

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number 060004 2006
JAN 20 2006

Please Read Application And Notes, If Any, Attached

This is to certify that PROPRIETORS OF CUSTOMER HOUSE WHARF ATTN G...AC

has permission to two entry way door relocation one entry veranda repair/repl...piles, install floor--Floor Shimming

AT 86 COMMERCIAL ST... 030 A001001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is occupied or closed-in 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. PER CAPT. CASI

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0044	Date Applied For: 01/10/2006	CBL: 030 A001001
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Location of Construction: 86 COMMERCIAL ST	Owner Name: PROPRIETORS OF CUSTOM HO	Owner Address: 5 EASTERN PROMENADE	Phone:
Business Name:	Contractor Name: Ken Macgowan	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial/ Restaurant - Interior and exterior renovations/ repair/replace piles, install new sub-floor, repair & replace cross members	Proposed Project Description: Interior and exterior renovations/ repair/replace piles, install new sub-floor, repair & replace cross members
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/13/2006

Note: Boone's Restaurant is a legal nonconforming use

Ok to Issue:

- 1) Moving the entry way and replacing the entry doors is the only change of area allowed for this legal nonconforming restaurant use. No other expansion of use is permitted.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 01/20/2006

Note:

Ok to Issue:

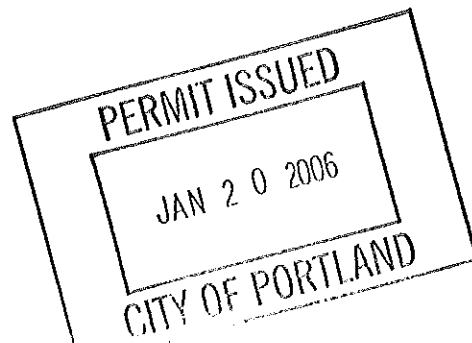
- 1) This is for shimming the floor only, no use of the space can be approved until all of the structural repairs to the pair have been properly designed and permitted.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 01/16/2006

Note:

Ok to Issue:

- 1) All building construction to comply with NFPA 101



Ken MacGowan

30-A-1

**City of Portland
Inspection Services
RETURN OF SERVICE**

On the 23rd day of Jan, 2006, I made service of the
attached letter upon Ken MacGowan
at City Hall.

By delivering a copy in hand.

By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is

By delivering a copy to an agent authorized to receive service of process, and whose name is

By (describe other manner of service)

DATED: 1/23/06

[Signature]
Signature of Person Making Service

C.E.O.
Title

I have received the above-referenced documents

[Signature]
Signature of Person Receiving Service

Refused to Sign

Unable to Sign



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Development
Department
Lee D. Urban, Director

Inspection Services Director
Michael J. Nugent

January 20, 2006

Proprietors of Custom House
5 Eastern Promenade
Portland, Maine 04101

CBL: 030 A001001
Located at 86 Commercial Street

Dear Proprietors of Custom House,

POSTING NOTICE

An evaluation of the above-referenced property on 01/13/2006 revealed that the structure fails to comply with Section 115.1 of the Building Code of the City of Portland.

Attached is a list of the violations.

STRUCTURALLY UNSOUND

Based on the above finding, and pursuant to Section 115.2, this office declares the building unfit for occupancy. A re-inspection of the premises will occur on 02/13/2006, at which time the building must be totally vacated and secured from vandalism.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in section 1-15 of the Code in Title 30-A of M.R.S.A. ss 4452.

This constitutes an appealable decision pursuant Section 6-112.1 of the Code. Please feel free to contact me if you have any questions or would like to discuss this matter further.

Sincerely,

Arthur Rowe @ (207)874-8697
Building Inspector



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Michael J. Nugent- Inspections Division Director*

January 03, 2006

PROPRIETORS OF CUSTOM HOUSE
5 EASTERN PROMENADE
PORTLAND, ME 04101

CBL: 030 A001001
Located at 86 COMMERCIAL ST

Certified Mail 70022410000081325300

Dear G E MacGowan,

STOP WORK ORDER

An evaluation of the above-referenced property on 01/03/2006 revealed that building construction was being conducted without benefit of a valid building permit as required by Section 105.1 of the 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

Appropriate permitting has not been issued for the property listed above, therefore all construction activity at that property must STOP immediately. This is a STOP WORK ORDER pursuant to Section 114. of 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

You may resume construction activity only after issuance of the appropriate building permit and the subsequent lifting of this order. Building Permit Applications are available in this office, Room 315 at Portland City Hall, from 8:00 a.m. to 4:00 p.m. weekdays except holidays.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A of M.R.S.A. Section 4452. This constitutes an appealable decision pursuant to Section 112 of the City of Portland Building Code.

If you wish to discuss this matter, or you have any questions, please feel free to contact me.

Sincerely,

Arthur Rowe @ (207) 874-8697
Building Inspector

City of Portland
Inspection Services
RETURN OF SERVICE

On the 3rd day of January, 2006 I made service of the stop work order no building permit

upon, Ken MacGowan, at Boone's (86 am. St.).

By delivering a copy in hand.

By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is _____.

By delivering a copy to an agent authorized to receive service of process, and whose name is _____.

By (describe other manner of service) _____

Signature of Person Making Service

DATED: 1/4/06

R. Rowe

I have received the above referenced documents

Person Receiving Service

X SHC

Refused to sign

Unable to sign

3 April 2006

Mr. Michael Nugent, Manager
Inspection Services Program
Planning & Development Department
City of Portland
389 Congress Street
Portland, ME 04101

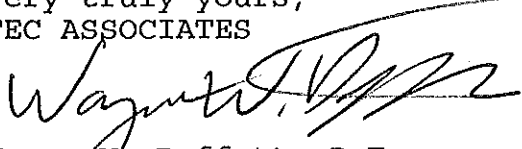
Re: Proprietors of Custom House Wharf
Restaurant Renovation

Dear Mr. Nugent:

The renovations to the former Boone's Restaurant at Custom House Wharf require strengthening the wall along the street side of the building. This wall is presently timbers stacked against the exterior post. The knee-wall will be poured along 60 lf of the wall and will encapsulate the end posts and provide 100% bearing for the sill under the west building wall. The owner desires to install this wall upon your approval. Please call me with any questions.

I am surveying the pile condition under the remainder of the restaurant and will providing repair plans in the next few weeks.

Very truly yours,
TEC ASSOCIATES


Wayne W. Duffett, P.E.

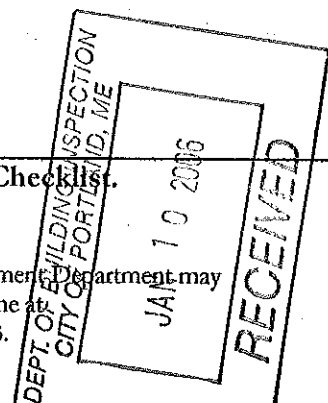
cc: Kenneth Macgowan



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>6 Custom House Wharf</u>		
Total Square Footage of Proposed Structure (existing): <u>4032' sq</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>030 A 001 001</u>	Owner: <u>Prop. of Custom House Wharf</u>	Telephone: <u>207-831-0169</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Kenneth Macgowan 18 Custom House Wharf Portland ME 04105</u>	Cost Of <u>9,500.00</u> Work: \$ <u>34,500.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Restaurant</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Restaurant</u>		
Project description: <u>Replace doors + entryway \$4000 Repair 12 piles + wrap with concrete \$2500 Replace 3 12'x12" beams + 12 4'x10" cross members \$1500 install new sub floor on top of concrete (see enclosed) 1500 install new bathrooms \$2500 (submit plans soon) (see enclosed)</u>		
Contractor's name, address & telephone: <u>in house (plumbing + electric to be sub out)</u>		
Who should we contact when the permit is ready: <u>Ken Macgowan</u>		
Mailing address: <u>18 Custom House Wharf Portland ME 04105</u>		Phone: <u>831-0169</u>



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>1-9-06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

12 January 2006

Mr. Michael Nugent, Manager
Inspection Services Program
Planning & Development Department
City of Portland
389 Congress Street
Portland, ME 04101

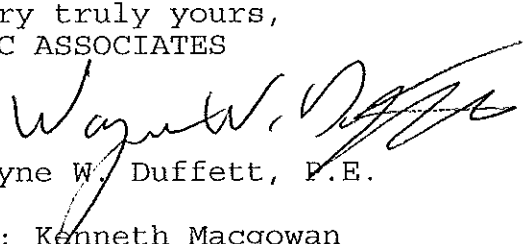
Re: Proprietors of Custom House Wharf
Restaurant Renovation

Dear Mr. Nugent:

I have examined the former Boone's Restaurant on Custom House Wharf which is to be renovated. The existing concrete floor is several inches out of level which the owner proposes to correct by building a wood-framed floor cut and shimmed as necessary to provide uniform bearing on the concrete. The substrate is to be 3/4" plywood and the covering will be carpet. Depending on the final choice of covering, I estimate the loading imposed by this construction to be 10-12 pounds per square foot. It is my understanding that the owner will furnish you with a plan of the proposed floor.

As part of the renovations, the owner has asked that I inspect the timber pier under the affected area and prepare a plan of the work he has completed and any additional work necessary to provide the floor capacity required by code. As I understand it, the owner will be allowed to continue work inside the building but no occupancy permit will be issued until any necessary structural repairs to the pier are complete.

Very truly yours,
TEC ASSOCIATES


Wayne W. Duffett, P.E.

cc: Kenneth Macgowan

TEC ASSOCIATES CONSULTING ENGINEERS

12 January 2006

Mr. Michael Nugent, Manager
Inspection Services Program
Planning & Development Department
City of Portland
389 Congress Street
Portland, ME 04101

Re: Proprietors of Custom House Wharf
Restaurant Renovation

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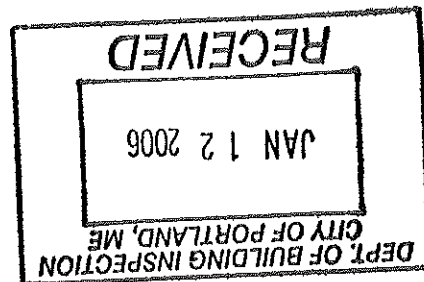
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Very truly yours,
TEC ASSOCIATES

Wayne W. Duffett, P.E.

cc: Kenneth Macgowan

30 A1
066094



EXISTING BACKWALL
TIMBERS, SIZE VARIES

SIDEWALK

EXISTING SILLS

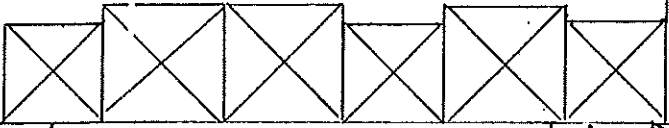
EXISTING 4" x 8" STRS

EXISTING 8" x 10" CAPS (LAID PLAT)

NOTES

1. CONCRETE SHALL BE MDDT CLASS B (3,000 PSI).
2. REINFORCEMENT SHALL BE GRADE 60, PLAIN STEEL.
3. BOTTOM OF FOOTING SHALL BE POURED ON UNDISTURBED EXISTING MATERIAL.
4. WALL SHALL BE POURED TO AN ELEVATION MATCHING BOTTOM OF EXISTING SILLS.

EXISTING GRADE



3 BARS @ 12"

#3 BARS

2" x 4" KEY

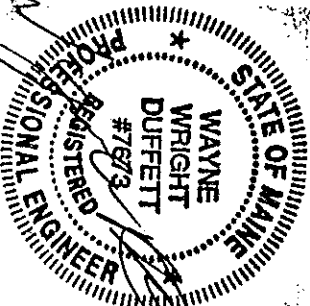
3'-6" (VARIES)

1'-6" +/-

2'-0"

3 BARS

Wayne 232-3581



PROPRIETORS OF CUSTOM HOUSE WHARF
PORTLAND, MAINE

RESTAURANT RENOVATION
CONCRETE KNEEWALL

TECASSOCIATES CONSULTING ENGINEERS

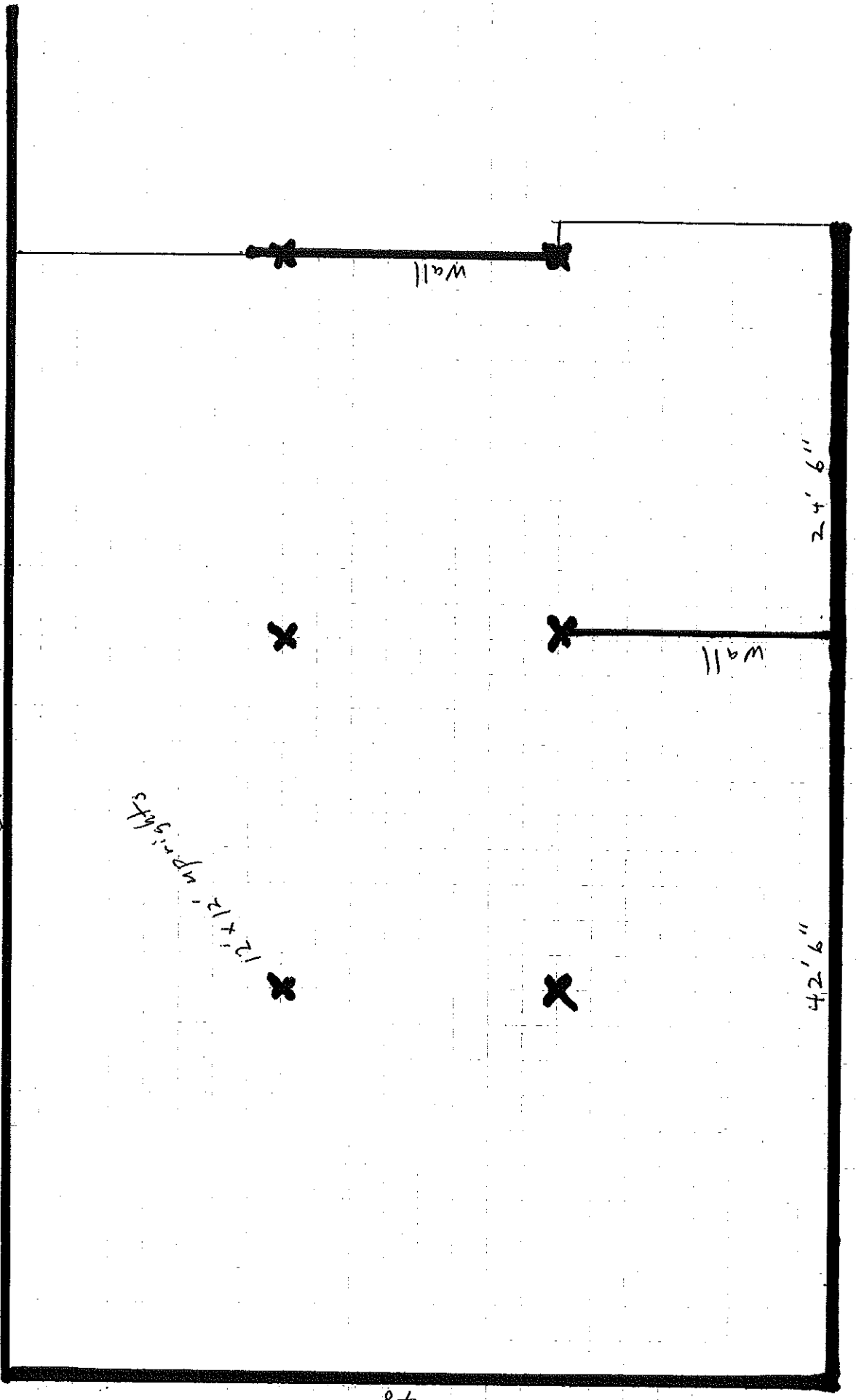
169 Front Street, South Portland, Maine 04106

SCALE	DATE	4/3/06
JOB NO.	DRWN BY	WD
	REV. NO.	
	DRWG NO.	1 OF 1

Pa
1
in
Orig. package

(Area to be subfloored)

Deck



12'12' spacers

Wall

Wall

48'

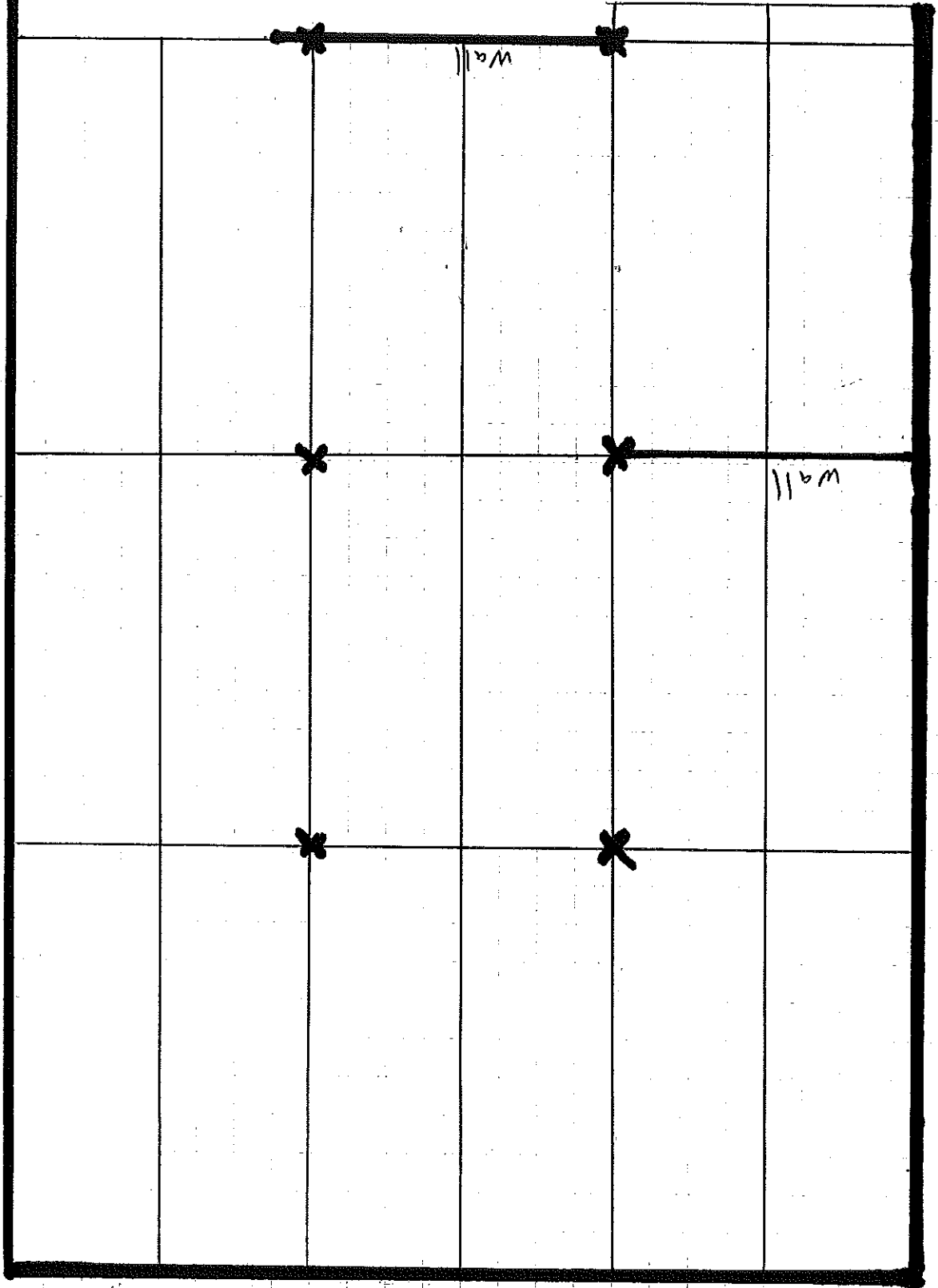
24'6"

42'6"

Road

Deck

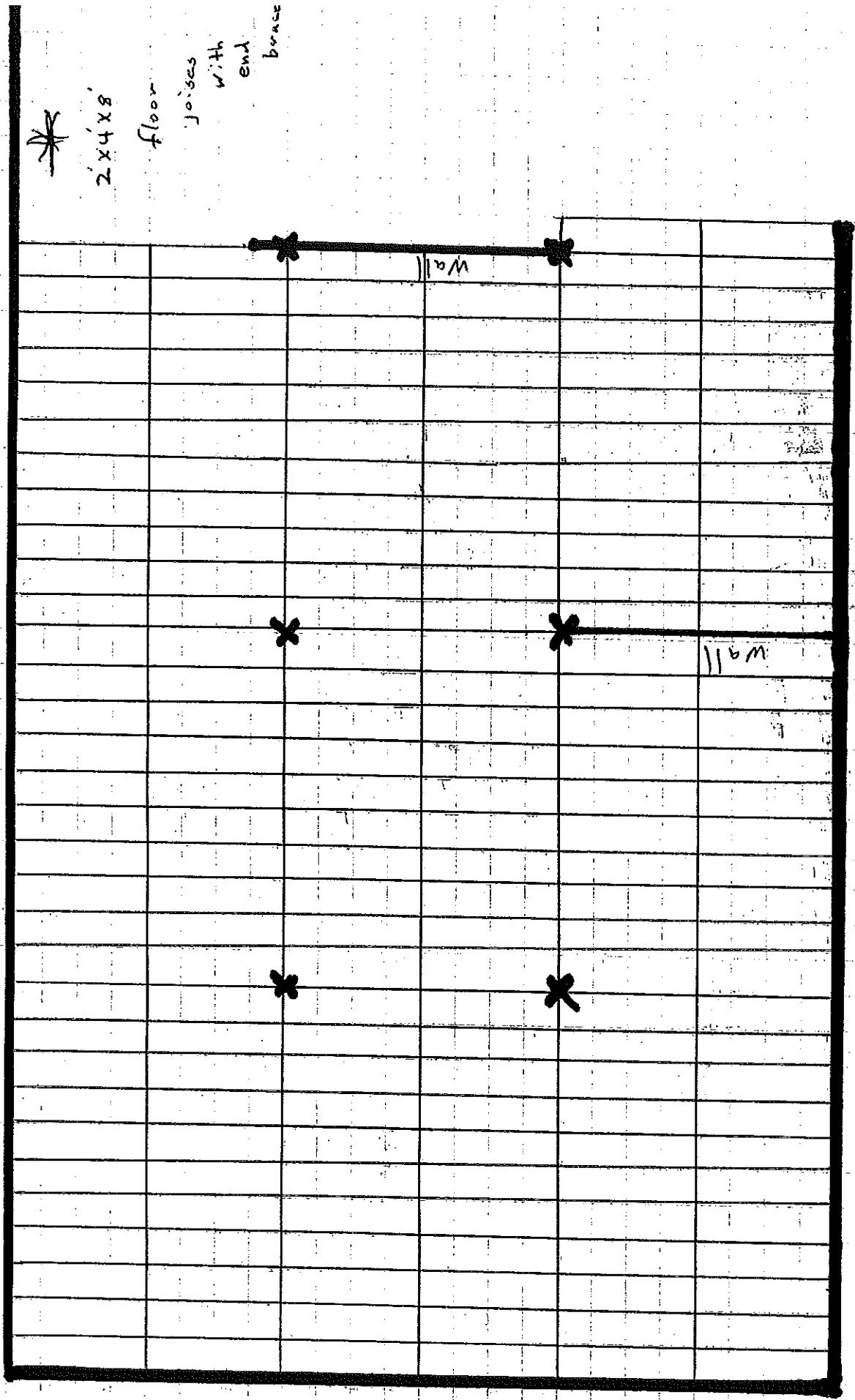
* 2' x 8' Framing (shimmed or splayed as needed)



Road

Deck

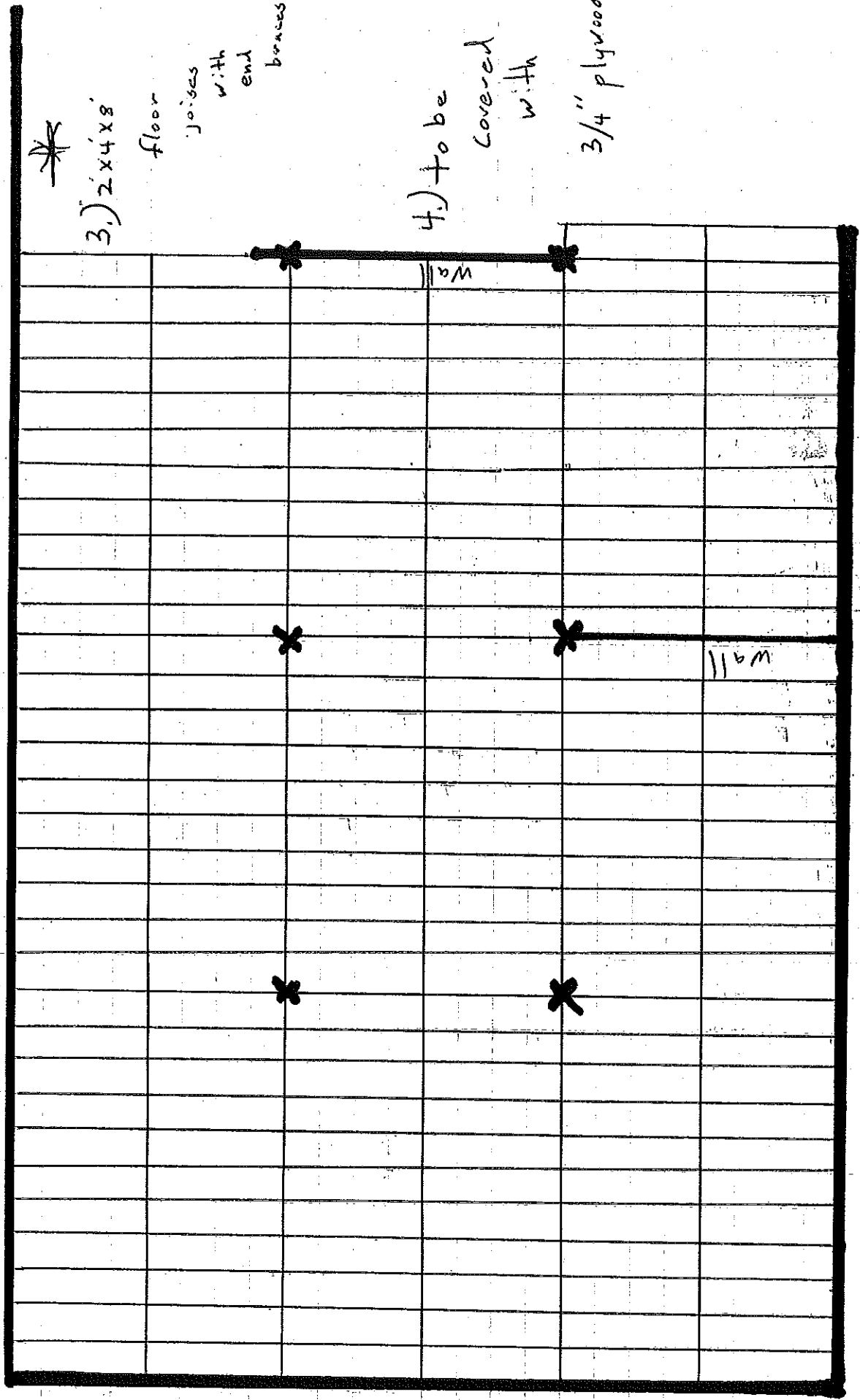
2' x 8' Framing (shimmed or shaved as needed)



Road

Deck

2.) 2' x 8' Framing (skinned or sheared as needed)



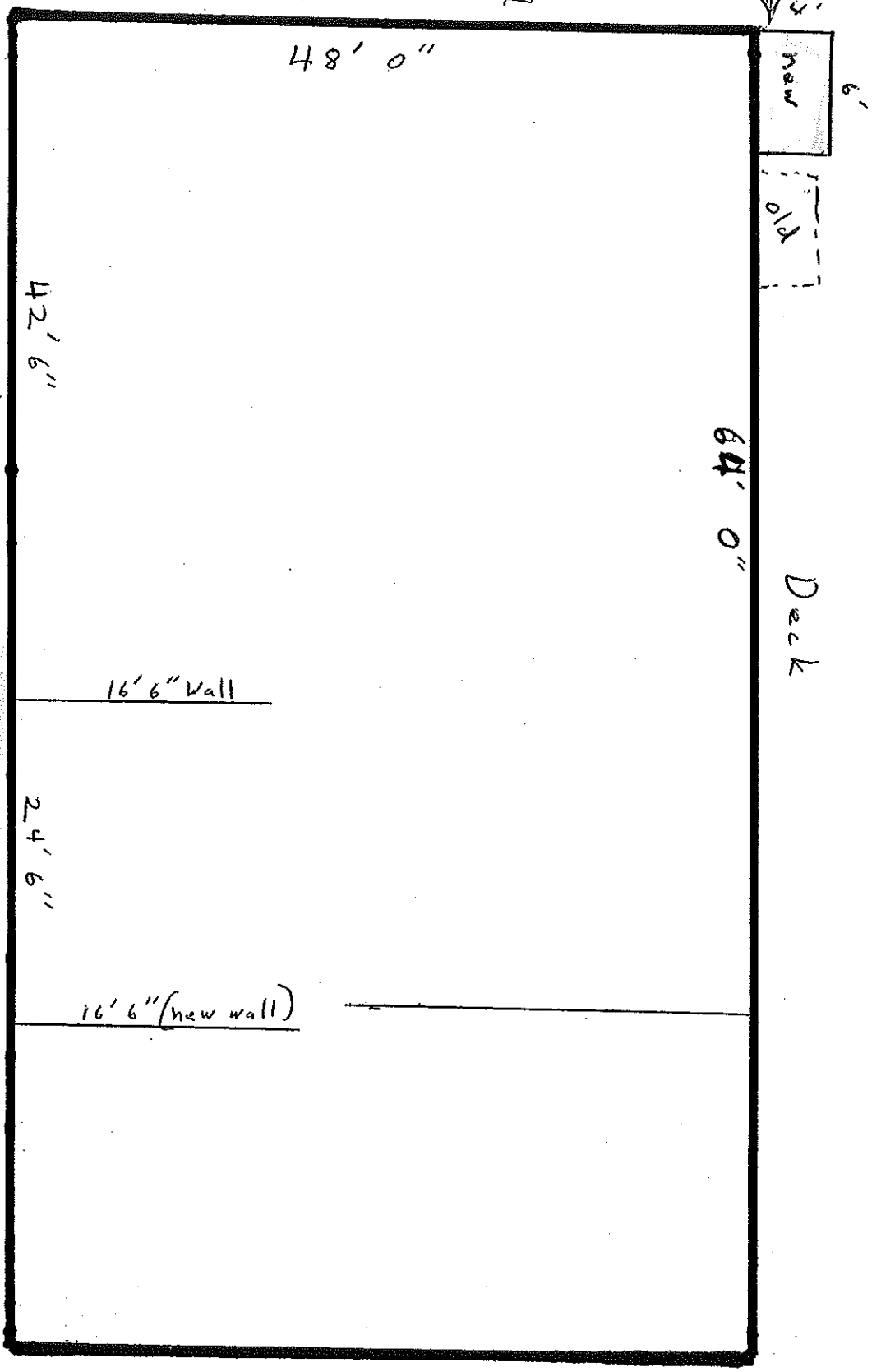
Road

Moving

two doors + one cover entry way

OK

No other test forward expansion
permitted



Road

new door

old door

42' 6"

48' 0"

64' 0"

Deck

16' 6" wall

24' 6"

16' 6" (new wall)

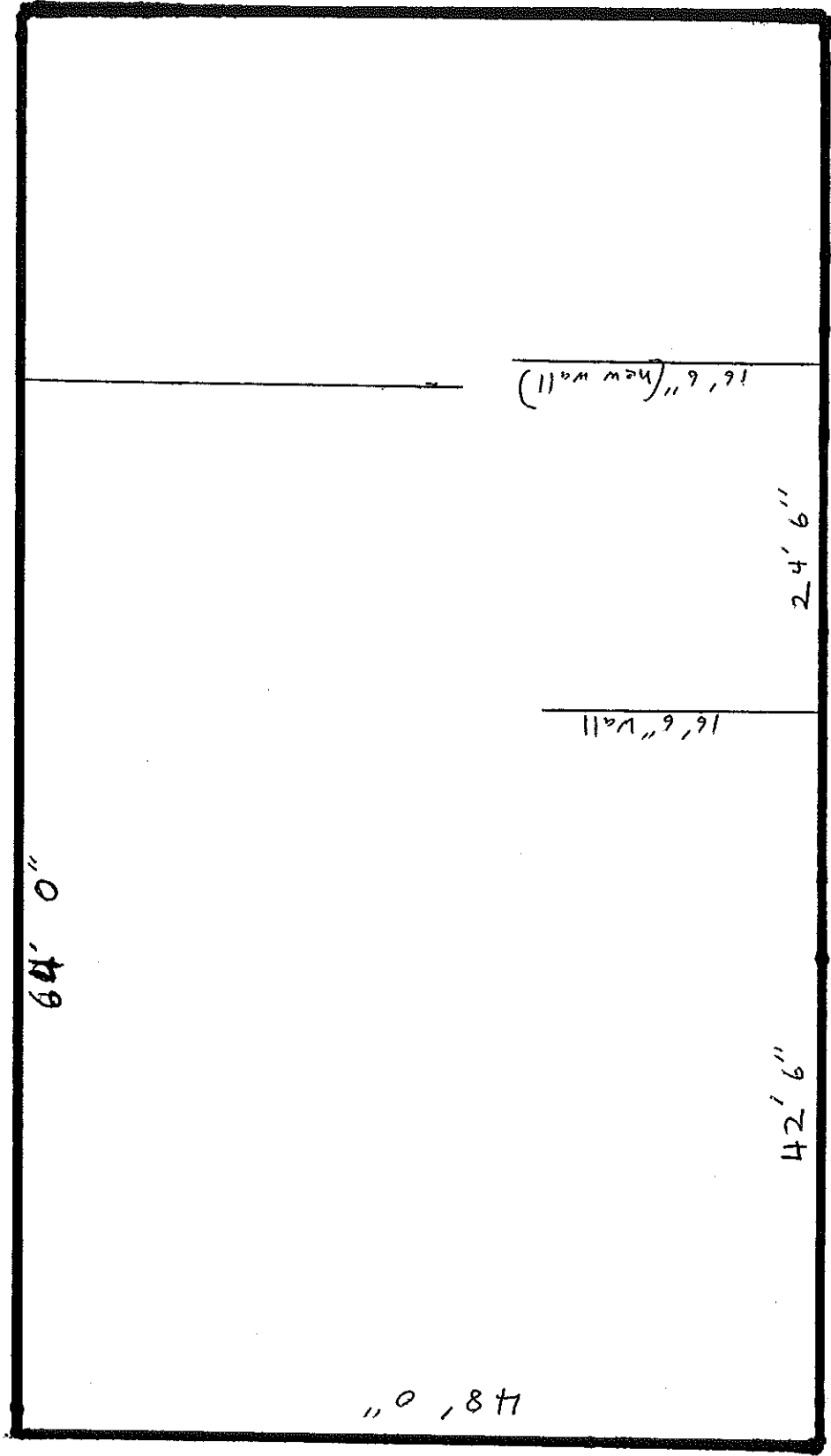
new

old

Sub - Floor Plan to be done with 2"x4's, 2"x6's, or 2"x8's framing for leveling purposes covered with 3/4" plywood

3072 sq ft

Deck



Road

4/10/06 Inspection for footing, Questions, Called
owner + engineer GUY J. Bisenti

4/11/06 M.J.N. and J. Bisenti met w/ engineer. Corrections
to be done to comply w/ plans. ~~OK~~

4/14/06 Footing inspection passed OK
Dug out to wall line. He wanted to get
all in w/ concrete - NO - Frost w/ all on
wall - needs to be formed straight - separate
pour