

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT



**This is to certify that**

PROPRIETORS OF CUSTOM HOUSE WHARF ATTN G  
E MACGOWA/Sampson & Company

**PERMIT ID:** 2012-65702

**Located at**

86 Commercial St - 6 Custom House Wharf

**CBL:** 030 A001001

has permission to **Interior renovations for new restaurant 1st & 2nd floors (change of use for 2nd floor), including structural upgrades to beams, columns & wharf bents and 2nd floor exterior deck w/outside dining on both decks (internal demo permit #2012-10-5242)**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

**Fire Prevention Officer**

**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
THERE IS A PENALTY FOR REMOVING THIS CARD**

**PERMIT ID:** 2012-65702

**Located at:** 86 Commercial St - 6 Custom

**CBL:** 030 A001001

**BUILDING PERMIT INSPECTION PROCEDURES**  
Please call 874-8703 (ONLY)  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

**REQUIRED INSPECTIONS:**

Footings/Setbacks  
Foundation/Rebar  
Plumbing Rough  
Electrical Close-in  
Close-in Plumbing/Framing  
Above Ceiling Inspection  
Final - Fire  
Final - Electric  
Certificate of Occupancy/Final

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
2012-65702	12/31/2012	030 A001001

Location of Construction:	Owner Name:	Owner Address:	Phone:
86 Commercial St - 6 Custom House	PROPRIETORS OF CUSTOM HO	5 EASTERN PROMENADE	
Business Name:	Contractor Name:	Contractor Address:	Phone
Fish Shack LLC	Sampson & Company	72 Merrill Street Portland	(207) 712-9147
Lessee/Buyer's Name	Phone:	Permit Type:	
Harding Smith	2073194368	Alterations - Commercial	

Proposed Use:	Proposed Project Description:
Commercial - Restaurant - 1st & 2nd floors - Poppy's Fish Shack & Oyster Room	Interior renovations for new restaurant 1st & 2nd floors (change of use for 2nd floor), including structural upgrades to beams, columns & wharf bents and 2nd floor exterior deck w/outside dining on both decks (internal demo permit #2012-10-5242)

**Dept:** Zoning      **Status:** Approved w/Conditions      **Reviewer:** Ann Machado      **Approval Date:** 01/07/2013**Note:** A determination letter in February of 2009 by the Zoning Administrator states that the first floor use as a restaurant is legally nonconforming. The letter also discussed the existence of the an outside first floor deck that is part of the restaurant use.      **Ok to Issue:** ☒

- 1) With the issuance of this permit and the certificate of occupancy, the use of this space shall be restaurant on both the first and second floors. Any change of use will require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This permit is being issued with the condition that the applicant apply for outdoor seating
- 4) Separate permits shall be required for any new signage.

**Dept:** Building      **Status:** Approved w/Conditions      **Reviewer:** Jeanie Bourke      **Approval Date:** 02/08/2013**Note:**      **Ok to Issue:** ☒

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) Prior to the final inspection a sealed letter shall be submitted to this office confirming that based on inspections performed all discrepancies have been corrected and the structural work is in substantial compliance with the approved plans
- 3) Structural Plans S000 and S100 are approved for framing only. The footings for the posts are not included in the scope of work, the detail for the 2nd floor deck bearing posts shall be submitted to this office prior to this work commencing. An analysis shall be performed by a structural engineer with details on the proposal to carry these posts on the existing beam or pilings below.
- 4) Application approval based upon information provided by the applicant or design professional, including revisions dated received post application date. Any deviation from approved plans requires separate review and approval prior to work.
- 5) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
- 6) Equipment shall be installed in compliance with the manufacturer's specifications and the UL listing.
- 7) Ventilation of this space is required per ASHRAE 62.2 or 62.1, 2007 edition.
- 8) Per Harding Smith, the internal side egress stair exit to the exterior will be above grade (7'") due to a change in the floor elevation on the interior. The asphalt surface will be graded to provide a code compliant landing and slope away. If this detail changes, approval is required by this office.
- 9) Where the live loads for which each floor or portion thereof, is or has been designed to exceed 50 psf, such design live loads shall be conspicuously posted by the owner in that part of each story in which they apply using durable signs. (IBC Sec. 106.1)
- 10) New café, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes.
- 11) Framing/structural details for the rooftop platform for the HVAC equipment shall be submitted for review prior to commencement of this work.

<b>Location of Construction:</b> 86 Commercial St - 6 Custom House	<b>Owner Name:</b> PROPRIETORS OF CUSTOM HO	<b>Owner Address:</b> 5 EASTERN PROMENADE	<b>Phone:</b>
<b>Business Name:</b> Fish Shack LLC	<b>Contractor Name:</b> Sampson & Company	<b>Contractor Address:</b> 72 Merrill Street Portland	<b>Phone</b> (207) 712-9147
<b>Lessee/Buyer's Name</b> Harding Smith	<b>Phone:</b> 2073194368	<b>Permit Type:</b> Alterations - Commercial	

12 Approval of City license is subject to health inspections per the Food Code.

13 Plumbing fixture layout for the kitchens and bars shall be submitted for review prior to the installation of rough piping for these area. Specific details for island venting shall be submitted by the plumbing contractor for approval.

**Dept:** Fire      **Status:** Approved w/Conditions      **Reviewer:** Ben Wallace Jr      **Approval Date:** 02/20/2013

**Note:**      **Ok to Issue:** ☒

- 1) Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
- 2) Fire extinguishers are required per NFPA 1.
- 3) Through-penetrations and membrane penetrations in fire walls, fire barrier walls, and fire resistance rated horizontal assemblies shall be protected by firestop systems or devices in conformance with NFPA 101:8.3.5 (ASTM E 814 or ANSI/UL 1479). Providing firestop labels at each firestop system or device and an onsite manual containing the detail for each firestop system or device used for the project will streamline final inspection approvals.
- 4) Exiting capacity from the remainder of the pier shall be maintained per the previously approved egress plan.
- 5) System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 6) Hood suppression system shall comply with NFPA 17A, 96, and UL 300. Activation of the suppression system shall activate the fire alarm system if available. A letter of compliance will be required at the time of final inspection stating: the date the system was tested for operation, fuel gas shut off, and fire alarm connection if applicable. The Class K fire extinguisher and proper signage should be located at the suppression system pull station.
- 7) Fire rated exit doors shall have listed fire exit hardware and non-fire rated exit doors shall have listed panic hardware.
- 8) A separate Suppression System Permit is required. This review does not include approval of system design or installation. Sprinkler installation shall comply with NFPA 13.
- 9) Fire department connection type and location shall be approved in writing by Fire Prevention Bureau.
- 10) Fire alarm system requires a wireless master box connection per city ordinance. Master box design and installation shall in conformance with Fire Department Regulations and approved by Fire Department Electrical Division.
- 11) Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
- 12) Hood installation shall comply with City Code Chapter 10 and NFPA 96, Standard for ventilation Control and Fire Protection of Commercial Cooking Operations, 2008 edition. A signed letter of certification is required. Separate hood and hood suppression system permits are required.
- 13) A separate Fire Alarm Permit is required. This review does not include approval of fire alarm system design or installation. Fire alarm installation shall comply with Fire Department Rules and Regulations and NFPA 72-2010 edition.
- 14) Construction or installation shall comply with City Code Chapter 10.
- 15) Application requires State Fire Marshal approval.
- 16) Any cutting and welding done will require a Hot Work Permit from Fire Department.
- 17) A firefighter Building Marking Sign is required.
- 18) Notice: The first scheduled final inspection fee is at no charge. Additional inspections shall be billed at \$75 for each inspector.
- 19) Fire walls, fire barriers, fire partitions, smoke barriers and smoke partitions or any other wall required to have protected openings or penetrations shall be effectively and permanently identified with signs or stenciling in accessible concealed floor, floor-ceiling or attic spaces at intervals not exceeding 30 feet with lettering not less than 0.5 inches in height.
- 20) Private fire mains and fire hydrants shall be maintained, tested and painted in accordance with Fire Department Regulations prior to issuance of a certificate of occupancy.

<b>Location of Construction:</b> 86 Commercial St - 6 Custom House	<b>Owner Name:</b> PROPRIETORS OF CUSTOM HO	<b>Owner Address:</b> 5 EASTERN PROMENADE	<b>Phone:</b>
<b>Business Name:</b> Fish Shack LLC	<b>Contractor Name:</b> Sampson & Company	<b>Contractor Address:</b> 72 Merrill Street Portland	<b>Phone</b> (207) 712-9147
<b>Lessee/Buyer's Name</b> Harding Smith	<b>Phone:</b> 2073194368	<b>Permit Type:</b> Alterations - Commercial	
21 Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.			

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2012-65702	Issue Date:	CBL: 030 A001001
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Location of Construction: 86 Commercial St - 6 Custom House Wharf	Owner Name: PROPRIETORS OF CUSTOM HOUSE WHARF ATTN G E MACCOWA	Owner Address: 5 EASTERN PROMENADE PORTLAND, ME 04101	Phone:
Business Name: Fish Shack LLC	Contractor Name: Sampson & Company	Contractor Address: 72 Merrill Street Portland ME 04101	Phone: (207) 712-9147
Lessee/Buyer's Name Harding Smith	Phone: (207) 319-4368	Permit Type: Alterations - Commercial	Zone: B3 C35 <u>WCZ</u>
Past Use: Commercial - 1st floor - restaurant (Harbor's Edge) & 2nd floor vacant	Proposed Use: Commercial - Restaurant - 1st & 2nd floors - Poppy's Fish Shack & Oyster Room	Permit Fee: \$2,345.00	Cost of Work: \$225,000.00
Proposed Project Description: Interior renovations for new restaurant 1st & 2nd floors (change of use for 2nd floor), including structural upgrades to beams, columns & wharf bents and 2nd floor exterior deck (internal demo permit #2012-10-5242) <u>wharf side dining on both decks</u>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A 2/20/13	INSPECTION: Use Group: <u>A-2</u> Type: <u>SB</u> <u>MVBEC - 2009</u>
		Signature: <u>[Signature]</u> (58) Signature: <u>[Signature]</u> 2/8/13	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 12/31/2012	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <u>OK w/conditions</u> Date: <u>1/7/13</u> <u>ABU</u>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <u>[Signature]</u>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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PDF  
e-mailed ✓

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>6 CUSTOM HOUSE WHARF ST.</b>		
Total Square Footage of Proposed Structure/Area <b>7,587</b>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <b>30</b> Block# <b>A</b> Lot# <b>5</b>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <b>FISH SHACK, LLC</b> Address <b>73 CONGRESS ST. #1</b> City, State & Zip <b>PORTLAND, ME 04101</b>	Telephone: <b>207-319-4368</b>
Lessee/DBA (If Applicable) <b>Fish Shack LLC</b>	Owner (if different from Applicant) Name <b>Proprietors of Custom</b> Address <b>18 Custom House Wharf</b> City, State & Zip <b>Portland, ME 04101</b>	Cost Of Work: \$ <b>225,000</b> C of O Fee: \$ <b>75</b> Total Fee: \$ <b>3345</b>
Current legal use (i.e. single family) <b>ASSEMBLY restaurant</b> If vacant, what was the previous use? Proposed Specific use: <b>ASSEMBLY (RESTAURANT)</b> Is property part of a subdivision? _____ If yes, please name _____ Project description: <b>Renovate Boones -&gt; Restaurant Harbor Edge.</b>		
Contractor's name: <b>SIMPSON &amp; CO</b> Address: <b>12 Merrill St</b> City, State & Zip: <b>Portland, ME 04101</b> Who should we contact when the permit is ready: <b>HARDING SMITH</b> Mailing address: <b>hardingleesmith@gmail.com</b>		Dept. of Building Inspections City of Portland Maine Telephone: <b>712-9147</b> Telephone: <b>319-4368</b>

RECEIVED  
DEC 31 2012

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date: **12/12/12**

This is not a permit; you may not commence ANY work until the permit is issued





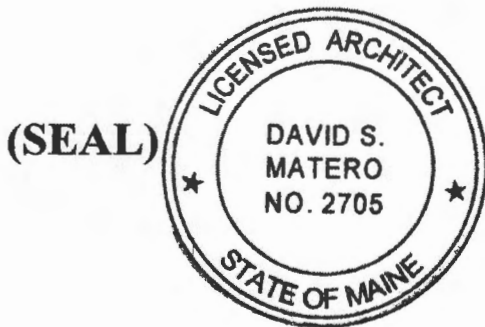
# Accessibility Building Code Certificate


Designer: DAVID MATERO ARCHITECTURE

Address of Project: 6 CUSTOM HOUSE WHARF ST.

Nature of Project: INTERIOR RENOVATION INTO A  
2-STORY RESTAURANT

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: PRINCIPAL

Firm: DAVID MATERO ARCHITECTURE

Address: 100 FRONT ST.  
BATH, ME 04530

Phone: 207-671-6820

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



COPY



470 Forest Ave. Suite 203, Portland, Maine 04101 – Phone 207.775.6561 – Fax 207.871.0914 – FishmanRealty.com

## LETTER OF INTENT

**TO:** The Proprietors of Custom House Wharf  
**FROM:** Harding L. Smith, C/O Fishman Realty Group Inc.  
**DATE:** July 3, 2012  
**ADDRESS:** 6 Custom House Wharf, Portland, ME  
**RE:** LOI – Modified Gross Lease

This Letter of Intent sets forth the terms and conditions under which **Harding Lee Smith** hereinafter referred to as (“Tenant”) is willing to enter into lease agreement with The **Proprietors of Custom House Wharf** (hereinafter referred to as the “Landlord”) for space at the above-mentioned location.

This Letter of Intent is non-binding to either party. It is intended with the sole purpose of establishing terms and conditions that are to be implemented in a binding lease agreement, which is subject to the satisfaction of both parties, within 10 days of the effective Letter of Intent.

**Tenant:** Harding Lee Smith

**Demised Premise:** The demised premises shall be deemed to contain approximately 4,250± RSF of ground level retail/restaurant space, 4,250± RSF 2<sup>nd</sup> Floor retail/restaurant space as well as roof rights at 6 Custom House Wharf, Portland, ME.

**Use:** Tenant to use property as a restaurant and bar.

**Pre Rent:** \$4,500.00 per month for a maximum period of 6 months. Pre Rent period will end on opening day if prior to Rent Commencement.

**Base Rent:** \$6,000.00 per month, (\$72,000.00 per annum) Modified Gross.

**Lease Term:** (5) Five Year Lease Term with an increase of five percent (5%) over the Base Rent effective at the beginning of the fourth year of the term.

**Options:** (3) Three, (5) Five-year Options with rent increases in each such Option term of up to ten percent (10%) during the course of the term, provided that the rent shall not increase by more than five percent (5%) in any given year during such term (with such Options commencing in year 6, year 11 and year 16). The amounts and dates of the rent increases

for each Option term shall be negotiated and agreed upon six (6) months in advance of the commencement of such Option term.

**Operating Expenses:**

Landlord will be responsible for real estate taxes, common area maintenance and liability building insurance covering the Demised Premises. Tenant shall be responsible for maintaining ~~property insurance~~ and shall list Landlord as ~~loss payee~~ with respect to such insurance. *liability insurance* *additionally insured*

Tenant responsible for their pro rata share of property tax increases. Increases to be "passed through" to tenant as additional rent. Landlord to notify Tenant of these increases in writing on an annual basis.

**Waters; Sewage:**

Tenant shall be responsible for the cost of any water and sewer fees.

**Electric:**

Tenant responsible for cost of electric usage to leased space.

**Heat and A/C:**

Tenant responsible for cost of HVAC to the space. Landlord responsible for the cost of maintenance, cleaning, and replacement of the HVAC systems. Tenant to administer the contracting of maintenance, cleaning, and replacement of the HVAC systems. These costs to be billed back to the Landlord or credited to the Tenant's rent. This includes existing systems and all new systems to be installed as part of the renovation of the premises.

**Natural Gas:**

Tenant responsible for the cost of all natural gas usage.

**Snow Removal:**

Landlord responsible for plowing, salting and sanding the Tenant's parking lot, deck, sidewalk and entryways. Tenant shall pay for Tenant's pro rata share of the cost of such snow removal.

**Janitorial:**

Tenant is responsible for the janitorial services to leased space.

**Security Deposit:**

Upon the execution of the Lease, the Tenant will deposit with Landlord the sum of \$6,000.00. This money will represent the security deposit due under the lease. Said deposit to be returned to the Tenant at or before the end of the lease term, provided the premises are left in good repair, "broom clean". No interest will be paid on said deposit.

**Landlord's Work:**

1. Landlord is responsible for all infrastructure related repairs throughout the life of the lease agreement as well as during the renovation process. This includes, but is not limited to roof repairs, foundation repairs, and exterior building upkeep.
2. Landlord to deliver premises to tenant clear of all personal property and in "Broom Clean" condition, no later than the occupancy date. (See Below).

**Parking:**

The entire parking lot adjacent to the premises shall be for the sole use of the Tenant other than those parking spaces located directly adjacent to Gilberts Chowder House.

**Access:**

Upon execution of Letter of Intent, Inspection of current facilities, including but not limited to hood systems, exhaust systems, plumbing, and electrical, will be required by tenant. All inspections will be conducted by tenant or tenant's contractors. Inspections will require full access to basement, roof, and portion of building containing systems associated with the restaurant space.

<b>Tenant's Work:</b>	<p>Tenant plans to significantly rehabilitate the premises. Renovations will include but will not be limited to paint, fixtures, bars, open commercial kitchen, prep kitchen, new floors, a renovated outdoor deck and roof deck (Dependent upon City approval...) .</p> <ol style="list-style-type: none"> <li>1. Tenant to sprinkle the entire premises. This includes tapping into city water at the water main on Custom House Wharf.</li> <li>2. Tenant to move restrooms to the NW corner of the facility.</li> <li>3. Tenant to install restrooms on the second floor of the facility.</li> <li>4. Tenant plans to add a wood fired commercial grill to the kitchen, and a wood fired fireplace within the dining facility.</li> <li>5. Tenant to replace all lighting and significantly upgrade wiring.</li> <li>6. Exterior remodeling of the building.</li> <li>7. Replacement of windows and doors throughout the leased space.</li> <li>8. Installation of interior stairway between the 1<sup>st</sup> and 2<sup>nd</sup> floors.</li> </ol>
<b>Signage:</b>	<p>Tenant Responsible for signage. All signage is subject to Landlord approval, not to be unreasonably withheld. Tenant has rights to the Boons sign on Commercial Street. Tenant will also install signage on Custom House Wharf.</p>
<b>Zoning:</b>	<p>It is the responsibility of the Tenant to determine all zoning information and secure all necessary or required permits and approvals for its proposed use of the subject premises. Landlord makes no representation or warranties as to the suitability of, or the ability to obtain regulatory approval for, the subject's premises for Tenant's intended use. (<i>Tenant intends to use outdoor seating with proper city approval.</i>)</p>
<b>Letter of Intent Expiration:</b>	<p>Unless fully executed, this Letter of Intent is valid through July 3, 2012 at 12:00PM (Noon), but may be revoked by Tenant without prior written notice.</p>
<b>Facsimiles:</b>	<p>The undersigned agree to accept fax copies of the documents, which have been sent to either party to the other, or to any other party or agent to this transaction, as original documents, with the exception of the final lease document.</p>
<b>Lease Agreement:</b>	<p>Landlord agrees to forward its proposed lease to Tenant within 10 days of the full execution of this Letter of Intent. In the event Tenant and Landlord have not executed a mutually agreeable lease within 20 days of Tenant receipt of Landlord's lease, neither party is under any further obligation to the other.</p>
<b>Brokerage Commission:</b>	<p>Landlord's sole responsibility. Landlord acknowledges Fishman Realty Group as the sole agent in this transaction. At lease signing, landlord will pay Fishman Realty Group Inc. a commission of 5% of the Gross Lease amount for the first (5) Five year term of the lease and 2% of the Gross Lease amount upon execution of the first renewal option (in year 6).</p>
<b>Occupancy:</b>	<p><b>November 1, 2012</b></p>
<b>Pre Rent Commencement:</b>	<p><b>November 1, 2012</b></p>

Rent

Commencement: The earlier of May 1, 2013 or Opening Day

SEEN TO AND AGREED:

(TENANT)

By: Harding Lee Smith 7/19 Date

(LANDLORD)

By: Keith M. Green 7-3-12 Date  
Proprietors of Custom House Wharf

**Ann Machado - Re: 6 Custom House Wharf**

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**From:** Barbara Barhydt  
**To:** Machado, Ann  
**Date:** 2/1/2013 12:46 PM  
**Subject:** Re: 6 Custom House Wharf  
**CC:** Bourke, Jeanie

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Hi:

*I called Harding Smith and told him he needed to get a permit*

I am going to be conservative and suggest they submit an administrative authorization. Are they adding any exterior lighting on the building for the deck etc? If so, we would want to see that as well.

Thanks.

Barbara

>>> Ann Machado Thursday, January 31, 2013 8:08 AM >>>

Barbara -

Harding Smith has a permit to fit up the space that most recently was Harbor's Edge restaurant (the old Boone's restaurant). The use will be restaurant. He is also fitting up the second floor to be restaurant use. There is an existing deck off the first floor that was permitted. It comes out 18' from the building and runs the full length of the tenant space. Part of the tenant fit up is to build a second floor deck over the existing first floor deck. The deck will be 12' x 49' with stairs coming down (total of 677 sf). Do they need to do an administrative authorization because the second floor deck is going over an existing deck and existing footprint.

Thanks.

Ann

31 December 2012

Mr. Ken Macgowan  
18 Custom House Wharf  
Portland, ME 04101

Re: 6 Custom House Wharf

Dear Ken:

On Thursday 27 December 2012 I inspected the supports under 6 Custom House Wharf. Of the 76 timber piles and posts under the building, five require repair by the standard method of splicing in a new post and encasing the splice in concrete. This will maintain the first floor live load capacity of 100 psf.

I have Joe Leasure's letter dated 15 October 2012 and accompanying drawing S1 that details the proposed loading on existing and new columns supporting the second floor. The columns in bent 13 (the north wall) bear on a brick foundation wall and are adequate for the specified loading. Joe has specified to reuse two existing pipe columns and add four new HSS 4x4 structural tube columns. These six columns (including the two existing) require the installation of new 20 kip capacity concrete footings and timber columns per the attached sheet 1 of 2.

Joe has provided the column loading on the eight existing timber columns between bents 15 and 24. These columns bear on an 8x10 stringer (laid flat) between bents. In only one location is this stringer adequately supported for the proposed second floor loading. The other seven locations require this stringer to be reinforced with new 48 kip capacity concrete footings and timber columns per the attached sheet 2 of 2.

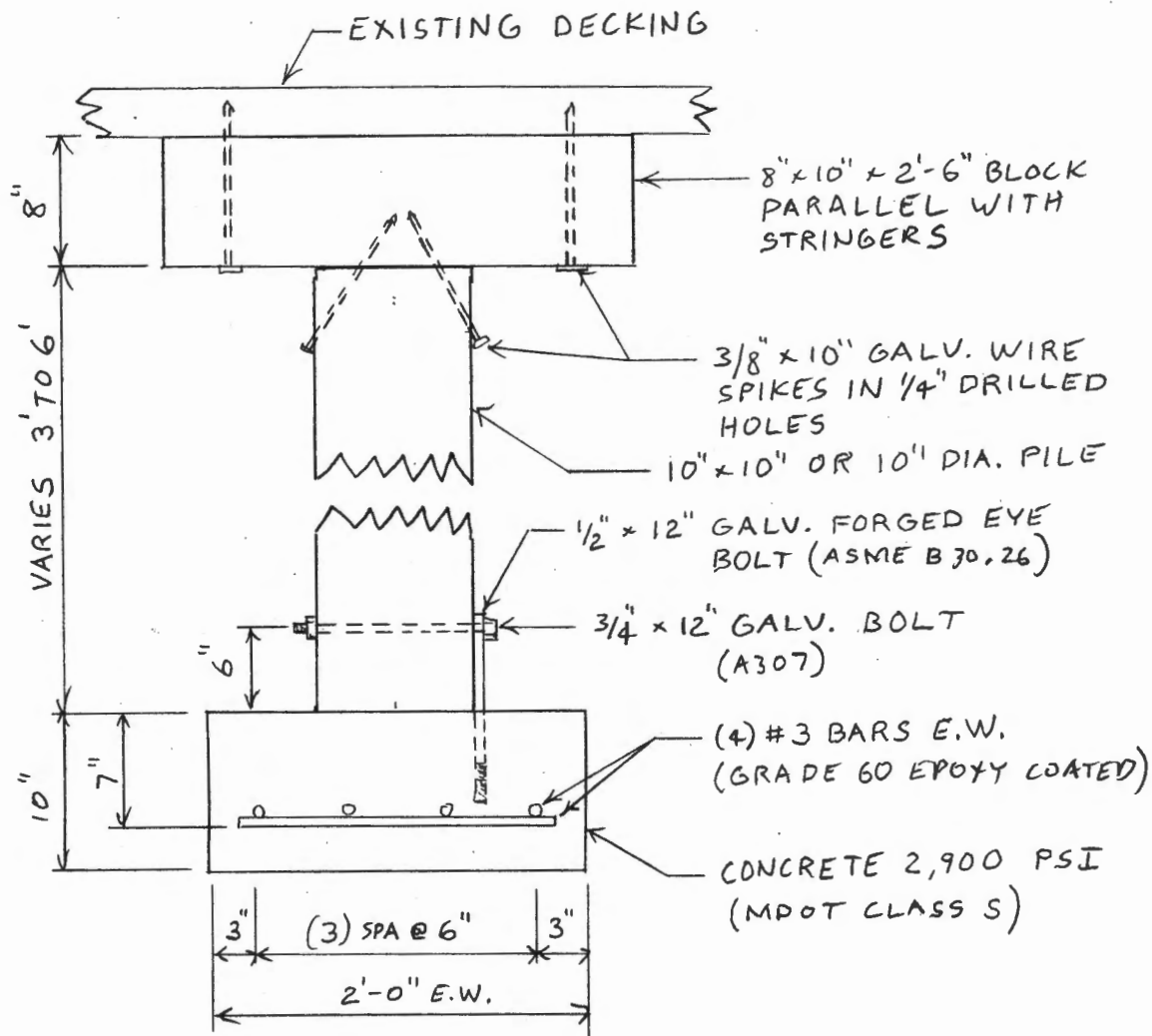
These new 20 kip and 48 kip capacity footings will relieve the existing supports under the first floor from the second floor loading. I will observe the installation of these additional supports to ensure compliance with the plans.

Very truly yours,  
TEC ASSOCIATES



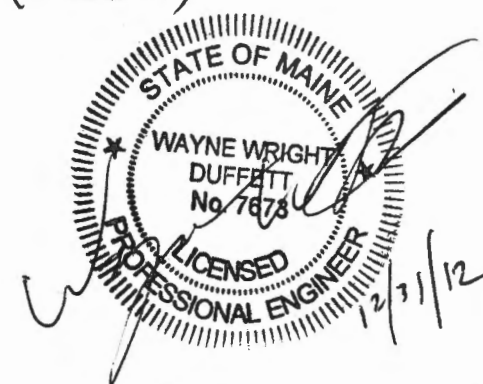
Wayne W. Duffett, P.E.

Enclosures: Sheets 1 and 2 dated 29 December 2012



## NOTES

1. 20 K PEDESTALS TO BE UNDER NEW HSS 4" x 4" COLUMNS (DESIGN BY L&L STRUCTURAL ENG.) IN SPANS 14 AND 22. (4 REQD.)
2. PEDESTALS TO BE POURED ON TOP OF ROCK OR FLUSH WITH GRADE IN COMPACTED SAND AND GRAVEL.
3. TIMBER SHALL BE SYP GRADE NO. 1 DENSE WITH 2.5 PCF CCA TREATMENT.
4. 20 K PEDESTALS TO BE UNDER EXISTING 3 1/2" PIPE COLUMNS IN SPAN 19.. (2 REQD.)



PROPRIETORS OF CHW  
RENOVATIONS AT 6 CHW  
20 KIP CAPY PEDESTAL



**TEC ASSOCIATES**

46 SAWYER STREET

SOUTH PORTLAND, MAINE 04106

CONSULTING  
ENGINEERS

SCALE 1" = 1'-0"

DATE 12/29/12

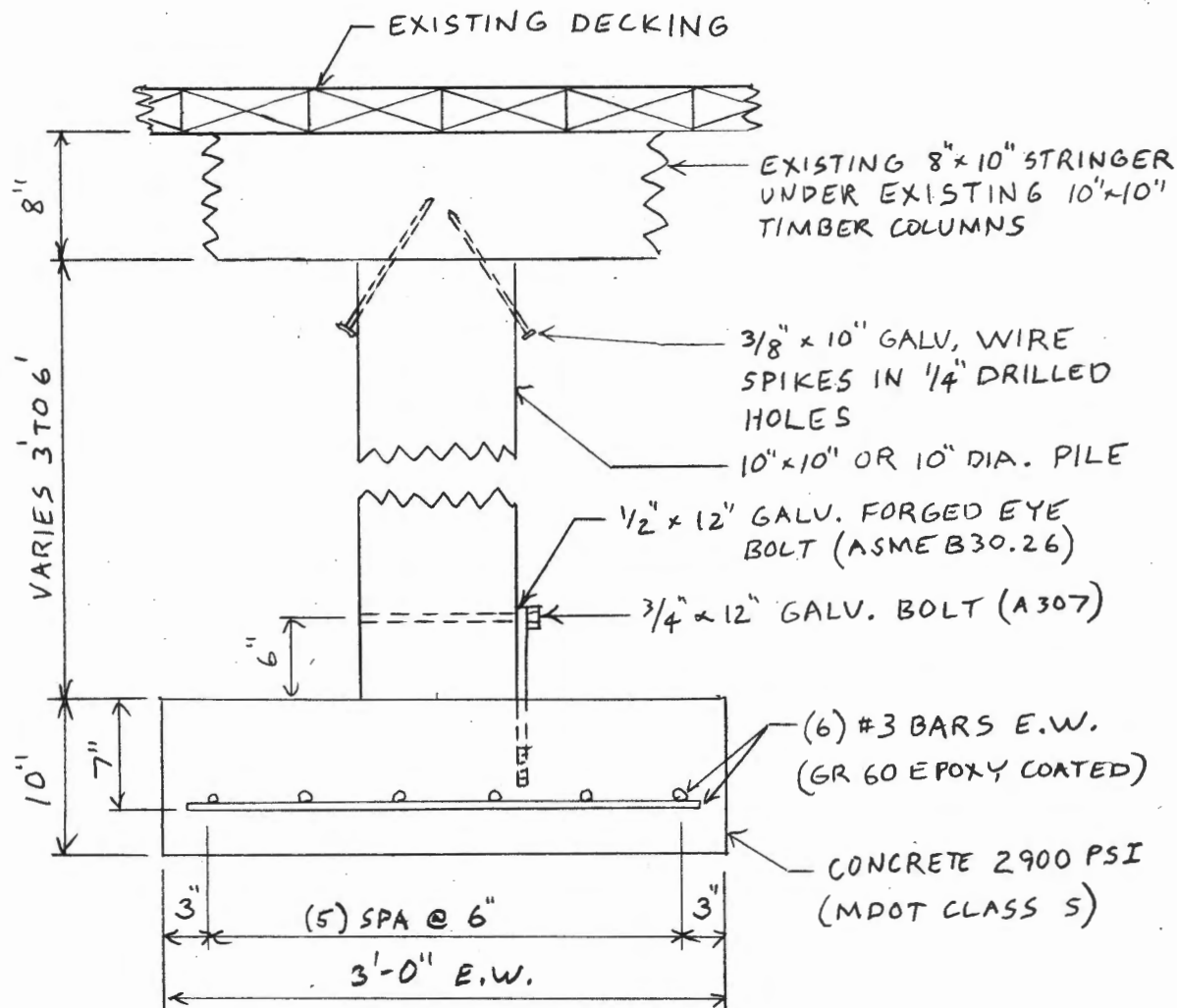
JOB NUMBER  
1237-1

DRAWN BY  
WWD

DESIGNED BY  
WWD

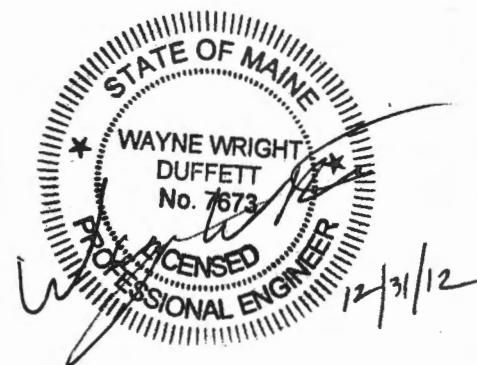
DRAWING NO.  
1 OF 2





## NOTES

1. 48 K PEDESTALS TO BE UNDER EXISTING 10" x 10" COLUMNS IN SPAN 15 (ROW C) AND IN SPANS 18, 20, AND 23 (ROW B & C). (7) REQD.
2. PEDESTALS TO BE POURED ON TOP OF ROCK OR FLUSH WITH GRADE IN COMPACTED SAND AND GRAVEL.
3. TIMBER SHALL BE SYP GRADE NO. 1 DENSE WITH 2.5 PCF CCA TREATMENT.



PROPRIETORS OF CHW  
RENOVATIONS AT 6 CHW  
48 KIP CAPY PEDESTAL



**TEC ASSOCIATES**

46 SAWYER STREET

CONSULTING  
ENGINEERS

SOUTH PORTLAND, MAINE 04106

SCALE 1" = 1'-0"

DATE 12/29/12

JOB NUMBER  
1237-1

DRAWN BY  
W.W.D.

DESIGNED BY  
W.W.D.

DRAWING NO.  
2 OF 2

**Benjamin Wallace - RE: Poppy's Fish Shack permit 2012-65702**

---

**From:** "David Matero Architecture" <david@davidmatero.com>  
**To:** "Benjamin Wallace" <wallaceb@portlandmaine.gov>  
**Date:** 2/19/2013 4:09 PM  
**Subject:** RE: Poppy's Fish Shack permit 2012-65702  
**CC:** "Chris Pirone" <CPP@portlandmaine.gov>, "Jeanie Bourke" <JMB@portlan...  
**Attachments:** 20130219141327482\_2.pdf; ASK-05 part first floor plan.pdf; ASK-06 part second floor plan.pdf; ASK-07 door schedule.pdf; ASK-08 stair nosing profile.pdf

---

Benjamin,

Attached is our response to your questions regarding the Fish Shack LLC project at 6 Custom House Wharf Street:

The wharf egress is currently 10'0" from the wharf railing to the existing patio, as measured by the owner. This egress path will remain, therefore the minimum dimension (72.4") to maintain safe egress from the future assembly spaces at the end of the wharf will remain. Refer to ASK.05 for this information, as well as the two means of egress from the roped off patio area.

The door schedule has been updated, refer to ASK.07

The stair nosing profile was updated, refer to ASK.08

The second floor toilet room hallway was revised by adding steps down to the seating area so we do not have a dead end corridor situation anymore, refer to ASK.06.

Regarding the exhaust hood details, we are requesting that this information be provided by the hood manufacturer and their engineers once a hood contract has been established with the owner. The owner, Harding Smith, is aware that this is required but is waiting for full approvals before committing to an hood manufacturer.

Please contact me with questions.

Thank you.

David

CC: Jeanie Bourke, Portland Code Enforcement Officer  
Ron Peaslee, State Fire Marshal  
Harding Smith, Owner  
Chris Pirone

David S. Matero, AIA, LEED AP  
**David Matero | Architecture**  
100 Front Street  
Suite 40  
Bath, ME 04530  
[david@davidmatero.com](mailto:david@davidmatero.com)  
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207.671.6820  
Maine Licensed Architect

[Facebook](#)  
[Linkedin](#)  
[Houzz](#)  
[Twitter](#)

*Designing Buildings, Building Relationships*

---

**From:** Benjamin Wallace [mailto:wallaceb@portlandmaine.gov]  
**Sent:** Tuesday, February 19, 2013 3:04 PM  
**To:** david@davidmatero.com  
**Cc:** Chris Pirone; Jeanie Bourke  
**Subject:** Poppy's Fish Shack permit 2012-65702

Hi David,  
Here's to surmise what we spoke about on the phone this afternoon.

1. I need an updated plan for the patio area showing the two required remote exits off from the patio and also how the required occupant load from the adjacent spaces on the South side of this one are being accommodated as shown on the attached egress plan for the wharf. Please also indicate if the exit discharges from within the building and from the patio are level or not level, and if not how the transitions are being made.
2. Please update the door schedule to indicate listed fire exit hardware for the fire-rated exit doors and listed panic hardware for the non-fire rated exit doors.
3. Please indicate that the only two approved stair arrangements are the vertical and the angled riser arrangements as shown on ASK.04. The Stair nosing profile is not allowed under the *Life Safety Code*.
4. The second floor bathroom hallway exceeds the 20 ft. common path and dead end corridor requirement of the *Life Safety Code*. Please amend the arrangement to keep within the 20 ft. for both requirements.
5. Another issue that we did not discuss, but that is important none the less, is where the kitchen hood exhaust ductwork is running. If it penetrates the floor it needs to be in a shaft complying with NFPA 96:7.6. Please let me know if the duct will be run out through the wall and then to the roof or amend the plans to show the rated shaft(s). Who ever puts in for the commercial hood permit will have to have hood and duct plans stamped by an engineer.

Thanks,

Lt. Benjamin Wallace Jr.  
Fire Prevention Officer  
Portland Fire Department  
380 Congress Street  
Portland, Maine 04101  
(207)874-8400  
[wallaceb@portlandmaine.gov](mailto:wallaceb@portlandmaine.gov)

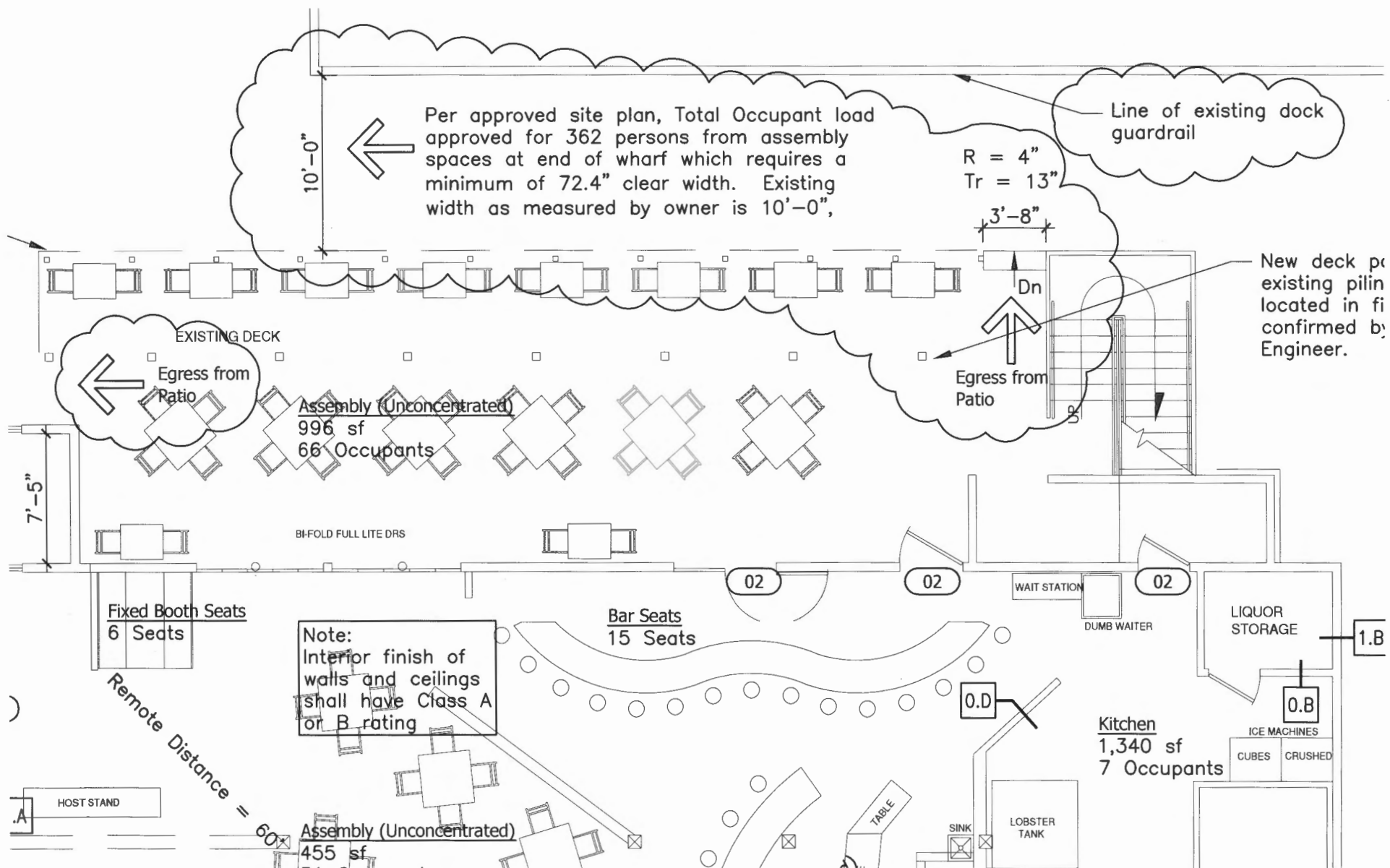
>>> Benjamin Wallace 2/19/2013 2:17 PM >>>

Lt. Benjamin Wallace Jr.  
Fire Prevention Officer  
Portland Fire Department  
380 Congress Street  
Portland, Maine 04101  
(207)874-8400  
[wallaceb@portlandmaine.gov](mailto:wallaceb@portlandmaine.gov)

>>> <[firecopier@portlandmaine.gov](mailto:firecopier@portlandmaine.gov)> 2/19/2013 2:13 PM >>>  
This E-mail was sent from "RNP2943A6" (Aficio MP 5001).

Scan Date: 02.19.2013 14:13:27 (-0500)  
Queries to: [firecopier@portlandmaine.gov](mailto:firecopier@portlandmaine.gov)

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.



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Architecture

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207.671.6820  
david@davidmatero.com

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Response to Portland Fire  
Prevention Officer

Fish Shack LLC

6 Custom House Wharf Street, Portland, ME

Part First Floor Plan

Scale: 1/8" = 1'-0"  
Date: 02.19.13

ASK.05

Refer to detail 3/R.5  
or stair plan. Interior  
of stair shall have Class  
A interior finish.

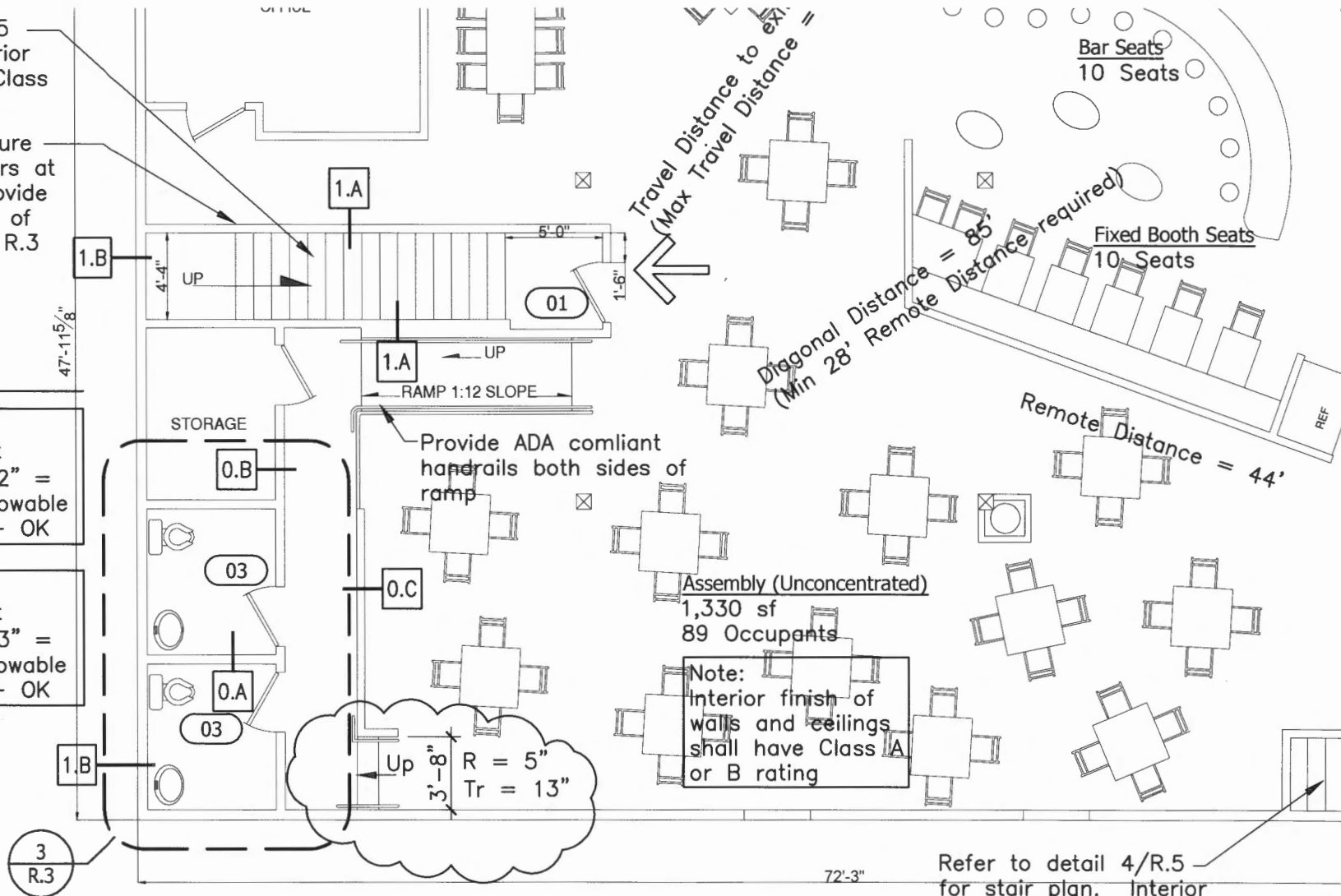
Hour rated enclosure  
with 1 hr rated doors at  
stair enclosure. Provide  
handrails both sides of  
stairs per detail on R.3

IBC  
d)

Stair Egress  
Second to first  
52" Wide / .2" =  
260 Egress Allowable  
76 Proposed - OK

Stair Egress  
Second to first  
52" Wide / .3" =  
173 Egress Allowable  
77 Proposed - OK

NFPA 101



Refer to detail 4/R.5  
for stair plan. Interior  
of stair shall have  
Class A interior finish.

SECO

Doc  
34'

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Response to Portland Fire  
Prevention Officer

Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Part Second Floor Plan

Scale: 1/8" = 1'-0"  
Date: 02.19.13

ASK.06

## DOOR SCHEDULE

Door								Frame	Miscellaneous					Remarks
No.	Width	Height	Thick.	Material	Type	Finish	Insul	Material	Rating	Glazing	Clsr	MHO	Wstrip	
01	3'-0"	6'-8" Min	1 3/4"	Wd		Pre		HM	1 Hr	Firelight	Yes	Yes		Provide fire exiting hardware
02	3'-0" Min	6'-8" Min	1 3/4"	Alum		Pre	Yes	Alum	-	Insul	Yes	-	Yes	Provide panic hardware
03	3'-0"	6'-8" Min	1 3/4"	Wd		Pre		HM	-	-	Yes	-	-	Provide panic hardware
04	3'-0"	6'-8" Min	1 3/4"	Wd		Pre	Yes	Alum	-	Insul	Yes	-	Yes	Provide fire exiting hardware

### Abbreviations

Al	Aluminum
Clsr	Closer
Ex	Existing
MHO	Magnetic Hold Open
HM	Hollow Metal
Hrdware	Hardware
Insul	Insulated
Ob	Obscure Glass, Tempered
Pnt	Paint
Pre	Prefinished
Thick	Thickness
Wstrp	Weatherstripping
Wd	Wood

### Door and Frame Notes

- All doors shall be located 3" off adjacent wall except where noted or dimensioned
- All door thickness to be 1 3/4" unless noted otherwise
- Provide minimum of 20 ga. double studs (or double wood stud) at all door jambs.
- All floor material transitions shall occur under door in closed position
- All door hardware shall meet ADA. Handles, pulls and latches shall be lever style. When sliding doors are fully opened (if specified), operating hardware shall be exposed and usable from both sides.
- All emergency egress doors in assembly rooms shall swing in the direction of travel and shall have panic hardware

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Prevention Officer

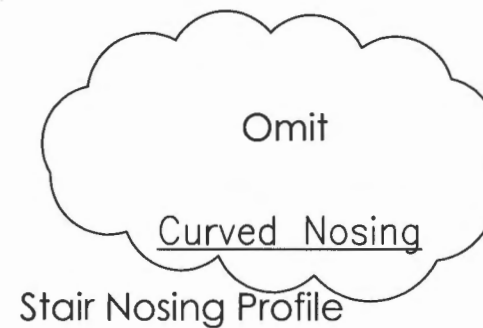
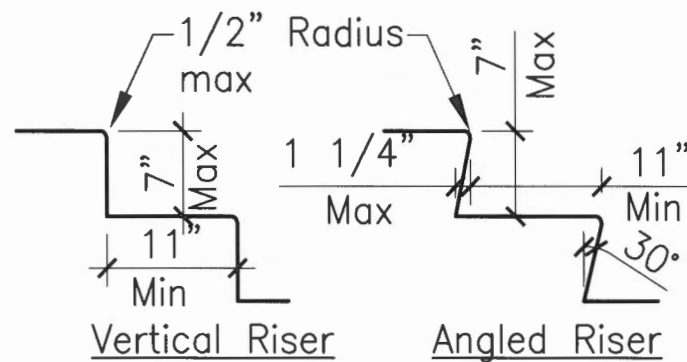
Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Door Schedule

Scale: NTS  
Date: 02.19.13

ASK.07





Stair Nosing Profile

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Architecture

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Prevention Officer

Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Stair Nosing Profile

Scale: NTD  
Date: 02.19.13

ASK.08

# David Matero | Architecture

02.07.13

Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: Fish Shack LLC  
6 Custom House Wharf Street**

Dear Jeanie,

Per your conversation, please see the following updates and revisions to the proposed project at 6 Custom House Wharf Street:


Non-combustible partitions have been added at kitchen hood locations to create a zero-clearance hood attachment. The kitchen hood and duct subcontractor is still required to submit drawings for approval once they have been retained. It will be their responsibility to confirm that the hood and duct assembly and its attachment meet NFPA 96. Refer to ASK.01, 02, and 03

The stair nosing profiles have been sketched out per IBC 2009, section 1009.4.5 Profile, NFPA 101 Life Safety 2009 section 7.2.2.3.5, and 2010 ADA Standards for Accessible Design section 504.5, refer to ASK.04.

Please contact me with questions.

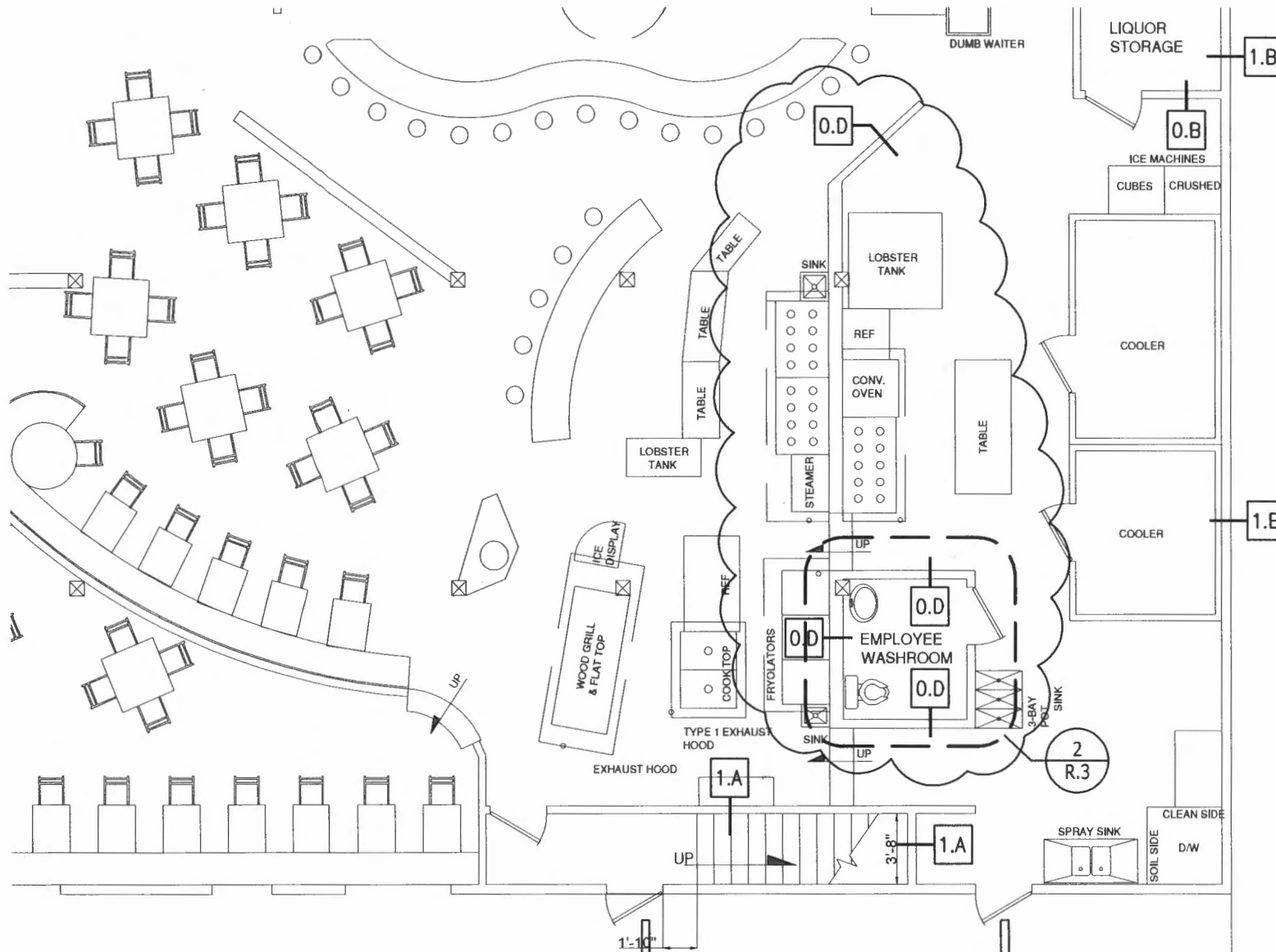
Thank you for your help in reviewing this project.

Sincerely,



David Matero, AIA, LEED AP  
david@davidmatero.com  
207.671.6820

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City of Portland Maine



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Response to Code Enforcement  
Conversation

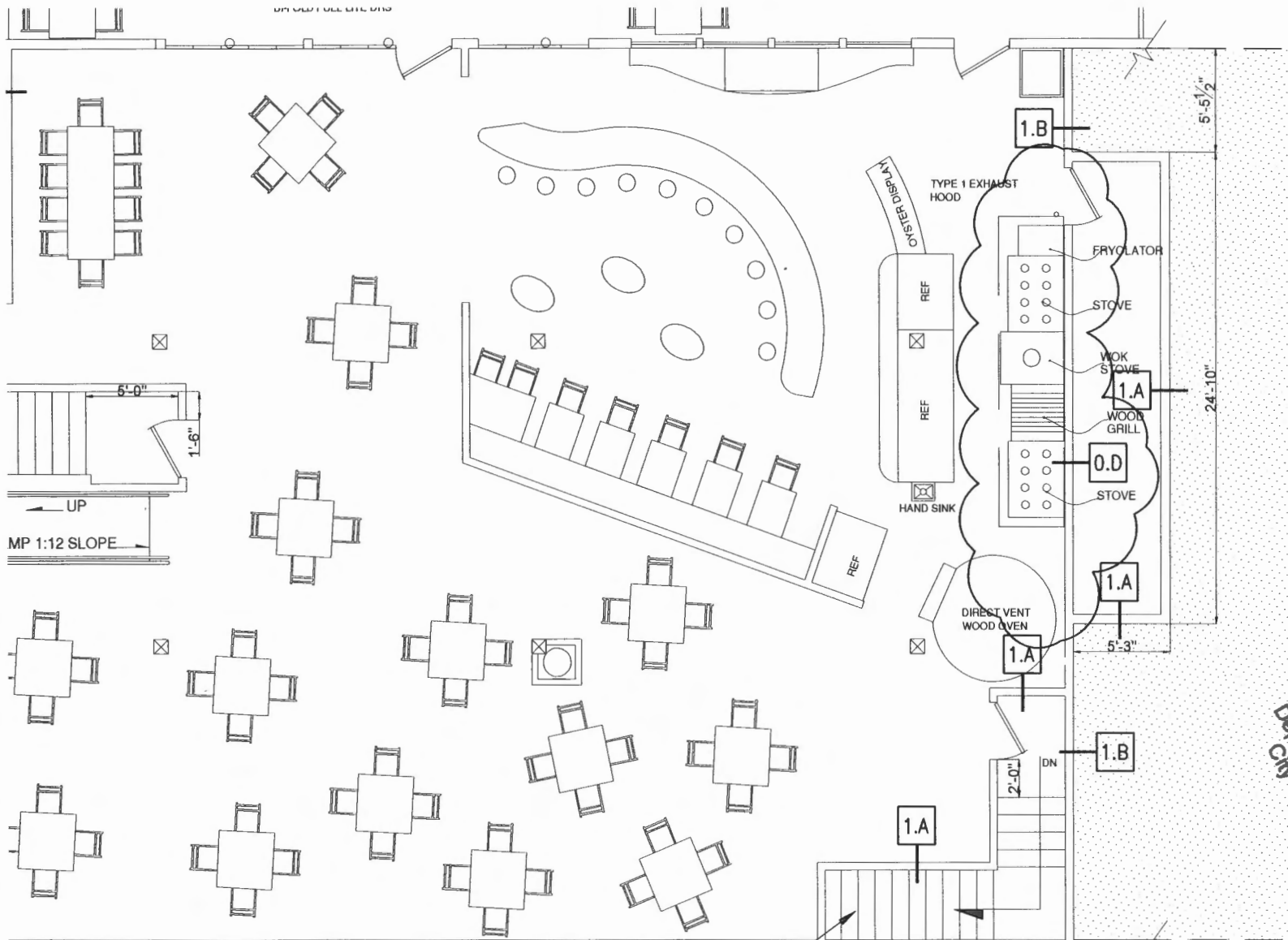
Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Part First Floor Plan

Scale: 1/8" = 1'-0"

Date: 02.07.13

ASK.01



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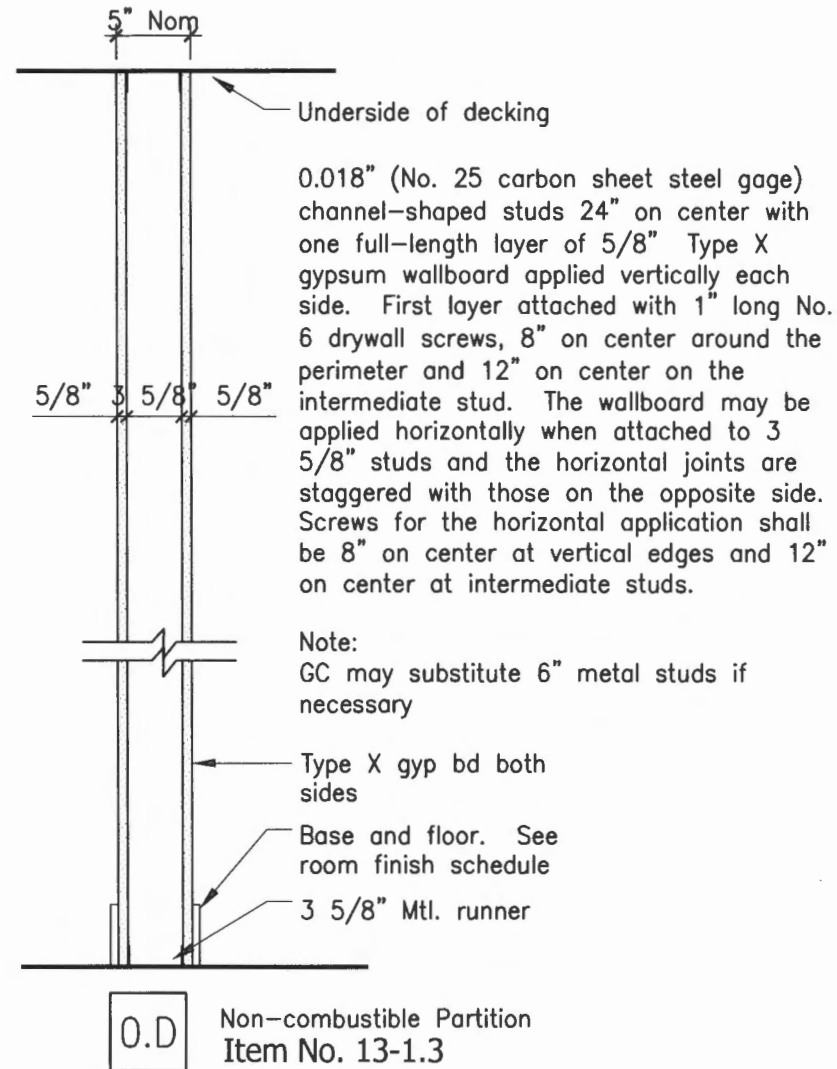
Response to Code Enforcement  
Conversation

Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Part Second Floor Plan

Scale: 1/8" = 1'-0"  
Date: 02.07.13

ASK.02



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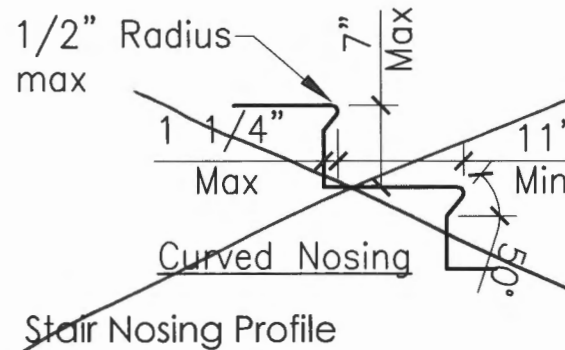
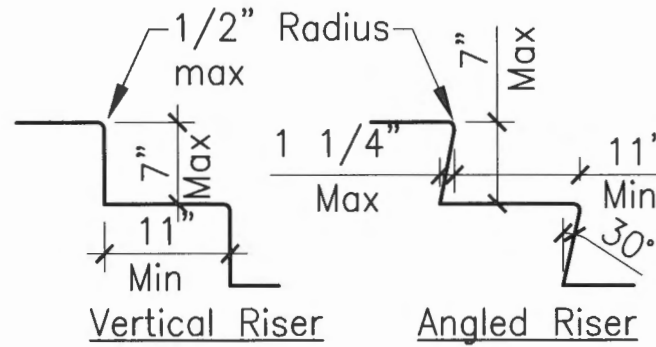
Response to Code Enforcement  
Conversation

Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Partition Types

Scale: 1" = 1'-0"  
Date: 02.07.13

ASK.03



*Not approved*

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Dept. of Building Inspections  
City of Portland Maine

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Response to Code Enforcement  
Conversation

Fish Shack LLC  
6 Custom House Wharf Street, Portland, ME

Stair Nosing Profile  
Scale: 3/8" = 1'-0"  
Date: 02.07.13

ASK.04



# MASONRY ASSEMBLED

MODEL: 160 x 140 AOS  
FLAT ROOF ENCLOSURE

COMMERCIAL WOOD FIRED OVEN

## CLEARANCES:

Install the oven with a minimum 2 inches clearance on sides and back to combustible construction. Consult the manual for enclosure instructions.

## VENTING:

The oven can be vented in two methods:

1. Direct vent using 8 inch chimney pipe listed to UL 103 HT and installed per UL 737.
2. Indirect vent using a Type 1 hood system installed per UL 2162.

## SHELF:

Concrete shelf to be covered with granite or similar material. Exact dimensions subject to owners preference.

WEIGHT: 1980 lbs. (oven components only)

## UTILITIES:

No electricity or gas required.

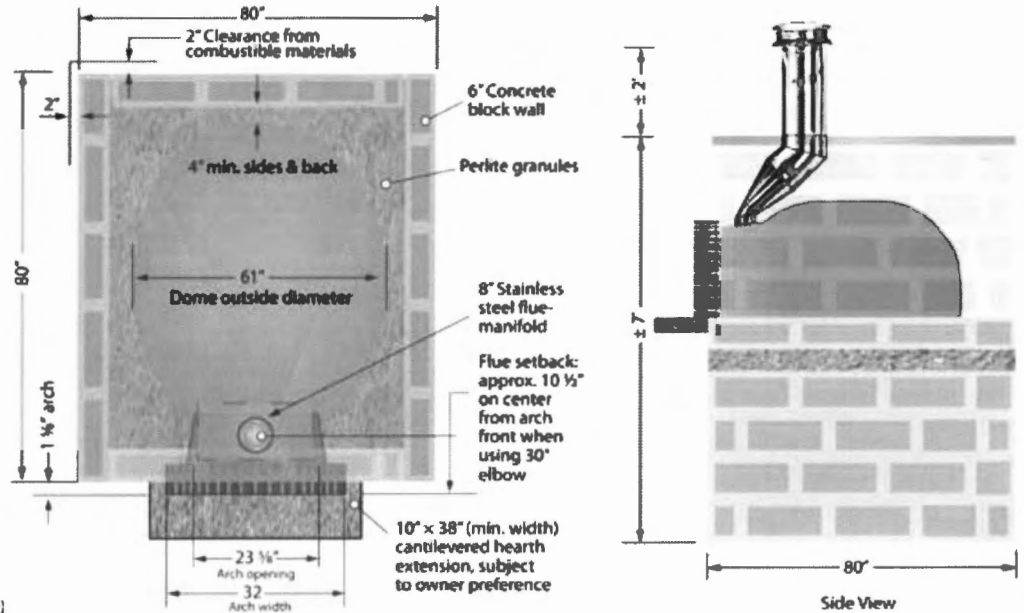
## NOTE:

The oven should be installed in accordance with all relevant local and national codes and in a manner acceptable to the authority having jurisdiction.

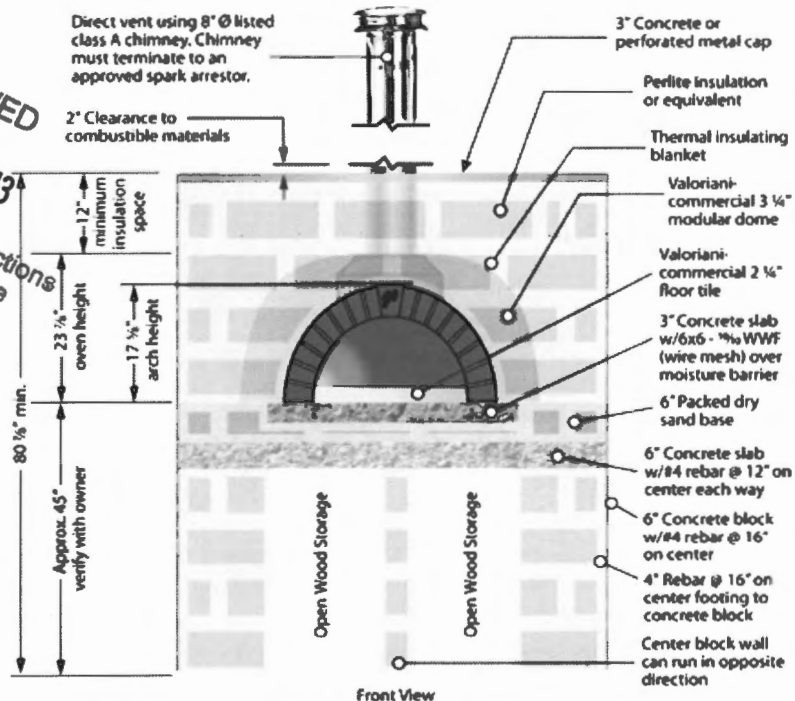
Progressive changes in technology and product development may necessitate changes to specifications without notice.



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Top View



Front View



**Mugnaini Imports, Inc.**

11 Hangar Way, Watsonville CA 95076

888.887.7206 | 831.761.1767 | Fax: 831.728.5570

www.mugnaini.com | mugnaini@mugnaini.com



30-A-1

WCZ



# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Fish Shack LLC dba Boone's Fish House + Oyster Room

PROJECT ADDRESS: 6 Custom House Wharf CHART/BLOCK/LOT: 30/A/1

APPLICATION FEE: 50- (\$50.00) 86 Comm'l St.

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Renovation of Boone's Seafood Restaurant addition of second floor deck

## CONTACT INFORMATION:

### OWNER/APPLICANT

Name: Harold Smith

Address: 73 Congress St. Fl 1  
Portland ME 04101

Work #: 879-4747

Cell #: 319-4368

Fax #: -

Home #: -

E-mail: Harold@leesmith.com

### CONSULTANT/AGENT

Name: David Mateno, Architect

Address: 100 Front St. Suite 40  
Bath, ME 04530

Work #: -

Cell #: 671-6820

Fax #: -

Home #: -

E-mail: david@davidmateno.com

### Criteria for an Administrative Authorization:

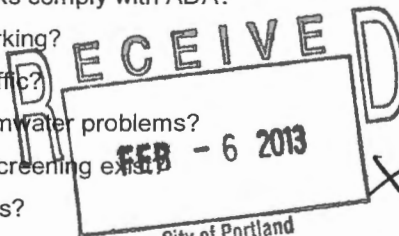
(see section 14-523(4) on pg .2 of this appl.)

- Is the proposal within existing structures?
- Are there any new buildings, additions, or demolitions?
- Is the footprint increase less than 500 sq. ft.?
- Are there any new curb cuts, driveways or parking areas?
- Are the curbs and sidewalks in sound condition?
- Do the curbs and sidewalks comply with ADA?
- Is there any additional parking?
- Is there an increase in traffic?
- Are there any known stormwater problems?
- Does sufficient property screening exist?
- Are there adequate utilities?
- Are there any zoning violations?
- Is an emergency generator located to minimize noise?
- Are there any noise, vibration, glare, fumes or other impacts?

### Applicant's Assessment

Y(yes), N(no), N/A

yes  
No / deck (2<sup>nd</sup> floor is new  
lies on 1<sup>st</sup> floor  
existing deck)  
N/A  
no  
yes  
yes  
parking lot on premises  
no  
no  
N/A  
yes  
no  
N/A  
N/A



taxes ok  
free

Signature of Applicant:

[Signature]

Date:

2/6/13

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

## Administrative Authorization Decision

**Application #:** 2013-040

**Name:** Boone's Fish House & Oyster Room

**Address:** COMMERCIAL ST

**Description:** Renovation of Boone's Seafood Restaurant addition of second floor deck

**Criteria for an Administrative Authorization:**

**(See Section 14-523 (4) on page 2 of this application)**

**Applicant's Assessment**

**Yes, No, N/A**

**Planning Division**

**Use Only**

a) Is the proposal within existing structures?	Yes	Yes
b) Are there any new buildings, additions, or demolitions?	No	Yes, creating a second floor deck over existing deck
c) Is the footprint increase less than 500 sq. ft.?	N/A	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?		No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	N/A	N/A
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N/A	N/A

➤ The proposed addition of a second level of a deck is approved subject the applicant obtaining a building permit.

The Administrative Authorization for the Boone's Fish House & Oyster Room was approved by Barbara Barhydt, Development Review Services Manager on February 14, 2013 with the following condition of approval listed ~~below~~ above.

Barbara Barhydt

Development Review Services Manager

Approval Date: February 14, 2013

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

**RECEIPT OF FEES**

<b>Application No:</b> 2013-040	<b>Applicant:</b> Harding Smith
<b>Project Name:</b> Boone's Fish House & Oyster Room	<b>Location:</b> 86- COMMERCIAL ST
<b>CBL:</b> 030 A001001	<b>Development Type:</b> Administrative Authorization
<b>Invoice Date:</b> 02/11/2013	

Previous Balance	-	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$0.00		\$0.00		\$50.00		\$50.00		\$0.00	On Receipt

**Previous Balance**

**\$0.00**

Fee Description	Qty	Fee/Deposit Charge
Administrative Authorization	1	\$50.00
		<u>\$50.00</u>
<b>Total Current Fees:</b>		<b>+ \$50.00</b>
<b>Total Current Payments:</b>		<b>- \$50.00</b>
<b>Amount Due Now:</b>		<b>\$0.00</b>

**CBL** 030 A001001

**Bill to:**

**Application No:** 2013040

**Invoice Date:** 02/11/2013

**Invoice No:** 40074

**Total Amt Due:** \$0.00

**Payment Amount:** \$50.00

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.

City of Portland  
Development Review Application  
Planning Division Transmittal Form

**Application Number:** 2013-040

**Application Date:** 02/11/2013

**CBL:** 030 A001001

**Application Type:** Administrative Authorization

**Project Name:** Boone's Fish House & Oyster Room

**Address:** 86- COMMERCIAL ST

**Project Description:** Renovation of Boone's Seafood Restaurant addition of second floor deck

**Zoning:**

**Other Required Reviews:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement   |
| <input type="checkbox"/> Storm Water      | # Units _____                           | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Subdivision      | <input type="checkbox"/> Flood Plain    | <input type="checkbox"/> Other:                |
| # Lots _____                              | <input type="checkbox"/> Shoreland      |  |
| <input type="checkbox"/> Site Location    | <input type="checkbox"/> Design Review  |  |
| # Unit _____                              |   |  |

**Distribution List:**

<b>Planner</b>		<b>Parking</b>	John Peverada
<b>Zoning</b>	Marge Schmuckal	<b>Design Review</b>	Alex Jaegerman
<b>Traffic Engineer</b>	Tom Errico	<b>Corporation Counsel</b>	Danielle West-Chuhta
<b>Civil Engineer</b>	David Sensus	<b>Sanitary Sewer</b>	John Emerson
<b>Fire Department</b>	Chris Pirone	<b>Inspections</b>	Tammy Munson
<b>City Arborist</b>	Jeff Tarling	<b>Historic Preservation</b>	Deb Andrews
<b>Engineering</b>	David Margolis-Pineo	<b>DRC Coordinator</b>	Phil DiPierro
		<b>Outside Agency</b>	

**Comments needed by 2/18/2013**

Commercial Street

EDGE OF PARKING LOT

96" CLR. WIDE OPNG.  
(STRIPED) TO PARKING LOT  
(COMMERCIAL ST.)

11'-9" CLR.

EGRESS WIDTH REQ'D (NO SPRINKLER) = 72.4 IN.  
EGRESS WIDTH PROVIDED = 141 IN.

EDGE OF  
WOOD WHARF

TOTAL OCCUPANT LOAD TO  
REAR WHARF AREA = 723 PERSONS

1/2 OL = 362 PER

PROVIDE NEW  
OPNG. TO STREET

BLI

CUSTOM HOUSE S  
FF - INDUST. = 2  
OL = 24 PERSONS

OUTDOOR CAFE (ASSEMBLY)  
OL = 250 PERSONS  
WOOD WHARF  
EXITWAY

BLDG. "A"  
COMEDY  
CONNECTION

HARBOUR'S EDGE REST.

PORT HOLE TAVERN

SEABAGS

FF - ASSEMBLY (A2) = 3,961 S.F.  
OL = 242 PERSONS MAX.  
FF - ASSEMBLY (A2) = 2,880 S.F.  
OL = 157 PERSONS

FF - ASSEMBLY (A2) = 3,284 S.F.  
OL = 67 PERSONS

FF - INDUST. = 690 S.F.  
OL = 6.9 PERSONS

PASSAGE

SIDEWALKS

52'-4 1/2"

SIDEWALK  
CANOPY

CUSTOM HOUSE WHARF

HARBOR FISH MARKET

SEABAGS

BLDG. "E"

VACANT

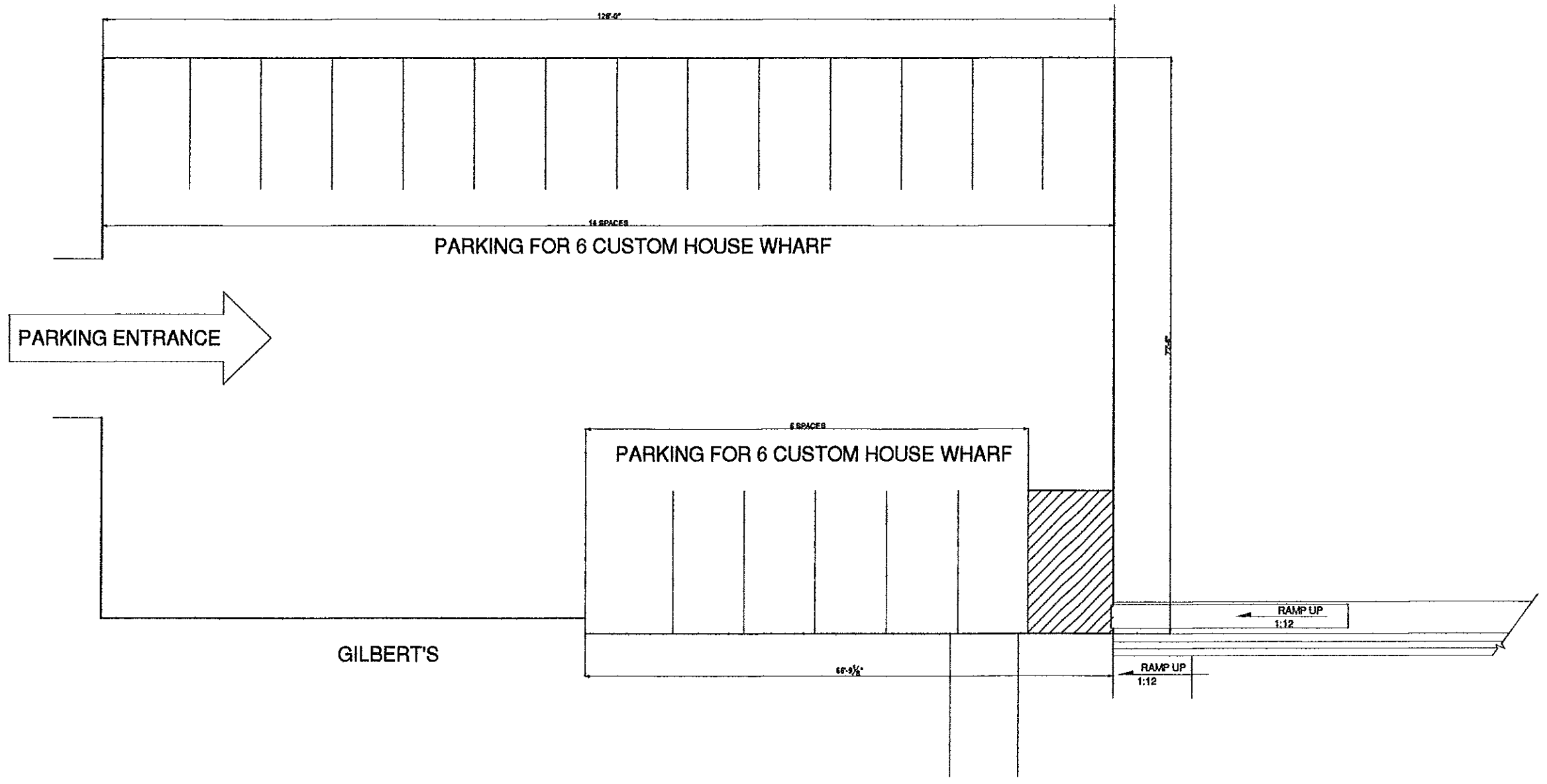
FF - BUSINESS = 7,360 S.F.  
OL = 73.6 PERSONS

FF - INDUST. = 3,800  
OL = 38 PERSONS

NO EXIT TO THIS SIDE

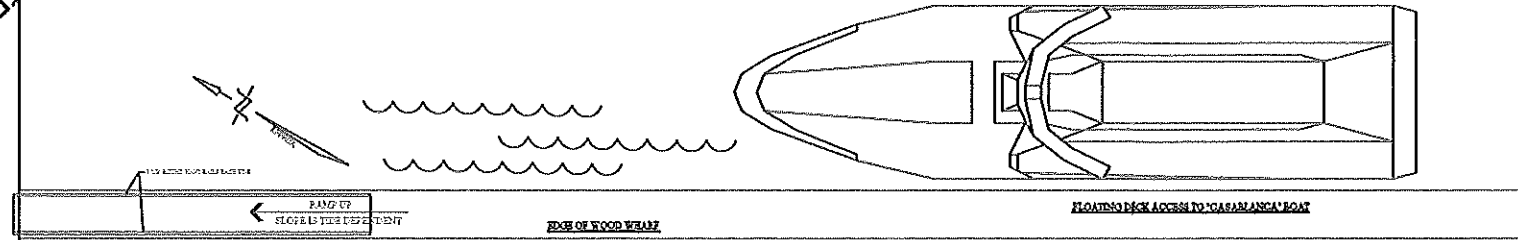
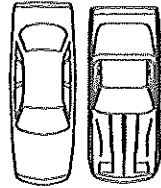
FF - INDUST. = 2,760 S.F.  
OL = 27.6 PERSONS  
ACTUAL OL = 6 PERSONS

TOTAL OL TO COMMERCIAL STREET = 978 PERSONS  
EGRESS WIDTH REQ'D (NO SPRINKLER) = 105.6 IN.

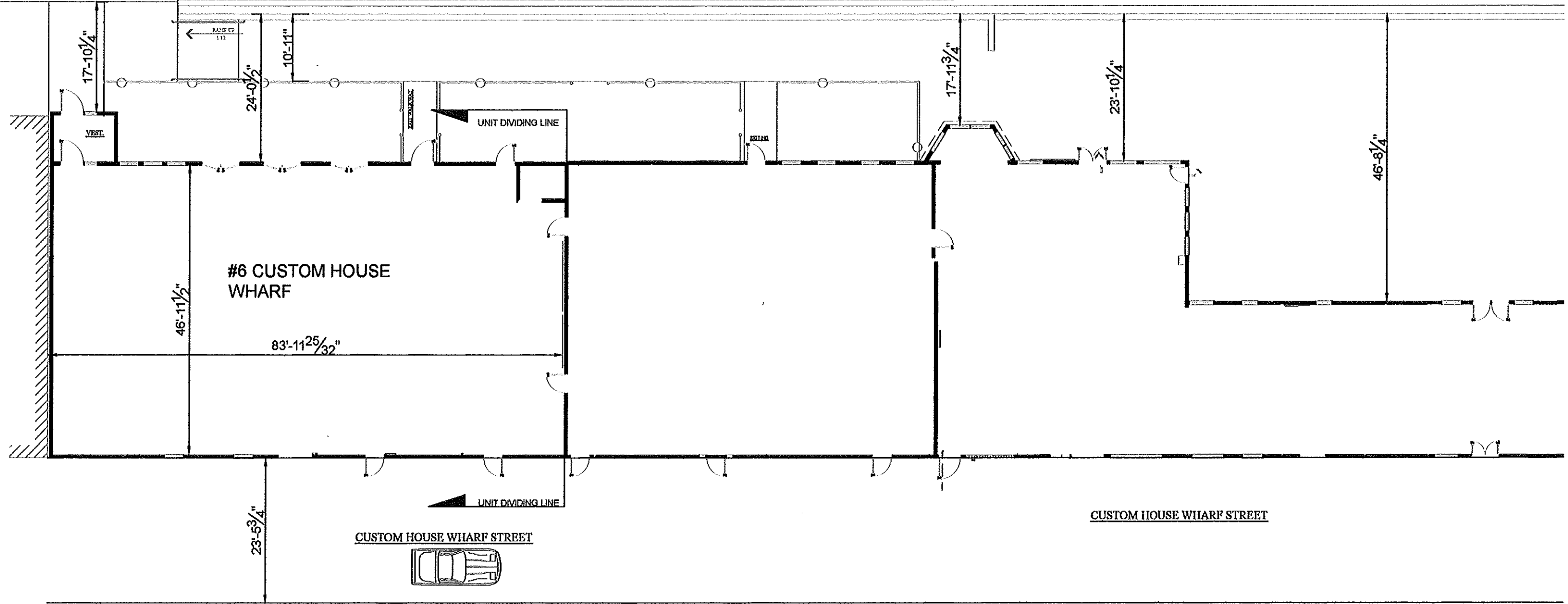
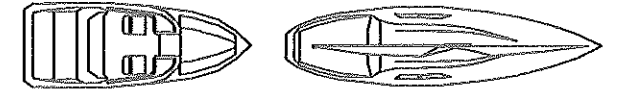


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City of Portland Maine

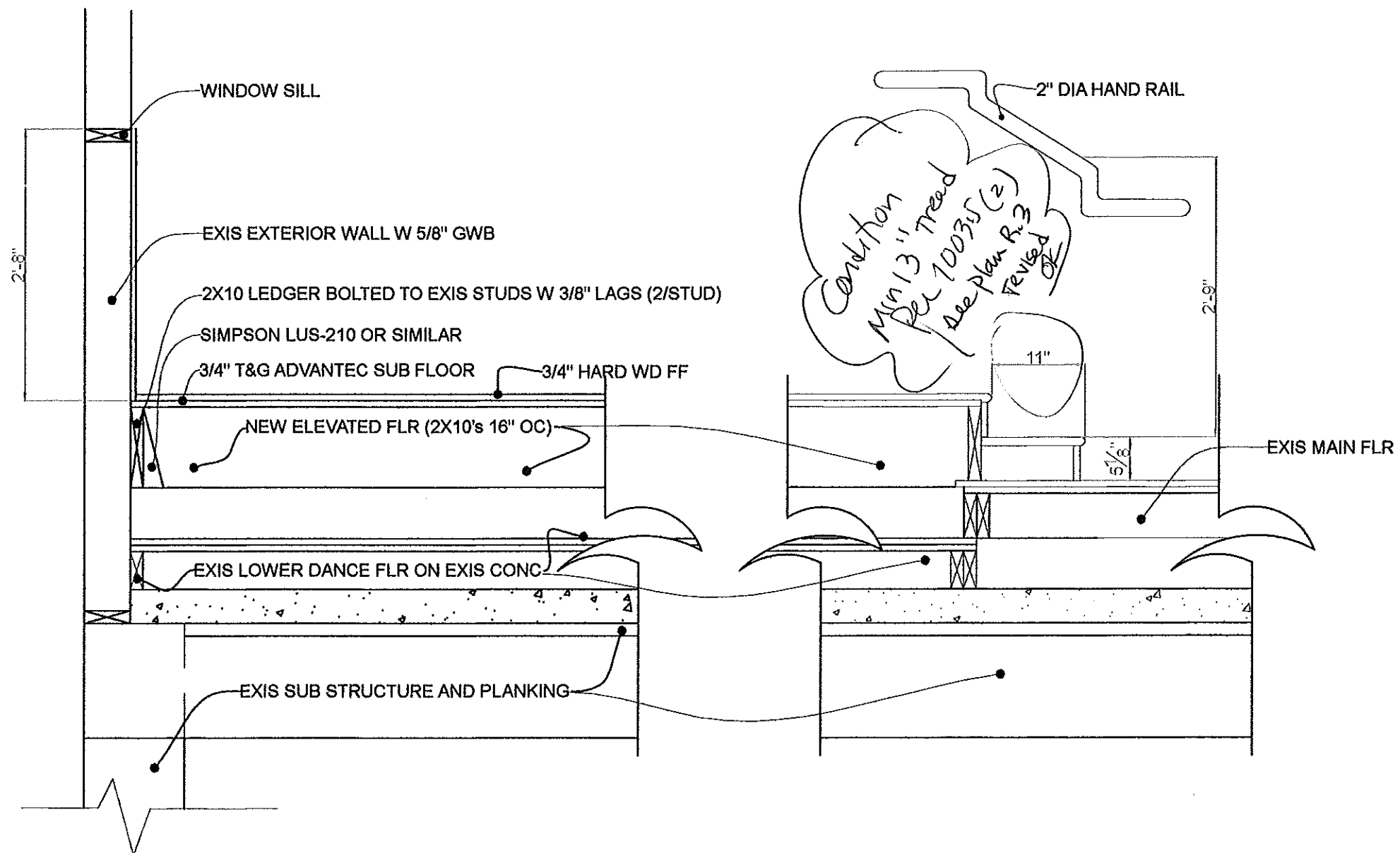
PARKING LOT



DOCKING AREA





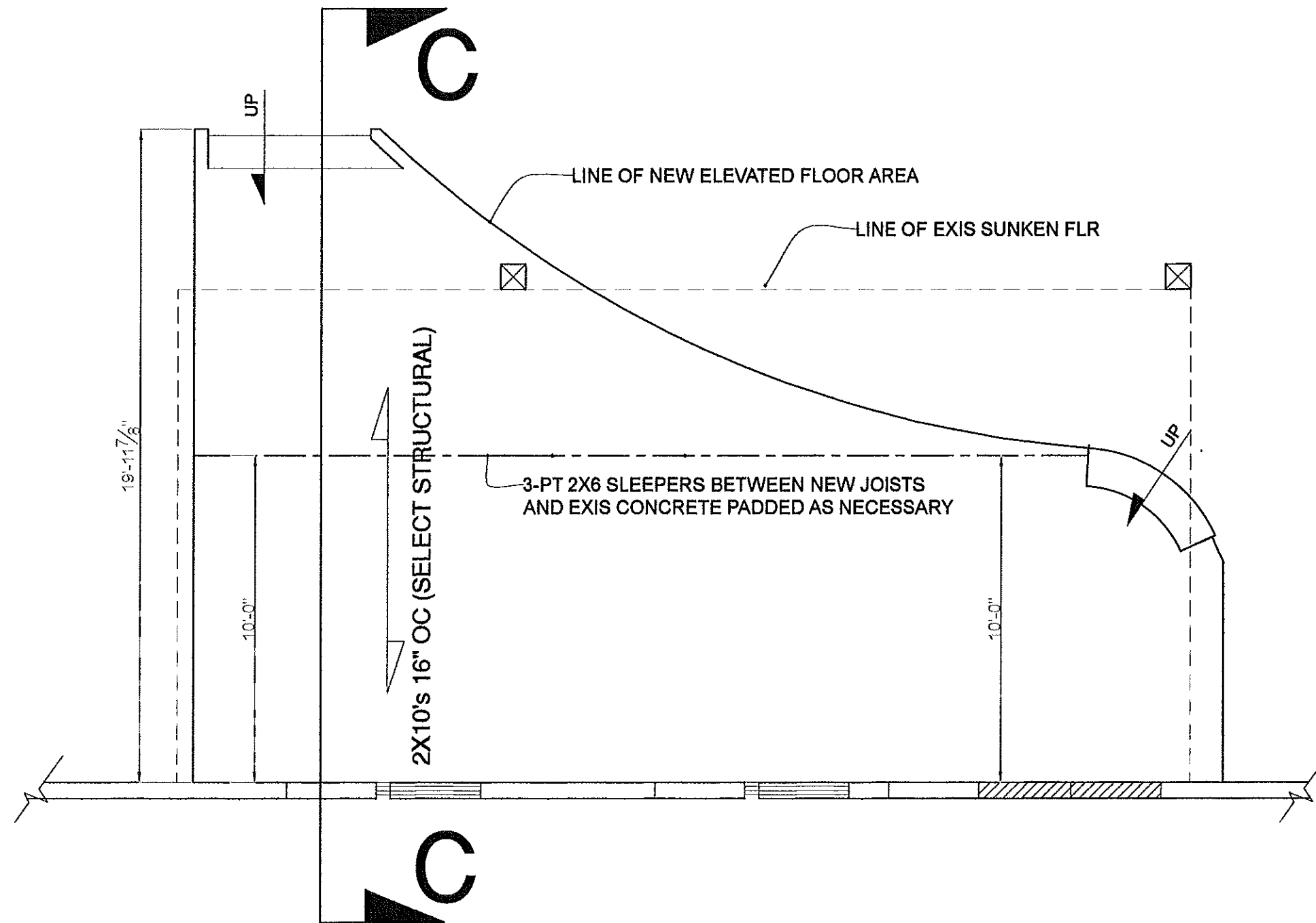


## SECTION C-C

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FEB 06 2013  
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City of Portland Maine

1st Floor Platform

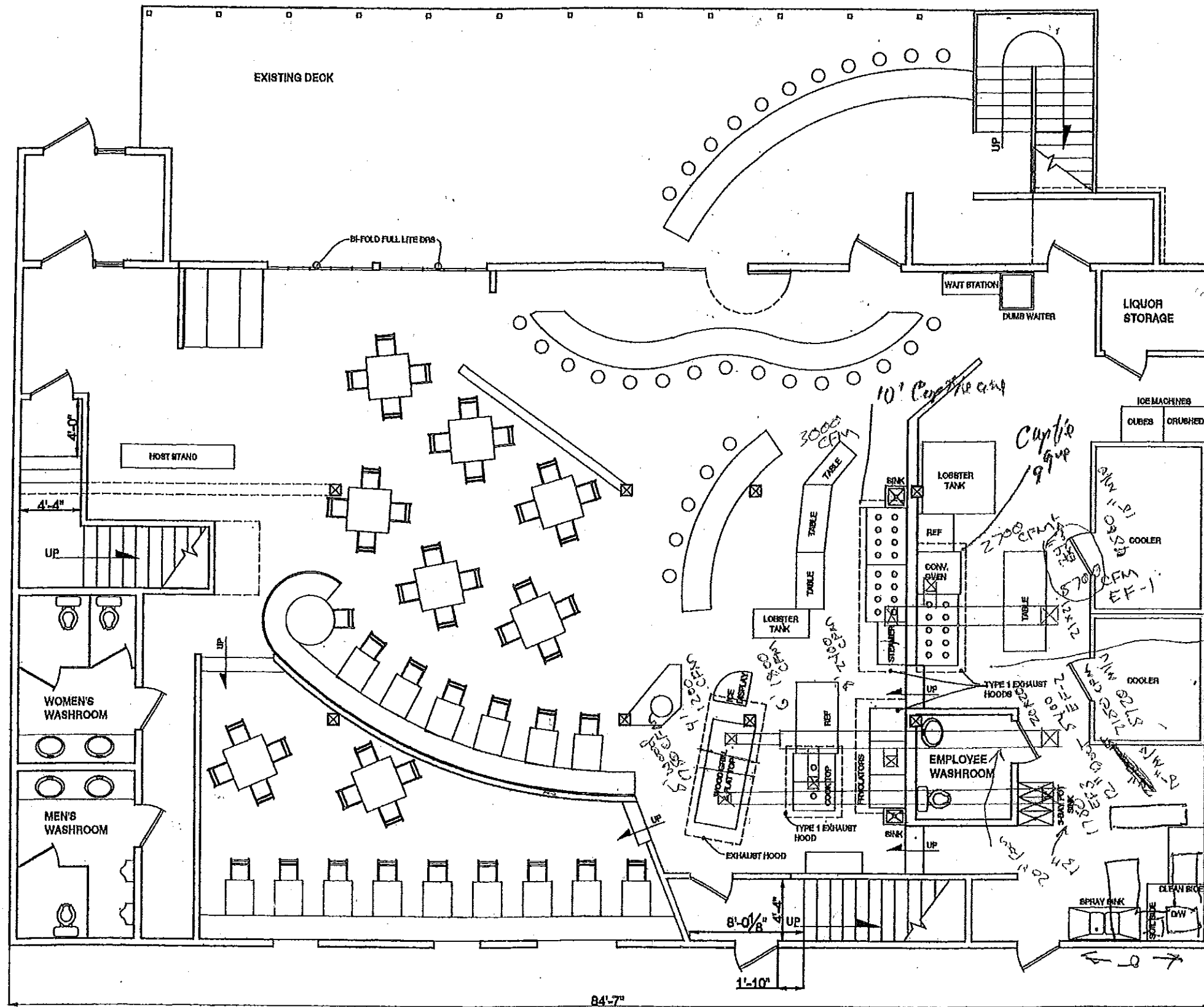
3/4" = 1'-0"



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FEB 06 2013  
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City of Portland Maine

1st Floor Platform

1/4" = 1'-0"



12800 CFM TOTAL  
 10,280 EC = 80% RUL

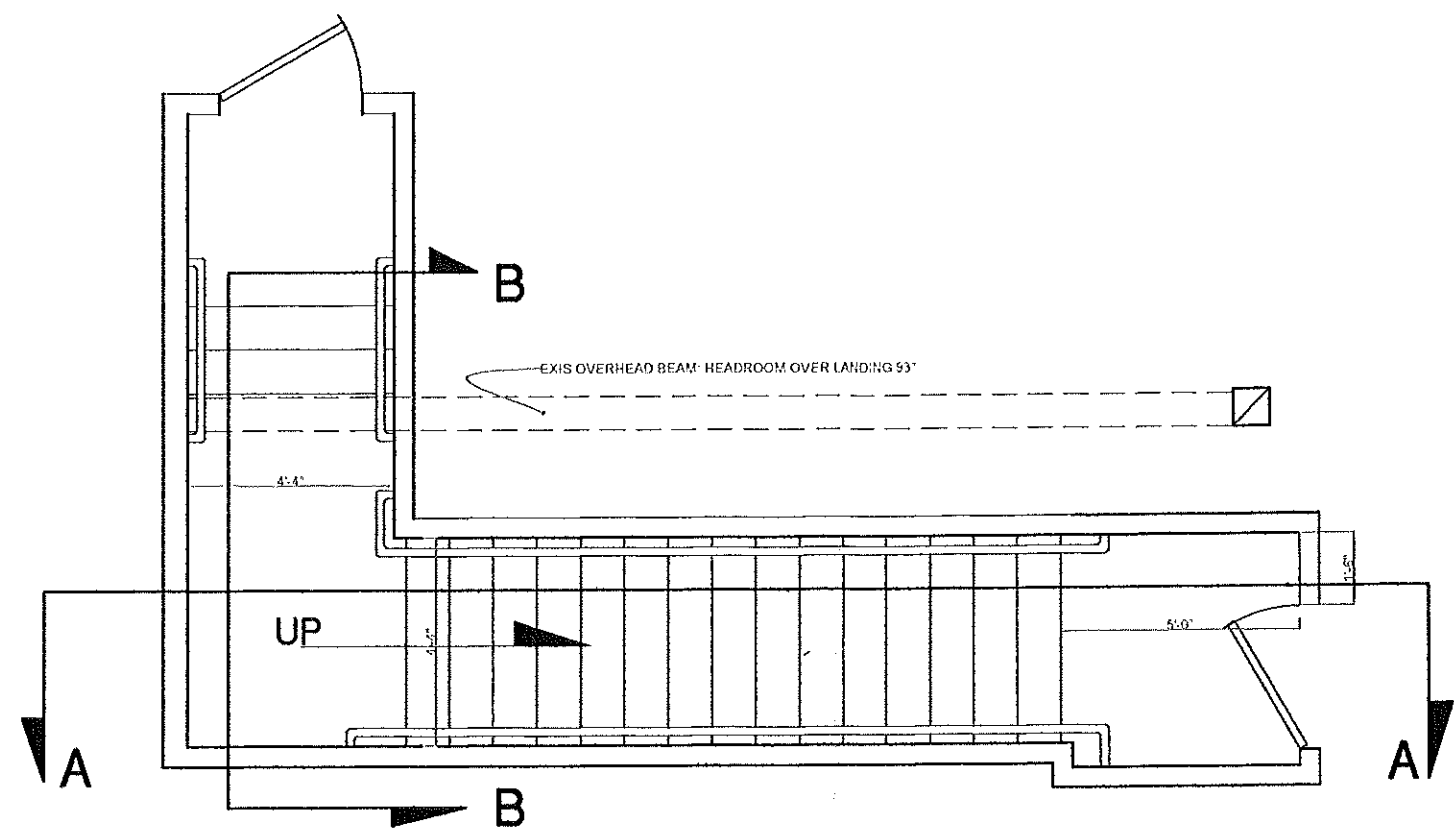
10' 6" HIGHS  
 First Floor

Showing  
 Hood duct  
 Layout  
 Rising up through  
 2nd Fl. Electrical room  
 to Roof top

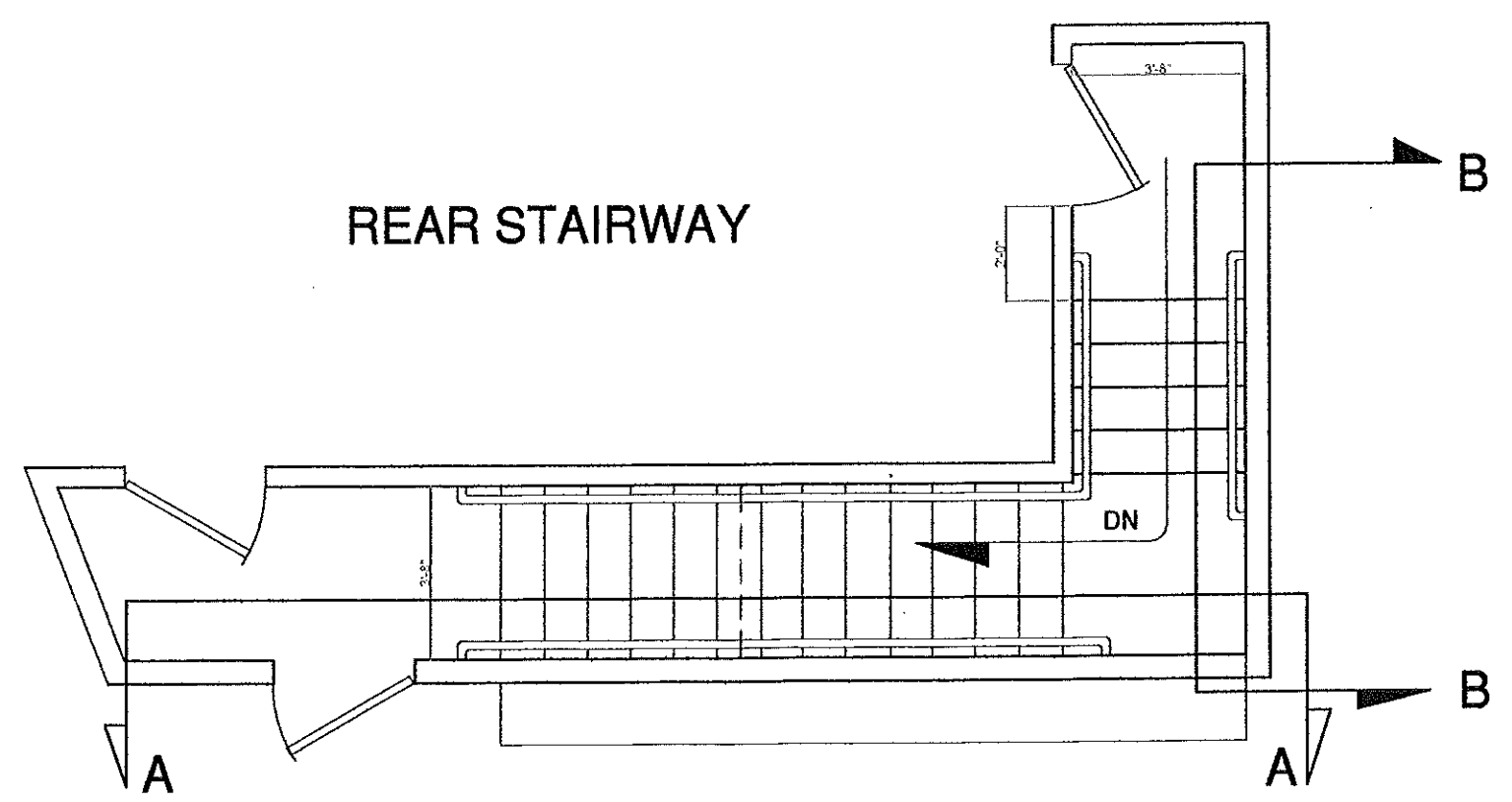
RECEIVED  
 FEB 06 2013  
 Dept. of Building Inspections  
 City of Portland Maine

First Floor

# FRONT STAIRWAY

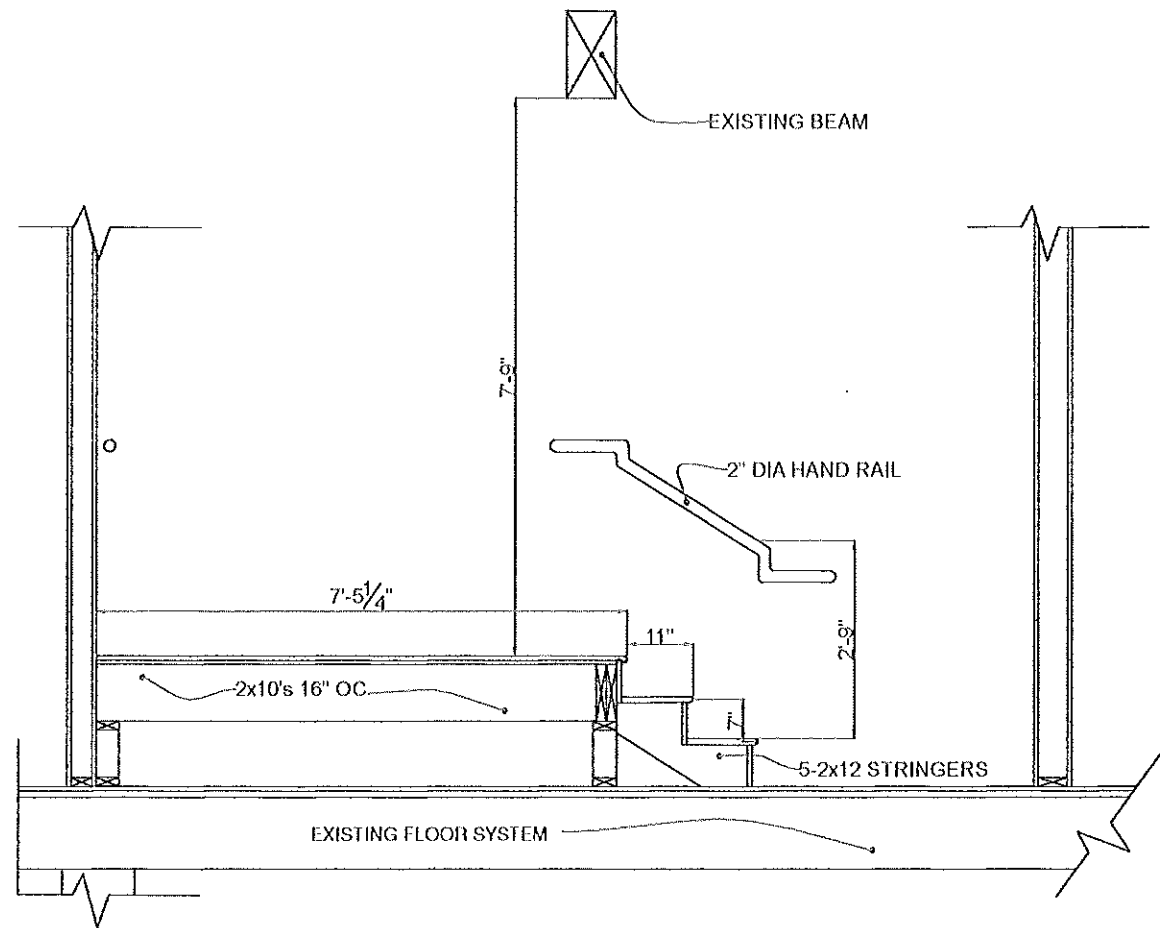


# REAR STAIRWAY

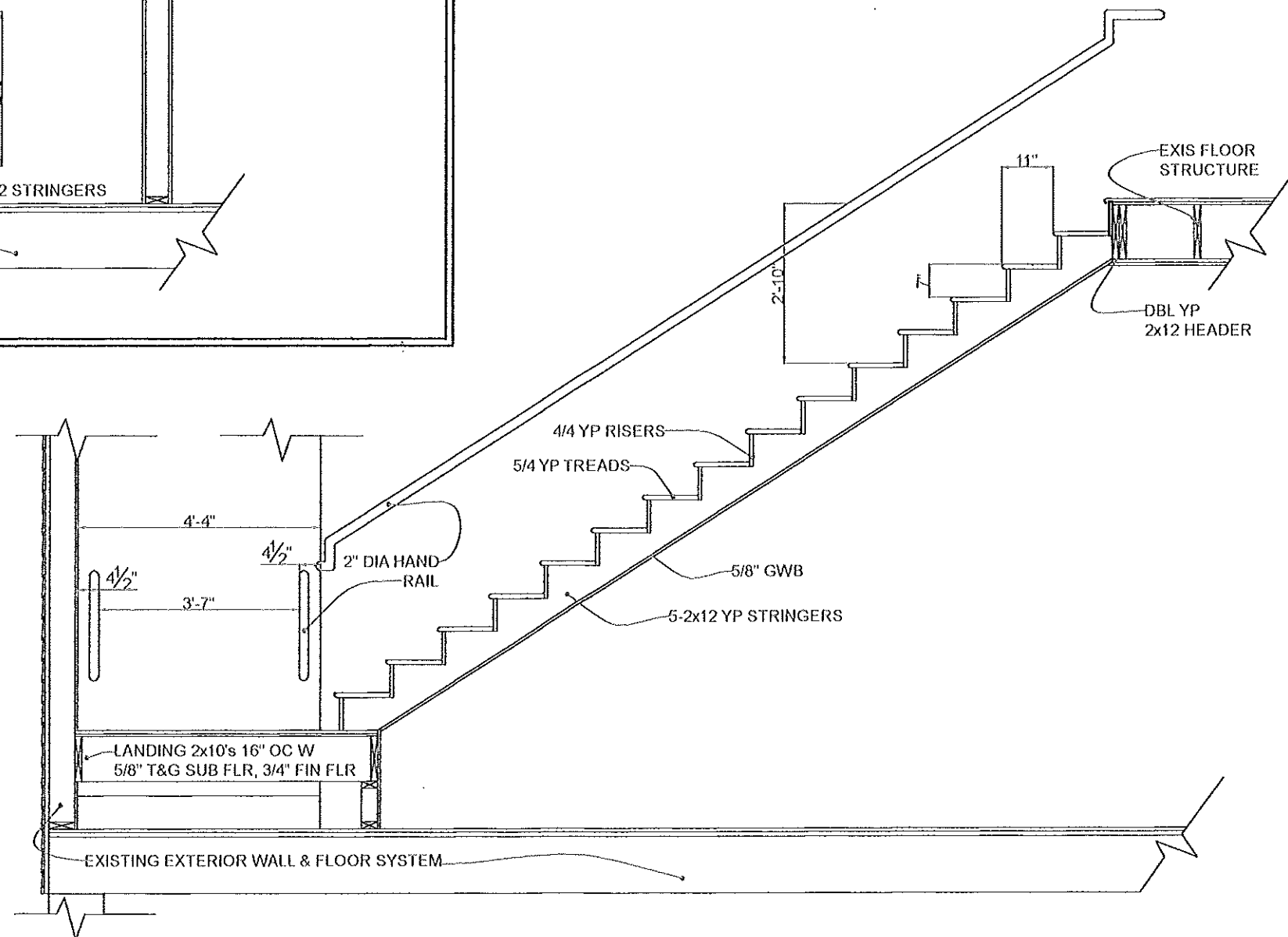


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1/4" = 1'-0" 1/3



SECTION B-B



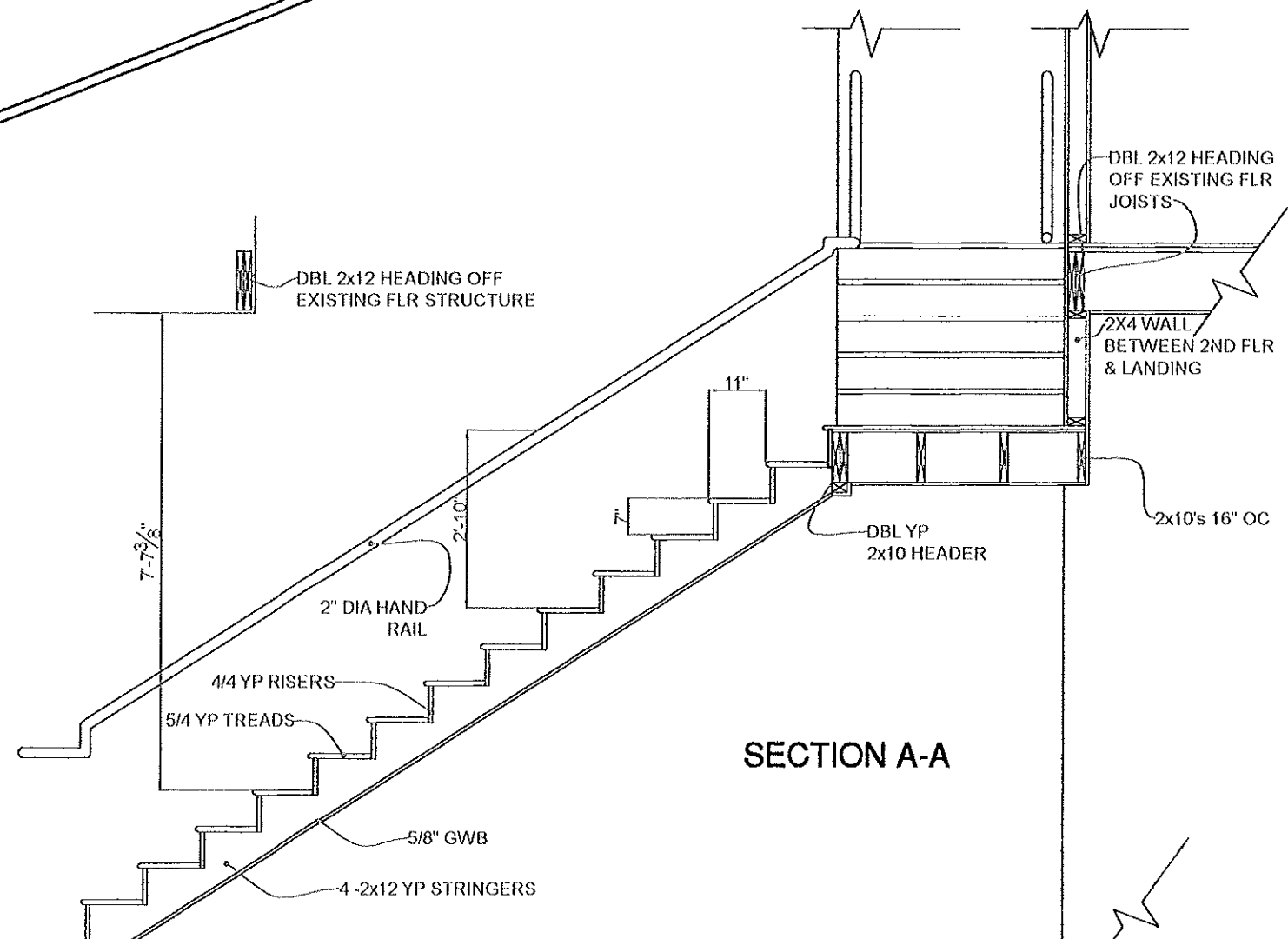
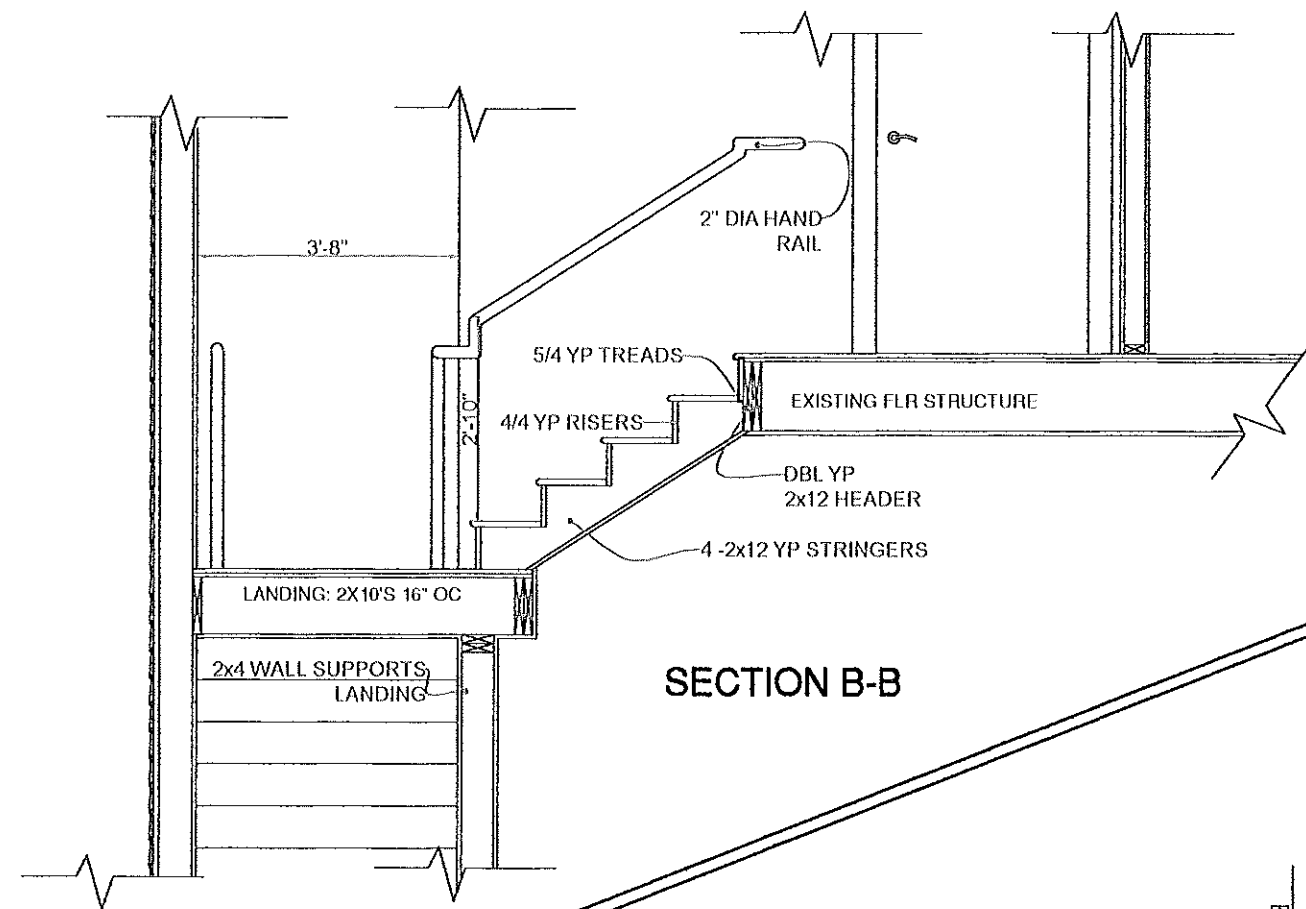
SECTION A-A

FRONT STAIRWAY

3/8" = 1'-0"

2/3

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City of Portland Maine

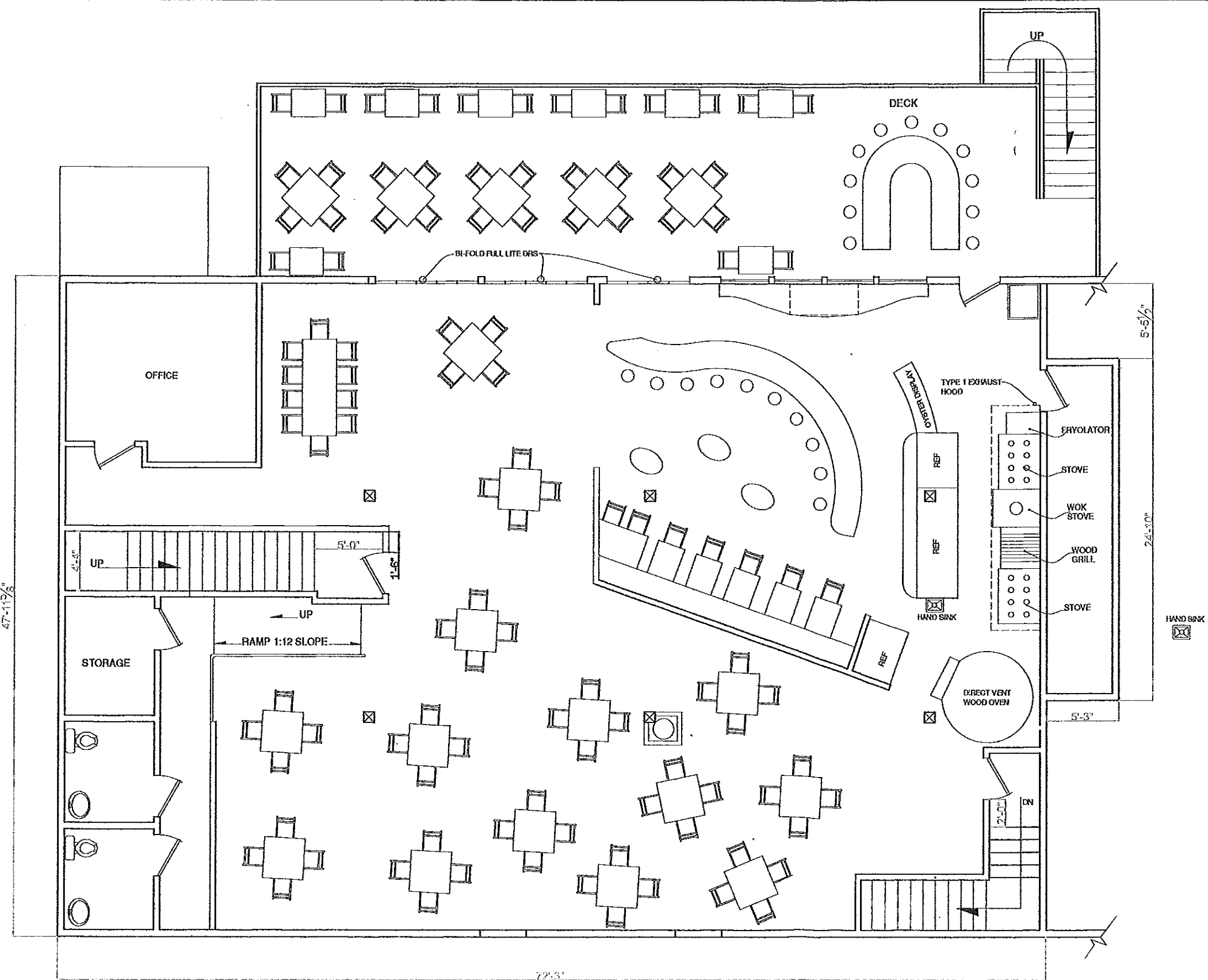


REAR STAIRWAY

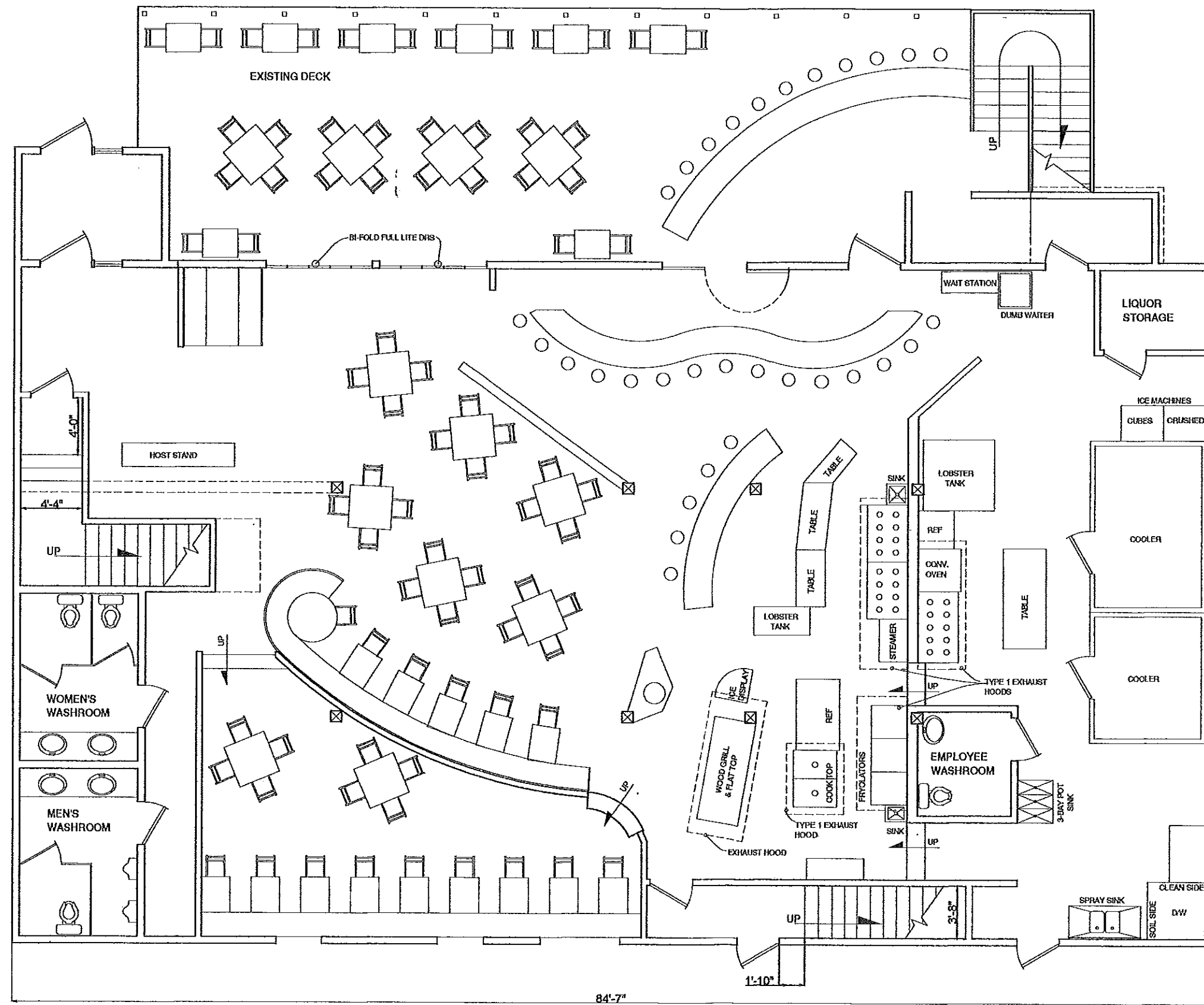
3/8" = 1'-0"

3/3

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2<sup>nd</sup> floor 6 custom house wharf

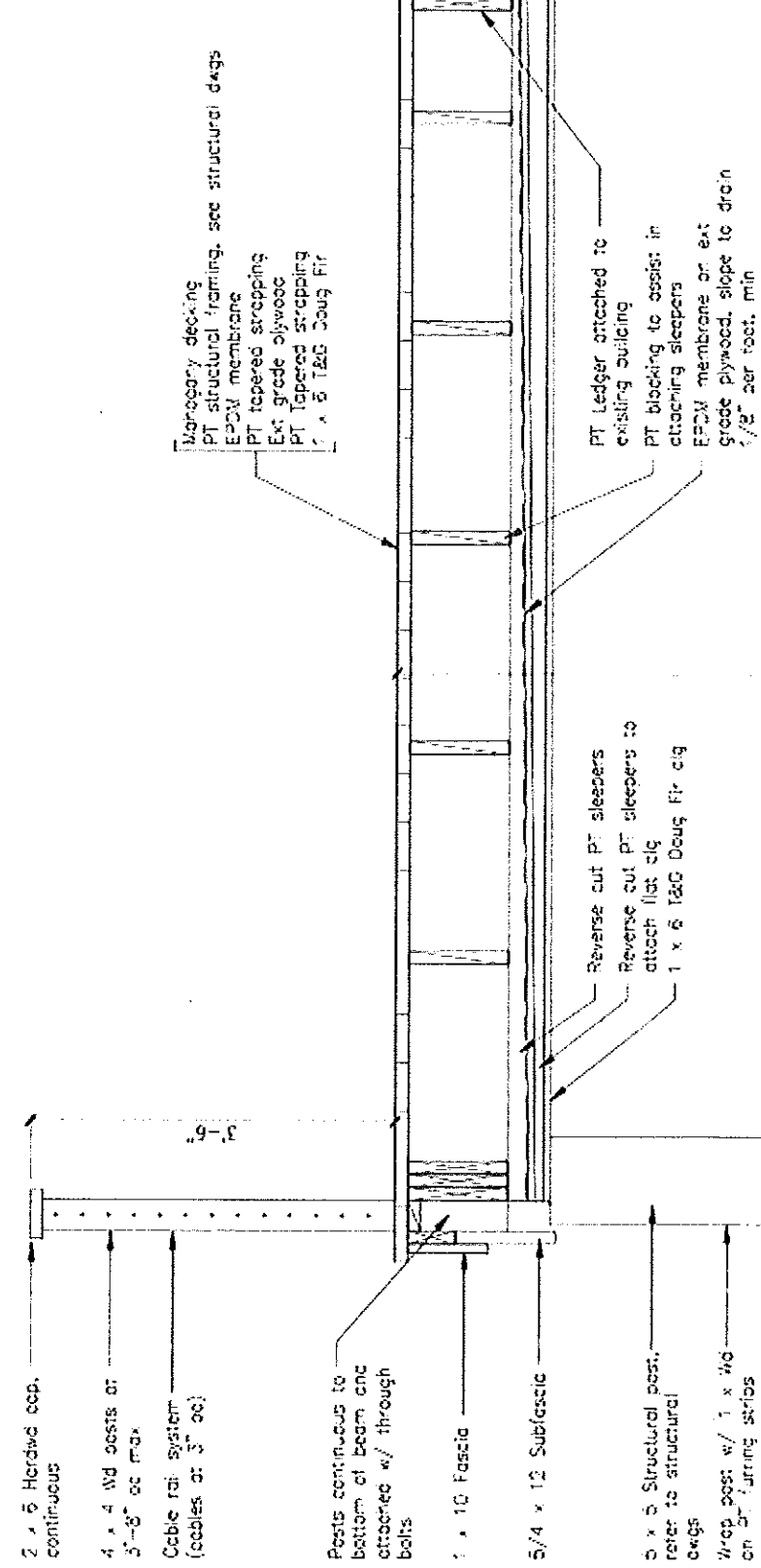


1st floor

6 eastern hms wharf

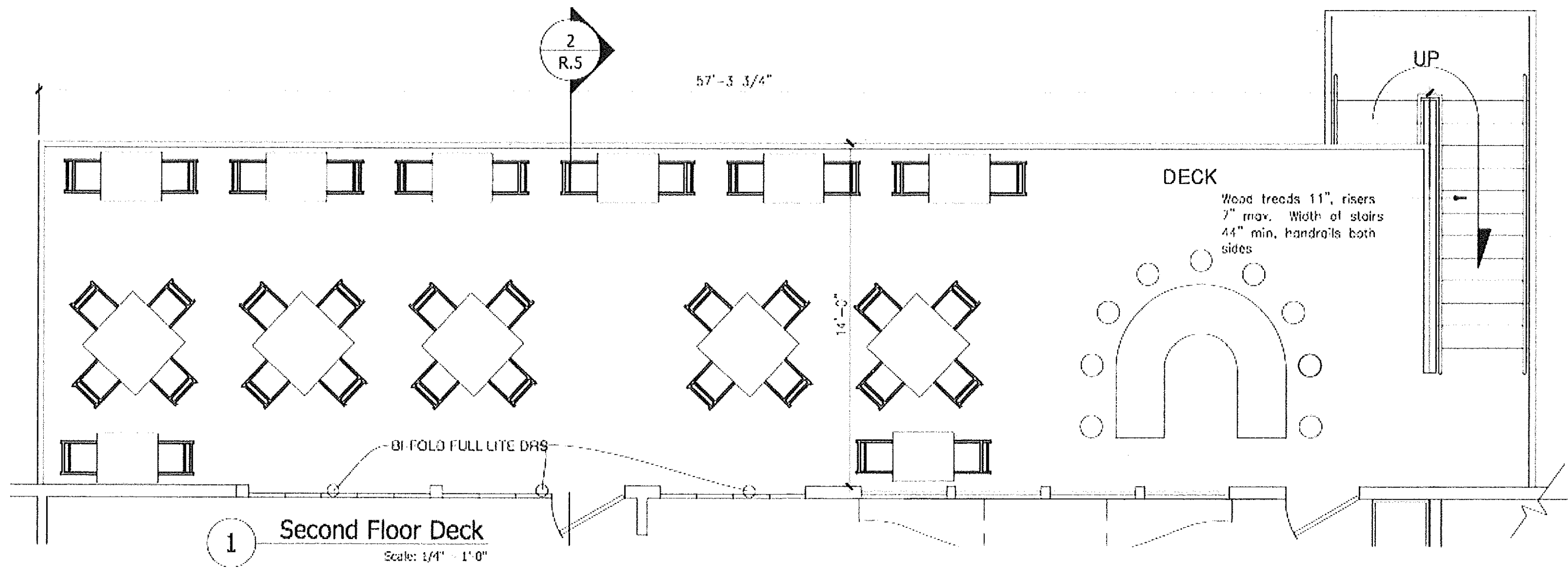


1 Second Floor Deck  
Scale: 3/4" = 1'-0"



2 Deck Section  
Scale: 3/4" = 1'-0"

Core, footing / piling, refer  
to structural dwgs. Locate  
posts on top of existing  
piling, coord w/ Structural  
Engineer



Plot Plan  $\frac{1}{16}" = 1'0"$

