

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**

Permit Number: 090042

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that PROPRIETORS OF CUSTOM HOME WHARF ATTACHE MAChas permission to PortHole Tavern Renovations, Main Bathrooms, Kitchen Expansion, Kitchen Ceiling RepairAT 86 COMMERCIAL ST

CBL 030 A001001

PERMIT ISSUED

JAN 29 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. Chris R. Sauter

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Cheryl M. 1/29/09  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

# City of Portland, Maine - Building or Use Permit Application

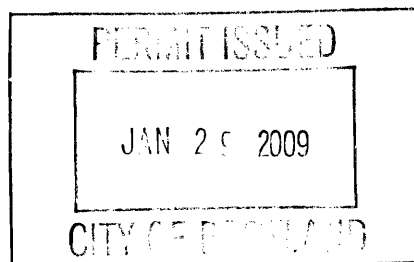
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0042	Issue Date: 1/27/09	CBL: 030 A001001
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Location of Construction: 86 COMMERCIAL ST <i>16 custom H</i>	Owner Name: PROPRIETORS OF CUSTOM HO	Owner Address: 5 EASTERN PROMENADE	Phone: 207-831-3521
Business Name: <i>Wharf</i>	Contractor Name: Oliver Kiethly	Contractor Address: 96 Crestview Dr So Portland	Phone: 2078313521
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: <i>WCZ</i>

Past Use: Commercial/Restaurant - PortHole Tavern	Proposed Use: Commercial/Restaurant- PortHole Tavern Renovations, Move Bathrooms, Kitchen Expansion into Where Bathrooms Were- Kitchen Ceiling Repair	Permit Fee: \$420.00	Cost of Work: \$40,000.00	CEO District: 1
Proposed Project Description: PortHole Tavern Renovations, Move Bathrooms, Kitchen Expansion, Kitchen Ceiling Repair		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>T-2</i> Type: <i>SB</i> <i>IBC-2003</i>	
		Signature: <i>KB</i>	Signature: <i>CL</i> 1/27/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 01/14/2009	Zoning Approval		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland  <input type="checkbox"/> Wetland  <input type="checkbox"/> Flood Zone  <input type="checkbox"/> Subdivision  <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>1/15/09</i>	<input type="checkbox"/> Variance  <input type="checkbox"/> Miscellaneous  <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Interpretation  <input type="checkbox"/> Approved  Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark  <input type="checkbox"/> Does Not Require Review  <input type="checkbox"/> Requires Review  <input type="checkbox"/> Approved  <input type="checkbox"/> Approved w/Conditions  <input type="checkbox"/> Denied  Date: _____



## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0042	<b>Date Applied For:</b> 01/14/2009	<b>CBL:</b> 030 A001001
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<b>Location of Construction:</b> 86 COMMERCIAL ST	<b>Owner Name:</b> PROPRIETORS OF CUSTOM HO	<b>Owner Address:</b> 5 EASTERN PROMENADE	<b>Phone:</b> 207-831-3521
<b>Business Name:</b>	<b>Contractor Name:</b> Oliver Kiethly	<b>Contractor Address:</b> 96 Crestview Dr So Portland	<b>Phone:</b> (207) 831-3521
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial/Restaurant- PortHole Tavern Renovations, Move Bathrooms, Kitchen Expansion into Where Bathrooms Were- Kitchen Ceiling Repair	<b>Proposed Project Description:</b> PortHole Tavern Renovations, Move Bathrooms, Kitchen Expansion, Kitchen Ceiling Repair
---	--

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 01/15/2009**Note:**      **Ok to Issue:** ☒

- 1) This property shall remain a restaurant only. Any change of use shall require a separate permit application for review and approval. This permit is not allowing any expansion of use within the existing PortHole space.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. Only the area within the existing interior PortHole Restaurant is being reviewed and approved. Any changes that may be on the submitted plans to the exterior or other areas of this location are not being reviewed nor approved. Any such changes to previous approvals that are shown on the plans and are not part of the current approvals do not constitute any further rights.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 01/29/2009**Note:**      **Ok to Issue:** ☒

- 1) This permit is issued as part of a timeline agreement dated October 28,2008 by Oliver Keithly and the City of Portland. This phase of construction to include Bathrooms, Life Safety Changes, Up grading the electric system and general rehab of the Kitchen. The ADA ramp on the street side and the sprinkler will be at a later date as per the agreement by Oliver Keithly and the State Fire Marshal's Office.
- 2) State law requires notification of hazardous materials and abatement by a licensed professional
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 01/21/2009**Note:**      **Ok to Issue:** ☒

- 1) Provide details for second means of egress to be protected.
- 2) Walls in structure are to be labeled according to fire resistance rating.  
IE; 1 hr. / 2 hr. / smokeproof.
- 3) Emergency lights are required to be tested at the electrical panel.
- 4) All construction shall comply with NFPA 101
- 5) The sprinkler system shall be installed in accordance with NFPA 13.

**Comments:**

<b>Location of Construction:</b> 86 COMMERCIAL ST	<b>Owner Name:</b> PROPRIETORS OF CUSTOM HO	<b>Owner Address:</b> 5 EASTERN PROMENADE	<b>Phone:</b> 207-831-3521
<b>Business Name:</b>	<b>Contractor Name:</b> Oliver Kiethly	<b>Contractor Address:</b> 96 Crestview Dr So Portland	<b>Phone</b> (207) 831-3521
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	
1/14/2009-lmd: Oliver Keithly met with Chris Hanson at the counter and went over the submitted plans. If there are any questions pertaining to this submission please see Chris H.			

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

  X   **Final inspection of barriers or alarm systems**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date



# General Building Permit Application

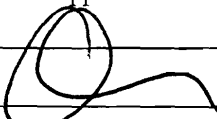
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>PORTHOLE TAVERN, 16 CUSTOM HOUSE WHARF, PORTLAND, ME.</u>			
Total Square Footage of Proposed Structure/Area		Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>30</u> <u>A</u> <u>001</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Oliver Kethy</u> Address <u>96 Cushman Drive Portland</u> City, State & Zip <u>Maine 04106</u>		Telephone: <u>207-831-3521</u>
Lessee/DBA (If Applicable)  <u>JAN 14 2009</u>	Owner (if different from Applicant) Name <u>Ken McGowan</u> Address <u>16 Custom House Wharf</u> City, State & Zip <u>Portland ME 04101</u>		Cost Of Work: \$ <u>40,000.-</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Assembly (RESTAURANT)</u> Number of Residential Units _____ If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Assembly w/ ENTERTAINMENT (RESTAURANT)</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Now Bathrooms, Kitchen Expansion &amp; Kitchen Ceiling Repair.</u>			
Contractor's name: <u>Oliver Kethy</u> Address: <u>16 Custom House Wharf</u> City, State & Zip <u>Portland Maine 04101</u> Telephone: _____ Who should we contact when the permit is ready: <u>yes</u> Telephone: <u>831-3521</u> Mailing address: _____			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 1-14-09

This is not a permit; you may not commence ANY work until the permit is issue



## Accessibility Building Code Certificate

Designer:

DAVID LEASURE - ARCHITECTURAL ASSOC. INC.

Address of Project:

PORTHOLE TAVERN - 16 CUSTOM HOUSE WHARF

Nature of Project:

INTERIOR RENOVATION - INSTALLATION OF  
RESTROOMS, UPGRADING INTERIOR  
FINISHES AND FIRE WALL & CEILING BARRIERS

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

2009

Signature:

Title:

PRESIDENT

Firm:

ARCHITECTURAL ASSOC. INC.

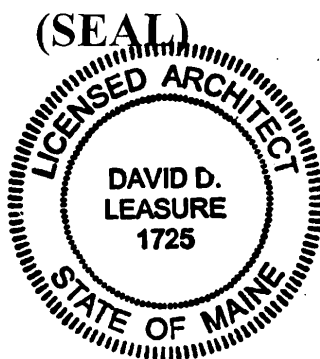
Address:

1344 WASHINGTON AVE

PORTLAND, ME. 04103

Phone:

207-797-8661



For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



## Certificate of Design

Date:

JANUARY 12, 2009

From:

DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

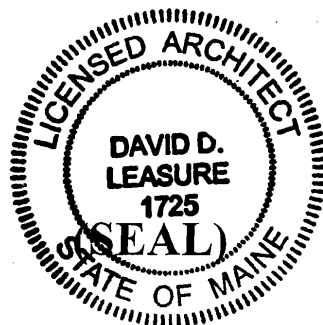
These plans and / or specifications covering construction work on:

INTERIOR RENOVATIONS TO THE PORTHOUSE TAVERN

DESIGN RESPONSIBILITIES ARE LIMITED TO THOSE

DESCRIBED AND EXCLUDED ON THE DRAWING TITLE SHEET.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature:

[Signature]

Title:

PRESIDENT

Firm:

ARCHITECTURAL ASSOC. INC.

Address:

1344 WASHINGTON AVENUE

PORTLAND, ME. 04103

Phone:

207-797-8661

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# Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC  
Date: JANUARY 12, 2009  
Job Name: PORTHOLE TAVERN RESTAURANT RENOVATION  
Address of Construction: 16 CUSTOM HOUSE WHARF, PORTLAND, ME. 04103

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2006 Use Group Classification (s) Assembly (A-2)  
Type of Construction IBC - TYPE VB  
Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? NOT CURRENTLY AUTHORIZED IS REQUIRED BY CODE Supervisory alarm system? NO  
Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED  
Geotechnical/Soils report required? (See Section 1802.2) NO - NOT APPLICABLE (PIER STRUCTURE)

### Structural Design Calculations

STRUCTURAL MEMBERS SIZED FOR 100 lb FLOOR LOAD AND 50 lb ROOF SNOW LOAD  
Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>Assembly</u>	<u>DESIGNED BY OTHERS (PIER)</u>

### Wind loads (1603.1.4, 1609)

N/A BY OTHERS Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1809.3)  
Building category and wind importance Factor,  $w$   
table 1604.5, 1609.5)  
Wind exposure category (1609.4)  
Internal pressure coefficient (ASCE 7)  
Component and cladding pressures (1609.1.1, 1609.6.2.2)  
Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

N/A BY OTHERS Design option utilized (1614.1)  
Seismic use group ("Category")  
Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)  
Site class (1615.1.5)

Live load reduction  
Roof live loads (1603.1.2, 1607.11)  
Roof snow loads (1603.7.3, 1608)  
Ground snow load,  $P_g$  (1608.2)  
If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
If  $P_g > 10$  psf, snow load importance factor,  $I_t$   
Roof thermal factor,  $C_t$  (1608.4)  
Sloped roof snowload,  $P_s$  (1608.4)  
Seismic design category (1616.3)  
Basic seismic force resisting system (1617.6.2)  
Response modification coefficient,  $R$ , and  
deflection amplification factor  $C_d$  (1617.6.2)  
Analysis procedure (1616.6, 1617.5)  
Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

Flood Hazard area (1612.3)  
UNKNOWN Elevation of structure

### Other loads

N/A Concentrated loads (1607.4)  
Partition loads (1607.5)  
Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

TRANSMITTAL  
COVER SHEET

DATE: January 14, 2009

TO: Mr. Oliver Kiethly  
Porthole Tavern Restaurant  
16 Custom House Wharf  
Portland, Maine 04101



TRANSMITTAL:

Copies	Date	Description	Action Code
1 set (Rev. dwgs)	01/12/09	Revised Construction Dwgs (Rel. for permitting & Construction - 30x42 BW)	E
1 set (Rev. Dwgs)	01/12/09	Revised Construction Dwgs (Rel. for permitting & Construction - 11x17 BW)	
1	01/12/09	General Building Permit application	

Action   A. Action Indicated on transmitted item.                      D. For Signature & forwarding as noted below  
              B. No Action Required.    E. See Remarks below.  
              C. For Signature & return to this office.

SUBJECT: Porthole Tavern Renovation Project: Revised Construction Drawings:

MEMORANDUM:

Hi Oliver:

Enclosed please find the revised Construction Drawings and General Permit Application for the above referenced project. I have incorporated a sprinkler room into the women's restroom and revised the drawings to agree with the overall Building "A" Life Safety Drawings and the recent comments from the Office of the State Fire Marshall. I would recommend that we forward a set to Capt. Gregory Cass, City of Portland Fire Chief, for his review and comment with regard to the functionality of the proposed sprinkler room.

You will need to fill out the missing information on the General Building Permit Application that is required of the owner. Please let me know if you need any additional assistance.

Best Regards,

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE                      PORTLAND, MAINE                      (207) 797-8661

cc:      File

Wpwin80/Data/Porthole\_Rest\_Trans

Page 1 of 1



16 CUSTOM HOUSE WHARF, PORTLAND MAINE 04101  
207-831-3521 OLIVER 207-761-9686 FAX

October 28, 2008

Dear Ron,

Thank you for taking the time to come down to Portland on Thursday. It was nice to meet you and your Staff. I would also like to thank you helping me move forward in opening the Harbour's Edge Room. As we discussed last Thursday, I would put together a timeline for you, encompassing all upcoming renovations and updates with completion dates for Building A (Harbours Edge, Comedy Connection, Porthole Restaurant) Please refer to submitted life safety plans.

**Timeline:**

- 1.-By November 14th- Apply for construction permit city of Portland for 2nd means of Egress for upstairs office space.
- 2.-By December 5th - Apply for permit for renovations at the Porthole Restaurant, these renovations will include:  
Bathrooms, Life Safety Changes, Wiring, and General rehab of Kitchen Area — elect.
- 3.-Starting on January 5th- Start construction outlined in applied permits.
- 4.-Scheduled completion of all constructions will be March 6, 2009.
- 5.-Last Thursday we also discussed the sprinkler system for Building A. This will be installed no later than March of 2010.

Thank you again, if you have any questions please feel free to contact me.

Sincerely

Oliver H. Keithly III

**CONSENT AGREEMENT/COMPLIANCE ORDER**  
**Porthole/Comedy Connection**  
**86 Commercial Street**

This document constitutes an agreement between Oliver Keithly and the City of Portland, by and through its certified Code Enforcement Officer, Chris Hanson (hereafter referred to as "City") for purposes of enforcing and resolving violations of the NFPA 101 "Life Safety Code" and the IBC 2003 "Building Code" adopted by the City of Portland.

Keithly agrees as follows:

- 1) Cogee Entertainment has been approved by the City for 250 outside seats associated with License #587 for Porthole Restaurant and Comedy Connection, Order #298-07/08, per the City Council.
- 2) Keithly will submit a revised outside Life Safety Plan by a licensed design professional and a Life Safety Evaluation as required by Capt. Gregory Cass, Portland Fire Department, per NFPA 101.13.4.1.1 2006 ed. As adopted by the City.
- 3) Keithly will submit a Life Safety Plan to the State of Maine State Fire Marshall's Office. Keithly will address all deficiencies previously noted by that agency (dated December 4, 2007) and submit a plan of correction.
- 4) Keithly will obtain all necessary permits associated with proposed work on plans received by the City and revisions noted on the plan dated January 30, 2008 and received on March 21, 2008.
- 5) Keithly will submit a letter from a licensed engineer station the Pier will support live load with 250 plus people dancing.

Based on the above agreement, the Code Enforcement Officer for the City of Portland orders Oliver Keithley to comply with this agreement as outlined no later than July 3, 2008 for paragraphs 4 and 5, and no later than July 25, 2008 for paragraphs 2 and 3.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Oliver Keithley

## 6-202.112 Living or Sleeping Quarters, Separation.

Living or sleeping quarters located on the PREMISES of a FOOD ESTABLISHMENT such as those provided for lodging registration clerks or resident managers shall be separated from rooms and areas used for FOOD ESTABLISHMENT operations by complete partitioning and solid self-closing doors.

## 6-3 NUMBERS AND CAPACITIES

### 6-301 Handwashing Facilities

#### 6-301.10 Minimum Number.

Handwashing facilities shall be provided as specified under §5-203.11.

#### 6-301.11 Handwashing Cleanser, Availability.

Each handwashing lavatory or group of 2 adjacent lavatories shall be provided with a supply of hand cleaning liquid, powder, or bar soap.

#### 6-301.12 Hand Drying Provision.

Each handwashing lavatory or group of adjacent lavatories shall be provided with:

- (A) Individual, disposable towels;
- (B) A continuous towel system that supplies the user with a clean towel; or
- (C) A heated-air hand drying device.

#### 6-301.13 Handwashing Aids and Devices, Use Restrictions.

A sink used for FOOD preparation or UTENSIL washing, or a service sink or curbed cleaning facility used for the disposal of mop water or similar wastes, may not be provided with the handwashing aids and devices required for a handwashing lavatory as specified under §§6-301.11 and 6-301.12 and ¶ 5-501.16(C).

#### 6-301.14 Handwashing Signage.

A sign or poster that notifies FOOD EMPLOYEES to wash their hands shall be provided at all handwashing lavatories used by FOOD EMPLOYEES and shall be clearly visible to FOOD EMPLOYEES.

#### 6-301.20 Disposable Towels, Waste Receptacle.

A handwashing lavatory or group of adjacent lavatories that is provided with disposable towels shall be provided with a waste receptacle as specified under ¶ 5-501.16(C).

### 6-302 Toilets and Urinals

#### 6-302.10 Minimum Number.

Toilets and urinals shall be provided as specified under §5-203.12 and as follows.

- (A) All licensed FOOD Establishments which have more than 12 seats shall provide at least one customer restroom. *Note: This includes food establishments licensed by the Department of Agriculture.*
- (B) FOOD Establishments licensed by the Department of Human Services which serve liquor shall provide facilities according to the following chart (Fixture count based on total number of persons, not number of males or number of females):

(C)

# persons	Male			Female	
	# toilets	# urinals	# lavatories	# toilets	# lavatories
1-50	1	1	1	1	1
51-150	2	1	1	2	1
151-300	3	2	2	4	2
Over 300	Add 1 for each additional 200 persons	Add 1 for each additional 150 persons	Add 1 for each additional 300 persons	Add 1 for each additional 200 persons	Add 1 for each additional 300 persons

COM. COM. = women = 2 wc, 2 sink no floor drain  
men = 1 wc, 2 urinals, 1 sink no floor drain  
Port hole = women = 2 wc & 1 hand sink  
men = 1 wc 2 urinals 1 hand sink

Maine Food Code 2001

City License = 61 Restaurant 157 Comedy 4 M

## BUILDING PERMIT INSPECTION PROCEDURES

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to schedule your inspections as agreed upon

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  X   Final inspection required at completion of work.

  X   Final inspection of barriers or alarm systems

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**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

  
\_\_\_\_\_  
Date

# PORTHOLE RESTAURANT RENOVATION PROJECT

## 16 CUSTOM HOUSE WHARF

### PORTLAND, MAINE

#### LIST OF DRAWINGS

<b>A-200</b>	<b>TITLE SHEET &amp; GENERAL NOTES</b>
<b>LS-200</b>	<b>GROUND FLOOR PLAN</b>
<b>ST-200</b>	<b>GROUND FLOOR - LIFE SAFETY PLAN</b>
<b>A-500</b>	<b>GROUND FLOOR - STRUCTURAL ALTERATIONS PLAN</b>
<b>A-500</b>	<b>TYPICAL RATED WALL / CEILING ASSEMBLIES</b>
<b>A-600</b>	<b>INTERIOR ELEVATIONS</b>

#### GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE MAINE BUILDING CODE (MBC).

2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETIES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECOMMENDATIONS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.

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39. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.

40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

#### ACCESSIBILITY NOTES

1. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2010 AMERICAN WITH DISABILITY ACT (ADA) STANDARDS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

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30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

#### SYSTEMS DESIGNED BY OTHERS

NOTE: THE PROPERTY OWNER, OPERATOR AND GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND CONSTRUCTION OF THE FOLLOWING CONSTRUCTION DISCIPLINES. THE PROJECT ARCHITECT DOES NOT TAKE RESPONSIBILITY FOR DESIGN OR CODE COMPLIANCE OF THESE SYSTEMS.

- COMPLIANCE TO CITY OF PORTLAND LAND USE ORDINANCE
- DOMESTIC WATER AND WASTEWATER SUPPLY PIPING
- ELECTRICAL POWER DISTRIBUTION AND LIGHTING
- EMERGENCY EGRESS LIGHTING AND NOTIFICATION SYSTEMS
- FIRE ALARM SYSTEM
- MATERIAL SPECIFICATIONS AND PRODUCTS USED IN THE CONSTRUCTION OF THE PROJECT
- STRUCTURAL FRAMING MODIFICATIONS TO WHARF STRUCTURE
- HAZARDOUS MATERIALS IDENTIFICATION AND MITIGATION
- PROJECT OBSERVATION DURING CONSTRUCTION
- SPECIAL INSPECTIONS

#### DESIGN AND BUILDING DATA

- **GOVERNING CODES & REGULATIONS:**
  - IBC 2006: INTERNATIONAL BUILDING CODE
  - NFPA-101: LIFE SAFETY CODE 2006
  - AMERICANS WITH DISABILITY ACT - 1990
  - MAINE HUMAN RIGHTS ACT
- **CONSTRUCTION TYPE:**
  - IBC: TYPE V-B (COMBUSTIBLE / UNPROTECTED)
  - NFPA: (0,0,0)
- **FIRE PROTECTION:**
  - BUILDING WILL BE SPRINKLERED - ASSEMBLY (A-2) - RESTAURANT WITH OCCUPANCY LOAD LESS THAN 300 PERSONS INDOORS WITH OUTDOOR ENTERTAINMENT WITH ITS OWN SEPARATE EXITING.
- TRAVEL DISTANCE: (SPRINKLERED) - ASSEMBLY (RESTAURANT W/ ENTERTAINMENT) OCCUPANCY

- NEW ASSEMBLY:
  - TRAVEL DISTANCE LIMIT (SPRINKLERED) = 250 FT.
  - DEAD END LIMIT (SPRINKLERED) = 20 FT.
  - COMMON PATH LIMIT (SPRINKLERED) = 20/75 FT.

- **OCCUPANCY CLASSIFICATION:**
  - PORTHOLE RESTAURANT WITH OUTDOOR SEATING AREA (RESTAURANT W/ OUTDOOR ENTERTAINMENT)
  - IBC 2006: ASSEMBLY (A-2) - INDOOR RESTAURANT WITH OCCUPANT LOAD (INDOORS) OF LESS THAN 300 PERSONS AND ITS OWN SEPARATE EXITING.
  - IBC 2006: ASSEMBLY (A-2) - SAME RESTAURANT (OUTDOOR ENTERTAINMENT AREA) WITH OCCUPANT LOAD (OUTDOORS) OF LESS THAN 300 PERSONS AND ITS OWN SEPARATE EXITING.
  - NFPA-101 2006 - ASSEMBLY - (RESTAURANT WITH OUTDOOR ENTERTAINMENT) WITH LESS THAN 300 PERSONS EACH AND THEIR OWN SEPARATE EXITING.

- **EGRESS COMPONENT WIDTH:**
  - DOORS, RAMPS & CORRIDORS, WHARF EXIT WALKWAY
    - DOORS = 66.88 TIMES 0.15" PER OCCUPANT = 10.0" = 32" CLEAR MIN. (34" PROVIDED)
    - RAMPS = 66.88 TIMES 23" = 44.1 TIMES 0.15" PER OCCUPANT = 6.62" = 36" CLEAR MIN. (80" PROVIDED)
    - CORRIDORS = 66.88 TIMES 0.15" PER OCCUPANT = 10.0" = 36" CLEAR MIN. (36" - 53" PROVIDED)
    - WHARF EXIT WALKWAY = 355.72 = 177.85 OCCUPANTS TIMES 0.15" PER OCCUPANT = 26.68" (119" PROVIDED)
  - STAIRS = NO STAIRS IN ASSEMBLY USE (NOT APPLICABLE)

- **OCCUPANT LOAD:**
  - PORTHOLE TAVERN AT LED (INDOOR RESTAURANT WITH ITS OWN SEPARATE EXITS)

	S.F. METHOD	
INDOOR RESTAURANT WAITING - ASSEMBLY (A-2)	44 SEATS PLUS 9 WAITRESS	= 53 PERSONS
KITCHEN	1,388 S.F. @ 1/100 S.F.	= 13.88 PERSONS
TOTAL FIRST FLOOR OCCUPANCY LOAD		= 66.88 PERSONS

- PORTHOLE TAVERN AT LED (OUTDOOR AREA WITH ENTERTAINMENT AND ITS OWN SEPARATE EXITS)

	S.F. METHOD	
OUTDOOR SEATING - ASSEMBLY (A-2)	96 SEATS PLUS 4 WAITRESSES	= 100 PERSONS
OUTDOOR ENTERTAINMENT & DANCING AREA - ASSEMBLY (A-2)	1,050 S.F. @ 1 PERSONS/7 S.F.	= 150 PERSONS
TOTAL FIRST FLOOR OCCUPANCY LOAD		= 250 PERSONS

- **FIRE BARRIER SEPARATION WALLS: (SPRINKLERED)**
  - CORRIDOR WALLS (SPRINKLERED) = NO RATING PERMITTED WITH MIN. 50% OF EXIT CAPACITY DISCHARGING DIRECTLY TO THE OUTSIDE.
  - STORAGE ROOMS OF COMBUSTIBLE MATERIALS = 1 HR. FIRE BARRIER OR SPRINKLER
  - BOILER ROOMS W/ EQUIPMENT RATING > 200,000 Btu/h = 1 HR. FIRE BARRIER OR SPRINKLER

- **ILLUMINATION OF MEANS OF EGRESS:**
  - ASSEMBLY USE (SPRINKLERED): ILLUMINATION PER SECTION 7.8 REQUIRED FOR ENTIRE FACILITY INCLUDING OUTDOOR ENTERTAINMENT AREA.

- **EXIT LIGHTING (MARKING MEANS OF EGRESS):**
  - ASSEMBLY USE (SPRINKLERED): MARKING OF MEANS OF EGRESS PER SECTION 7.9 REQUIRED FOR ENTIRE FACILITY INCLUDING OUTDOOR ENTERTAINMENT AREA.

- **FIRE ALARM SYSTEM: (SPRINKLERED)**
  - ASSEMBLY USE WITH OCCUPANCY LOAD MORE THAN 300 OCCUPANTS (INDOOR & OUTDOOR AREAS TOGETHER IS REQUIRED TO BE EQUIPPED WITH A FIRE ALARM SYSTEM. INITIATION OF THE SYSTEM SHALL NOT BE REQUIRED TO BE BY MANUAL MEANS IF INITIATION IS BY MEANS OF AN APPROVED AUTOMATIC FIRE PROTECTION SYSTEM.

- **INTERIOR FINISHES (ASSEMBLY):**
  - WALLS: CLASS "A" OR "B" IN CORRIDORS AND LOBBIES. CLASS "A", IN ENCLOSED STAIRS.
  - FLOORS: CLASS I OR CLASS II IN EXITS & CORRIDORS.
  - CEILINGS: CLASS "A" OR "B" IN EXITS & CORRIDORS. CLASS "A", "B", OR "C" IN OFFICES.

- **PROTECTION OF COOKING EQUIPMENT:**
  - KITCHEN COOKING EQUIPMENT SHALL BE PROTECTED IN ACCORDANCE WITH NFPA 96: STANDARD FOR VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS.

#### PROJECT ALTERNATES

- NONE SPECIFIED

#### PROJECT ALLOWANCES

- NONE SPECIFIED

#### ARCHITECT:


**d** DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
134 WASHINGTON AVENUE PORTLAND, MAINE 04101  
TEL: 207-771-0001 FAX: 207-771-0002  
EMAIL: DDL@ARCHITECTURALASSOCIATES.COM

#### STRUCTURAL ENGINEER:

L & L STRUCTURAL ENGINEERING SERVICES, INC.  
200 G STREET SOUTH PORTLAND, MAINE 04106  
TEL: 207-767-4000 FAX: 207-766-2000

100 % PROGRESS SET - JANUARY 12, 2009  
REL. FOR PERMITTING AND CONSTRUCTION

1009


[illegible][illegible]

DOCKING

G AREA

OUTDOOR ASSEMBLY USE (A-2) WITH SEPA

100 SEATS = 100 PERSONS  
 4 WAITRESSES = 4 PERSONS  
 TOTAL OCCUPANT LOAD = 104 PERSONS



ATE TWO-WAY EXITING

[illegible]
[illegible]

**WAITING AREA**  
WAITING STANDING AREA (16 PERSONS)  
**EXTERIOR WHARF DECK**  
TOTAL OCCUPANT LOAD ON REAR WOOD WHARF AREA = (605 OCCUPANTS)

**EXTERIOR WHARF DINING**  
(104 OCCUPANTS)

**DANCE FLOOR**  
(414 S.F. AT 1 PERSON/7 S.F. = 59 OCCUPANTS)

**EXTERIOR WHARF DINING**  
(104 OCCUPANTS)

**EXTERIOR ENTERTAINMENT / DINING**  
**EXIT WALKWAY**

**WAITRESS SERVICE AREA**

**COMEDY CONNECTION**  
UNSPRINKLERED  
IMBLY USE W/ ENTERTAINMENT

**SEA BAGS COMPANY**  
SPECIAL PURPOSE INDUSTRIAL  
USE (SAIL ASSEMBLY)

**LIFE SAFETY**

**PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- EXISTING WALL TO BE REMOVED
- NEW MASONRY WALL TO REMAIN

**CUSTOM HOUSE WHARF**

**100 % PROGRESS SE**  
**REL. FOR PERMITT**





**PORTHOLE RESTAU**  
**16 CUSTOM HOUSE**

## GROUND FLOOR PLAN - WHARF LEVEL

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1/4" = 1'-0"

### PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	EXISTING WALL TO BE REMOVED
	NEW MASONRY WALL TO REMAIN
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED

100 % PROGRESS SET - JANUARY 12, 2009  
REL. FOR PERMITTING AND CONSTRUCTION

**PORTHOLE RESTAURANT RENOVATION**  
**16 CUSTOM HOUSE WHARF**  
**PORTLAND, MAINE**



# A-200

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533  
PROJECT NO: 041106 PROJECT TITLE: POTHOLE RESTAURANT  
SCALE: 1/4" = 1'-0" SHEET TITLE: FLOOR PLAN

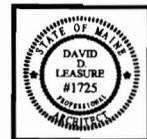
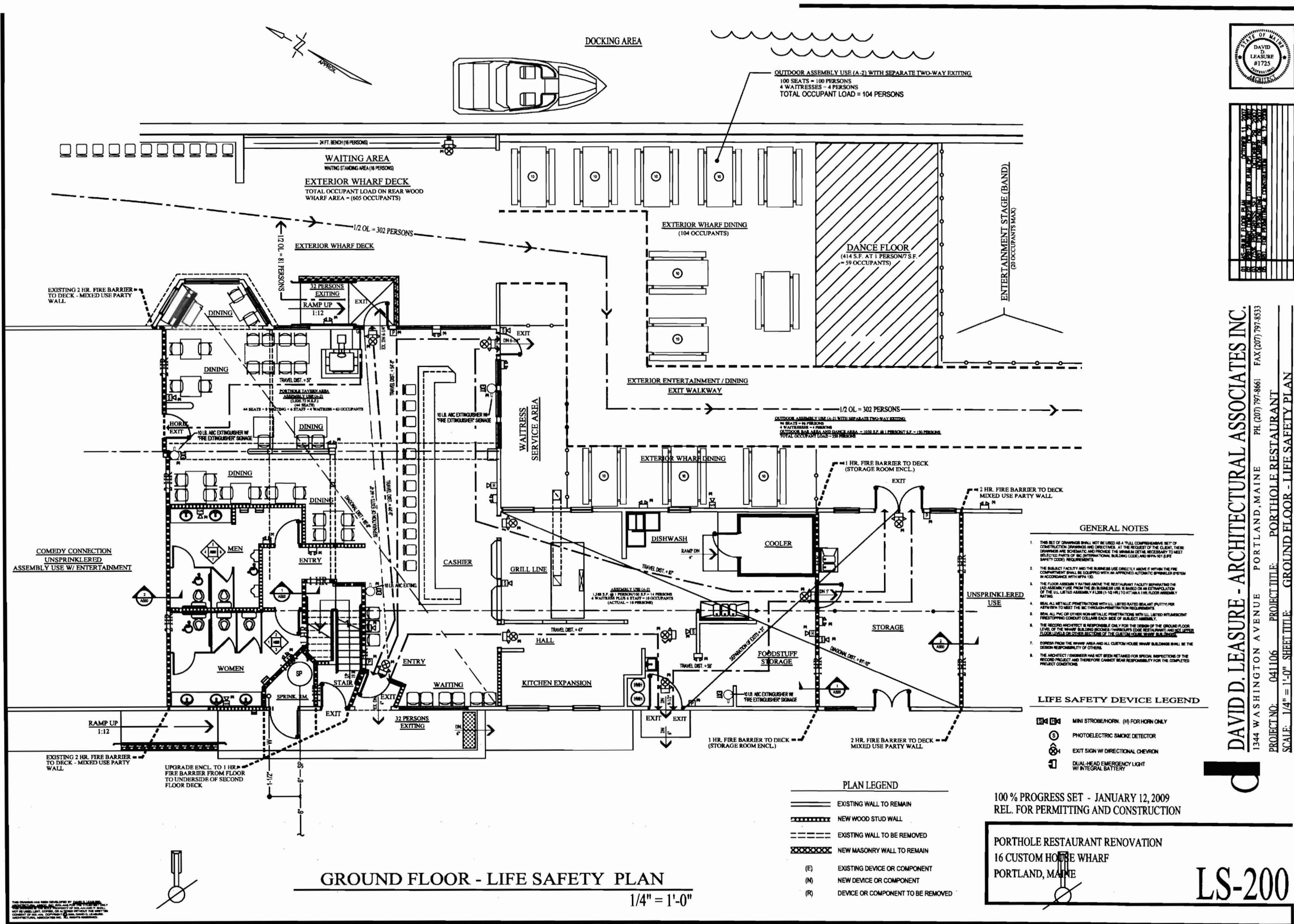
PROJECT NO: 041106 PROJECT TITLE: Porthole Restaurant

SCALE: 1/4" = 1'-0" SHEET TITLE: FLOOR PLAN

### LIFE SAFETY DEVICE LEGEND

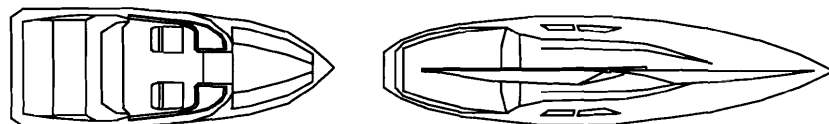
	MINI STROBE/HORN. (H) FOR HORN ONLY
	PHOTOELECTRIC SMOKE DETECTOR
	EXIT SIGN W/ DIRECTIONAL CHEVRON
	DUAL-HEAD EMERGENCY LIGHT W/ INTEGRAL BATTERY





**DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.**  
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH (207) 797-8661 FAX (207) 797-8533  
 PROJECT NO: 041106 PROJECT TITLE: PORTHOLE RESTAURANT  
 SCALE: 1/4" = 1'-0" SHEET TITLE: GROUND FLOOR - LIFE SAFETY PLAN

DOCKING AREA



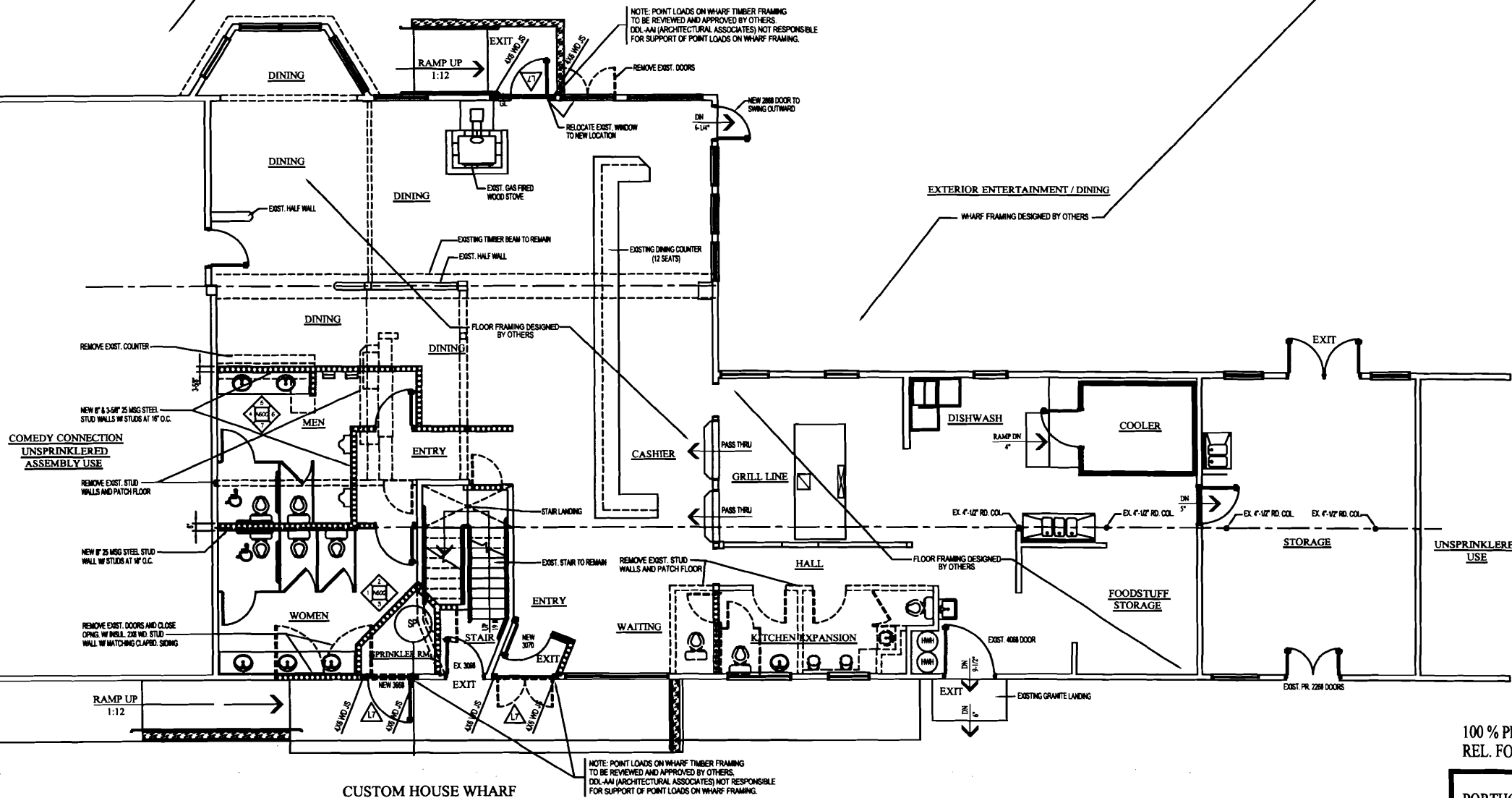
EXTERIOR WHARF DECK

WHARF FRAMING DESIGNED BY OTHERS

LIMIT OF OUTDOOR RESTAURANT

EXTERIOR ENTERTAINMENT / DINING

WHARF FRAMING DESIGNED BY OTHERS



GENERAL NOTES :

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, pipes, beams, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancy shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturer's written instructions.
7. The structure is designed to be self supporting and stable after the building is completed. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and the components during erection. The inclusion of the addition of necessary shoring, bracing, temporary bracing, or tie down. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS

1. Building Code: International Building Code - 2003
2. Design Live Loads: (Ground snow load = 60 PSF)  
Roof ..... 54 PSF
3. Design wind loads are based on exposure B using 100 mph basic wind speed.
4. Seismic design utilizes the following criteria:
  - a. Building framing system: Light braced steel or physical shear walls resisting lateral loads & moment frames.
  - b. Analysis procedure: Equivalent Lateral Force Procedure.
  - c. Seismic hazard acceleration: "T"
  - d. Seismic performance category: "T"
  - e. Soil profile type: "Sd"
  - f. Peak velocity-related acceleration ( $A_h$ ): "0.10"
  - g. Peak acceleration ( $A_v$ ): "0.10"
  - h. Response modification factor ( $R$ ): 6.1/2
  - i. Deflection amplification factor ( $\Delta$ ): "4"

STRUCTURAL STEEL NOTES:

1. Provide Architect/Engineer with shop drawings of all structural steel for approval prior to fabrication of structural steel beams and columns.
2. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel" - latest edition.
3. Structural steel:
  - a. Structural steel shall conform to ASTM A36.
  - b. Structural tubing shall conform to ASTM A500.
  - c. Structural plate shall conform to ASTM A588, TYPE II or III.
4. Design connections for the reactions shown on the drawings or the maximum and reaction shall be provided by a structurally supported uniformly loaded beam for each given beam size and span.
5. Field connections shall be labeled using AISC 88 (ASTM A500) high strength bolts except where field welding is indicated on the drawings.
6. All welding shall conform to AWS D1.1 - latest edition. Welding electrodes shall be E7018.
7. "M" indicates a structural steel moment connection.
8. All beams not in moment frames shall be pinned over the top of columns.
9. Provide 3/8" web stiffeners in all structural steel beam webs bearing on columns. Local stiffeners at the center of columns.

PLATE CONNECTED TIMBER TRUSS FRAMING

1. Manufacturer: Stressed graded lumber, metal plate connections, minimum grade No. 2 S.D.S. Southern Pine, 18' max. @ or approved alternative.
2. Applicable specifications:
  - a. National Design Specification for stress graded lumber and its fastening (NDS).
  - b. Design specifications for light metal plate connected wood trusses TPI - Latest Edition.
3. Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
4. Submittals:
  - a. Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
  - b. Shop drawings shall show stress grade and size of members, size and location of plate connections, size and location of bracing and shall be approved by the truss designer.
5. All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall include the TPI mark of approval in accordance with the truss plate Institute's plans inspection Bureau agreement.
6. Connector plates shall be galvanized.
7. Truss members shall be designed in accordance with DOCA under ASCE 7 - Latest Edition.
8. Provide permanent truss bracing in accordance with the truss plate Institute (TPI) 107-01 requirements - latest edition.
9. Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with DOCA 1998.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the ATC timber framing manual or the national design specifications (NDS) - latest edition.
2. Individual timber framing members shall be visually graded, minimum grade #2 Southern Pine (20%) or better to be used.
3. Framing members shall be used as specified in contrast with ground, concrete or masonry. Timber shall be minimum 4" x 4" in cross section and shall be used in accordance with the ATC timber framing manual or the national design specifications (NDS) - latest edition.
4. Metal connections shall be used at all timber to timber connections or as noted on the design drawings.
5. Provide Simpson 1025 hurricane anchors along timber framing and/or trusses attach to the existing structure.
6. Nothing not specified shall conform with DOCA 1998.

LINTEL SCHEDULE

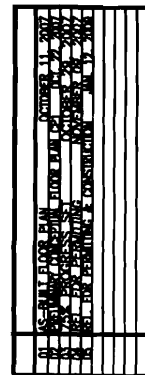
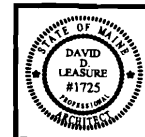
L1	(2) 2 X 12
L2	(3) 2 X 12
L3	(3) 1-3/4" X 11-1/4" LVL
L4	(3) 1-3/4" X 14" PARALAM
L5	5-1/4" X 11-1/4" VERSALAM
L6	5-1/4" X 14" VERSALAM
L7	5-1/4" X 18" VERSALAM

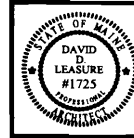
100 % PROGRESS SET - JANUARY 12, 2009  
REL. FOR PERMITTING AND CONSTRUCTION

PORTHOLE RESTAURANT RENOVATION  
16 CUSTOM HOUSE WHARF  
PORTLAND, MAINE

ST-200

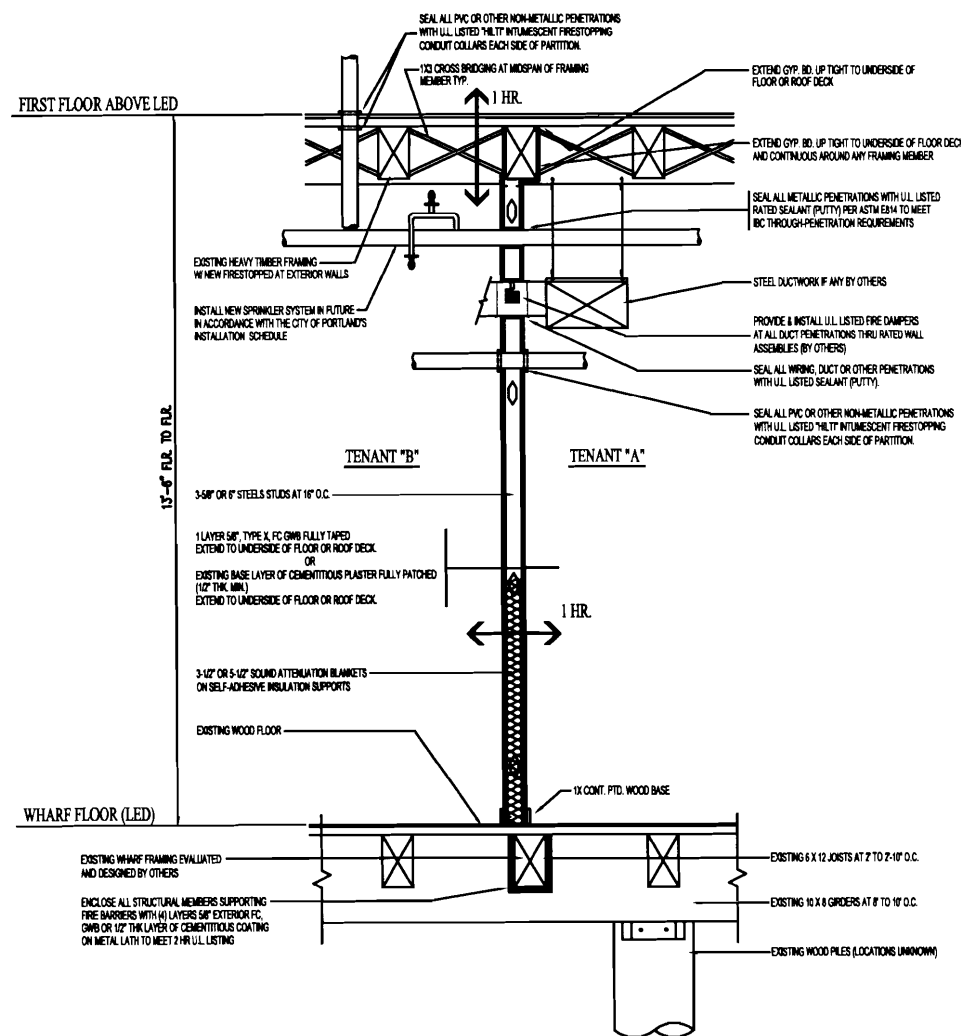
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE  
PROJECT NO: 041106 PROJECT TITLE: PORTHOLE RESTAURANT  
SCALE: 1/4" = 1'-0" SHEET TITLE: STRUCTURAL MODIFICATIONS PLAN





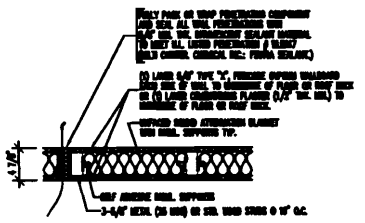
DATE: 01/12/09
PROJECT: 041106
SHEET: 01 OF 02
SCALE: 3/4" = 1'-0"
DESIGNED BY: DDL
CHECKED BY: DDL
IN CHARGE: DDL
DATE: 01/12/09
PROJECT: 041106
SHEET: 01 OF 02
SCALE: 3/4" = 1'-0"
DESIGNED BY: DDL
CHECKED BY: DDL
IN CHARGE: DDL

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE  
PROJECT NO: 041106 PROJECT TITLE: PORTHOLE RESTAURANT  
SCALE: 3/4" = 1'-0" SHEET TITLE: TYPICAL WALL / CEILING ASSEMBLIES

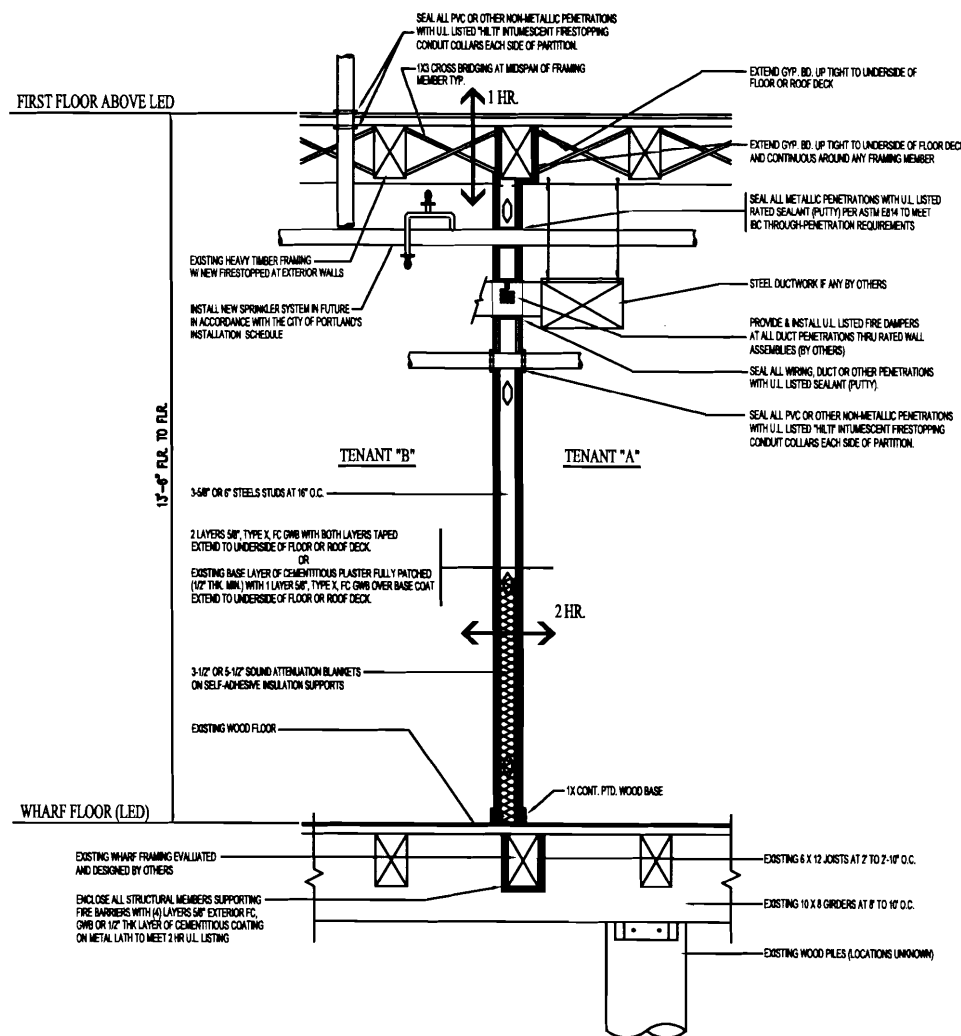


1 INTERIOR 1 HR. FIRE BARRIER  
3/4" = 1'-0"

NOTE:  
SEE DWG. L5-200 FOR REQUIRED WALL  
LOCATIONS

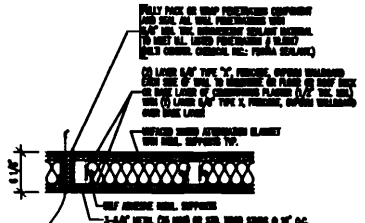


1 HR. RATED FIRE BARRIER



2 INTERIOR 2 HR. FIRE BARRIER  
3/4" = 1'-0"

NOTE:  
SEE DWG. L5-200 FOR REQUIRED WALL  
LOCATIONS



2 HR. RATED FIRE BARRIER

## TYPICAL RATED WALL TYPES

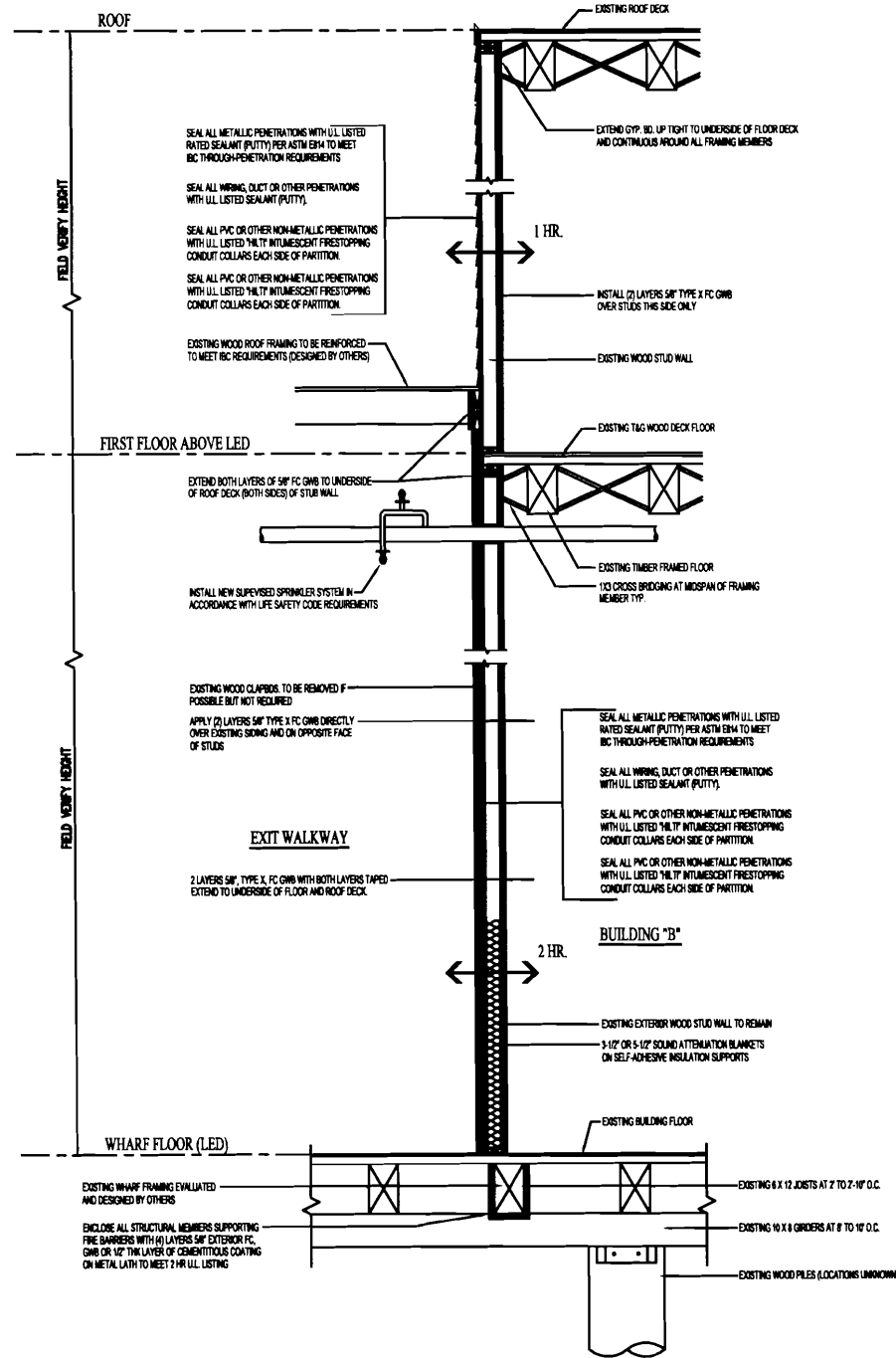
3/4" = 1'-0"

100 % PROGRESS SET - JANUARY 12, 2009  
REL. FOR PERMITTING AND CONSTRUCTION

PORTHOLE RESTAURANT RENOVATION  
16 CUSTOM HOUSE WHARF  
PORTLAND, MAINE

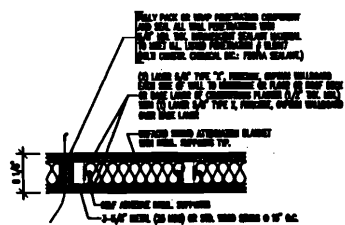
A-500

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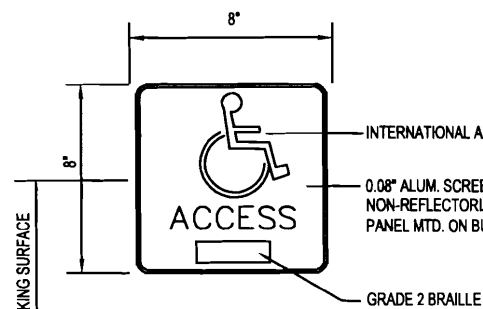


2A EXTERIOR 2 HR. FIRE BARRIER  
3/4" = 1'-0"

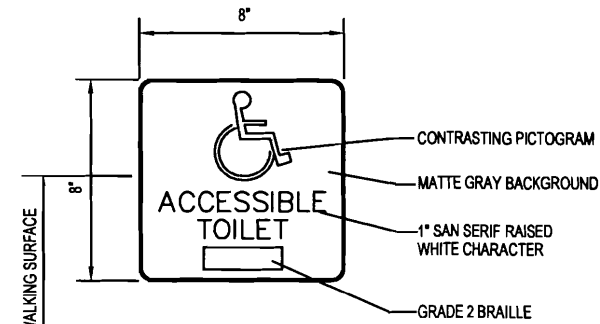
NOTE:  
SEE DWG. L5-200 FOR REQUIRED WALL  
LOCATIONS



2 HR. RATED FIRE BARRIER 2A



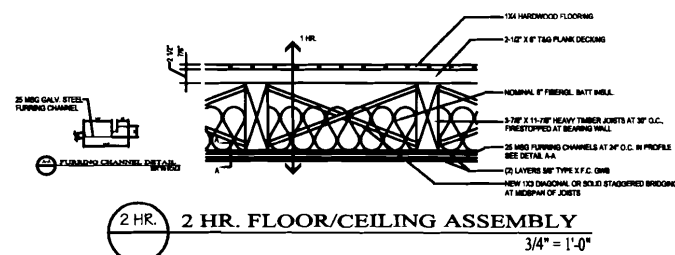
SIGN "A"  
ACCESSIBLE BUILDING SIGN MTD. ON BLDG.  
AT MAIN ENTRY DOOR AT 5' A.F.F. (TYP)



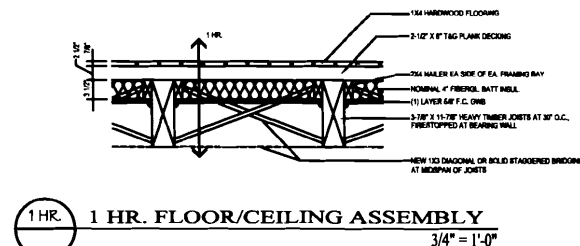
SIGN "B"  
ACCESSIBLE TOILET SIGN MTD. ON DOOR  
OR LATCH SIDE OF DOOR 5' A.F.F. (TYP)

## ACCESSIBLE SIGNAGE

COORDINATE ROOM NAME, NUMBERING, SIGNAGE DESIGN AND COLOR SCHEME WITH  
THE OWNER'S SIGNAGE STANDARDS AND THE AMERICANS WITH DISABILITY ACT



NOTE:  
ASSEMBLY INDICATED IS BASED ON THE FIRE  
RESISTANCE DIRECTORY - 2008 EDITION:  
DESIGN ASSEMBLY NO. L505



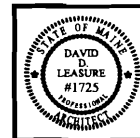
NOTE:  
ASSEMBLY INDICATED IS BASED ON AN INTERPOLATION  
OF 1-1/2 HR. ASSEMBLY DELINEATED IN THE FIRE  
RESISTANCE DIRECTORY - 2008 EDITION: DESIGN  
ASSEMBLY NO. L208

## TYPICAL FLOOR/CEILING ASSEMBLY

100 % PROGRESS SET - JANUARY 12, 2009  
REL. FOR PERMITTING AND CONSTRUCTION

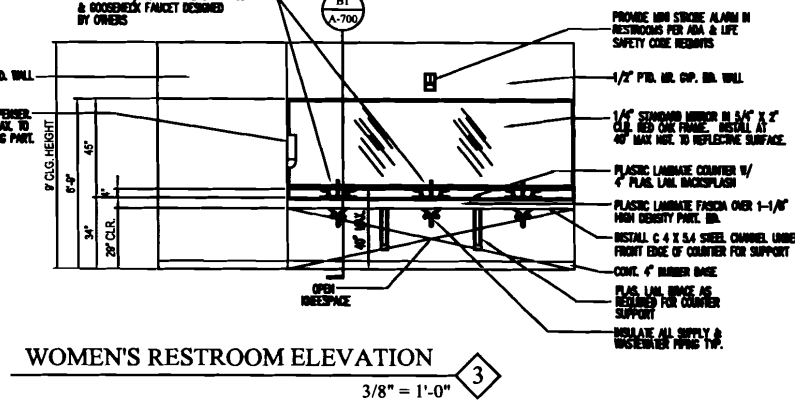
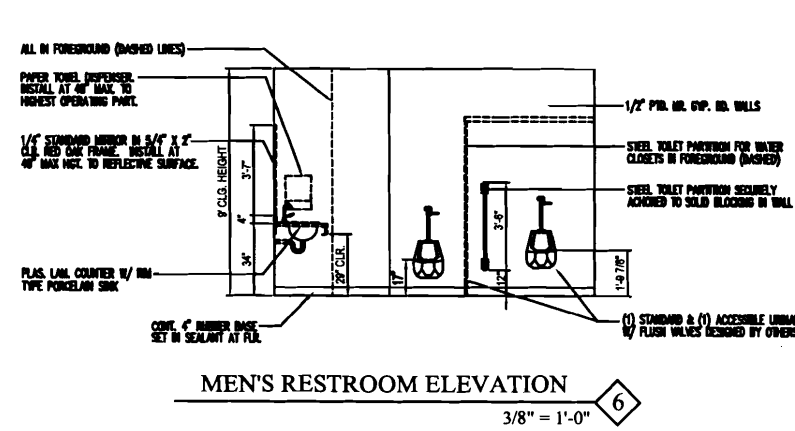
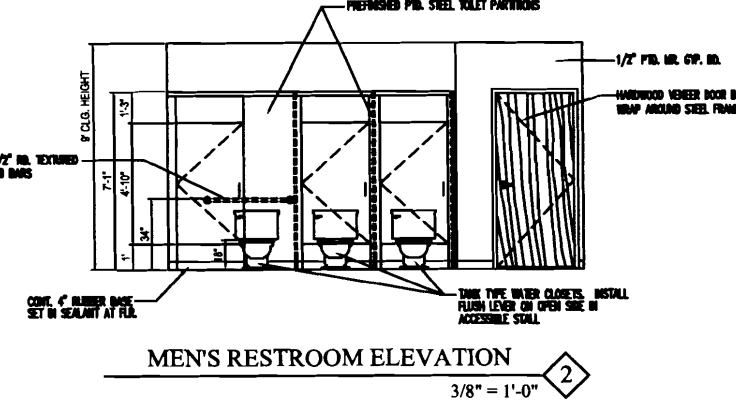
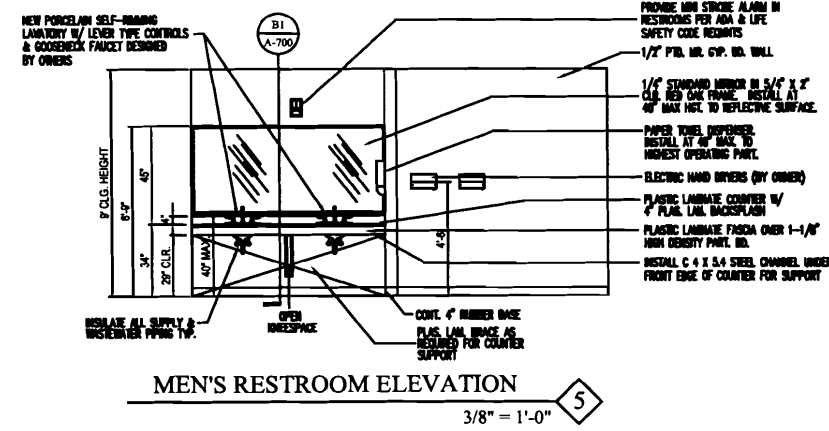
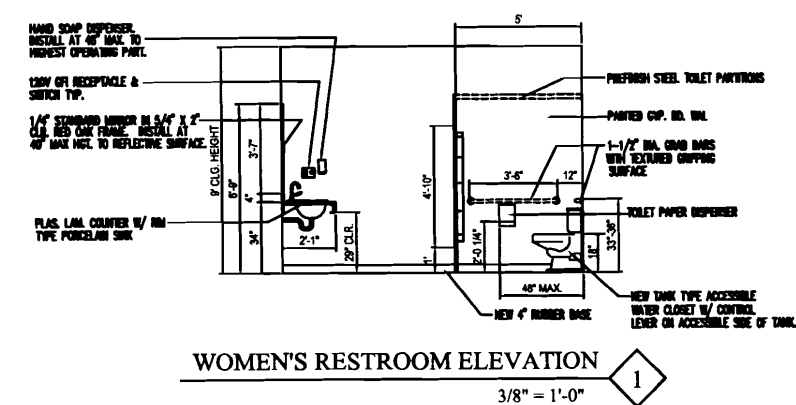
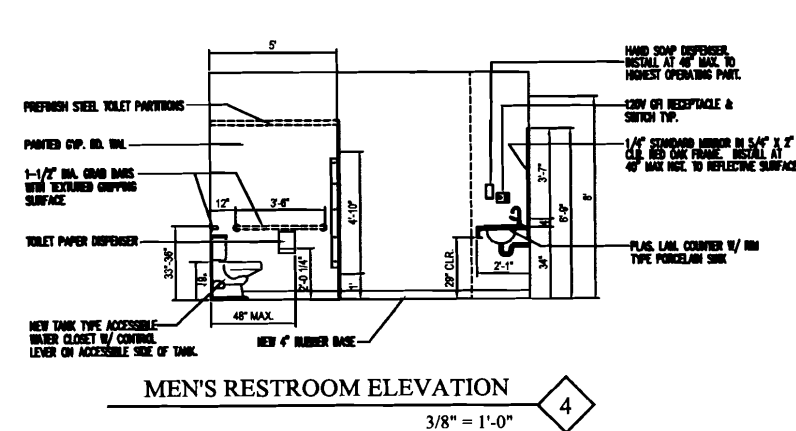
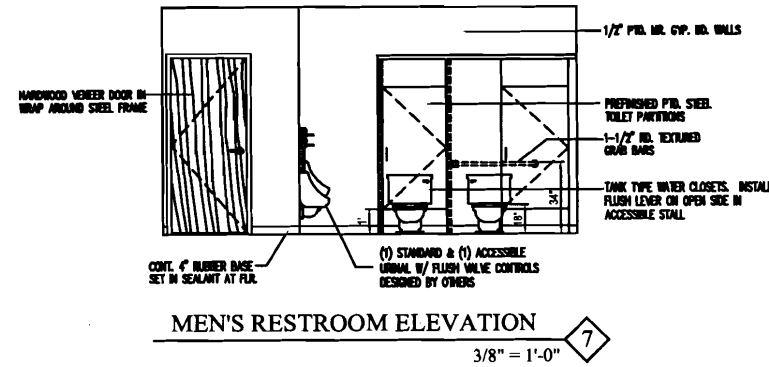
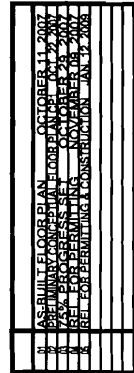
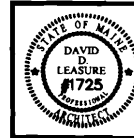
PORTRHOLE RESTAURANT RENOVATION  
16 CUSTOM HOUSE WHARF  
PORTLAND, MAINE

A-501



1	AS BUILT ELEVATION	OCTOBER 31, 2007
2	MINIMUM CONCEALED JOINT PLAN	OCTOBER 31, 2007
3	NEW EXPOSED JOINTS	OCTOBER 28, 2007
4	NEW EXPOSED JOINTS	OCTOBER 28, 2007
5	NEW EXPOSED JOINTS	OCTOBER 28, 2007
6	NEW EXPOSED JOINTS	OCTOBER 28, 2007
7	NEW EXPOSED JOINTS	OCTOBER 28, 2007
8	NEW EXPOSED JOINTS	OCTOBER 28, 2007
9	NEW EXPOSED JOINTS	OCTOBER 28, 2007
10	NEW EXPOSED JOINTS	OCTOBER 28, 2007

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
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PROJECT NO. 041106 PROJECT TITLE: PORTRHOLE RESTAURANT  
SCALE: AS NOTED SHEET TITLE: TYPICAL WALL / CEILING ASSEMBLIES



INTERIOR ELEVATIONS  
3/8" = 1'-0"

100 % PROGRESS SET - JANUARY 12, 2009  
REL. FOR PERMITTING AND CONSTRUCTION

PORTHOLE RESTAURANT RENOVATION  
16 CUSTOM HOUSE WHARF  
PORTLAND, MAINE

A-600

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.  
1344 WASHINGTON AVENUE PORTLAND, MAINE  
PROJECT NO. 041106 PROJECT TITLE: PORTHOLE RESTAURANT  
SCALE: 3/8" = 1'-0" SHEET TITLE: INTERIOR ELEVATIONS  
PH. (207) 797-8661 FAX (207) 797-8533