

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 060590
MAY 16 2006
CITY OF PORTLAND

This is to certify that HIGHLAND BAY LLC ET AL / Monaghan Woodworks, Inc
has permission to Divide office space, relocate, repair, enlarge, phone room
AT 145 COMMERCIAL ST 029 S001001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Modification of inspection must be given and when permission proceed before this building or part thereof is started or service closed-in 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. Greg Cass 5-2-06
Health Dept.
Appeal Board
Other
Department Name

Signature: [Handwritten Signature] 5/2/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

\_\_\_\_\_ 20 \_\_\_\_\_

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (IL) \_\_\_ Plumbing (I5) \_\_\_ Electrical (I2) \_\_\_ Site Plan (U2) \_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: \_\_\_\_\_

Total Collected \$ \_\_\_\_\_

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0590	Issue Date: <b>PERMIT ISSUED</b> MAY 16 2006	CBL: 029 S001001
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Location of Construction: 145 COMMERCIAL ST	Owner Name: HIGHLAND BAY LLC ETALS	Owner Address: 150 METRO PARK	Phone:
Business Name:	Contractor Name: Monaghan Woodworks, Inc.	Contractor Address: 111 Commercial St. Portland	Phone: 2077752683
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial/ office	Proposed Use: Commercial/ office - Divide office space, relocate door, enlarge phone room <i>3rd floor Howard Pilgrim Health Care office</i>	Permit Fee: \$57.00	Cost of Work: \$4,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B</i> Type: <i>5/8/06</i>	

Proposed Project Description: Divide office space, relocate door, enlarge phone room	Signature: <i>Craig Cass</i>	Signature: <i>[Handwritten Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>[Handwritten Signature]</i>	Date: <i>5/2/06</i>	

Permit Taken By: Idobson	Date Applied For: 04/27/2006	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/2/06</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>any exterior work requires A separate review and approval</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0590	<b>Date Applied For:</b> 04/27/2006	<b>CBL:</b> 029 S001001
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<b>Location of Construction:</b> 145 COMMERCIAL ST	<b>Owner Name:</b> HIGHLAND BAY LLC ETALS	<b>Owner Address:</b> 150 METRO PARK	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Monaghan Woodworks, Inc.	<b>Contractor Address:</b> 111 Commercial St. Portland	<b>Phone</b> (207) 775-2683
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial/ office - Divide office space, relocate door, enlarge phone room	<b>Proposed Project Description:</b> Divide office space, relocate door, enlarge phone room
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<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 05/02/2006
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Approved	<b>Reviewer:</b> Mike Nugent	<b>Approval Date:</b> 05/08/2006
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Fire	<b>Status:</b> Approved	<b>Reviewer:</b> Cptn Greg Cass	<b>Approval Date:</b> 05/02/2006
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

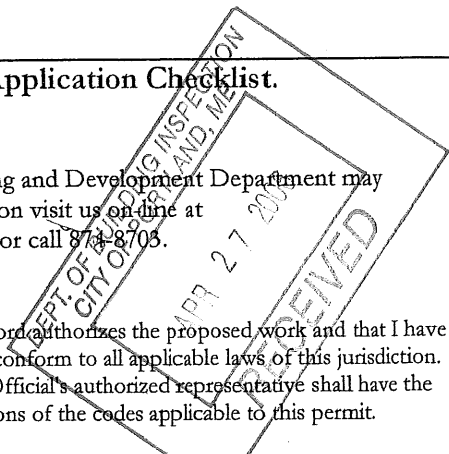
Location/Address of Construction: <u>1 MARKET STREET, PORTLAND ME.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>29</u> <u>S</u> <u>1</u>	Owner: <u>E.L.C. INC</u> <u>MARKET ST.</u>	Telephone: <u>774-1000</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>MONAGHAN WOODWORKS INC.</u> <u>100 COMMERCIAL ST</u> <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>4,000.00</u> Fee: \$ _____ C of O Fee: \$ <u>57</u>
Current Specific use: <u>OFFICE</u>		
Proposed Specific use: <u>OFFICE</u>		
Project description: <ul style="list-style-type: none"> <li>① DIVIDE OFFICE # 308</li> <li>② RELOCATE DOOR FROM OFFICE # 313 TO OFFICE # 308</li> <li>③ ENLARGE CURRENT TELEPHONE ROOM</li> </ul> <p style="text-align: center;">(ALL NON-LOAD BEARING WORK)</p>		
Contractor's name, address & telephone: <u>MONAGHAN WOODWORKS INC</u> <u>775-2683</u> <u>100 COMMERCIAL ST</u> <u>PORTLAND ME.</u>		
Who should we contact when the permit is ready: <u>BRAD FINLAY</u>		
Mailing address: _____ Phone: <u>756-5410</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

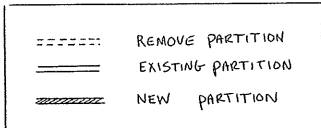
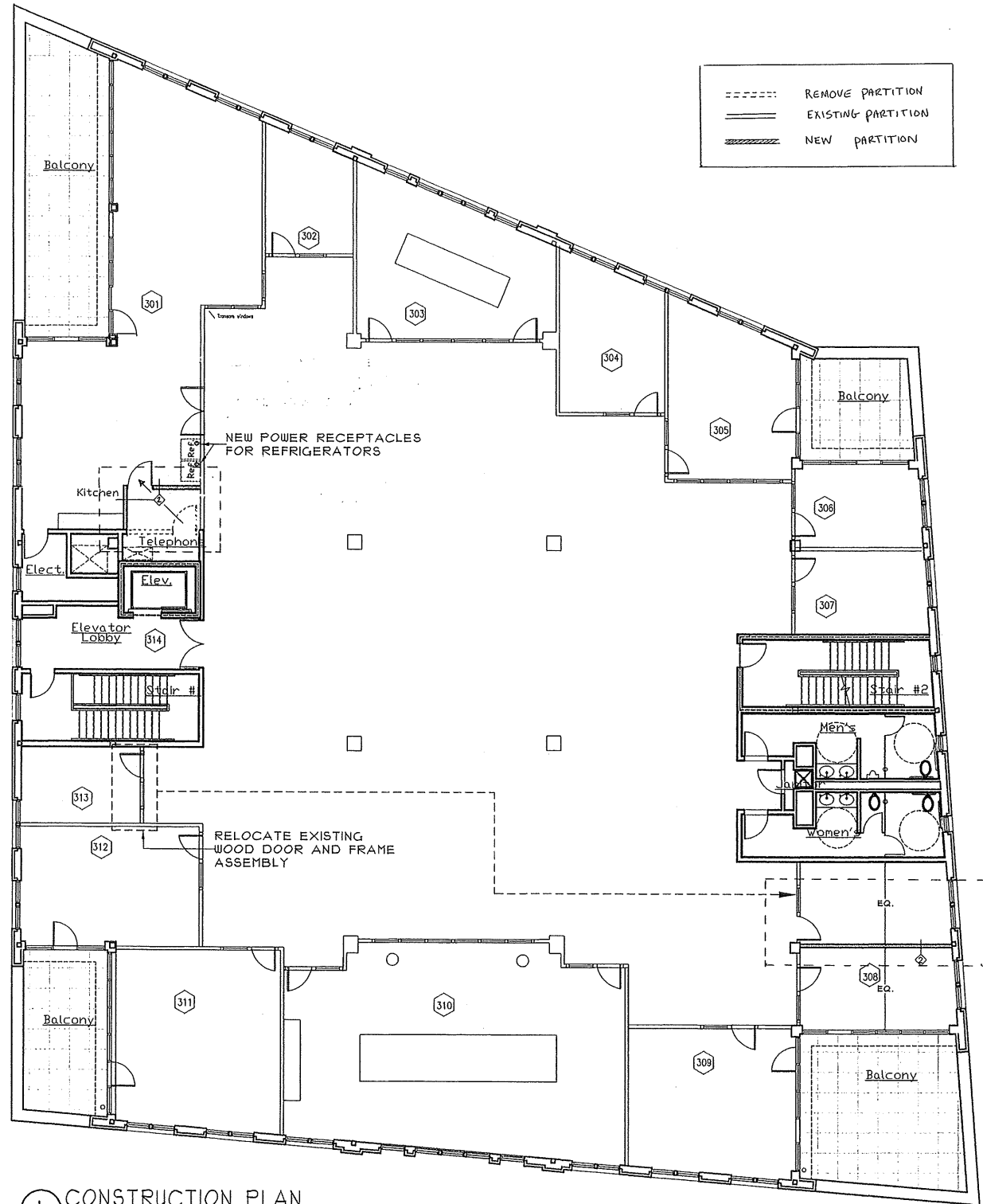
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us online at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8705.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

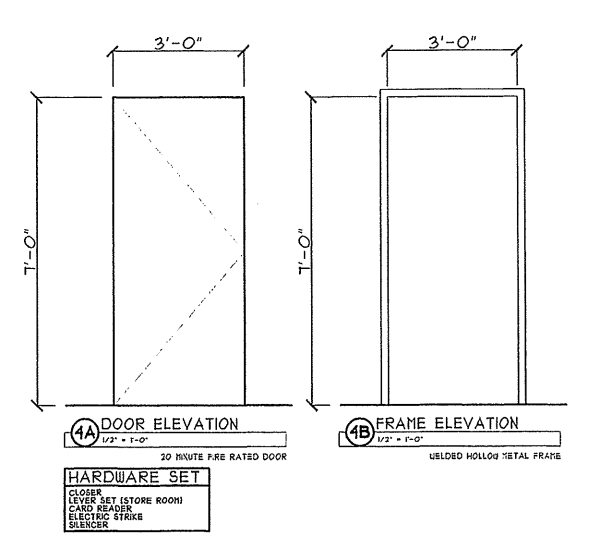
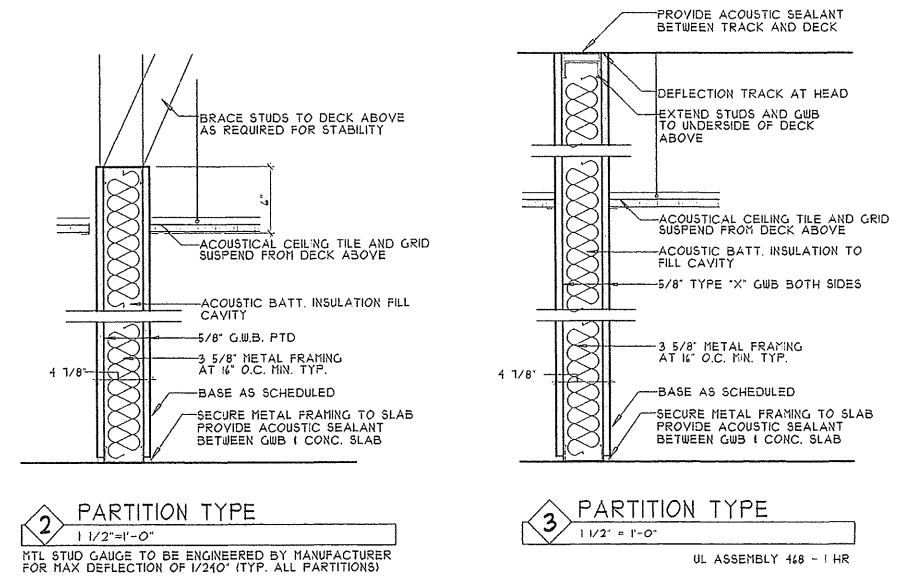
Signature of applicant: <u>Brad Finlay</u>	Date: <u>4/27/06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



1 CONSTRUCTION PLAN  
 1/8" = 1'-0"



**SHEET NOTES**

FOR ADDITIONAL GENERAL AND CONSTRUCTION NOTES SEE COVER SHEET A10

**REPAIR NOTES:**

1. PATCH ALL PERIMETER WALLS AT ALL DEMOLISHED PARTITION LOCATIONS. PATCH AND REFINISH WALLS, SOFFITS, AND WINDOW RECESSES FOR A SMOOTH AND AS NEW FINISH.
2. REMOVE WIRE FROM ABANDONED POWER AND DATA FROM RECEPTACLES TO PANEL. REMOVE BOX AND COVER PLATES AND INFILL ABANDONED POWER / DATA RECEPTACLES W. GWB. PATCH, PREP, AND PAINT FOR A SMOOTH AND AS NEW FINISH.
3. PATCH NEW CONSTRUCTION INTO EXISTING-TO-REMAIN AREAS TO ACHIEVE A CONSISTENT HATCHING APPEARANCE OF THE ADJACENT FINISHES. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING-TO-REMAIN PLANES OF MATERIALS. AVOID CREATING LINES, CREASES, OR JOINTS WHERE NEW AND EXISTING FINISHES MEET.

**CONSTRUCTION NOTES:**

4. UNLESS OTHERWISE INDICATED, CONSTRUCT NEW PARTITIONS PER PARTITION TYPE 1.
5. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED AT ALL NEW UTILITY SHELVES, ADJUSTABLE SHELVES, AND UPPER CABINETS.
6. COAT RACK SYSTEM IN COAT ROOM 805 TO BE GLARO 8000C-SA, IN SATIN ALUMINUM FINISH.
7. FOLDING WALL PARTITION SYSTEM TO BE MODERNFOLD ACOUSTI-SEAL 193, MANUALLY OPERATED, CONTINUOUSLY HINGED, W/ ONE ADA COMPLIANT, ACOUSTICAL TRIRLESS PASS DOOR, AND FABRIC FINISH, ETC SO.
8. NEW PREFABRICATED SHOWER STALL TO BE AMERICAN BATH INDUSTRIES ACCESSBATH BATH SAFETY SHOWER KIT W/ GRAB BARS, FOLDING SEAT, AND HANDHELD SHOWER HEAD.
9. NEW WATER FOUNTAIN TO BE ELKAY SWIRLFLO SINGLE LEVEL WHEELCHAIR ACCESS DRINKING FOUNTAIN - EDFFPH14C.

**Signer Harris ARCHITECTS**  
 160 Boylston ST  
 Boston MA 02116  
 617 426 6200  
 617 426 6256 FAX  
 signerharris.com

**Harvard Pilgrim HealthCare**  
 1 MARKET STREET, 3RD FLOOR  
 PORTLAND, ME

**CONSTRUCTION PLAN**

REV #	DATE	REVISION

24 APRIL 2006  
 SHA P.O. #  
 DRAWN BY: VP  
 CHECKED BY: WH  
 SCALE: AS NOTED

3rd floor

**A1.1**