	FRENCH DRAIN		WATER SERVICE	
			SPRINKLER SERVICE	

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH (207) 797-8661 FAX (207) 797-8533
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 SCALE: 1" = 10'-0" SHEET TITLE: SITE PLAN - GENERAL

REVISED SITE PLAN - JANUARY 19, 2004

MARINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT
 PORTLAND, MAINE

C-200R