

29-5-1

1997-0063

145 Commercial St.

ATM

Key Bank of Maine

on Spreadsheet

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

19970063

I. D. Number

**Key Bank of Maine, Inc.**

Applicant

**One Canal Plaza, Portland, ME 04101**

Applicant's Mailing Address

**Sebago Tech/Stephen Doe**

Consultant/Agent

**856-0277** **856-2206**

Applicant or Agent Daytime Telephone, Fax

**9/10/97**

Application Date

**Key Bank/Commercial St**

Project Name/Description

**145 Commercial St**

Address of Proposed Site

**029-S-001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **ATM, Site Work**

**15,204 Sq Ft**

Proposed Building square Feet or # of Units 15,204 Sq Ft Acreage of Site                      Zoning                     

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots                       PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other                     

Fees Paid: Site Plan \$300.00 Subdivision                      Engineer Review                      Date: **9/10/97**

**DRC Approval Status:**

Reviewer **Jim Wendel**

Approved  Approved w/Conditions see attache  Denied

Approval Date **10/6/97** Approval Expiration **10/6/98** Extension to                       Additional Sheets Attached

Condition Compliance **Jim Wendel** **10/9/97**  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	<u>                    </u> date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Inspection Fee Paid	<u>                    </u> date	<u>                    </u> amount	
<input checked="" type="checkbox"/> Building Permit	<b>10/30/97</b> date		
<input type="checkbox"/> Performance Guarantee Reduced	<u>                    </u> date	<u>                    </u> remaining balance	<u>                    </u> signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	<u>                    </u> date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	<u>                    </u> date	<u>                    </u> signature	
<input type="checkbox"/> Certificate Of Occupancy	<u>                    </u> date		
<input type="checkbox"/> Performance Guarantee Released	<u>                    </u> date	<u>                    </u> signature	
<input type="checkbox"/> Defect Guarantee Submitted	<u>                    </u> submitted date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Defect Guarantee Released	<u>                    </u> date	<u>                    </u> signature	



## CITY OF PORTLAND

December 10, 1997

Key Bank of Maine, Inc.  
One Canal Plaza  
Portland, ME 04101

Re: 145 Commercial Street, ATM Machine

Dear Sir/Madame:

On October 9, 1997 the Portland Planning Authority granted minor site plan approval for an ATM machine located at 145 Commercial Street.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

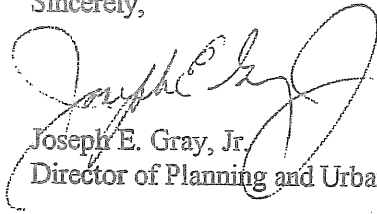
1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

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5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.  
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner  
Kandice Talbot, Planner  
P. Samuel Hoffses, Building Inspector  
Marge Schmuckal, Zoning Administrator  
Tony Lombardo, Project Engineer  
Development Review Coordinator  
William Bray, Deputy Director/City Traffic Engineer  
Jeff Tarling, City Arborist  
Natalie Burns, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Mary Gresik, Building Permit Secretary  
Kathleen Brown, Director of Economic Development  
Susan Doughty, Assessor's Office  
Approval Letter File

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

19970063  
I. D. Number

**Key Bank of Maine, Inc.**  
Applicant  
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Applicant's Mailing Address  
**Sebago Tech/Stephen Doe**  
Consultant/Agent  
**856-0277** **856-2206**  
Applicant or Agent Daytime Telephone, Fax

**9/10/97**  
Application Date  
**Key Bank/Commercial St**  
Project Name/Description

**145 Commercial St**  
Address of Proposed Site  
**029-S-001**  
Assessor's Reference: Chart-Block-Lot

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Proposed Building square Feet or # of Units 15,204 Sq Ft Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

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 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$300.00 Subdivisio \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 9/10/97

**Planning Approval Status:**

Reviewer Kandice Talbot

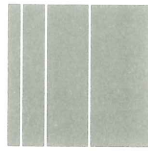
Approved  Approved w/Conditions See Attached  Denied

Approval Date 10/9/97 Approval Expiration 10/9/98 Extension to \_\_\_\_\_  Additional Sheets Attached  
 OK to Issue Building Permi Kandi Talbot 10/9/97  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input checked="" type="checkbox"/> Building Permit Issue	<u>10/30/97</u>		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



**SebagoTechnics**  
*Engineering & Planning for the Future*

September 23, 1997  
97029

Kandi Talbot, Planner  
Planner & Urban Development  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Key Bank Branch, Commercial Street**

Dear Kandi:

As requested, I am enclosing a copy of the cut sheet for the proposed ATM to be installed at the above referenced site. The actual ATM to be installed will be slightly smaller than the one shown since there will not be a night deposit.

If you have additional comments or questions, please call me.

Sincerely,

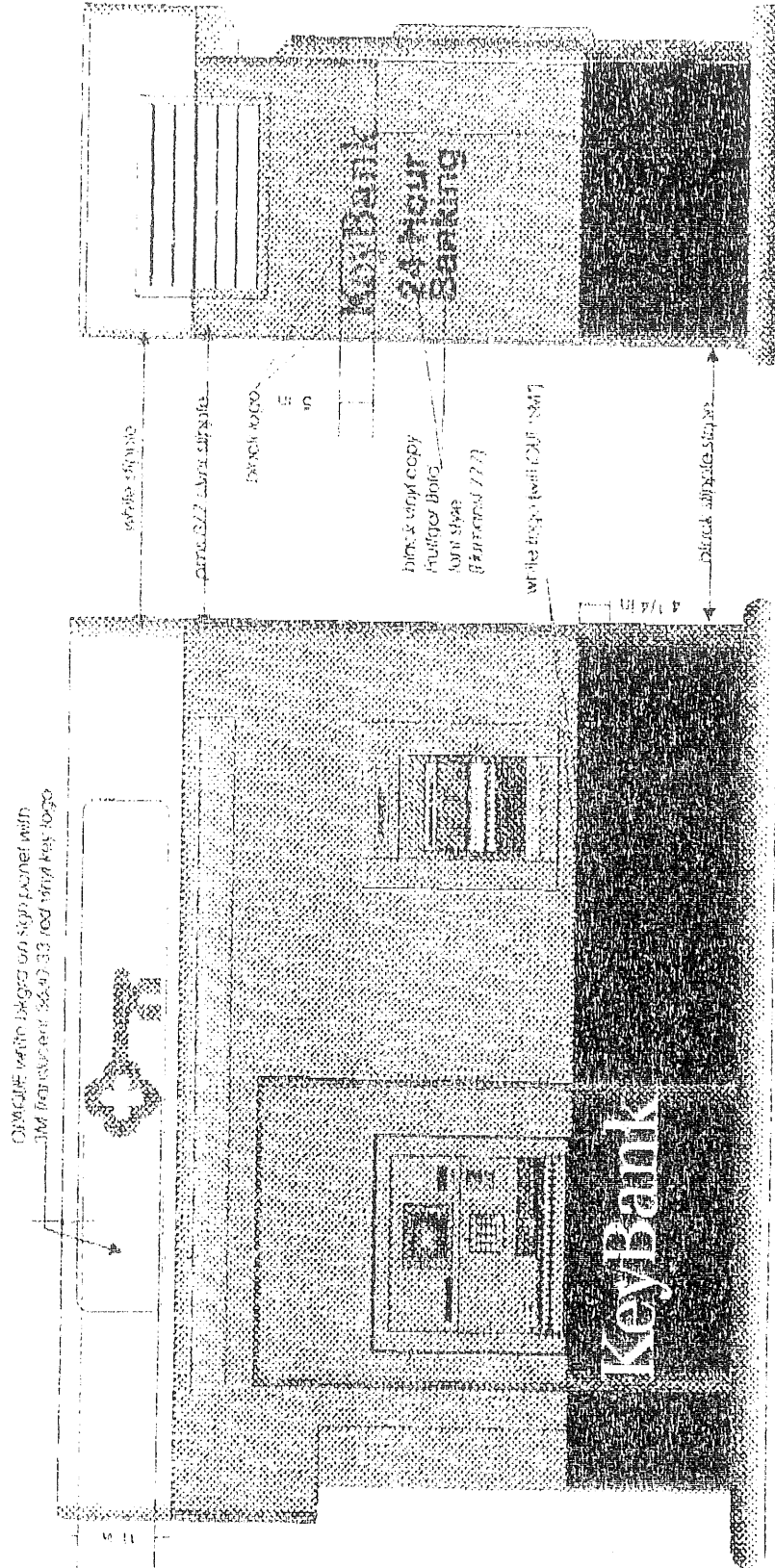
SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.  
Landscape Architect

SGD:jc  
Enc.

cc: Robert Cote, Key Bank  
Walter Pochebit, Pochebit Company

QUELINE WITH NIGHT DEPOSIT  
 KEY BANK OF MAINE  
 C#4643



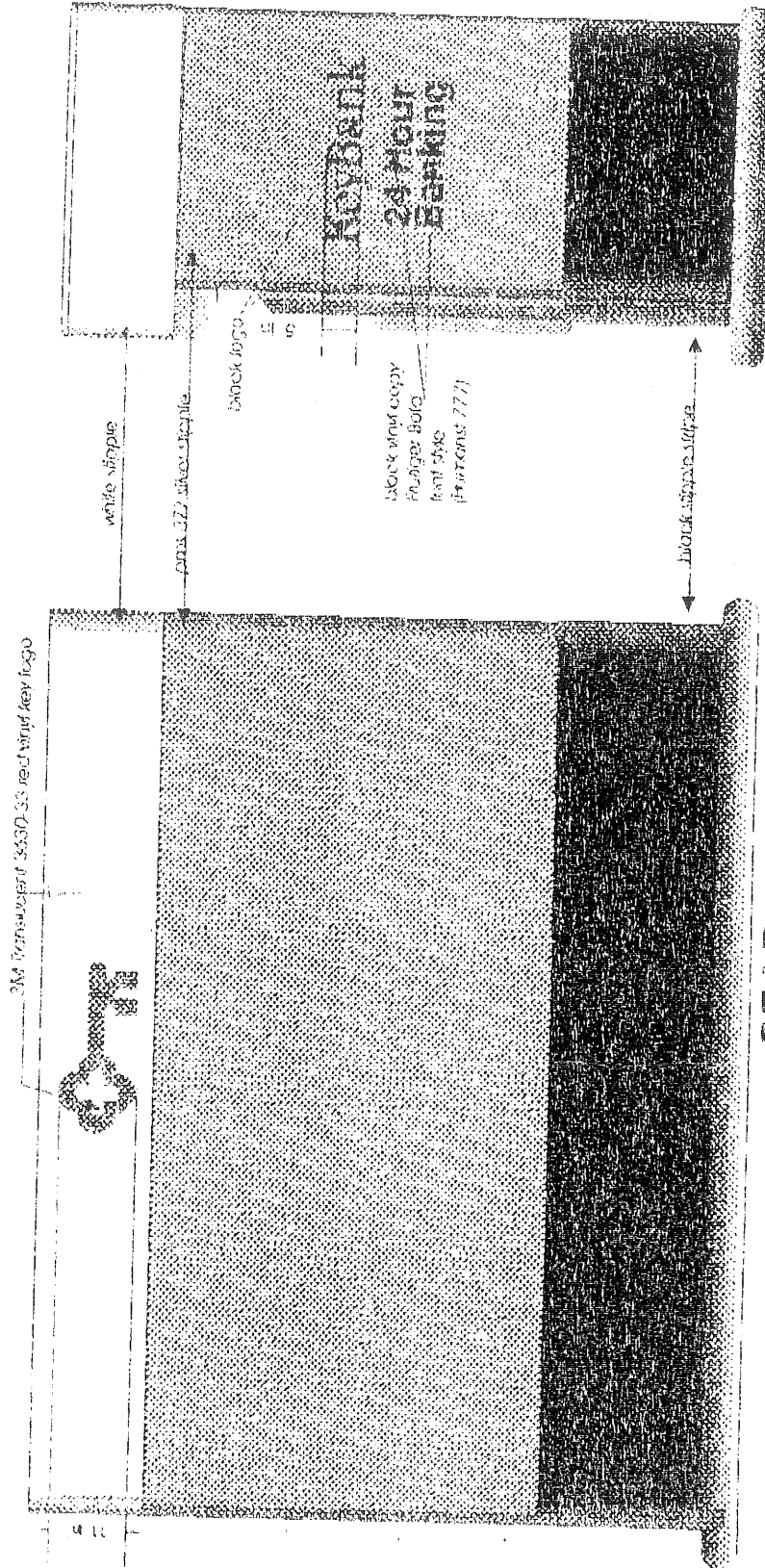
Front

Approach

GRAPHICS APPROVED. SIGNATURE: *JWC*

DATE: 12.23.96

QUELINE WITH NIGHT DEPOSIT  
KEY BANK OF MAINE  
C#4643

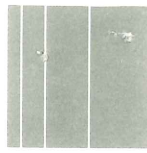


REAR

EXIT

GRAPHICS APPROVED. SIGNATURE: nuc DATE: 12-23-96





**SebagoTechnics**  
*Engineering & Planning for the Future*

*Alex*

September 8, 1997  
97029

Alexander Jaegerman, Chief Planner  
Planning & Urban Development  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Amended Site Plan Application - Key Bank of Maine, 145 Commercial Street, Portland**

Dear Alex:

On behalf of Key Bank of Maine, I am pleased to submit seven (7) copies of the attached plans to amend the site plan of their existing leased branch bank on Commercial Street. The proposed project consists of the addition of a remote ATM at the rear of the site, redefinition of the parking lot, landscaping, and some general site improvements. The bank proposes to proceed with the improvements upon receipt of City approval.

If you need additional information or have questions on this proposal, please contact me.

Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.  
Landscape Architect

SGD:jc  
Enc.

cc: Robert Cote, Key Bank of Maine  
Walter Pochebit, Pochebit Co.