Form # P 04

CITY OF PORTLAND

B............CTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: ...... **PERMIT ISSUED**

FEB - 4 2005

CITY OF PORTLAND

This is to certify that ___ Portland Regency Inc /Deb V....o

has permission to ___ Remove existing walls to cre.. an open..ing ar...

AT ___ 20 Milk St ___ 02.. RO...

provided that the person or persons, ..m or ..por..tion ...epting this permit shall comply with all of the provisions of the Statutes of M..ne and of th.. ...nces of the City of Portland regulating the construction, maintenance and u... of buildings and st...tures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.	N..ication.. inspec..n must gi...n and wr..n permis..n procu.. b...e this b..ding o...t there... la...ed or d.. ..osed-in. H...R NOTICE IS REQUIRED.	A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. ___

Health Dept. ___

Appeal Board ___

Other ___
Department Name

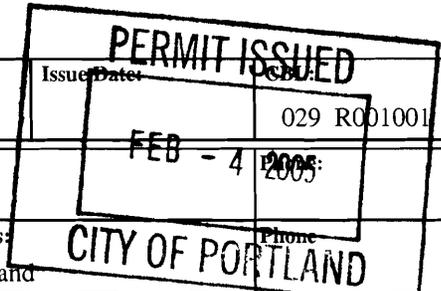Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issued Date:	
05-0126		029 R001001

PERMIT ISSUED
FEB - 4 2005
CITY OF PORTLAND

Location of Construction:	Owner Name:	Owner Address:	
20 Milk St	Portland Regency Inc	20 Milk St	

Business Name:	Contractor Name:	Contractor Address:	Phone
	Deb Vargo	82 Market Portland	

Lessee/Buyer's Name	Phone:	Permit Type:	Zone:
		Alterations - Commercial	

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
Commercial	Hotel/ Remove existing walls to create an open sitting area	$57.00	$4,000.00	1

FIRE DEPT: ☐ Approved ☐ Denied

INSPECTION: Use Group: *R1* Type: *3B*

3/4/05

Proposed Project Description:
Remove existing walls to create an open sitting area

Signature:

Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied

Signature: Date:

Permit Taken By:	Date Applied For:
ldobson	02/04/2005

Zoning Approval

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland	☐ Variance	☐ Not in District or Landmark
☐ Wetland	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☐ Site Plan	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☐	☐ Denied	☐ Denied
Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
05-0126	02/04/2005	029 R001001

Location of Construction:	Owner Name:	Owner Address:	Phone:
20 Milk St	Portland Regency Inc	20 Milk St	

Business Name:	Contractor Name:	Contractor Address:	Phone
	Deb Vargo	82 Market Portland	

Lessee/Buyer's Name	Phone:		Permit Type:
			Alterations - Commercial

Proposed Use:	Proposed Project Description:
Hotel/ Remove existing walls to create an open sitting area	Remove existing walls to create an open sitting area

Dept: Building   **Status:** Approved with Conditions   **Reviewer:** Mike Nugent   **Approval Date:** 02/04/2005

Note: **Ok to Issue:** ☑

1) Elevation changes must be protected in accordance with building code standards.

    Guards must 42" w/ openings less than 4 inches if the walking surface is 30 inches above the surface below.
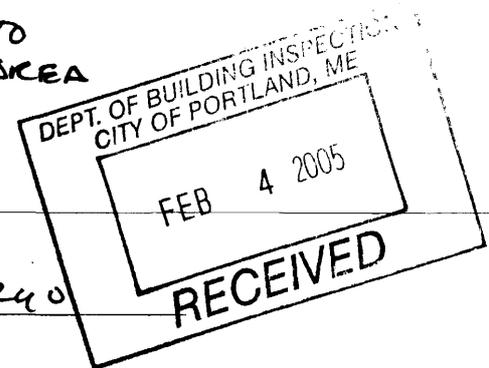
PERMIT ISSUED

FEB - 4 2005

CITY OF PORTLAND
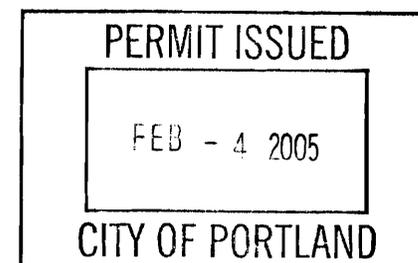
Commercial Building Permit Application

Location/Address of Construction:	20 MILK STREET	

Total Square Footage of Proposed Structure EXISTING	Square Footage of Lot EXISTING	

Tax Assessor's Chart, Block & Lot Chart# 29 Block# R-001 Lot# 001	Owner: PORTLAND REGENCY, INC.	Telephone: 774.1000

Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL STREET SUITE 205 PORTLAND	Cost Of Work: $ 4,000 Fee: $ 57.00

Current Specific use: OFFICE

Proposed Specific use: SITTING AREA / LOBBY

Project description:

REMOVE EXISTING WALLS TO CREATE AN OPEN SITTING AREA

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

FEB 4 2005

RECEIVED

Contractor's name, address & telephone: BY OWNER

Who should we contact when the permit is ready: DEB VARGO

Mailing address: 42 MARKET STREET PORTLAND, MAINE 04101

Phone: 774.1000

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:		Date: FEBR. 1, 2005

Permit Fee: $30.00 for the first $1000.00 Construction Cost, $9.00 per additional $1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

_____ **Footing/Building Location Inspection:**   Prior to pouring concrete

_____ **Re-Bar Schedule Inspection:**   Prior to pouring concrete

_____ **Foundation Inspection:**   Prior to placing ANY backfill

_____ **Framing/Rough Plumbing/Electrical:**   Prior to any insulating or drywalling

_____ **Final/Certificate of Occupancy:**   Prior to any occupancy of the structure or use. NOTE: There is a $75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

John Diamond	_2.4.05_
Signature of Applicant/Designee	Date
	_2.4.05_
Signature of Inspections Official	Date

CBL: _050126_   Building Permit #: _29 R1_

GENERAL NOTES

(general notes block — partially legible)

PROJECT NOTES:

(project notes block — partially legible)

MARK
MUELLER
ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone: 207.774.9057
Fax: 207.773.3851
mark@muellerarchitects.com

KEY PLAN
NO SCALE

AREA OF WORK

LOBBY RENOVATION OF:

PORTLAND REGENCY HOTEL
MILK STREET
PORTLAND, MAINE

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
FEB 4
RECEIVED

DEMOLITION PLAN
SCALE: 1/8"=1'-0"

- FUNCTION RM.
- CHECK-IN
- LOBBY
- FOYER

ENLARGED PROPOSED PLAN
@ MAIN LEVEL
SCALE: 1/4"=1'-0"

- LOUNGE 001
- SITTING 005
- FUNCTION RM. 006
- OFFICE 004
- CHECK-IN 002
- LOBBY 003
- FOYER 001
- EXIT
- UP
- HIGH FLOOR ELEV. (UP 24")
- LOW FLOOR ELEV.
- SERVING BAR SINK
- 42" HIGH GUARDRAIL
- EXISTING RAMP
- EXISTING DOORS TO REMAIN
- EXISTING STAIR LOCATION TO REMAIN, RE-BUILD STAIR TO MEET 7" MAX. RISER AND 11" MIN. TREADS
- EXISTING MASONRY WALL AS FIRE SEPARATION BETWEEN GUEST ROOM AND COMMON AREAS
- EXISTING MECHANICAL SOFFIT (TO REMAIN) CLG. HGHT. 7'-0"