

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 01-0582	Issue Date: MAY 30 2001
CBL: 030 A001001	

Location of Construction: 86 Commercial St	Owner Name: Proprietors Of Custom House	Owner Address: 5 Eastern Freeway, Portland, ME 04101	Phone: 207-871-1001
Business Name: n/a	Contractor Name: CPM Constructors	Contractor Address: 30 Bonney Rd. Freeport	Phone: 2078650000
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Demolitions	Zone: WCE

Past Use: Commercial: SeaFood Processing; Vacant for 1 year.	Proposed Use: Demolition of Existing Building.	Permit Fee: \$252.00	Cost of Work: \$38,000.00	CEO District: 1
Proposed Project Description: Demolition of Wharf Components ONLY.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>Demo.</i> Type: <i>Demo.</i>	

PERMIT ISSUED WITH REQUIREMENTS
 PERMIT ISSUED 10/19/97

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 05/24/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Any rebuild Needs to meet all Ordinances and requires a building permit</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/29/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted. ✓

86 Commercial St.

Location/Address of Construction: Custom House Wharf, Portland (off Commercial Street)

Total Square Footage of Proposed Structure N/A - DEMOLITION	Square Footage of Lot WHARF-51,860 TOTAL PARCEL-146,186
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Tax Assessor's Chart, Block & Lot Number Chart# 30 Block# A Lot# 1-2	Owner: The Proprietors of Custom House Wharf 5 Eastern Promenade Portland, ME 04101	Telephone#: 207-871-1001 (Kenneth Macgowan)
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Lessee/Buyer's Name (If Applicable) N/A	Owner's/Purchaser/Lessee Address: SEE ABOVE	Cost Of Work: \$ 38,000	Fee: \$ 252.00
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Current use: VACANT SPACE ON WHARF, IN PREPARATION FOR REPLACEMENT OF PRIOR STRUCTURE.

If the location is currently vacant, what was prior use: SEAFOOD PROCESSING/STORAGE

Approximately how long has it been vacant: REMOVAL OF PRIOR STRUCTURE COMMENCED 1999, INTO 2000. STRUCTURE HAS BEEN FULLY REMOVED EXCEPT FOR PORTIONS OF FOOTINGS/FOUNDATION.

Proposed use: MARINE & ACCESSORY - SEE PLANNING BOARD APPROVAL DATED 10/5/1999. ✓

Project description: SEE PLANNING BOARD APPROVAL DATED 10/5/1999. PERMIT SOUGHT IS FOR DEMOLITION OF WHARF COMPONENTS ONLY; FULL BUILDING PERMIT REQUESTED SEPARATELY. ✓

Contractor's Name, Address & Telephone: CPM Constructors 207-865-0000
30 Bonney Rd.
Freeport, ME 04032

Applicants Name, Address & Telephone: Proprietors of Custom House Wharf 207-871-1001
5 Eastern Promenade (Kenneth Macgowan)
Portland, ME 04101

Who should we contact when the permit is ready: Wayne Duffett - TEC Associates

Telephone: 207-767-6068 ALSO Jay Meyer - 207-774-7600 (Counsel)

If you would like the permit mailed, what mailing address should we use:
Kenneth Macgowan
Maine Home Mortgage
5 Milk Street
Portland, ME 04101

5/24
Rec'd By: CH

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

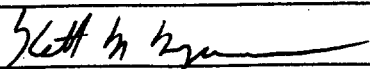
Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

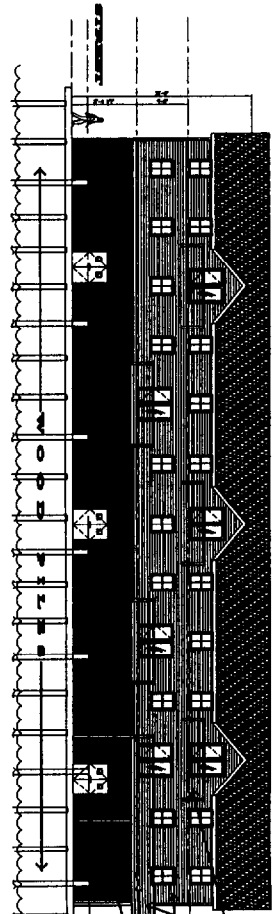
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

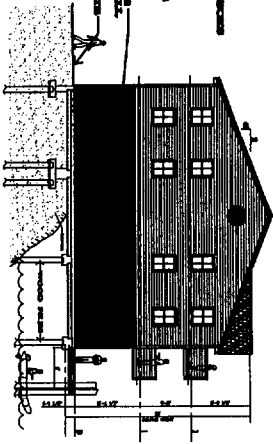


Date: May 25, 2001

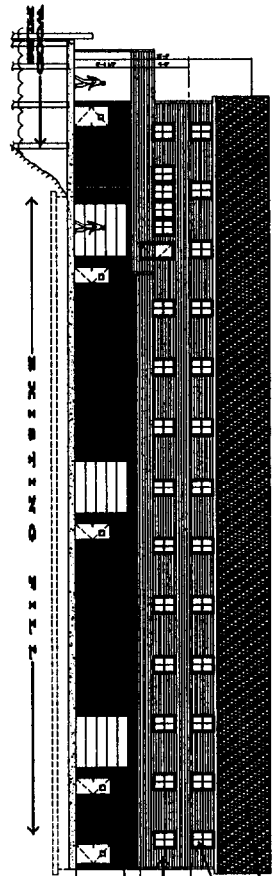
NOTE - PLANS ARE INCOMPLETE. FULL, UPDATED PLANS HAVE BEEN SUBMITTED TO PLANNING.



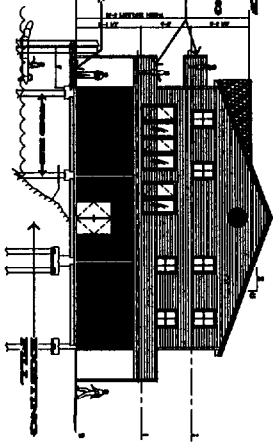
SOUTHEAST ELEVATION
1/8" = 1'-0"



VIEW FROM COMMERCIAL STREET
1/8" = 1'-0"



NORTHWEST ELEVATION
1/8" = 1'-0"



VIEW FROM CASCO BAY
1/8" = 1'-0"

EXTERIOR BUILDING ELEVATIONS

GENERAL NOTES

1/8" = 1'-0"

1. THE OWNER HAS CONSULTED WITH THE ARCHITECT AND HAS AGREED TO THE GENERAL CONCEPTS AND DESIGN OF THIS PROJECT. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SINCE THE DATE OF THE LAST MEETING. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SINCE THE DATE OF THE LAST MEETING. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SINCE THE DATE OF THE LAST MEETING.

REL. PER CITY APPROVAL - AUGUST 18, 1999
NOT FOR CONSTRUCTION

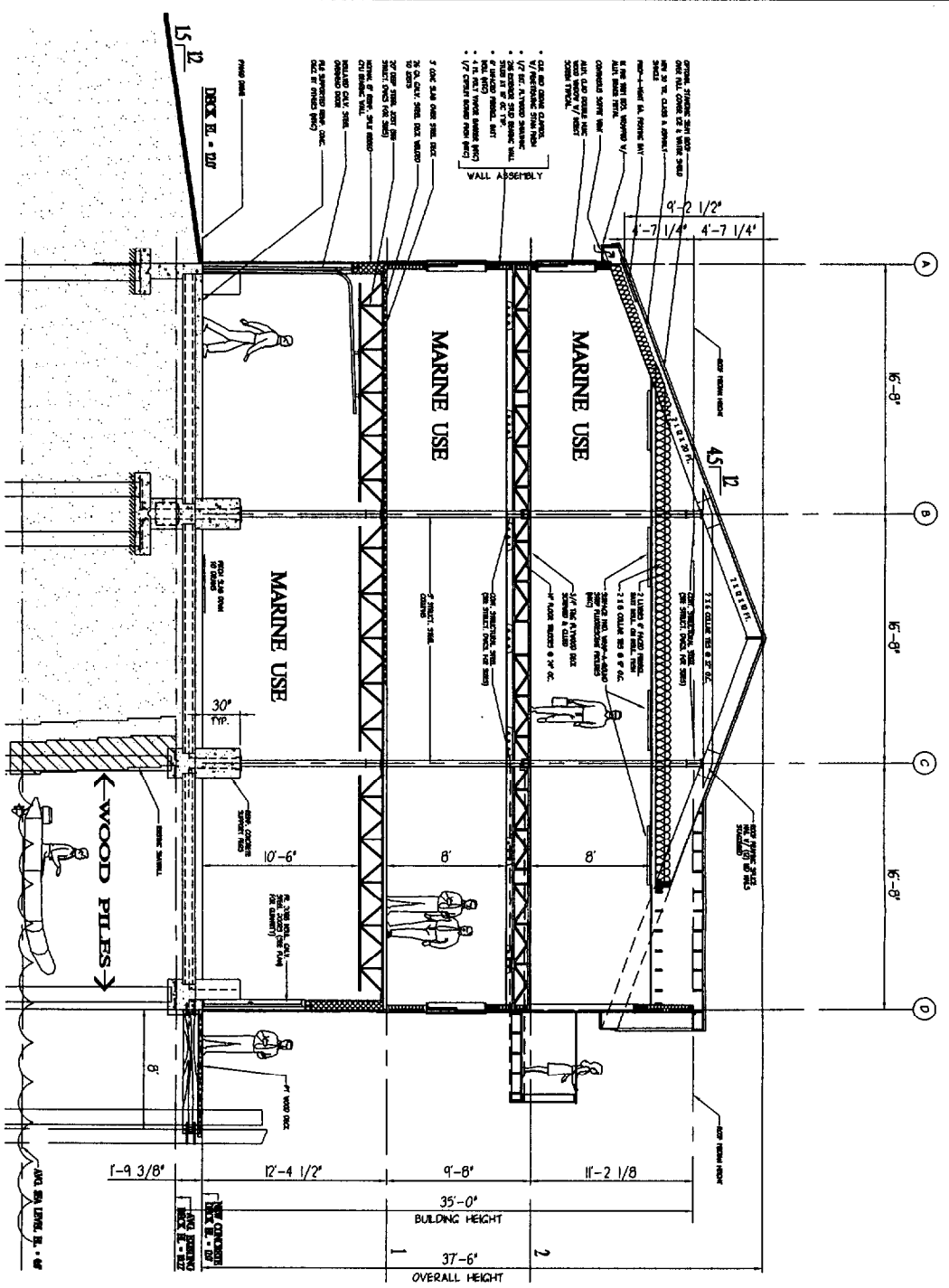
LANDING DECK FACILITY
CUSTOMER SERVICE CENTER
PORTLAND WATERMENT PLANT

A-400

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
11 SUNSET ROAD PALMOUTH MAINE ME 03972-0001
PHONE NO. 583-7777 FAX NO. 583-7777
E-MAIL: DDL@DDLEASURE.COM
WWW: WWW.DDLEASURE.COM

NO.	DATE	DESCRIPTION
1	10/15/99	SCHEMATIC SITE PLAN
2	11/15/99	SCHEMATIC SITE PLAN
3	12/15/99	SCHEMATIC SITE PLAN
4	1/15/00	SCHEMATIC SITE PLAN
5	2/15/00	SCHEMATIC SITE PLAN
6	3/15/00	SCHEMATIC SITE PLAN
7	4/15/00	SCHEMATIC SITE PLAN
8	5/15/00	SCHEMATIC SITE PLAN
9	6/15/00	SCHEMATIC SITE PLAN
10	7/15/00	SCHEMATIC SITE PLAN
11	8/15/00	SCHEMATIC SITE PLAN
12	9/15/00	SCHEMATIC SITE PLAN
13	10/15/00	SCHEMATIC SITE PLAN
14	11/15/00	SCHEMATIC SITE PLAN
15	12/15/00	SCHEMATIC SITE PLAN
16	1/15/01	SCHEMATIC SITE PLAN
17	2/15/01	SCHEMATIC SITE PLAN
18	3/15/01	SCHEMATIC SITE PLAN
19	4/15/01	SCHEMATIC SITE PLAN
20	5/15/01	SCHEMATIC SITE PLAN
21	6/15/01	SCHEMATIC SITE PLAN
22	7/15/01	SCHEMATIC SITE PLAN
23	8/15/01	SCHEMATIC SITE PLAN
24	9/15/01	SCHEMATIC SITE PLAN
25	10/15/01	SCHEMATIC SITE PLAN
26	11/15/01	SCHEMATIC SITE PLAN
27	12/15/01	SCHEMATIC SITE PLAN
28	1/15/02	SCHEMATIC SITE PLAN
29	2/15/02	SCHEMATIC SITE PLAN
30	3/15/02	SCHEMATIC SITE PLAN
31	4/15/02	SCHEMATIC SITE PLAN
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33	6/15/02	SCHEMATIC SITE PLAN
34	7/15/02	SCHEMATIC SITE PLAN
35	8/15/02	SCHEMATIC SITE PLAN
36	9/15/02	SCHEMATIC SITE PLAN
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86	11/15/06	SCHEMATIC SITE PLAN
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88	1/15/07	SCHEMATIC SITE PLAN
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92	5/15/07	SCHEMATIC SITE PLAN
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94	7/15/07	SCHEMATIC SITE PLAN
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97	10/15/07	SCHEMATIC SITE PLAN
98	11/15/07	SCHEMATIC SITE PLAN
99	12/15/07	SCHEMATIC SITE PLAN
100	1/15/08	SCHEMATIC SITE PLAN





COMPOSITE BUILDING SECTION "B"

3/8" = 1'-0"

REL. FOR CITY PERMITS - AUGUST 14, 1999
NOT FOR CONSTRUCTION

MARINE USE FACILITY
CENTRAL BRIDGE WAREHOUSE
PENNSYLVANIA WATERWAY, MAINE

A-501

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 11 SUNSET ROAD FALMOUTH MAINE TEL. 603 787-0000
 PROJECT NO. 0001 PROJECT TITLE MARINE USE FACILITY - CENTRAL BRIDGE WAREHOUSE
 SCALE 3/8" = 1'-0" SHEET TITLE SCHEMATIC SITE PLAN

DATE	DESCRIPTION



C-200

MANAGE THE FACILITY
CONSTRUCT THE FACILITY
PROVIDE MANAGEMENT PLAN

REEL FOR CITY PERMITS - AUGUST 16, 1999
NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES, INC.

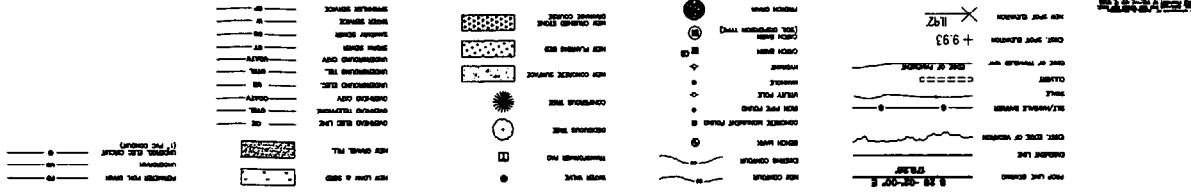
1805 MARKET STREET, SUITE 1000, DENVER, COLORADO 80202
 303.733.9393
 WWW.DDLA.COM
FALMOUTH MARINA
MANAGE THE FACILITY - GENERAL PERMITS PLAN



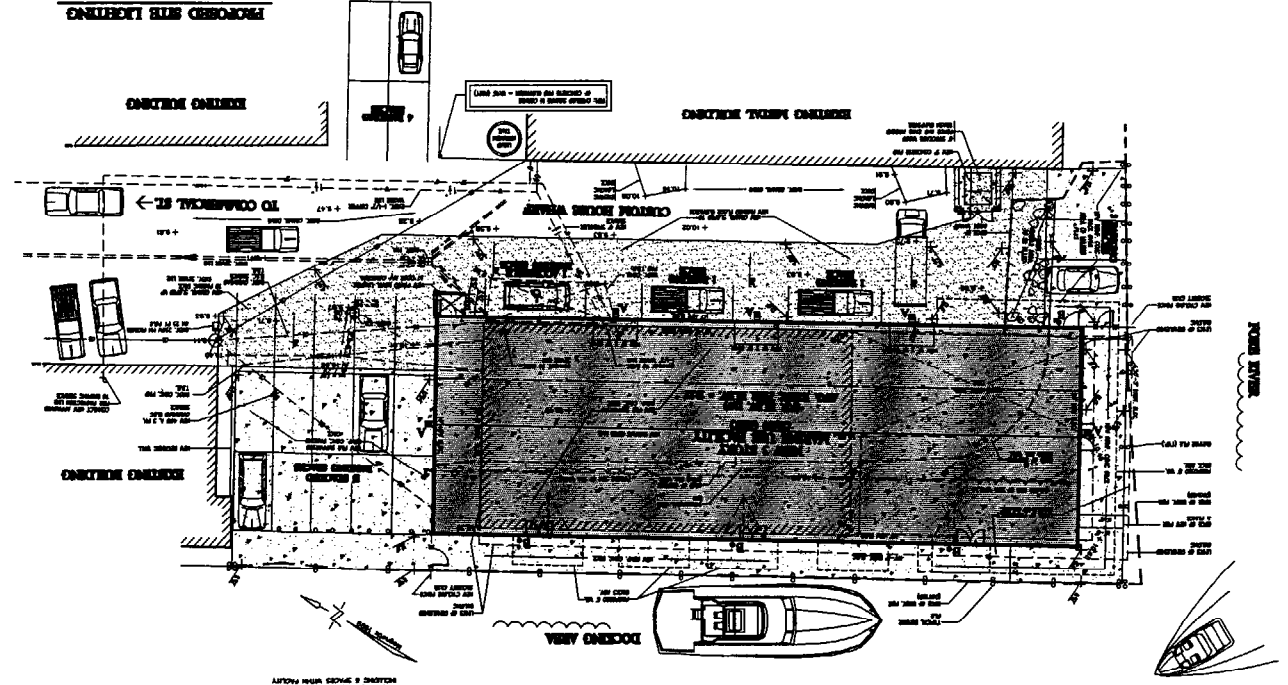
GENERAL NOTES

1. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
2. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
3. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.

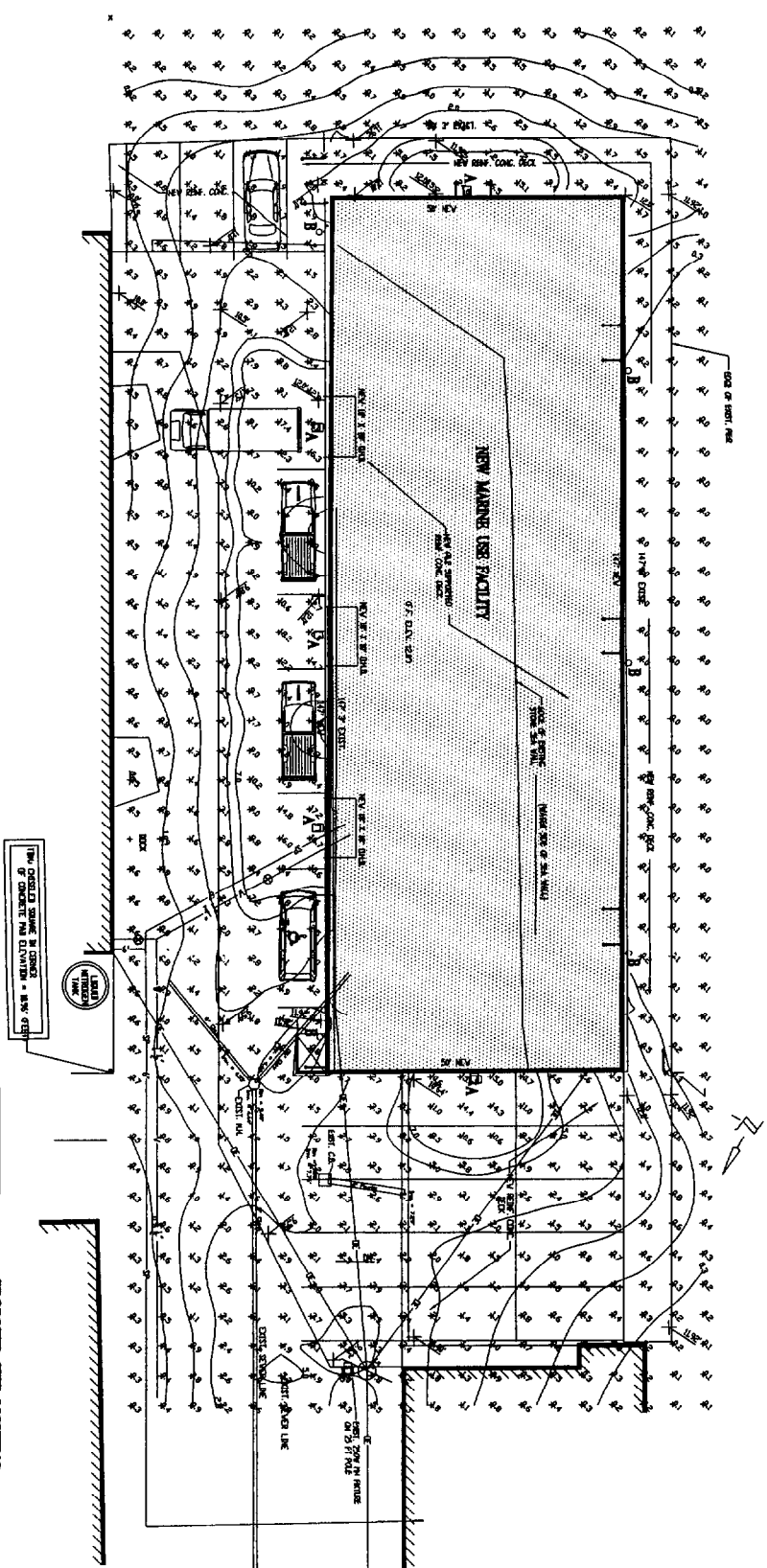
PLAN REFERENCES



SCHMATIC SITE PLAN



1. SECOND OWNER OF PROPERTY (PROVIDER OF CREDIT) SHALL PROVIDE A BUDGETED BOND OR OTHER FORM OF SECURITY TO COVER THE COST OF THE PROJECT.
2. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
3. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
4. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
5. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
6. THE PROPOSED FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.



PHOTOMETRIC CONTOUR PLAN
N15

THE ORIGINAL WORKING DRAWING IS TO BE USED FOR CONSTRUCTION OF CONCRETE AND DIMENSIONS - SEE OTHER SHEETS

PROPOSED SITE LIGHTING

- A. 1/2" = 10' - LIGHTING FIXTURES AND LUMINAIRE
- B. 1/4" = 10' - LIGHTING FIXTURES AND LUMINAIRE

REL. PRR CITY APPROVALS - AUGUST 8, 1999
NOT FOR CONSTRUCTION

MAINE USE FACILITY
CENTRAL BLDG. WAREHOUSE
PORTLAND WAREHOUSE MAINE

C-201

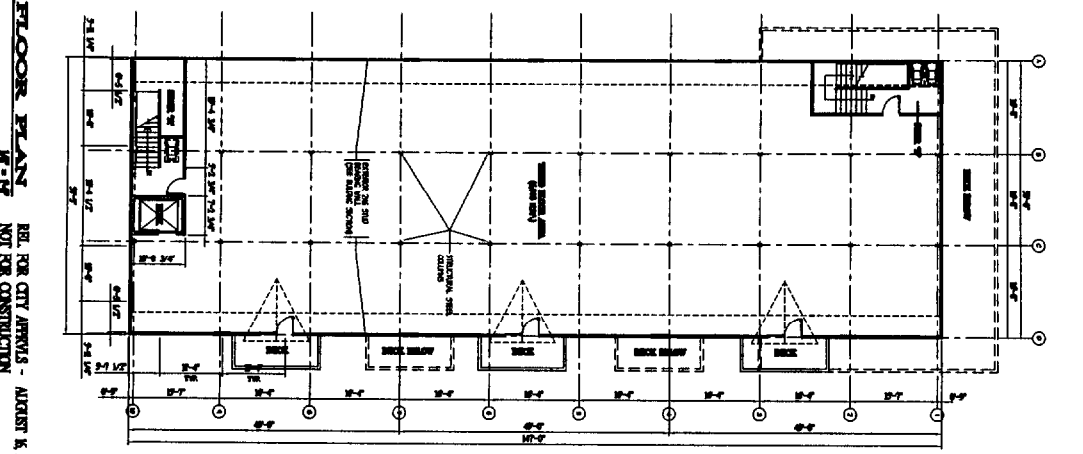
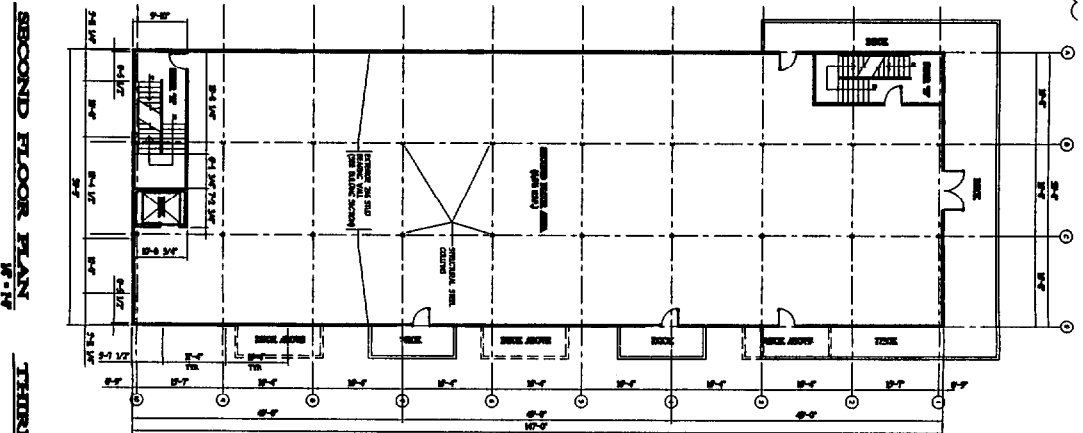
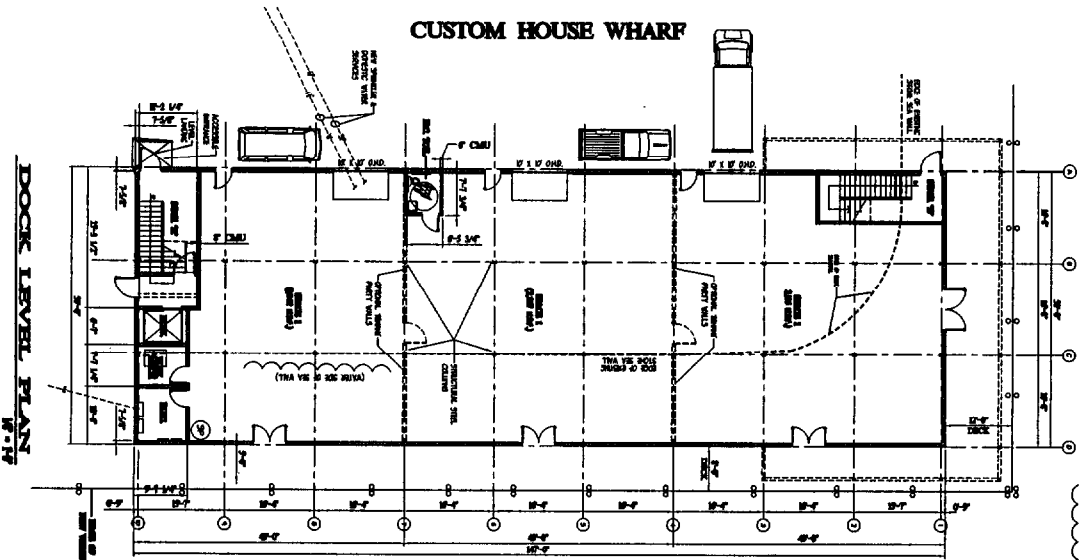
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
18 SUNSET ROAD PALMOUTH MAINE TEL 603 977-0882
PROJECT NO. 9903 PROJECT TITLE MAINE USE FACILITY - CENTRAL BLDG. WAREHOUSE
SCALE 1/4"=10' SHEET TITLE PHOTOMETRIC CONTOUR PLAN

DATE	DESCRIPTION	BY	CHKD
JULY 8, 1999	ISSUED FOR PERMITS	D.D.L.	D.D.L.
AUG 18, 1999	REVISED FOR CONSTRUCTION	D.D.L.	D.D.L.



CUSTOM HOUSE WHARF

FORE RIVER



DOCK LEVEL PLAN 1/8" = 1'-0"

SECOND FLOOR PLAN 1/8" = 1'-0"

THIRD FLOOR PLAN 1/8" = 1'-0"

FLOOR PLANS

1/8" = 1'-0"

GENERAL NOTE

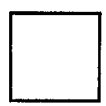
MAINE USE FACILITY
 CUSTOM HOUSE WHARF
 PORTLAND WATERFRONT MAINE

A-200

REL. NEW CITY ARRIVES - AUGUST 8, 1999
NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 14 SUNSET ROAD FALMOUTH MAINE TEL: 603-797-0000
 PROJECT NO. 0001 PROJECT TITLE MAINE USE FACILITY - CUSTOM HOUSE WHARF
 DRAWN P-02-C SHEET TITLE SCHEMATIC SITE PLAN

NO.	DATE	DESCRIPTION
1	11/10/98	SCHEMATIC SITE PLAN
2	11/10/98	SCHEMATIC SITE PLAN
3	11/10/98	SCHEMATIC SITE PLAN
4	11/10/98	SCHEMATIC SITE PLAN
5	11/10/98	SCHEMATIC SITE PLAN
6	11/10/98	SCHEMATIC SITE PLAN
7	11/10/98	SCHEMATIC SITE PLAN
8	11/10/98	SCHEMATIC SITE PLAN
9	11/10/98	SCHEMATIC SITE PLAN
10	11/10/98	SCHEMATIC SITE PLAN



BUILDING PERMIT REPORT

DATE: 27 MAY 2001 ADDRESS: 86 Commercial ST CBL: 030-A-0102

REASON FOR PERMIT: Demo. of Pier / For New Structure

BUILDING OWNER: The Proprietors of Custom House Wharf

PERMIT APPLICANT: CONTRACTOR CMP Constructors

USE GROUP: U CONSTRUCTION TYPE: _____ CONSTRUCTION COST: \$ 38,000 PERMIT FEES: \$ 25200

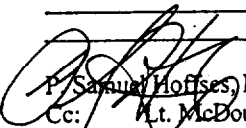
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1 *35 #37

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements. *any rebuild needs to meet all ordinance and requires a building permit*
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- * 38. ~~All demolition of structures shall comply with sections 110.0 with amendments 3310.0.~~


 P. Samuel Hoffses, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

THOMPSON, BULL, FUREY, BASS & MACCOLL, LLC, P.A.
COUNSELORS AT LAW

NICHOLAS BULL
MARK G. FUREY *
JOHN R. BASS, II
EDWARD S. MACCOLL
F. JAY MEYER **

* ALSO ADMITTED IN MA
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FACSIMILE (207) 772-1039

BENJAMIN THOMPSON
RETIRED

BENJAMIN THOMPSON
(1857-1918)
NATHAN W. THOMPSON
(1895-1969)

FACSIMILE TRANSMISSION COVER SHEET

Date: May 29, 2001

To: Michael Nugent & Sam Hoffses - City of Portland
CC: Wayne Duffett - TEC Associates

From: F. Jay Meyer

Facsimile Number(s): 874-8716; 767-7125

Regarding: Custom House Wharf - Application for Demolition Permit

We are transmitting a total of 2 page(s), including this cover sheet. If you do not receive all of the indicated pages, or have problems receiving this facsimile, please contact the sender at 207-774-7600. Our incoming facsimile number is 207-772-1039.

This facsimile may constitute a privileged attorney/client communication or otherwise confidential material. If you believe that you have received this facsimile in error, please contact the sender at 207-774-7600.

NOTES:

Dear Mike & Sam:

As you know, on Friday the Proprietors of Custom House Wharf submitted an application for a permit to conduct demolition at the southeastern end of Custom House Wharf. In connection with that application, attached is a "Demolition Call List" showing that the required notifications have been made.

Thank you for your attention to this matter. If you have any questions or comments, please do not hesitate to contact me.

F. Jay Meyer

Transmitted by: fjm
Time Transmitted: 0900 hrs.

City of Portland
Inspection Services Division
Demolition Call List

Main ends at
24 Custom House Wharf

Site Address: Custom House Wharf

Owner: The Proprietors of Custom House Wharf

Structure Type: N/A (Demolition)

Contractor: CPM Constructors

UTILITY APPROVALS

	<u>NUMBER</u>
Central Maine Power	1-800-750-4000
NYNEX	878-7000
Northern Utilities	797-8002 X6241
Portland Water District	761-8310
Public Cable Co.	775-3431 X257
Dig Safe***	1-888-344-7233

<u>CONTACT NAME/DATE</u>	
Jay	5/25/01
Barbara	5/25/01
Carly	5/25/01
Dave	5/25/01
Wendy	5/25/01
Dawn	5/25/01

Tom Maska, Engineer
Dave
2001211205

*** (After call, there is a wait of 72 bus hrs before digging can begin)

CITY APPROVALS

	<u>NUMBER</u>	<u>CONTACT NAME/DATE</u>
DPW/Sewer Division (J. DiPaolo)	874-8300 X8467	Joey 5/25/01
DPW/Traffic Division (K. Doughty)	874-8300 X8437	Larry Ash 5/25/01
DPW/Forestry Division (J. Terling)	874-8300 X8389	Tandy 5/25/01
DPW/Sealed Drain Permit (C. Merritt)	874-8300 X8822	Carol Merritt 5/25/01
Building Inspections (Insp required.)	874-8300 X8703	Dodine (Inspector) 5/25/01
Historic Preservation	874-8300 X8726	Jeffrey Harris 5/25/01
Fire Dispatcher	874-8300 X8676	Brian Cole (Capt.) 5/25/01

4-294

Written Notice to Adjoining Owners

ASBESTOS

	<u>NUMBER</u>	<u>CONTACT NAME/DATE</u>
DEP - Environmental (Augusta)	287-2651 (Ed Antz)	John Buel 5/25/01

√ U.S. EPA Region 1 - No phone call required. Just mail copy of State notification to:
Demo/Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above.

SIGNED: Wayne K. [Signature] DATE: 5/26/01

24 May 2001

Mr. Michael Nugent
Inspection Services
City of Portland
389 Congress Street
Portland, ME 04101
Via Fax: 874-8716

RE: Proprietors of Custom House Wharf

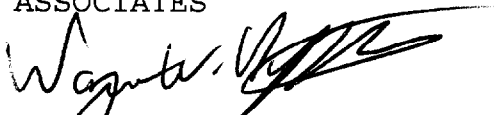
Dear Mr. Nugent:

The Proprietors of Custom House Wharf wish to continue with demolition at the site of their Marine Use Facility to be constructed at the southwest corner of Custom House Wharf. The demolition consists of the removal of timber piles, timber pile caps, timber stringers, and timber and concrete decking. All of this material is now in ruins and lies at or below the grade of the existing roadway. No demolition is proposed to stone seawalls or other structure related to the earth filled portion of the pier.

The limits of the demolition are the identical limits of the new construction. The easterly limit is the existing roadway. The northerly limit is along the existing timber pile supported pier (to remain). The westerly and southerly limits are the edge of the existing structure. The demolition will not affect or destabilize any other portions of the pier, any other structures on the pier, or affect any pier tenants or traffic.

Please call me with any questions.

Very truly yours,
TEC ASSOCIATES



Wayne W. Duffett, PE

cc: Ken McGowan
Jay Meyer