

Code Review - IEBC 2009

Chapter 4 - Classification of Work

Section 405.1 - The extent of the work is greater than 50% of the area of the building. Therefore, this is considered to be Level 3 Alterations.

Chapter 6 - Alterations-Level 1

Note: This project is considered a Level 3 Alteration and is also required to comply with Chapters 7 and 8 of this code. All items in Chapter 6, are fully covered in Chapters 7 and 8.

Chapter 7 - Alterations-Level 2

Note: This project is considered a Level 3 Alteration and is also required to comply with Chapters 6 and 8 of this code. The items listed in this Chapter are only those that are not covered in Chapters 6 and 8.

Section 703.2.3 - See Chapter 8 requirements for enclosed stairs.

Section 703.5.1 - Guards shall be provided at floor level differences of 30" or greater (see Plans for locations).

Section 704.3 - A standpipe is not required (all levels are within 50' of the lowest level of fire department access).

Section 705.3.1 - Each story has two exits. Furthermore, each tenant space on the lower level has two means of egress out of the respective spaces.

Note: Also see Section 803.1 for the unenclosed stairway.

Section 705.4.1.1 - Per Exception 1, the storage area on the lower level is only required to have one exit (occupant load under 10). However, two have been provided as the "story" is still required to have two means of egress.

Section 705.4.2 - The exit doors on the first level are required to swing out in the direction of egress travel (occupant load over 50). The doors of Tenant 2 (and the exit door out of the egress passageway) are required to swing in the direction of egress travel.

Section 705.4.3 - The doors on the lower level that enter into the egress passageway shall be self-closing.

Section 704.4.4 - Panic hardware is not required.

Section 705.9.1 - Handrails are required on at least one side of all means of egress stairways. Handrails will be provided on both sides of each means of egress stair.

Section 705.10.1 - Guards shall be provided on every open portion of a stair, landing or floor level that is more than 30" above the adjacent floor level.

Section 706 - See Section 806.1 for the accessible elements required.

Section 709 - See Mechanical drawings for all requirements.

Section 710 - See Plumbing drawings for all requirements.

Chapter 8 - Alterations-Level 3

Section 801.2 - The work shall comply with Chapter 8, but also with Chapters 6 and 7 of this code.

Section 802.1.2 - The elevator shown is new and intended for public use. The elevator shall be provided with Phase 1 emergency recall operation, and Phase 2, emergency in-car operation.

Section 803.1 - The stairway to the lower level is not existing and therefore is regulated by Sections 703.2.1 and 703.2.3. Per these sections, if the IBC does not require the stair to be enclosed, it is allowed to be open. Per IBC Section 1022.1 (Exception 1, 1.2), this stairway serves a maximum of 6 occupants and is only open to one level below the level of exit discharge and not required to be open.

Section 803.3 - Interior finishes in the exit passageway shall comply with the IBC code.

Section 804.1 - The building will be fully sprinkled.

Section 804.2 - An automatic fire detection system will be installed.

Section 805.2 - Means of egress lighting will be provided.

Section 805.3 - Exit signs will be provided as required. See the Egress Plans for exact locations.

Section 806.1 - Per Sections 605 and 706, the entrances, elevator, platform lifts, ramps, and toilet rooms shall be accessible. In addition, per Section 706.2, an accessible route (elevator) shall be provided between the two levels (also see IBC Section 1103.2.3 - Employee Work Areas).

Section 807 - See structural drawings for all requirements.

Section 808.1 - The entire building is not required to comply with the IEBC. The altered elements are required to comply with the IEBC requirements for new construction.

Code Review - IBC 2009

Note: This project is considered a Level 3 Alteration and is governed by the International Existing Building Code. However, there are a few items that should be addressed due to the nature of the existing building (and the adjacent building) that are not included in the IEBC. These are therefore addressed in the IBC.

Chapter 7 - Fire and Smoke Protection Features

Table 705.8 - There are no limits to the allowable area of exterior wall openings for separation distances over 20' (unprotected, sprinklered).

Section 705.11(1) - Parapets are not required on the exterior walls, but will be provided due to historic requirements.

Section 706.1.1 - The wall separating this building and the adjacent building is on a lot line and considered a Party Wall by this section. This wall is existing and constructed of three-wythe brick masonry (assume no air spaces). There are no openings between buildings in this wall.

Note: Also see Section 706.6.1 for "stepped buildings".

Section 706.2 - The Party Wall (as described in the above section) is existing and its complete structural autonomy is unknown.

Table 706.4 - The fire-resistance rating of the Party Wall shall be a minimum of 3-hour rated. Also see the First Floor Egress Plan notes and the calculations of the fire-rating of this wall.

Section 706.6.1 - The adjacent building has a roof height that is several stories above the building associated with this project. The wall between these buildings is a multi-wythe brick masonry wall. This wall extends up past the lower roof level, but there are windows in the adjacent building that are within 15'-0" of the lower roof. Protection of these openings is not possible as they are in a different building under separate ownership. Providing a 1-hour fire rated roof would prove difficult and ineffective due to the existing historic trusses. Therefore, in lieu of the 1-hour rating, an enhanced sprinkler system will be provided at the roof (and associated structure) within 10'-0" of the separation wall. The building will be fully sprinkled and in addition, will have sprinkler heads to flood the roof and structure in this 10'-0" area.

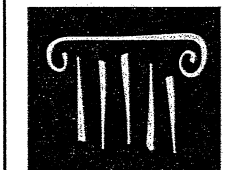
Table 715.4 - Doors in the shaft/exit enclosures shall also be 1-hour rated (within a 1-hour rated enclosure).

FIRST FLOOR EGRESS AND LIFE SAFETY NOTES

• THIS CODE REVIEW AND LIFE SAFETY PLAN IS BASED ON THE SHELL DRAWINGS FOR THIS SPACE ONLY. THE TENANT FLOOR DRAWINGS ARE SEPARATE FROM THIS SUBMISSION.

• SEE THE FIRST FLOOR EGRESS NOTES FOR THE EXISTING MULTI-WYTHE MASONRY WALL BETWEEN BUILDINGS

• NO TENANT HAS BEEN CHOSEN FOR THE "TENANT 2" SPACE. FOR PURPOSES OF THIS CODE REVIEW AND FOR DETERMINING THE OCCUPANT LOAD AND SUBSEQUENT FIRE RATINGS, IT IS ASSUMED THIS SPACE WOULD ALSO BE RETAIL. CONSTRUCTION (OR CHANGE) OF THIS USE WILL BE INCLUDED IN ANY TENANT FIT-OUT DRAWINGS OF THIS SPACE.



PORT CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000

Consultants:



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NEWPORT DEVELOPMENT ASSOCIATES

164 Middle St
Portland, Maine

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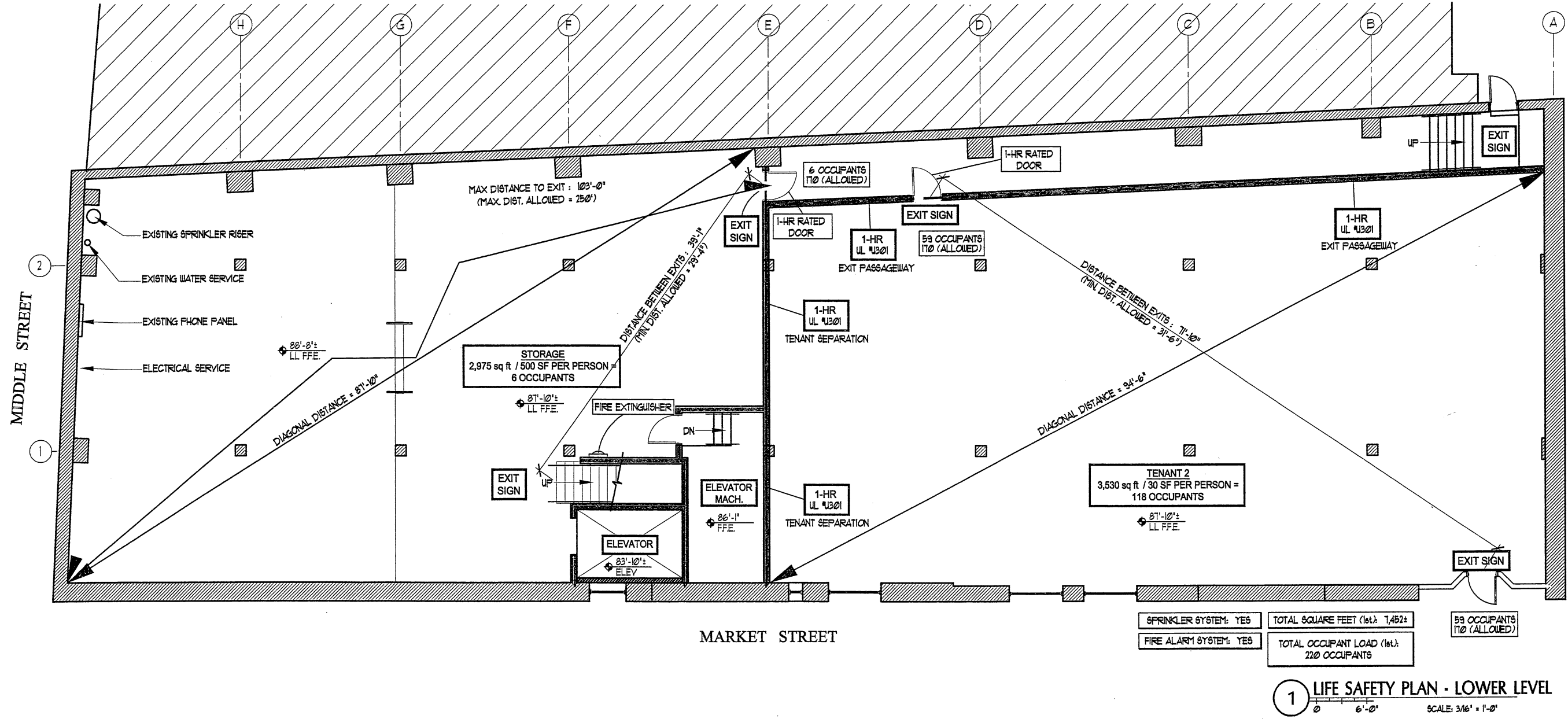
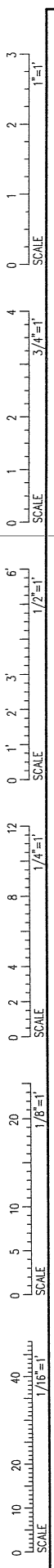
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Project Number: 16201

Drawing Scale: AS NOTED

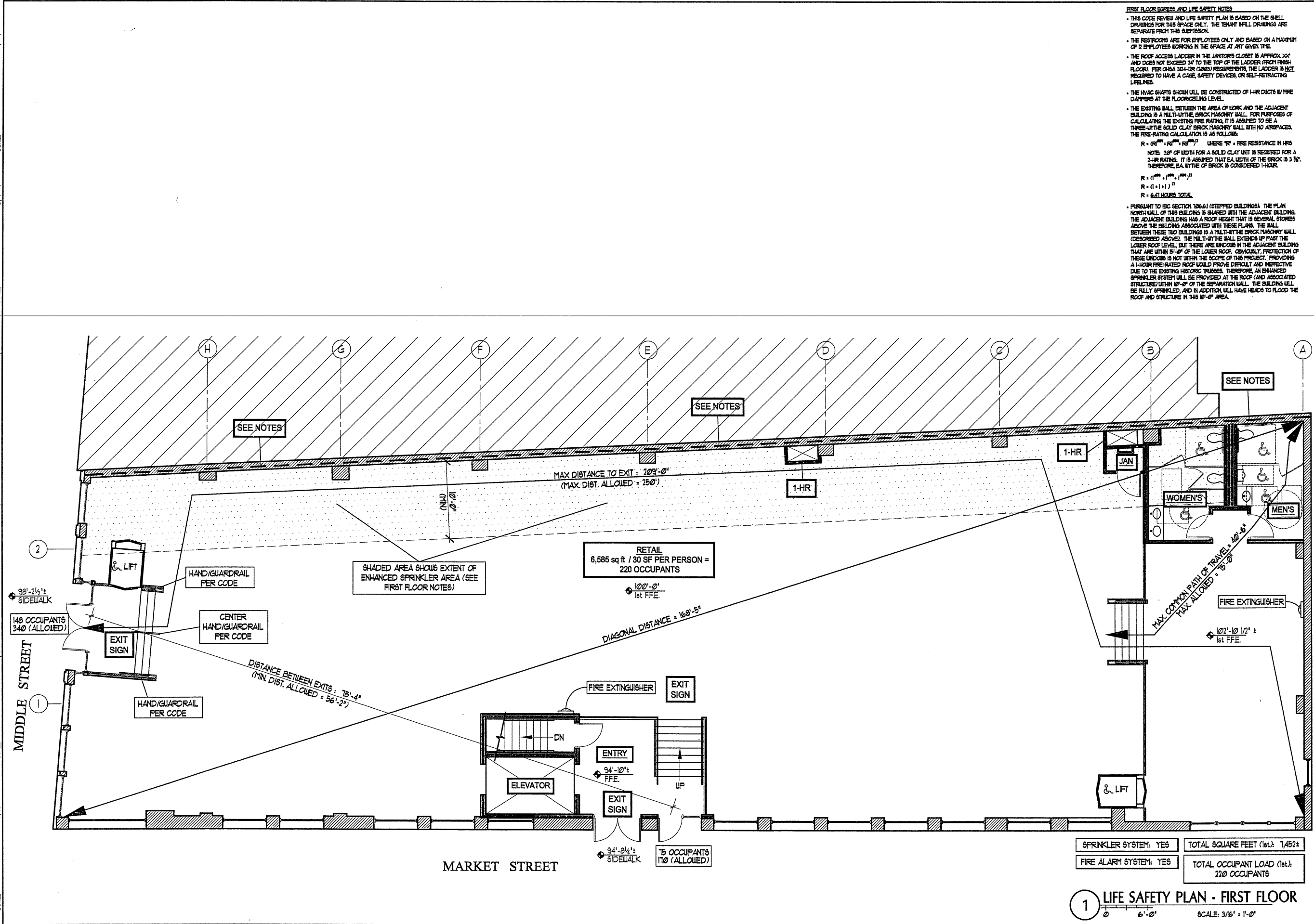
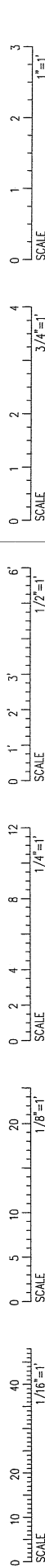
LOWER LEVEL EGRESS PLAN

Drawn By: JP CM, TS CR
Checked By: LAS
LS-1.0



| | |
|------------------------|---|
| SPRINKLER SYSTEM: YES | TOTAL SQUARE FEET (let.): 7,452± |
| FIRE ALARM SYSTEM: YES | TOTAL OCCUPANT LOAD (let.): 220 OCCUPANTS |

1 LIFE SAFETY PLAN - LOWER LEVEL
SCALE: 3/16" = 1'-0"



FIRST FLOOR EGRESS AND LIFE SAFETY NOTES

- THIS CODE REVIEW AND LIFE SAFETY PLAN IS BASED ON THE SHELL DRAWINGS FOR THIS SPACE ONLY. THE TENANT WILL DRAWINGS ARE SEPARATE FROM THIS SUBMISSION.
- THE RESTROOMS ARE FOR EMPLOYEES ONLY AND BASED ON A MAXIMUM OF 12 EMPLOYEES WORKING IN THE SPACE AT ANY GIVEN TIME.
- THE ROOF ACCESS LADDER IN THE JANITORS CLOSET IS APPROX. 30" AND DOES NOT EXCEED 24" TO THE TOP OF THE LADDER (FROM FINISH FLOOR). PER OMSA 304-OR (2008) REQUIREMENTS, THE LADDER IS NOT REQUIRED TO HAVE A CAGE, SAFETY DEVICES, OR SELF-RETRACTING LIFELINE.
- THE HVAC SHUTS SHALL BE CONSTRUCTED OF 1-HR DUCTS W/ FIRE DAMPERS AT THE FLOOR/CEILING LEVEL.
- THE EXISTING WALL BETWEEN THE AREA OF WORK AND THE ADJACENT BUILDING IS A MULTI-WHITE BRICK MASONRY WALL. FOR PURPOSES OF CALCULATING THE EXISTING FIRE RATING, IT IS ASSUMED TO BE A THREE-WHITE SOLID CLAY BRICK MASONRY WALL WITH NO AIRSPACES. THE FIRE-RATING CALCULATION IS AS FOLLOWS:
 $R = (R_{19} + R_{20} + R_{21})^2$ WHERE: R_n = FIRE RESISTANCE IN HRS
 NOTE: 3/8" OF WIDTH FOR A SOLID CLAY UNIT IS REQUIRED FOR A 2-HR RATING. IT IS ASSUMED THAT EA WIDTH OF THE BRICK IS 3 3/8". THEREFORE, EA UNIT OF BRICK IS CONSIDERED 1-HOUR.
 $R = (1 + 1 + 1)^2$
 $R = 9$ HOURS TOTAL.
- PURSUANT TO IBC SECTION 106.6.1 (STEPPED BUILDINGS) THE PLAN NORTH WALL OF THIS BUILDING IS SHARED WITH THE ADJACENT BUILDING. THE ADJACENT BUILDING HAS A ROOF HEIGHT THAT IS SEVERAL STORES ABOVE THE BUILDING ASSOCIATED WITH THESE PLANS. THE WALL BETWEEN THESE TWO BUILDINGS IS A MULTI-WHITE BRICK MASONRY WALL (DESCRIBED ABOVE). THE MULTI-WHITE WALL EXTENDS UP PAST THE LOWER ROOF LEVEL, BUT THERE ARE WINDOWS IN THE ADJACENT BUILDING THAT ARE WITHIN 8'-0" OF THE LOWER ROOF. OBVIOUSLY, PROTECTION OF THESE WINDOWS IS NOT WITHIN THE SCOPE OF THIS PROJECT. PROVIDING A 1-HOUR FIRE-RATED ROOF WOULD PROVE DIFFICULT AND INEFFECTIVE DUE TO THE EXISTING HISTORIC TRUSSES. THEREFORE, AN ENHANCED SPRINKLER SYSTEM WILL BE PROVIDED AT THE ROOF (AND ASSOCIATED STRUCTURE) WITHIN 8'-0" OF THE SEPARATION WALL. THE BUILDING WILL BE FULLY SPRINKLED, AND IN ADDITION WILL HAVE HEADS TO FLOOD THE ROOF AND STRUCTURE IN THIS 8'-0" AREA.



Consultants:



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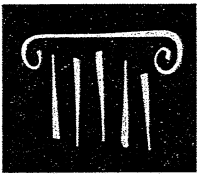
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FIRST FLOOR EGRESS PLAN

Drawn By: JP CY, TS CR
 Checked By: LA5
LS-1.1

SPRINKLER SYSTEM: YES
 FIRE ALARM SYSTEM: YES
 TOTAL SQUARE FEET (1st): 7,452±
 TOTAL OCCUPANT LOAD (1st): 220 OCCUPANTS
1 LIFE SAFETY PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"



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DATE DESCRIPTION

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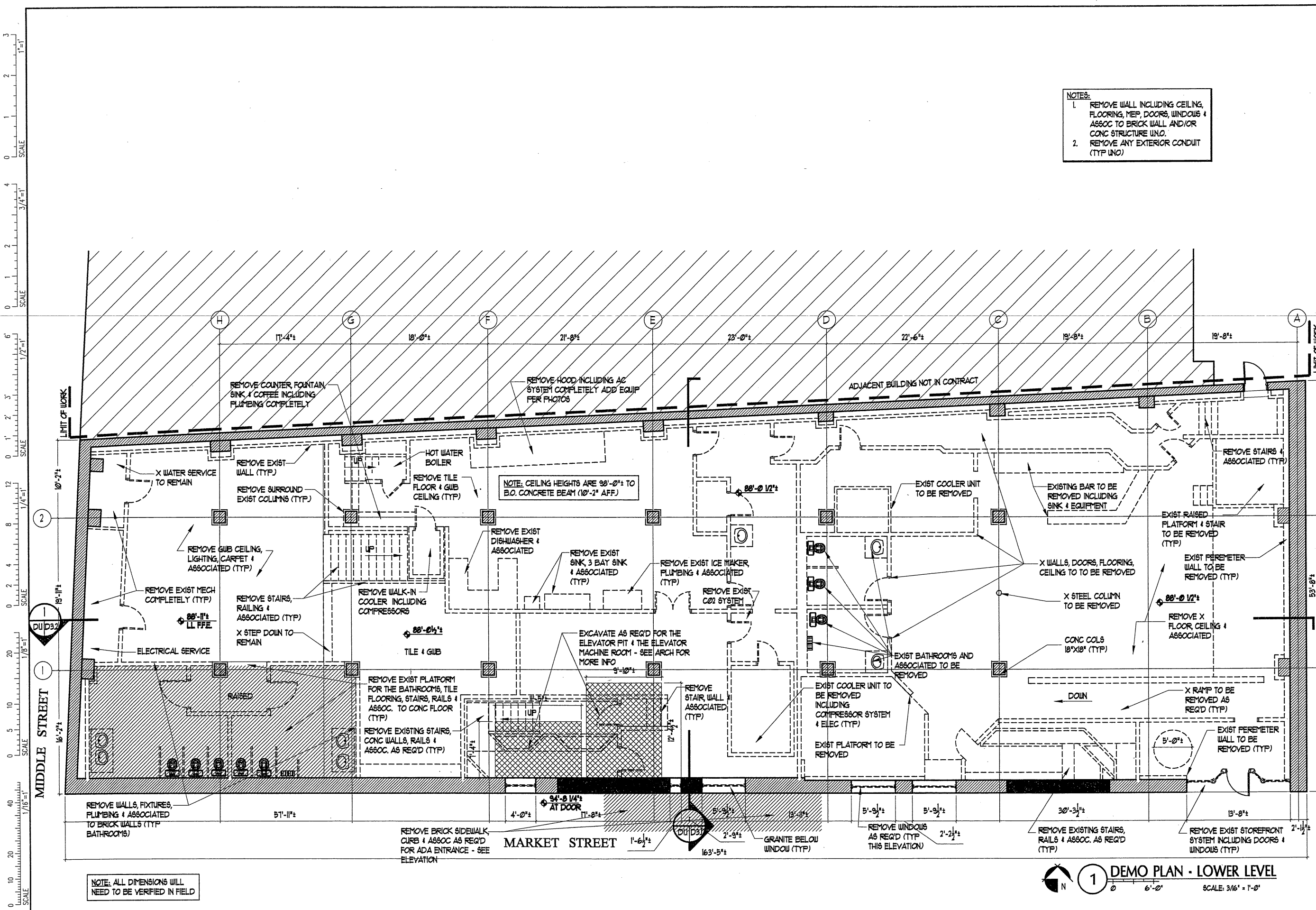
DEMO LOWER LEVEL PLAN

Drawn By
JF CM
TS CR
Checked By

D1.1

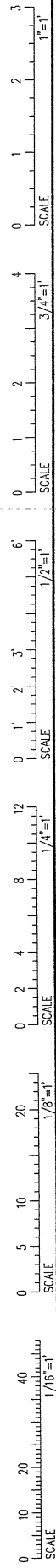
LA6

- NOTES:
1. REMOVE WALL INCLUDING CEILING, FLOORING, MEP, DOORS, WINDOWS & ASSOC TO BRICK WALL AND/OR CONC STRUCTURE UNO.
 2. REMOVE ANY EXTERIOR CONDUIT (TYP UNO)

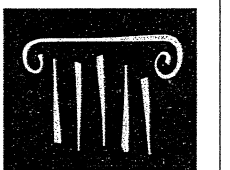


NOTE: ALL DIMENSIONS WILL NEED TO BE VERIFIED IN FIELD

1 DEMO PLAN - LOWER LEVEL
SCALE: 3/16" = 1'-0"



NOTES:
 1. REMOVE WALL INCLUDING CEILING, FLOORING, MEP, DOORS, WINDOWS & ASSOC TO BRICK WALL AND/OR CONC STRUCTURE UNO.
 2. REMOVE ANY EXTERIOR CONDUIT (TYP UNO)



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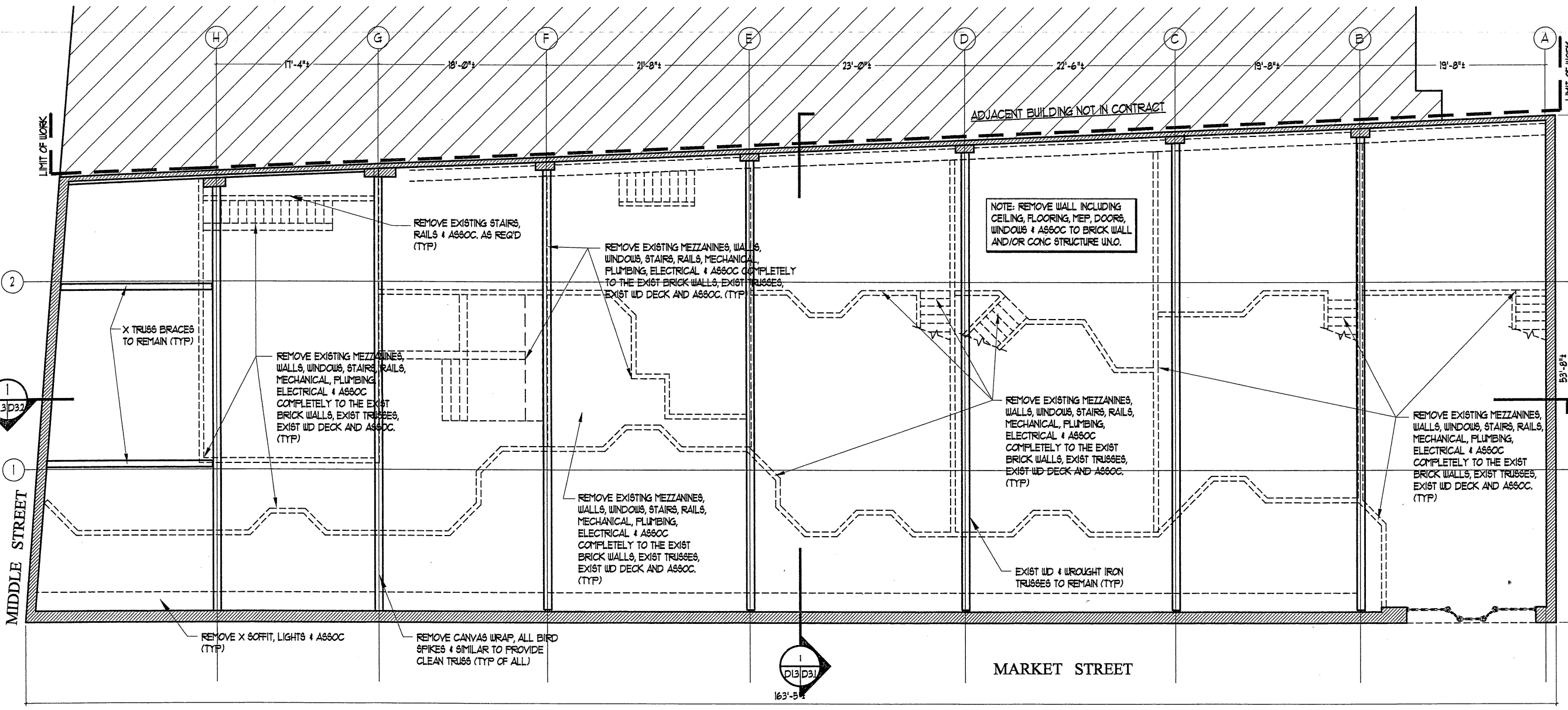
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Project Number 16207

Drawing Scale AS NOTED

DEMO MEZZANINE FLOOR PLAN

Drawn By JF CM TS CR
 Checked By LAS
D1.3



NOTE: ALL DIMENSIONS WILL NEED TO BE VERIFIED IN FIELD

1 DEMO PLAN - MEZZANINE
 SCALE: 3/16" = 1'-0"

3
2
1
0
SCALE 1"=1'

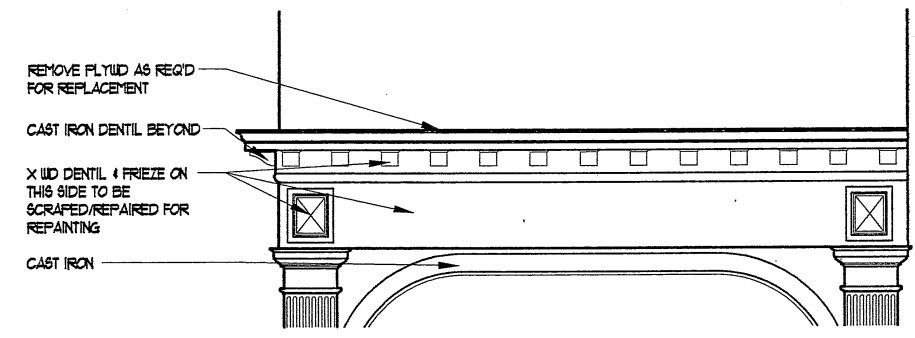
4
3
2
1
0
SCALE 3/4"=1'

6
3
0
SCALE 1/2"=1'

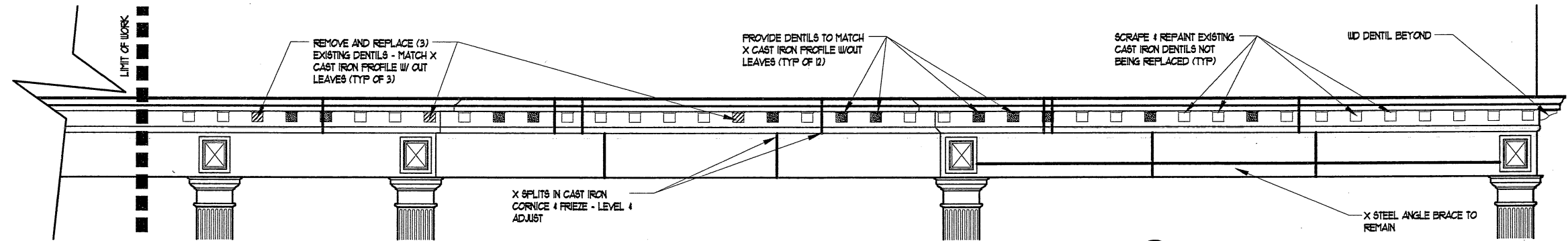
12
8
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SCALE 1/4"=1'

20
10
0
SCALE 1/8"=1'

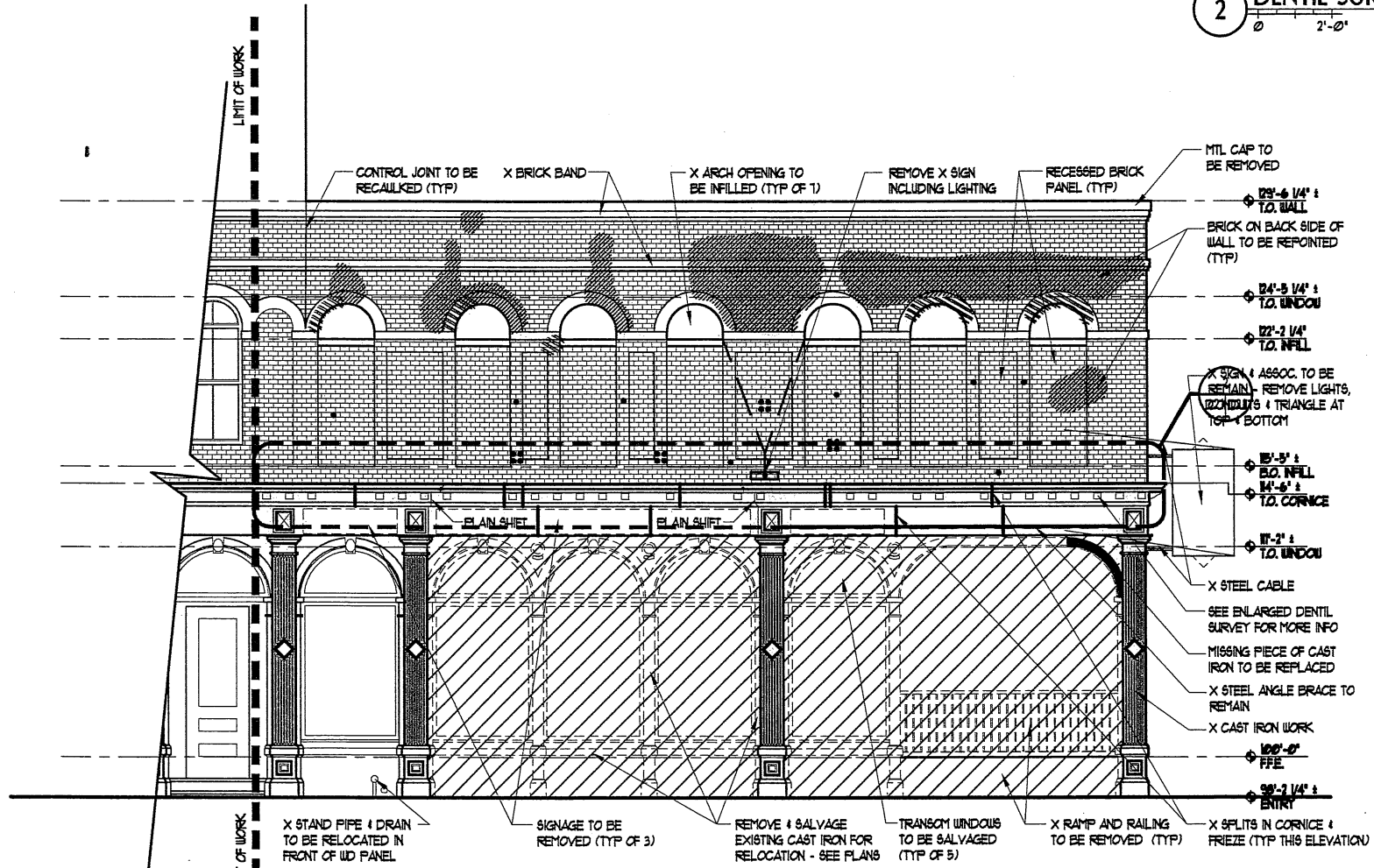
40
20
0
SCALE 1/16"=1'



3 DENTIL SURVEY - MARKET ST
SCALE: 1/2" = 1'-0"



2 DENTIL SURVEY - MIDDLE ST
SCALE: 1/2" = 1'-0"



1 MIDDLE ST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL DEMO/RESTORATION NOTES:
 1. CLEAN AND PREP ALL LINTELS FOR PAINT
 2. CONTRACTOR TO VERIFY & REMOVE BY GRINDING OUT ANY MTL ELEMENTS EMBEDDED IN BRICK USED ON ITEMS THAT ARE BEING REMOVED & REPOINTED AS REQ'D
 3. REMOVE ALL EXISTING CAULK. OPEN JOINTS UP TO 1/2" WIDE SHALL BE RECALKED. JOINTS LARGER THAN 1/2" WIDE TO RECEIVE EPOXY SECTION REPAIR.

RESTORATION KEY

- MORTAR SOFT OR MISSING
ACTION: CUT BACK 3/4" - (3) LIFTS 1/4" EACH (85%)
1 1/2" DEEP REPOINT W/ FINAL 3/4", (3) LIFTS
- SEE NOTE ABOVE - BACK SIDE OF SECOND STORY BRICK PARAPET
- ABANDONED METAL ELEMENTS TO BE GROUND OUT & REPOINTED AS REQ'D
- STITCH BRICK TOGETHER - SEE STRUCTURAL

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Consultants:
 MECHANICAL SYSTEMS ENGINEERS, INC.
Structural Integrity
 Consulting Engineers, Inc.
 SWIFTCURRENT
 Engineering Services

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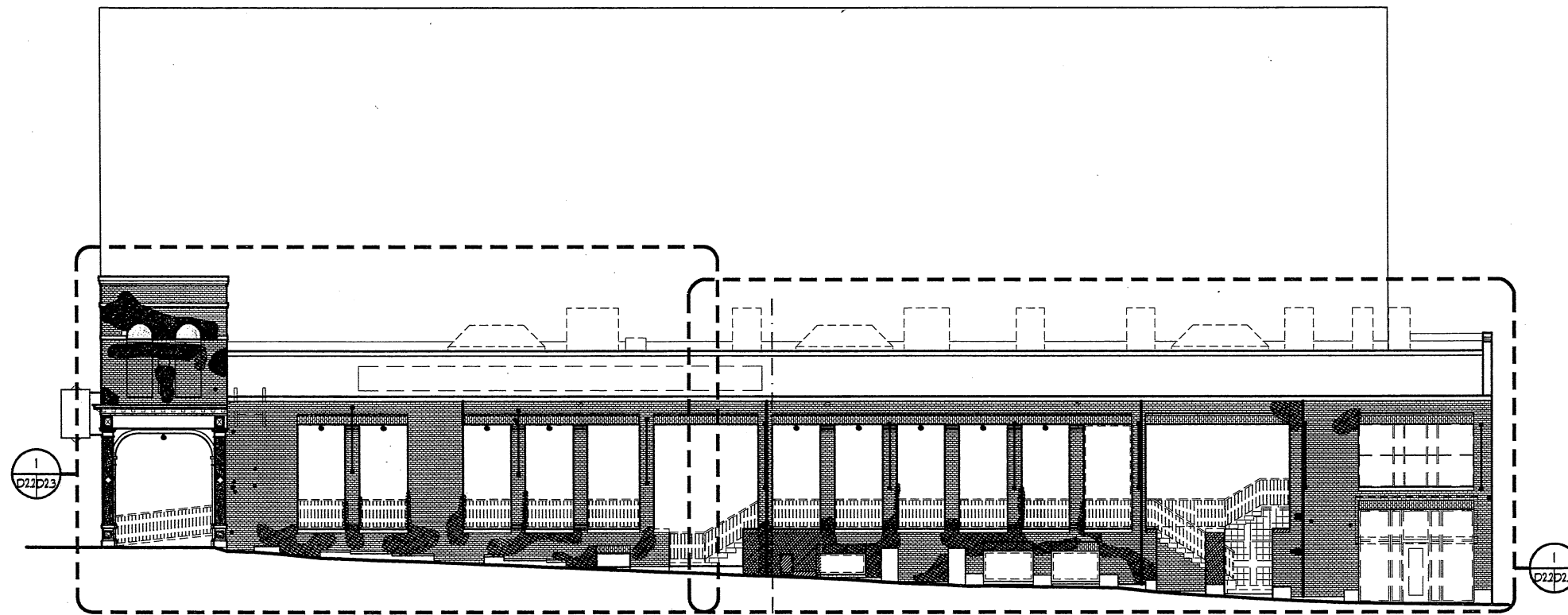
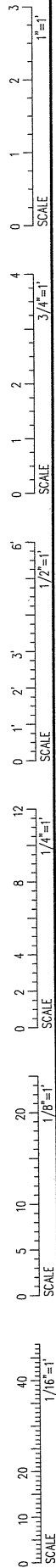
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DEMO EXTERIOR ELEVATIONS

Drawn By: JP CM, TS CR
 Checked By: LAS
D2.1

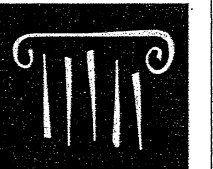


1 MARKET ST EXTERIOR ELEVATION
 0 8'-0" SCALE: 1/8" = 1'-0"

GENERAL DEMO/RESTORATION NOTES:
 1. CLEAN AND PREP ALL LINTELS FOR PAINT
 2. CONTRACTOR TO VERIFY & REMOVE BY GRINDING OUT ANY METAL ELEMENTS EMBEDDED IN BRICK USED ON ITEMS THAT ARE BEING REMOVED & REPOINTED AS REQ'D
 3. REMOVE ALL EXISTING CAULK. OPEN JOINTS UP TO 1/2" WIDE SHALL BE RECAULKED. JOINTS LARGER THAN 1/2" WIDE TO RECEIVE EPOXY SECTION REPAIR.

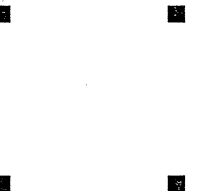
RESTORATION KEY

- MORTAR SOFT OR MISSING
 ACTION: CUT BACK 3/4" -(3) LIFTS 1/2" EACH (25%)
 15% DEEP REPOINT W/ FINAL 3/4", (3) LIFTS
- SEE NOTE ABOVE - BACK SIDE OF SECOND STORY BRICK PARAPET
- ABANDONED METAL ELEMENTS TO BE GRIND OUT + REPOINTED AS REQ'D
- STITCH BRICK TOGETHER
 -SEE STRUCTURAL



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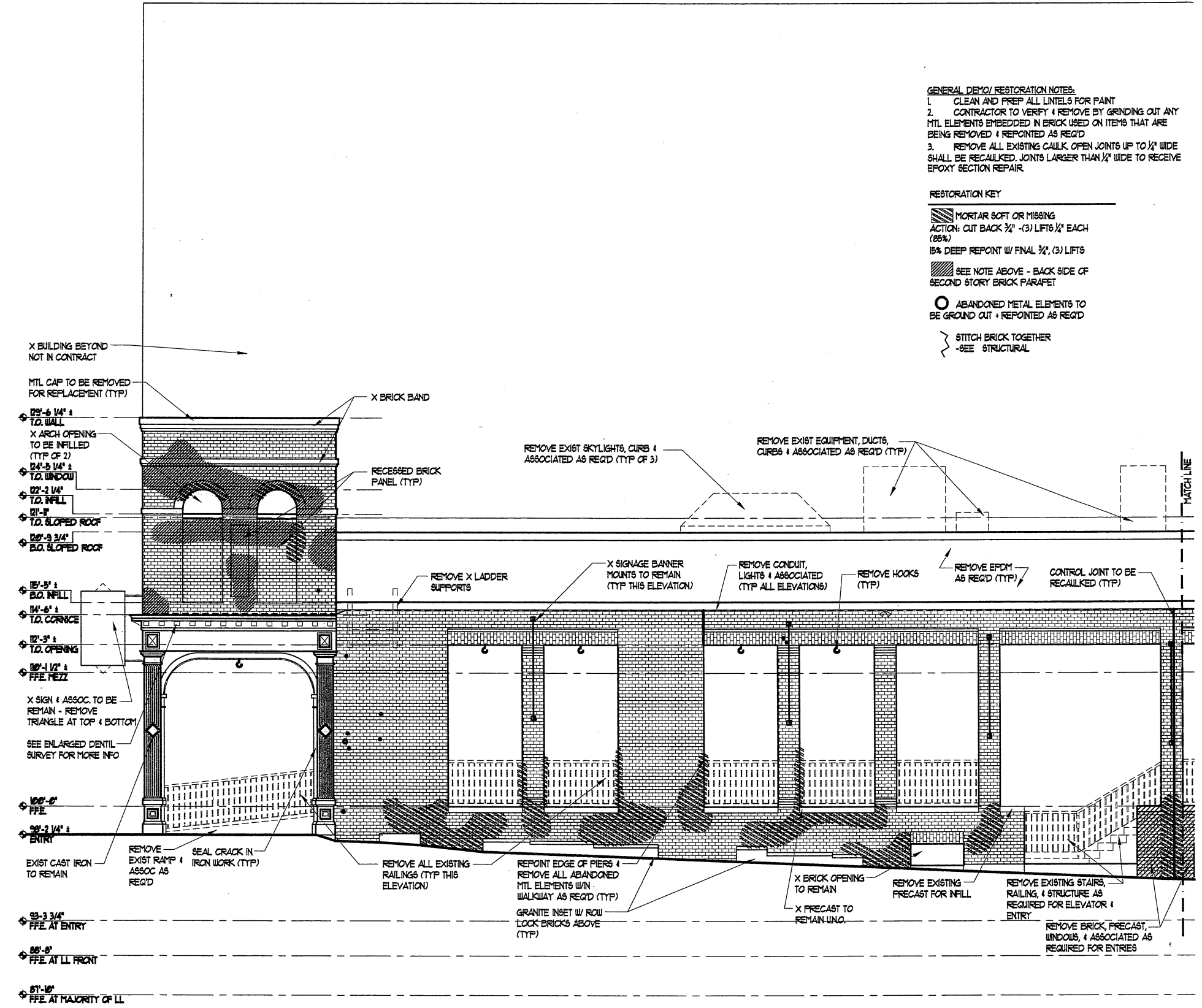
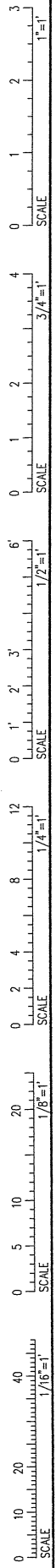
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DEMO EXTERIOR ELEVATIONS

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 Checked By
 LAS

D2.2



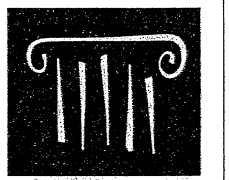
GENERAL DEMO/RESTORATION NOTES:

- CLEAN AND PREP ALL LINTELS FOR PAINT
- CONTRACTOR TO VERIFY & REMOVE BY GRINDING OUT ANY MTL ELEMENTS EMBEDDED IN BRICK USED ON ITEMS THAT ARE BEING REMOVED & REPOINTED AS REQ'D
- REMOVE ALL EXISTING CALK OPEN JOINTS UP TO 1/2" WIDE SHALL BE RECALKED. JOINTS LARGER THAN 1/2" WIDE TO RECEIVE EPOXY SECTION REPAIR.

RESTORATION KEY

- MORTAR SOFT OR MISSING
ACTION: CUT BACK 3/4" -(3) LIFTS 1/2" EACH (85%)
- 15% DEEP REPOINT W/ FINAL 3/4", (3) LIFTS
- SEE NOTE ABOVE - BACK SIDE OF SECOND STORY BRICK PARAPET
- ABANDONED METAL ELEMENTS TO BE GROUND OUT & REPOINTED AS REQ'D
- STITCH BRICK TOGETHER -SEE STRUCTURAL

1 MARKET ST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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Tel: 207.761.1234 Fax: 207.761.1235
msengr.com

Structural Integrity
Consulting Engineers, Inc.



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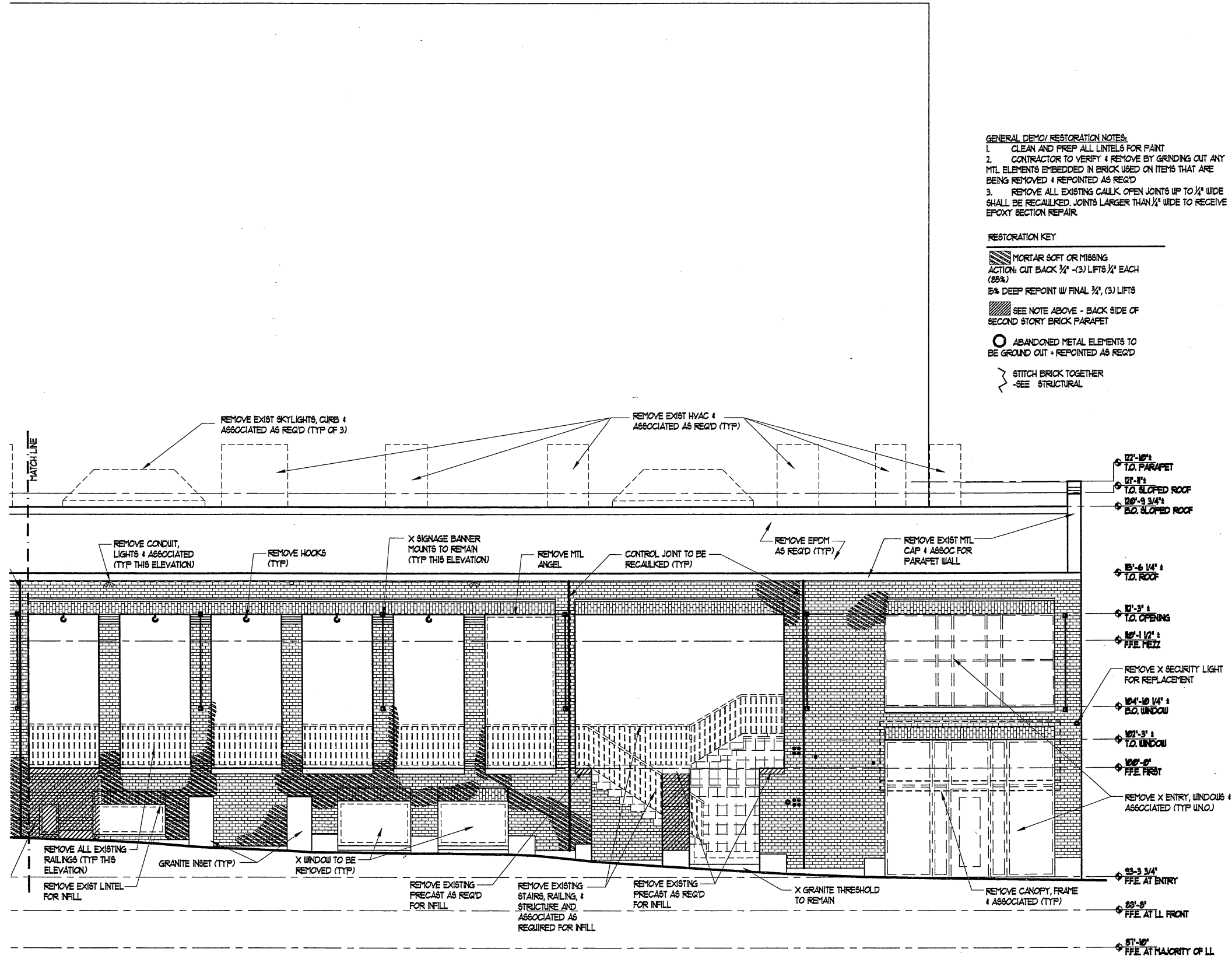
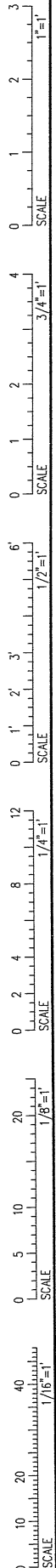
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DEMO EXTERIOR ELEVATIONS

Drawn By: JP CM, TS CR
Checked By: LAS
D2.3



GENERAL DEMO/RESTORATION NOTES:
 1. CLEAN AND PREP ALL LINTELS FOR PAINT
 2. CONTRACTOR TO VERIFY & REMOVE BY GRINDING OUT ANY MTL ELEMENTS EMBEDDED IN BRICK USED ON ITEMS THAT ARE BEING REMOVED & REPOINTED AS REQ'D
 3. REMOVE ALL EXISTING CAULK. OPEN JOINTS UP TO 1/4" WIDE SHALL BE RECAULKED. JOINTS LARGER THAN 1/4" WIDE TO RECEIVE EPOXY SECTION REPAIR.

RESTORATION KEY

- MORTAR SOFT OR MISSING
ACTION: CUT BACK 3/4" -(3) LIFTS 1/2" EACH (85%)
- 5% DEEP REPOINT (W/FINAL 3/4", (3) LIFTS
- SEE NOTE ABOVE - BACK SIDE OF SECOND STORY BRICK PARAPET
- ABANDONED METAL ELEMENTS TO BE GROUND OUT & REPOINTED AS REQ'D
- STITCH BRICK TOGETHER -SEE STRUCTURAL



Consultants:

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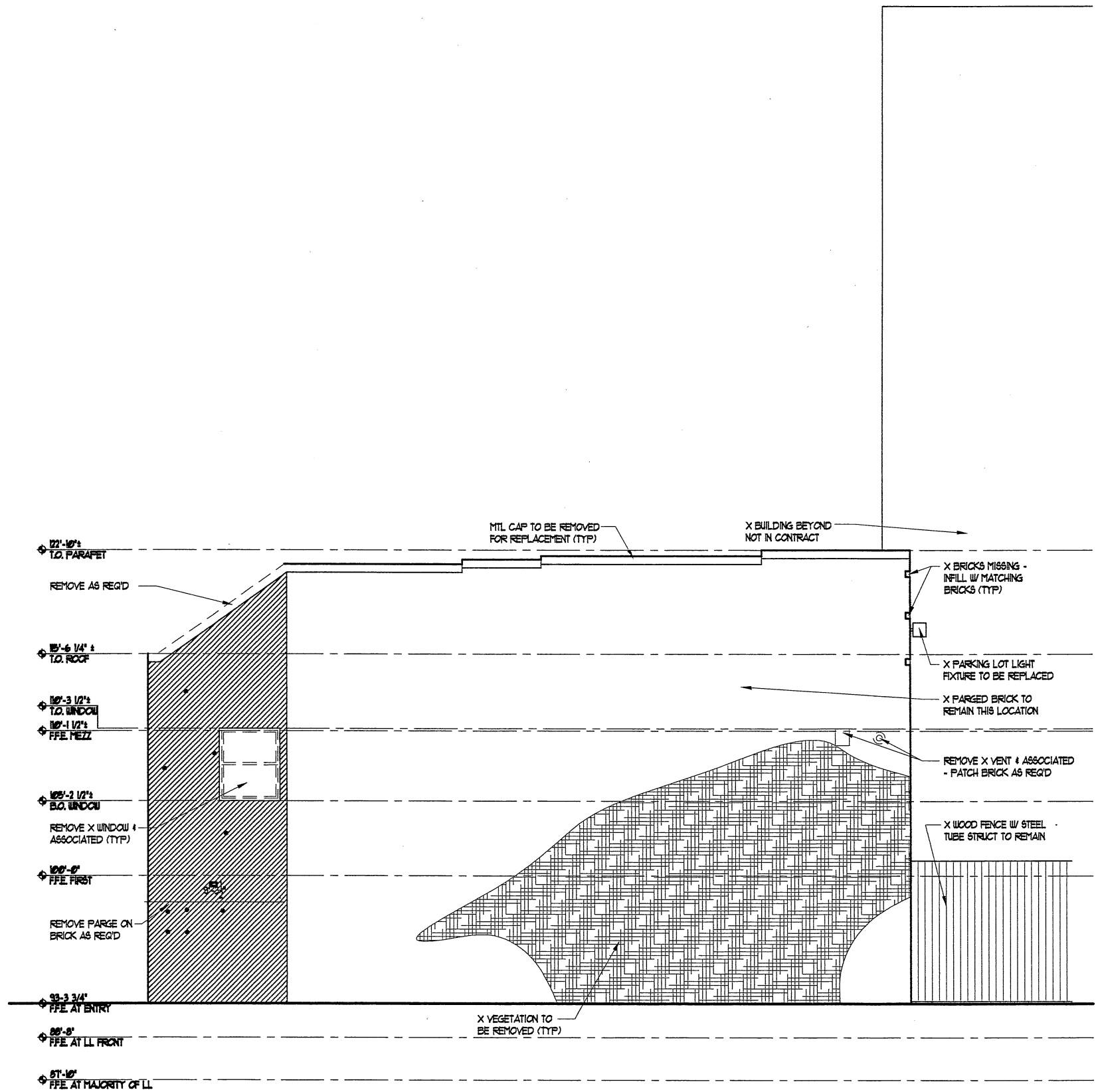
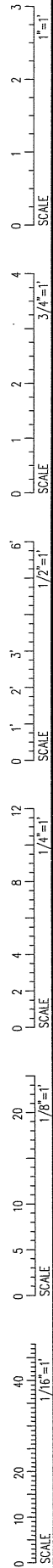
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DEMO EXTERIOR ELEVATIONS

Drawn By JP CM TS CR
 Checked By LAS

D2.4

1 MARKET ST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



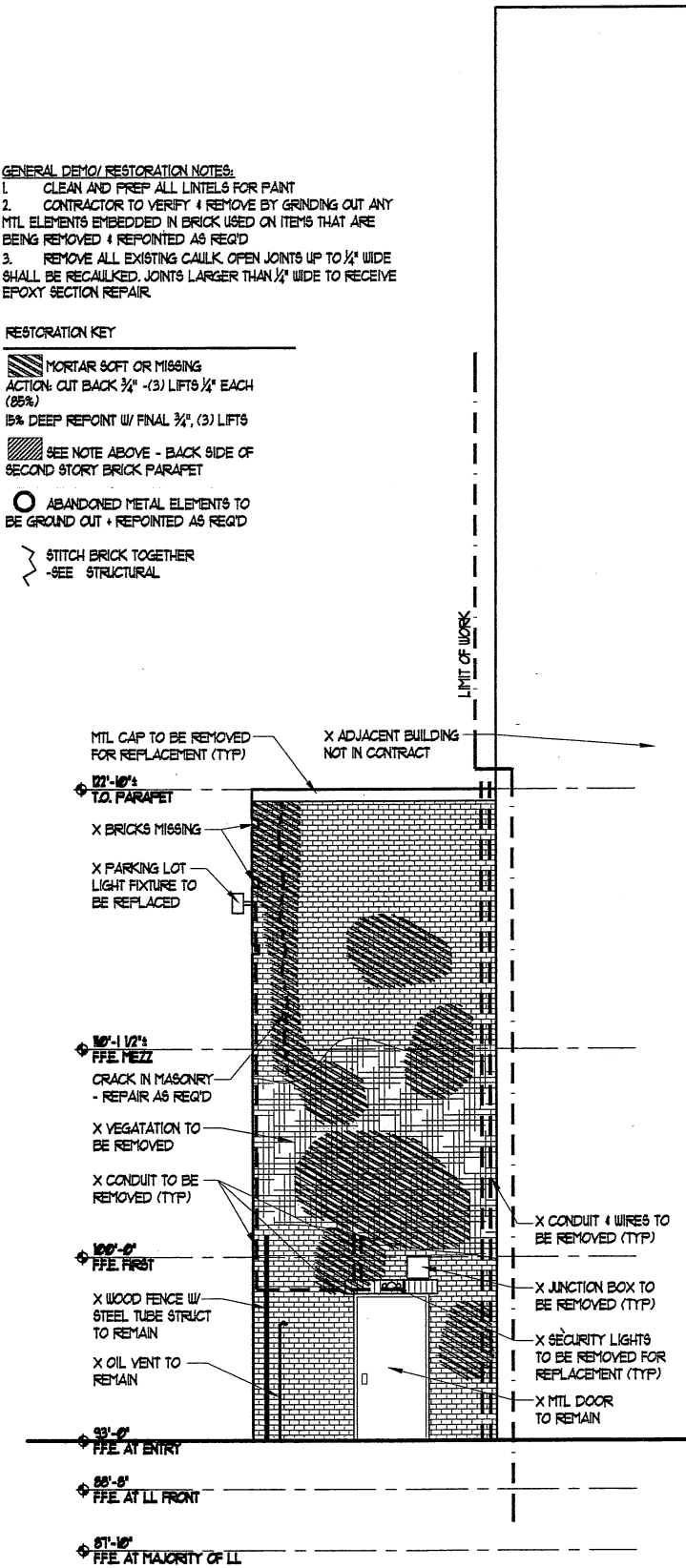
2 REAR EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"

GENERAL DEMO/ RESTORATION NOTES:

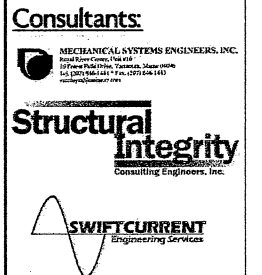
- CLEAN AND PREP ALL LINTELS FOR PAINT
- CONTRACTOR TO VERIFY & REMOVE BY GRINDING OUT ANY MTL ELEMENTS EMBEDDED IN BRICK USED ON ITEMS THAT ARE BEING REMOVED & REPOINTED AS REQ'D
- REMOVE ALL EXISTING CAULK. OPEN JOINTS UP TO 1/2" WIDE SHALL BE RECAULKED. JOINTS LARGER THAN 1/2" WIDE TO RECEIVE EPOXY SECTION REPAIR.

RESTORATION KEY

- MORTAR SOFT OR MISSING ACTION: CUT BACK 3/4" - (3) LIFTS 1/4" EACH (85%)
- 5% DEEP REPOINT W/ FINAL 3/4", (3) LIFTS
- SEE NOTE ABOVE - BACK SIDE OF SECOND STORY BRICK PARAPET
- ABANDONED METAL ELEMENTS TO BE GROUND OUT + REPOINTED AS REQ'D
- STITCH BRICK TOGETHER -SEE STRUCTURAL



1 SIDE EXTERIOR ELEVATION SCALE: 1/4" = 1'-0"



DESIGN DEVELOPMENT SET

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NEWPORT DEVELOPMENT ASSOCIATES

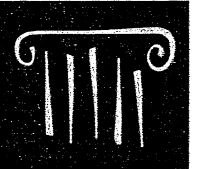
164 Middle St
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Date Issued: September 16, 2016
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Drawing Scale: AS NOTED

DEMO EXTERIOR ELEVATIONS

Drawn By: JP CM, TS CR
Checked By: LAS
D2.5



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207.761.9000

Consultants:

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ASSOCIATES

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Date Issued September 16, 2016

Project Number 16201

Drawing Scale AS NOTED

DEMO BUILDING SECTION

Drawn By

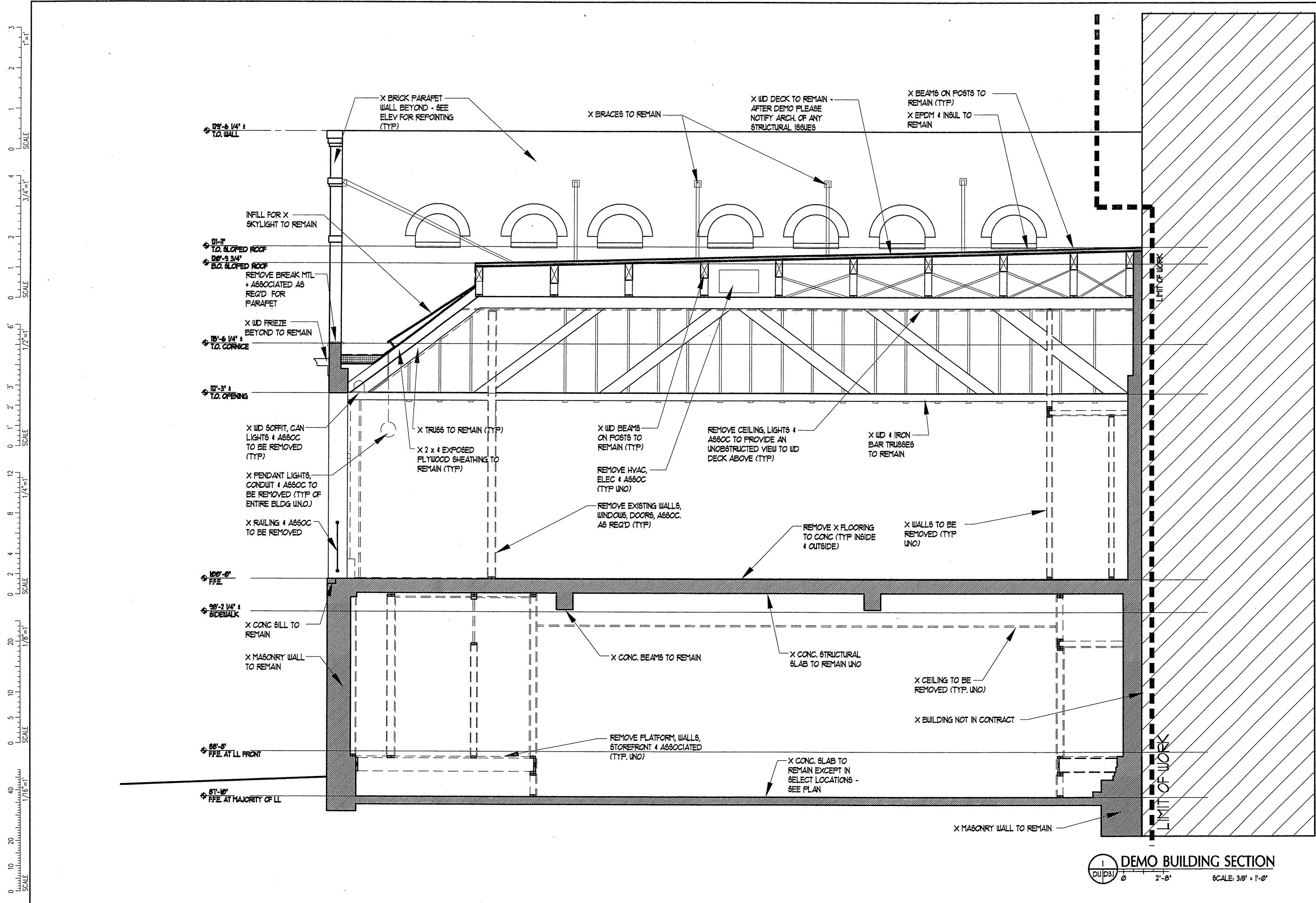
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TS CR

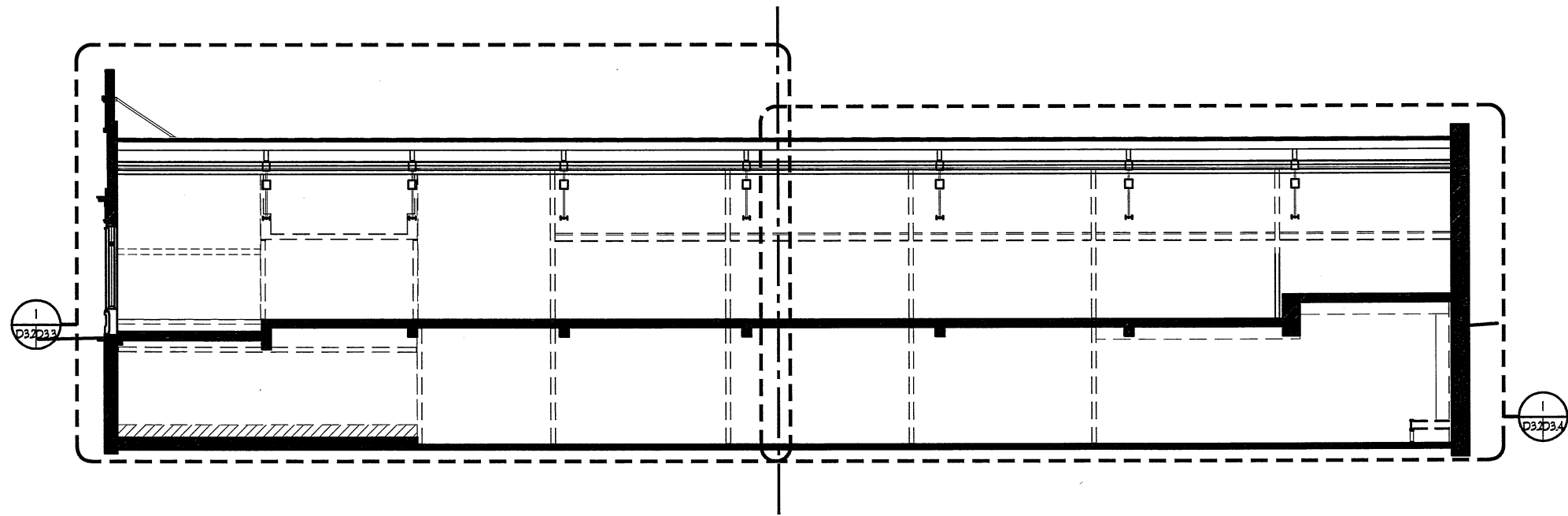
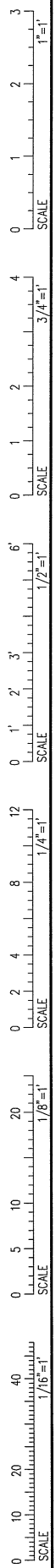
Checked By

LAS

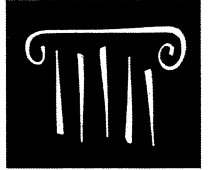
D3.1



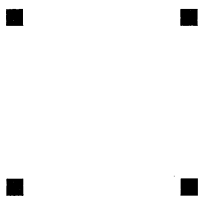
DEMO BUILDING SECTION
SCALE: 3/8" = 1'-0"



DEMO BUILDING SECTION
 SCALE: 1/8" = 1'-0"



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MECHANICAL SYSTEMS ENGINEERS, INC.
 1000 Congress Ave. #100
 10 Forest Park Drive, Westbrook, Maine 04092
 Tel: 207.761.4411 Fax: 207.761.4412
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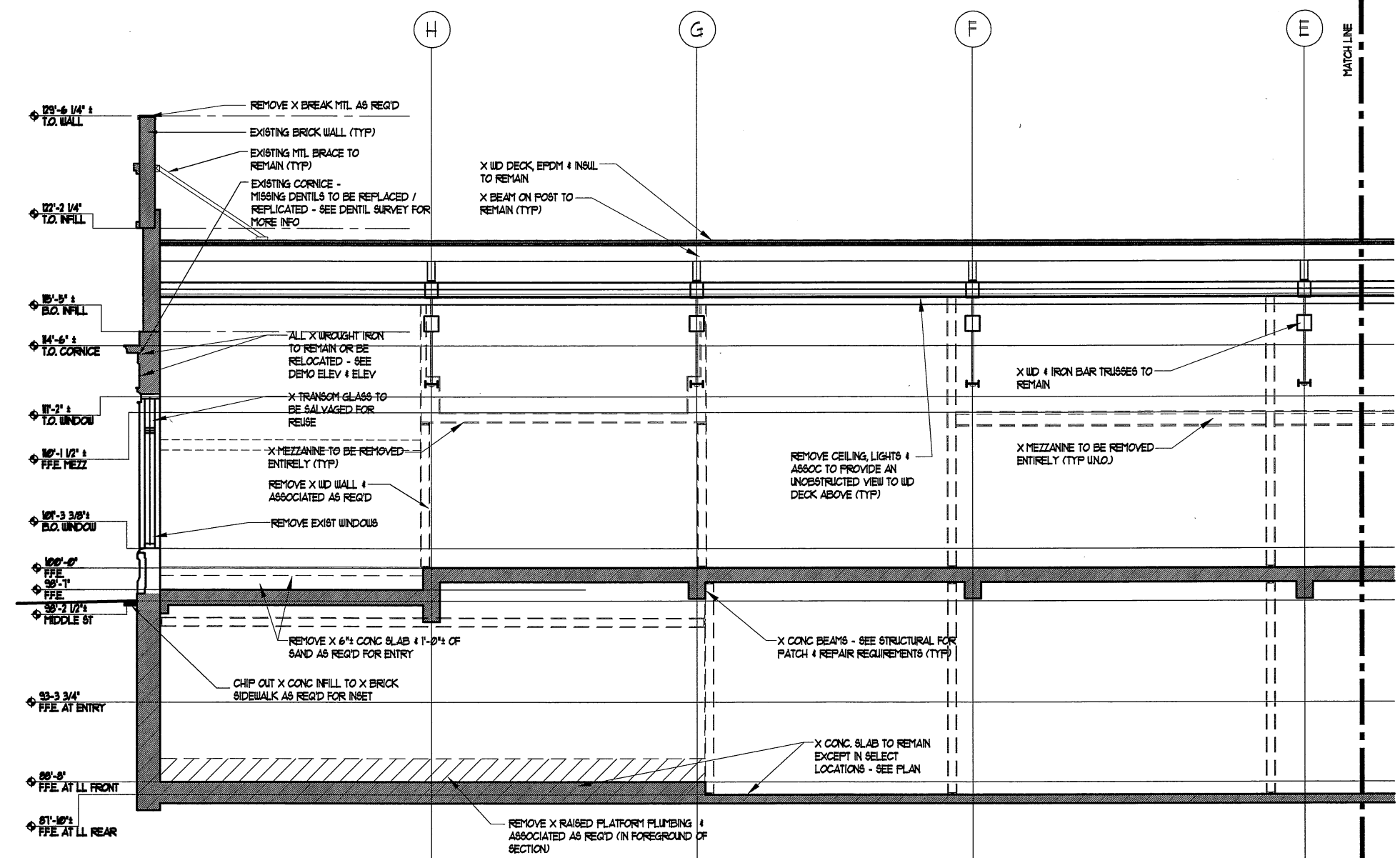
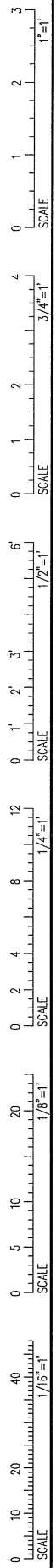
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DEMO BUILDING SECTION

Drawn By: JP CM, TS CR
 Checked By: LAS
D3.2



DEMO BUILDING SECTION
 1
 D11D33
 0 4'-0" SCALE: 1/4" = 1'-0"

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 Structural Integrity Consulting Engineers, Inc.

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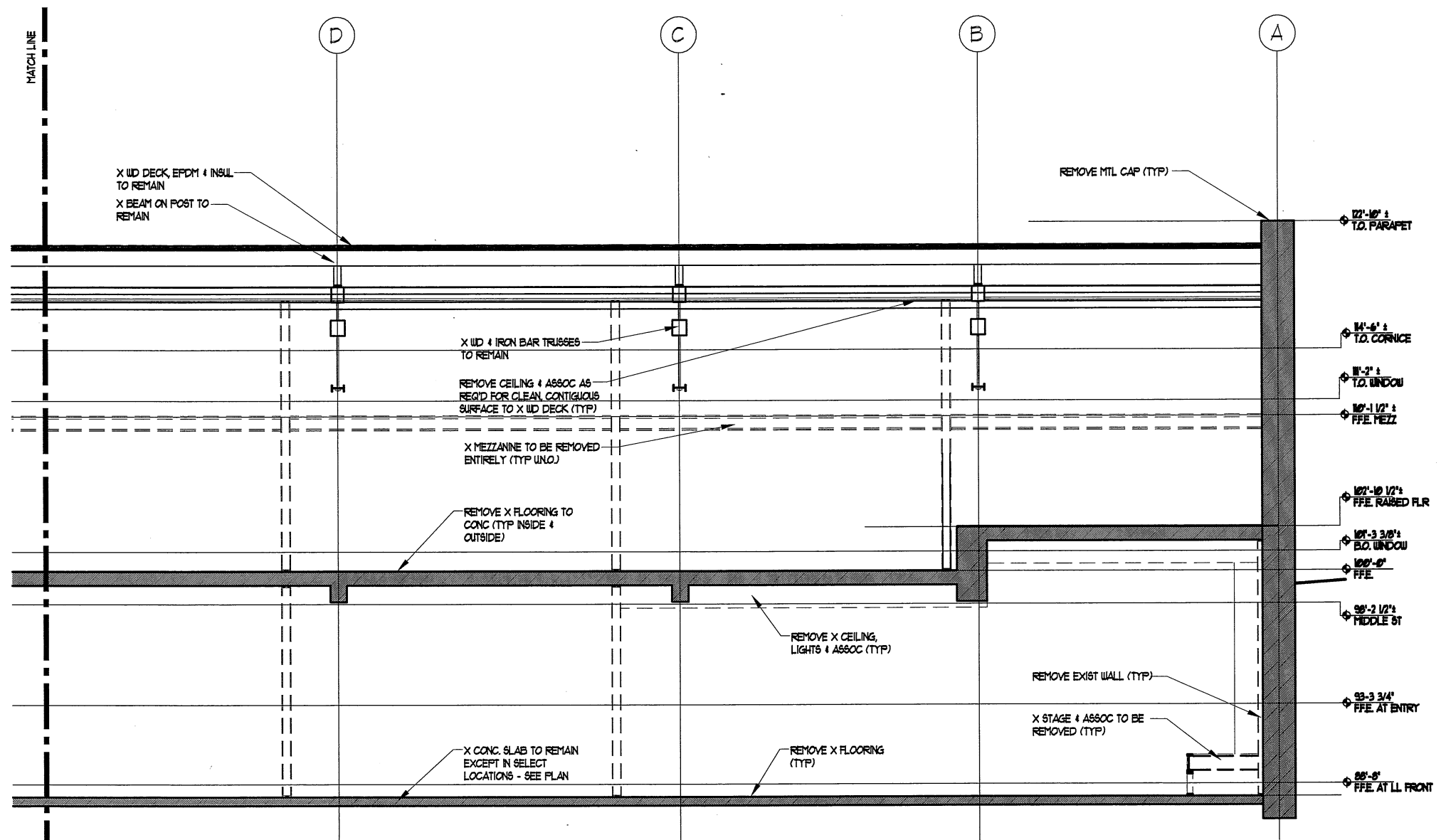
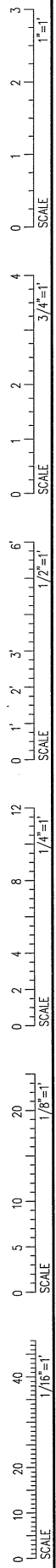
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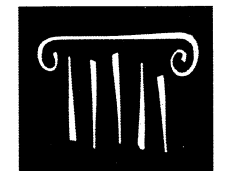
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 Project Number: 16201
 Drawing Scale: AS NOTED

DEMO BUILDING SECTION

Drawn By: JIP CM / TS CR
 Checked By: LAS
D3.3



DEMO BUILDING SECTION
 SCALE: 1/8" = 1'-0"



PORT CITY ARCHITECTURE

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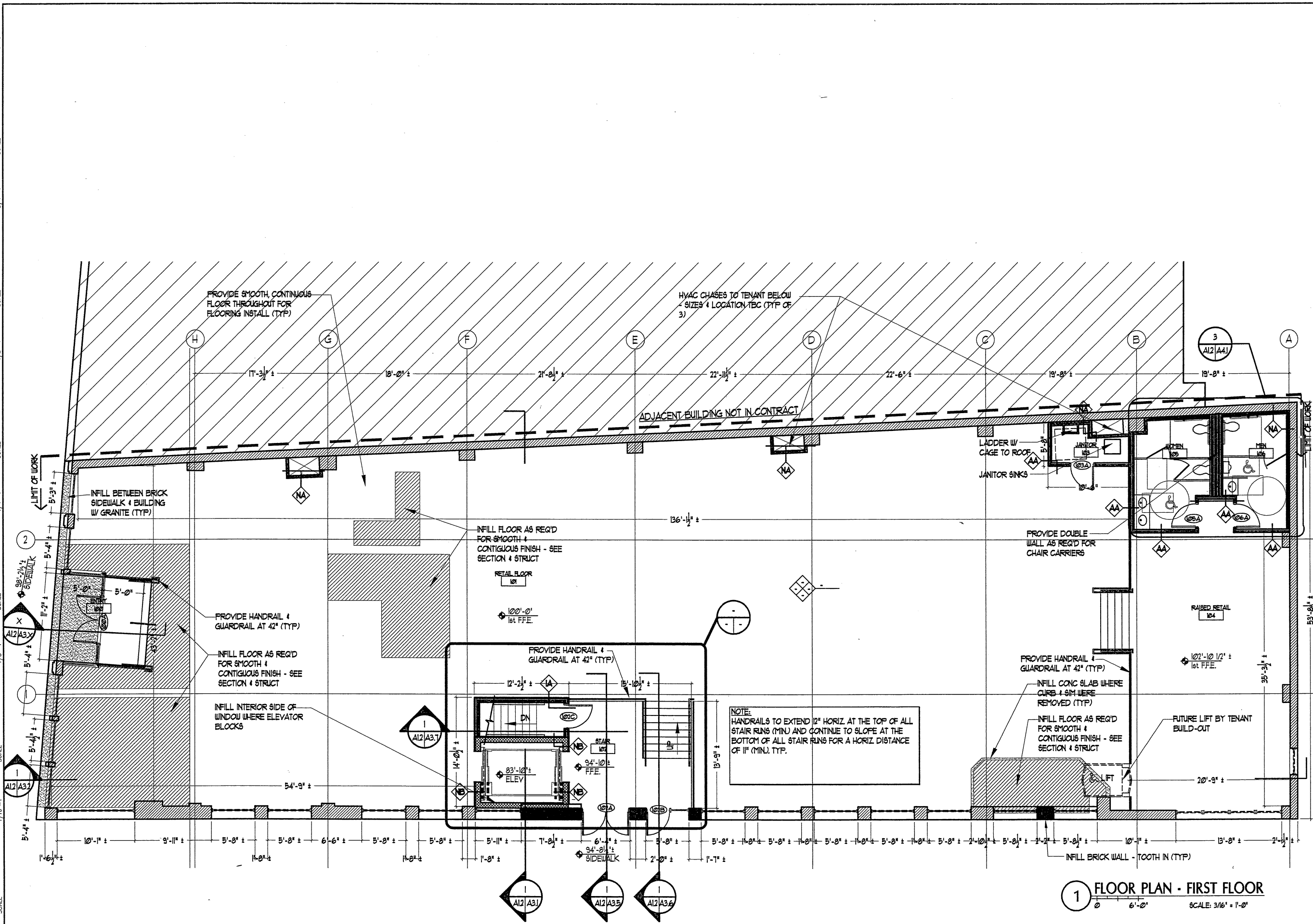
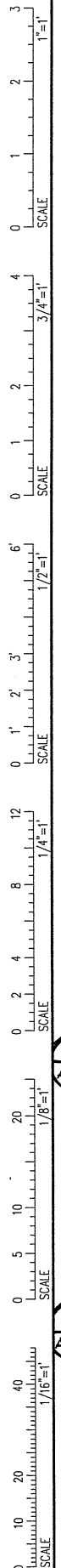
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DEMO BUILDING SECTION

Drawn By: JPC
 TS CR
 Checked By: LAG
D3.4



1 FLOOR PLAN - FIRST FLOOR
SCALE: 3/16" = 1'-0"



- Consultants:**
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 - Structural Integrity Consulting Engineers, Inc.
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FIRST FLOOR PLAN

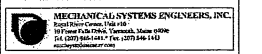
Drawn By: JP CM, TS CR
Checked By: LAS
A1.2



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Consultants:



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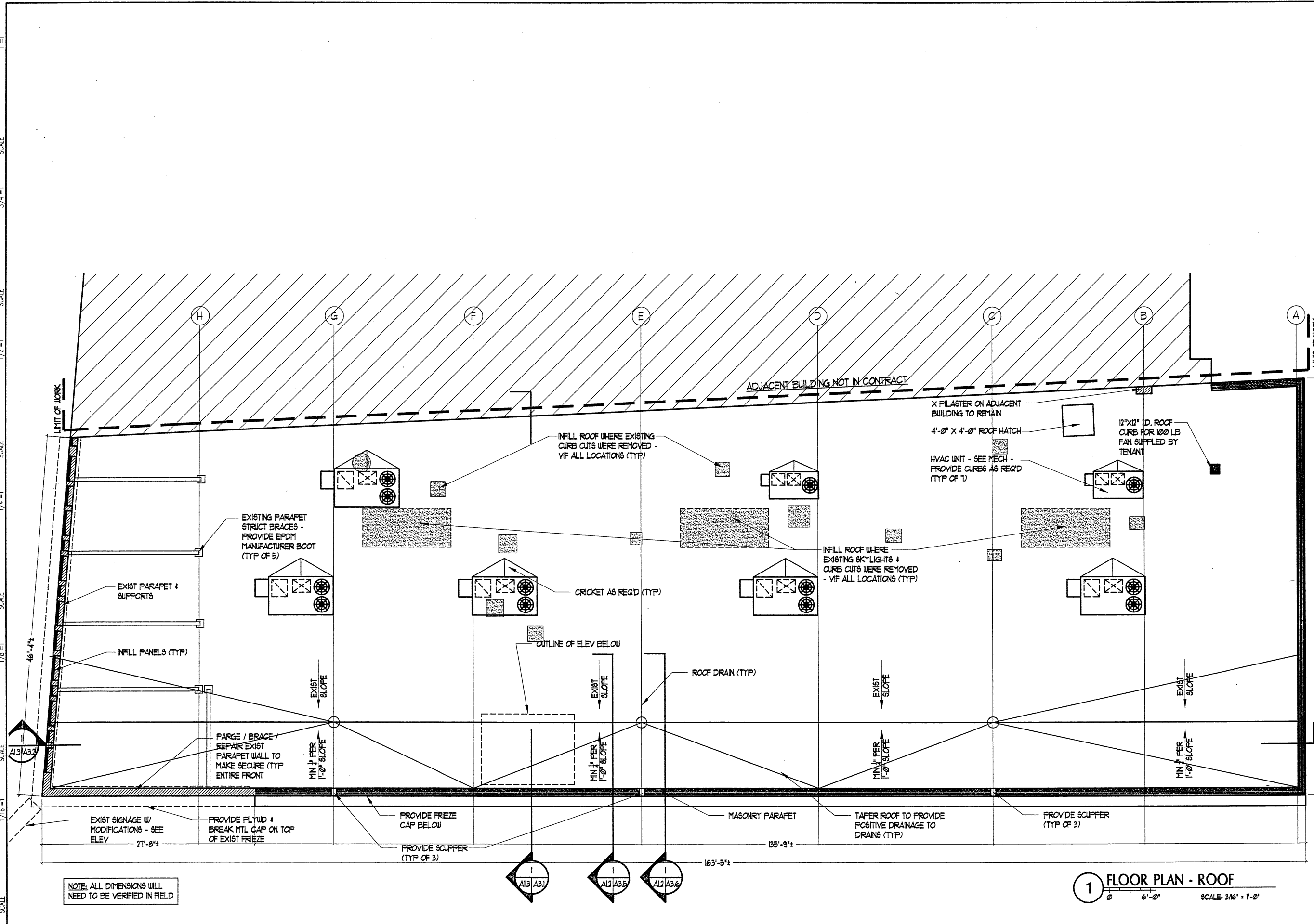
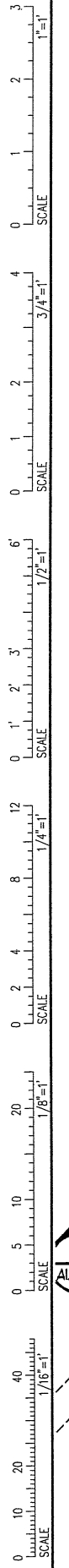
Drawing Scale AS NOTED

ROOF PLAN

Drawn By
JP CM
TS CR

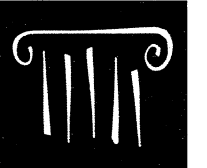
Checked By
LAS

A1.3



NOTE: ALL DIMENSIONS WILL NEED TO BE VERIFIED IN FIELD

1 FLOOR PLAN - ROOF
SCALE: 3/16" = 1'-0"



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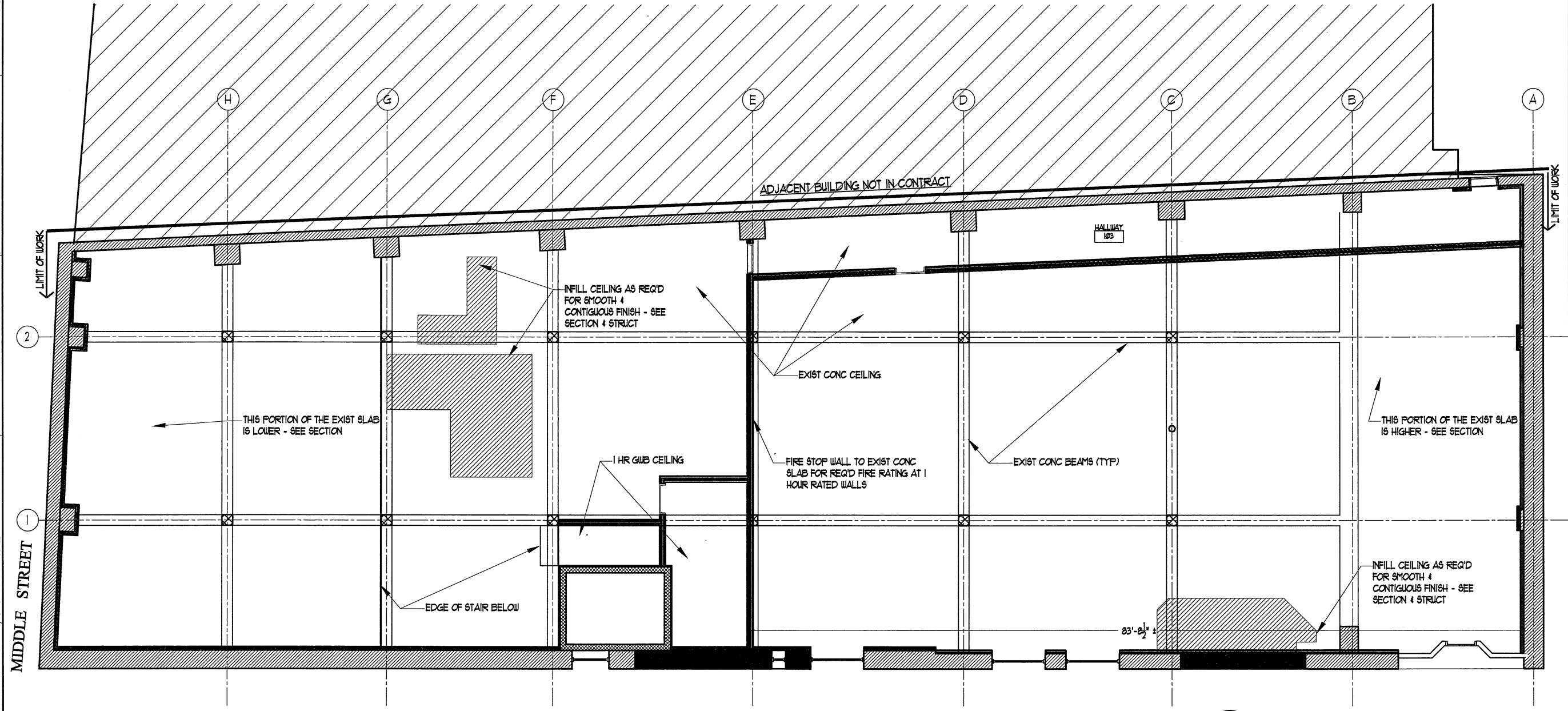
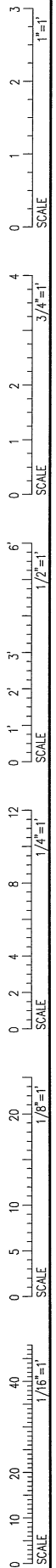
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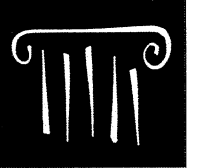
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Project Number 16207
Drawing Scale AS NOTED

LOWER LEVEL REFL CLG PLAN

Drawn By JP CM
TS CR
Checked By LAG
A1.4



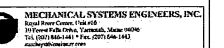
1 REFLECTED CEILING PLAN - LOWER LEVEL
SCALE: 3/16" = 1'-0"



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Date Issued September 16, 2016

Project Number 16207

Drawing Scale AS NOTED

FIRST FLOOR REFL CLG PLAN

Drawn By

JP CM

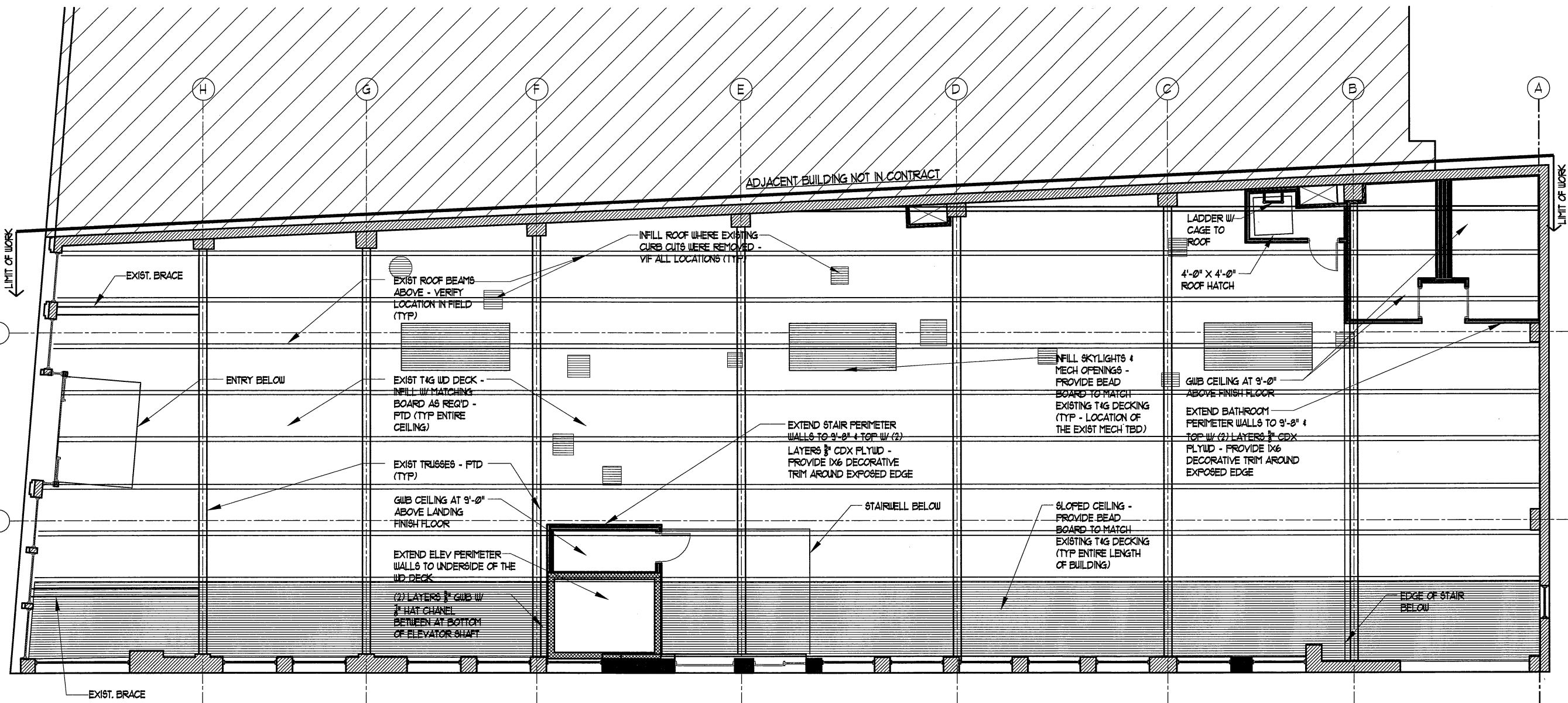
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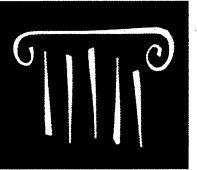
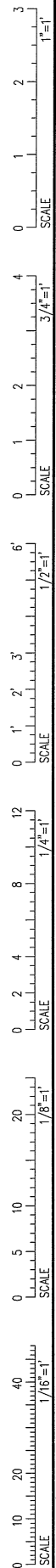
Checked By

LAS

A1.5

1 REFLECTED CEILING PLAN - FIRST FLOOR
SCALE: 3/16" = 1'-0"





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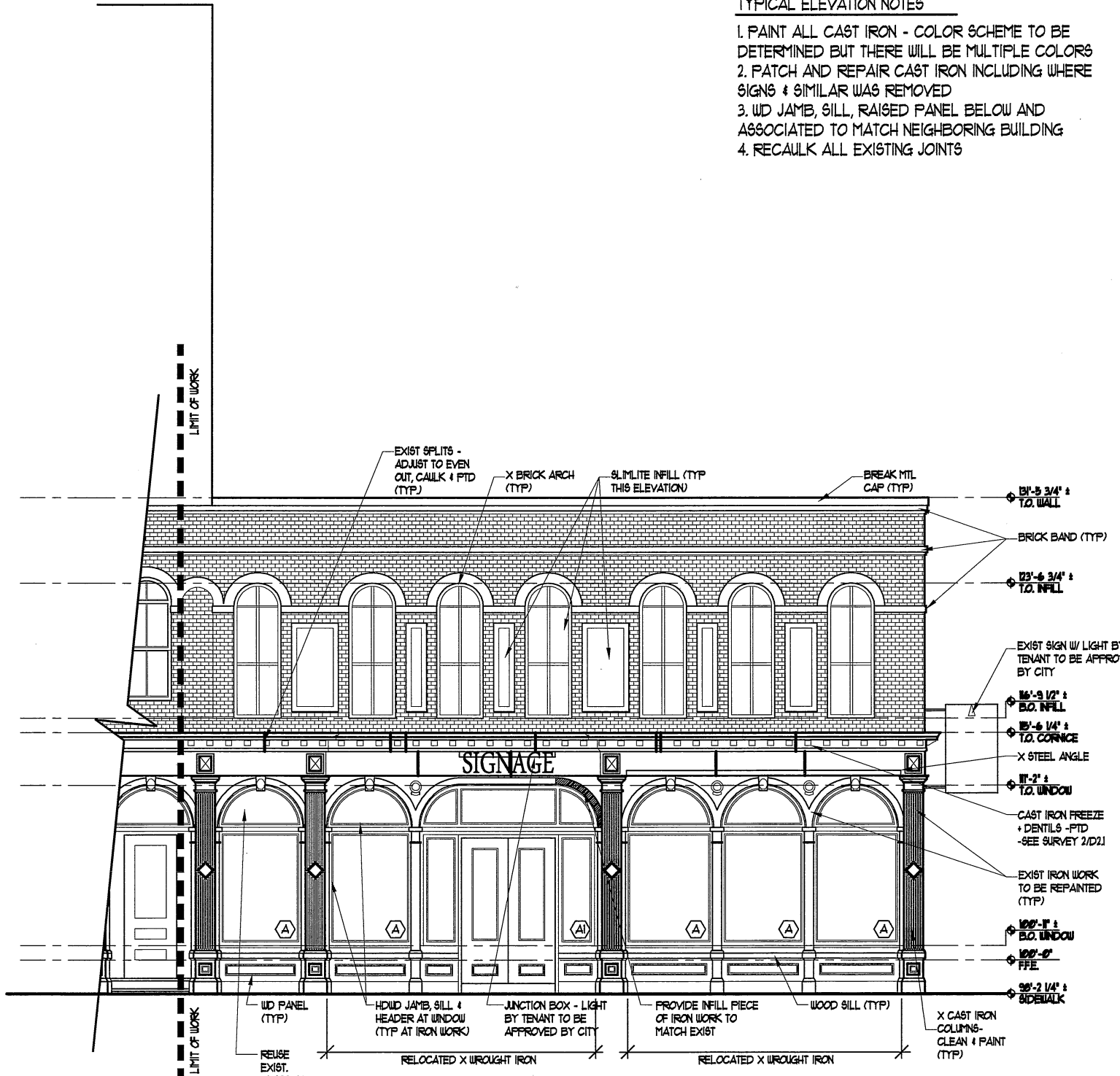
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Date Issued: September 16, 2016
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 Drawing Scale: AS NOTED

EXTERIOR ELEVATIONS

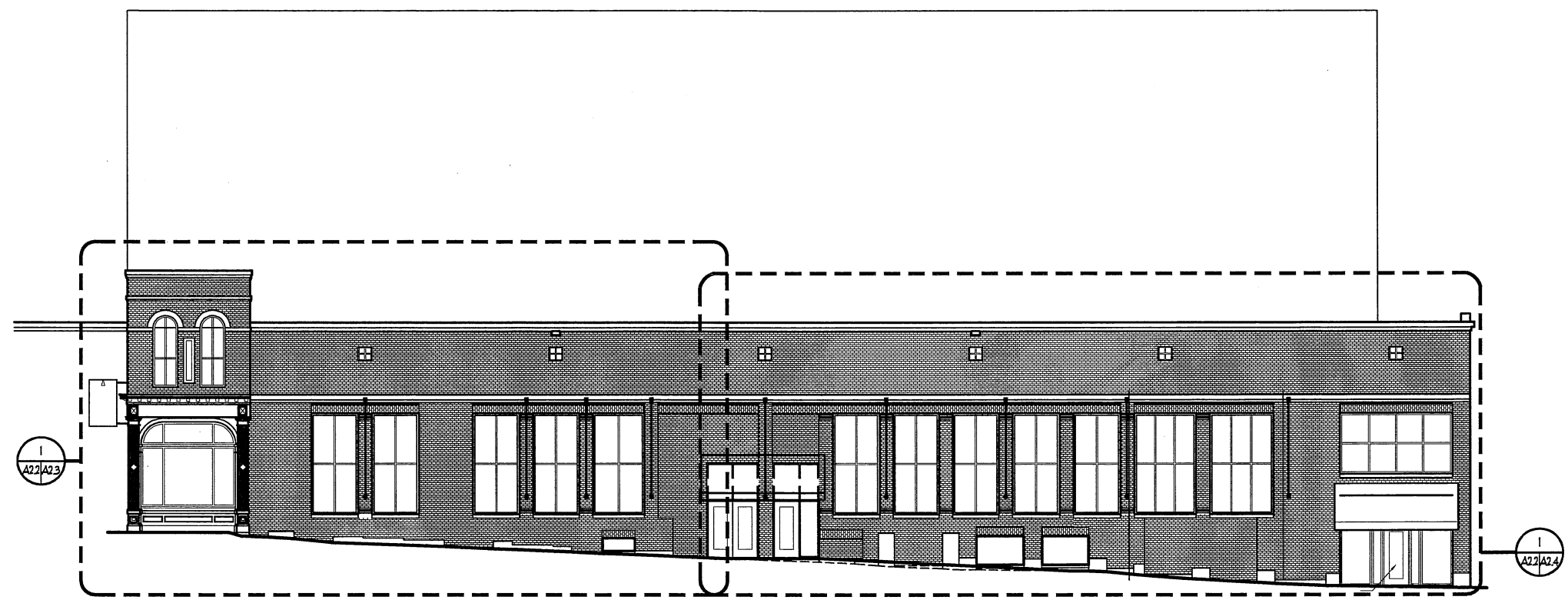
Drawn By: JP CM
 TS CR
 Checked By: LAS
A2.1

- TYPICAL ELEVATION NOTES**
1. PAINT ALL CAST IRON - COLOR SCHEME TO BE DETERMINED BUT THERE WILL BE MULTIPLE COLORS
 2. PATCH AND REPAIR CAST IRON INCLUDING WHERE SIGNS & SIMILAR WAS REMOVED
 3. WD JAMB, SILL, RAISED PANEL BELOW AND ASSOCIATED TO MATCH NEIGHBORING BUILDING
 4. RECAULK ALL EXISTING JOINTS

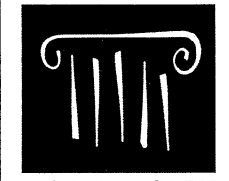


1 MIDDLE ST. ELEVATION
 SCALE: 1/4" = 1'-0"

0 10 20 40
 SCALE 1/16" = 1'
 0 5 10 20
 SCALE 1/8" = 1'
 0 2 4 8 12
 SCALE 1/4" = 1'
 0 1' 2' 3'
 SCALE 1/2" = 1'
 0 1 2
 SCALE 3/4" = 1'
 0 1 2 3
 SCALE 1" = 1'



1 MARKET ST. ELEVATION
 SCALE: 1/8" = 1'-0"



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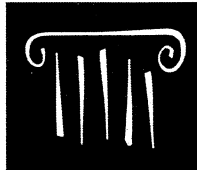
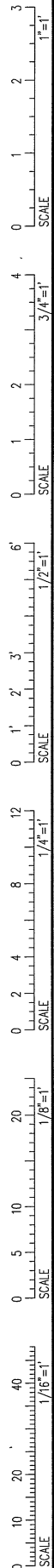
Project Number 16207

Drawing Scale AS NOTED

EXTERIOR ELEVATIONS

Drawn By
 JF CM
 TS CR
 Checked By
 LAS

A2.2



PORT CITY ARCHITECTURE

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EXTERIOR ELEVATIONS

Drawn By

JF CM

TS CR

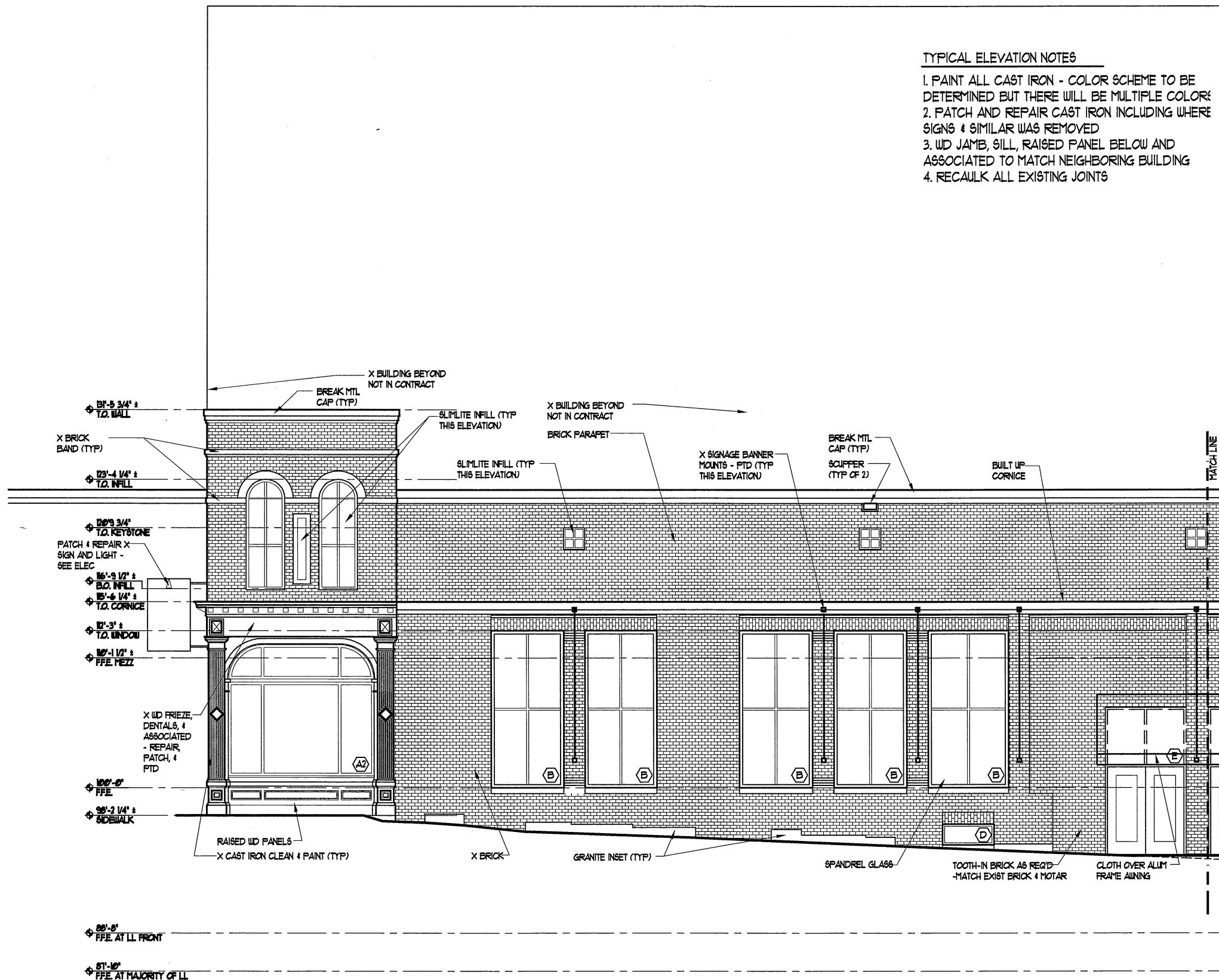
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LAS

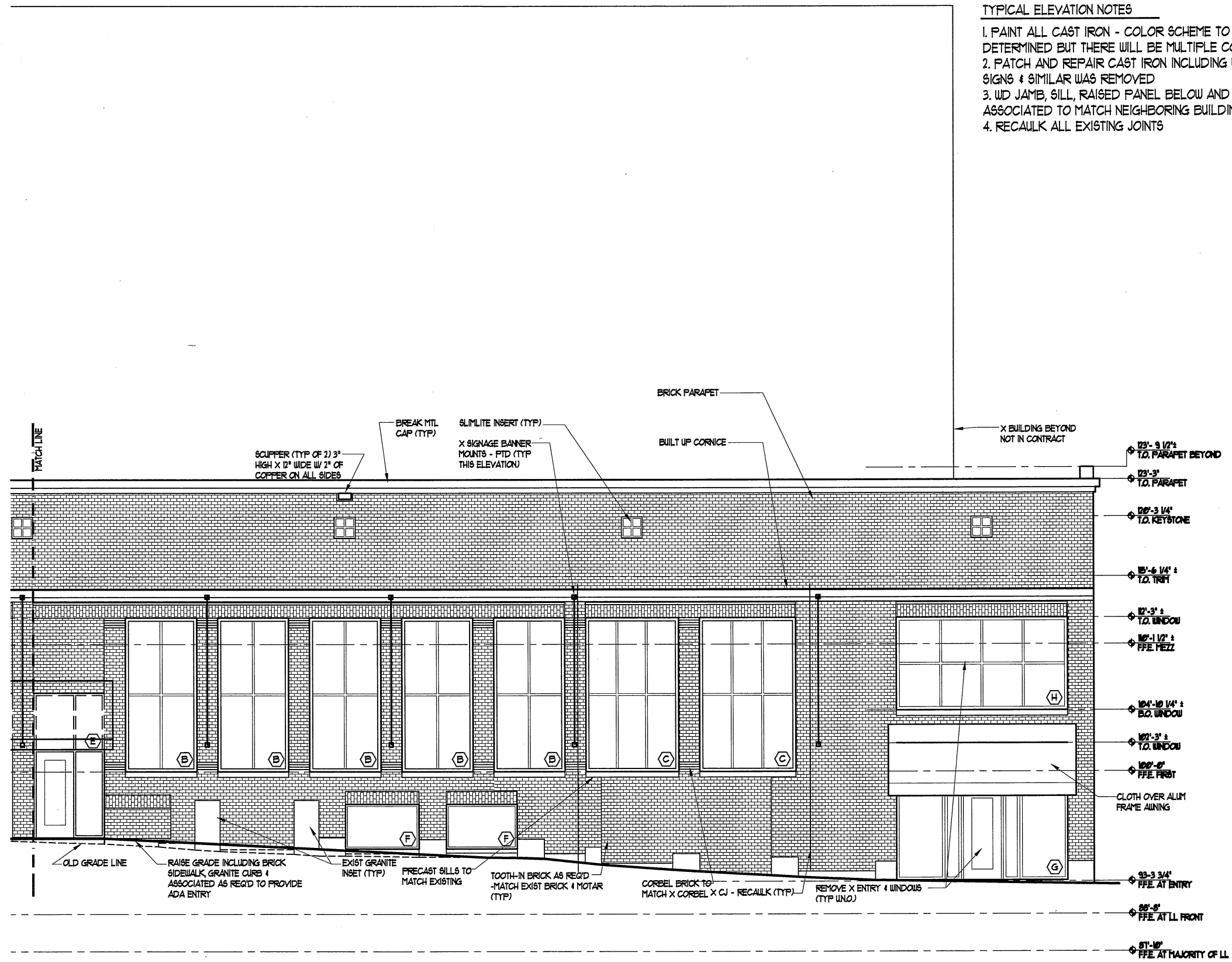
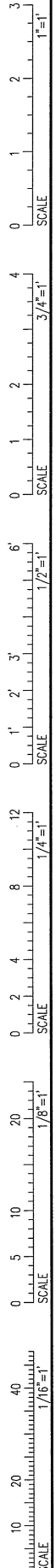
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TYPICAL ELEVATION NOTES

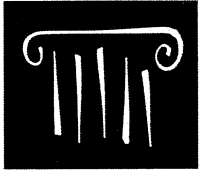
1. PAINT ALL CAST IRON - COLOR SCHEME TO BE DETERMINED BUT THERE WILL BE MULTIPLE COLORS
2. PATCH AND REPAIR CAST IRON INCLUDING WHERE SIGNS & SIMILAR WAS REMOVED
3. WD JAMB, SILL, RAISED PANEL BELOW AND ASSOCIATED TO MATCH NEIGHBORING BUILDING
4. RECAULK ALL EXISTING JOINTS



1 MARKET ST. ELEVATION
SCALE: 1/4\"/>



- TYPICAL ELEVATION NOTES**
1. PAINT ALL CAST IRON - COLOR SCHEME TO BE DETERMINED BUT THERE WILL BE MULTIPLE COLORS
 2. PATCH AND REPAIR CAST IRON INCLUDING WHERE SIGNS & SIMILAR WAS REMOVED
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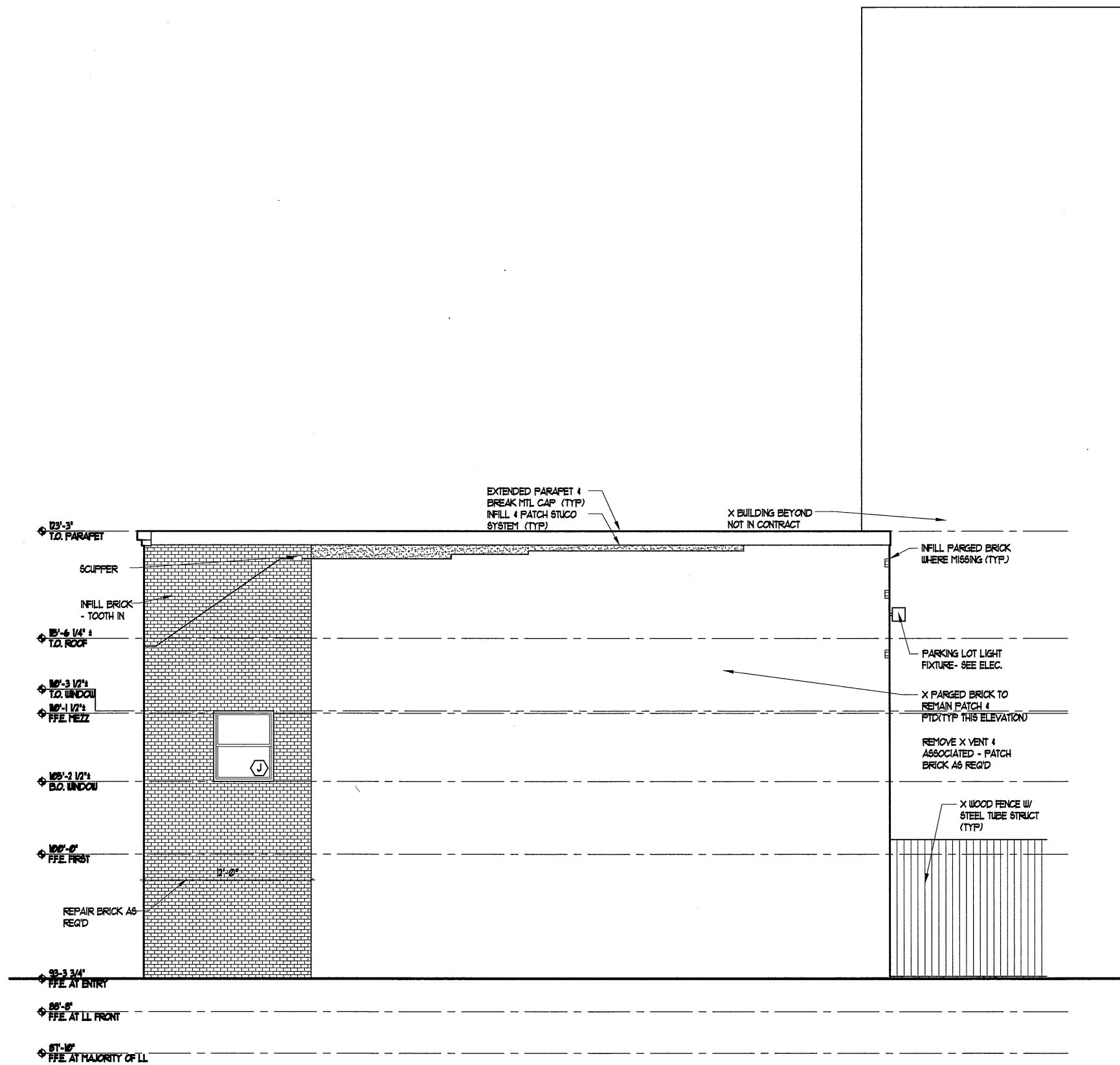
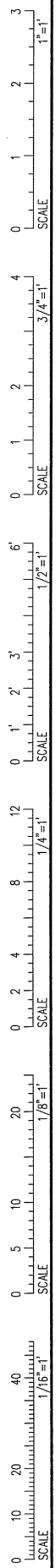
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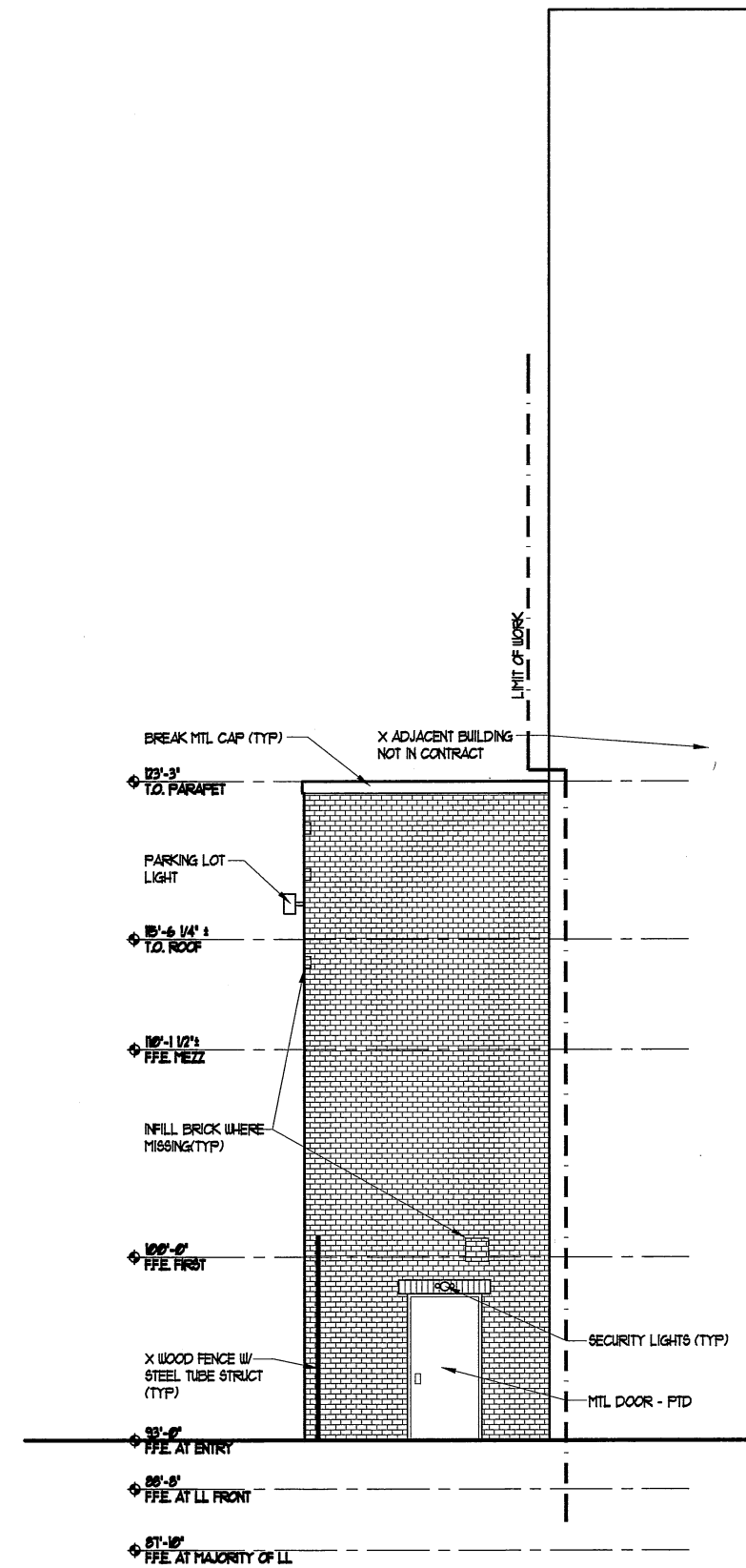
EXTERIOR ELEVATIONS

Drawn By: JP CM, TS CR
 Checked By: LAS
A2.4

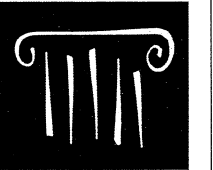
1 MARKET ST. ELEVATION
 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 SILVER ST. ELEVATION
SCALE: 1/4" = 1'-0"



PORT CITY ARCHITECTURE
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Consultants:

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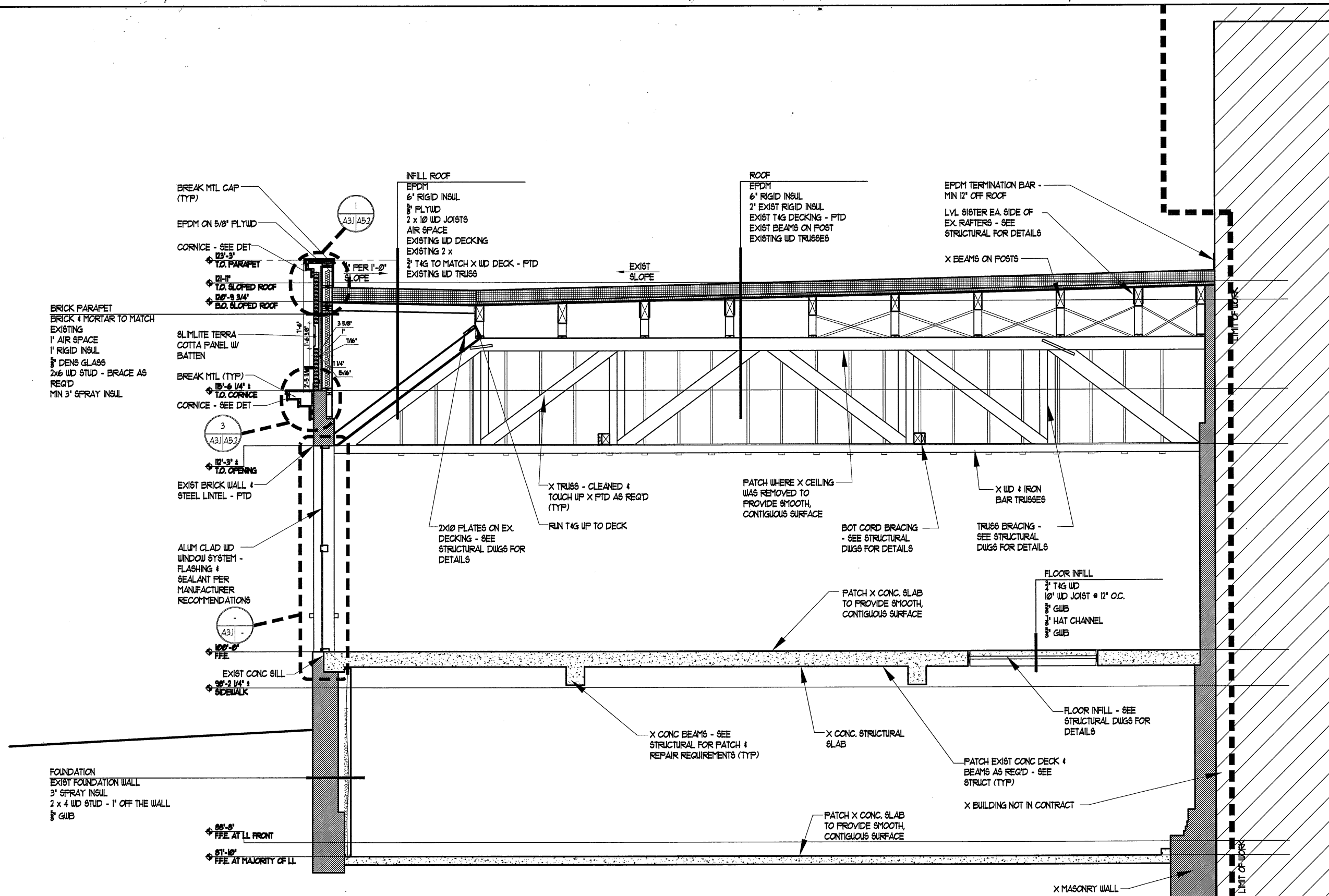
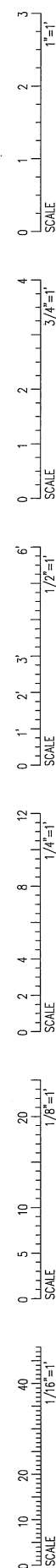
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EXTERIOR ELEVATIONS

Drawn By: JF CM
T8 CR
Checked By: LAS
A2.5

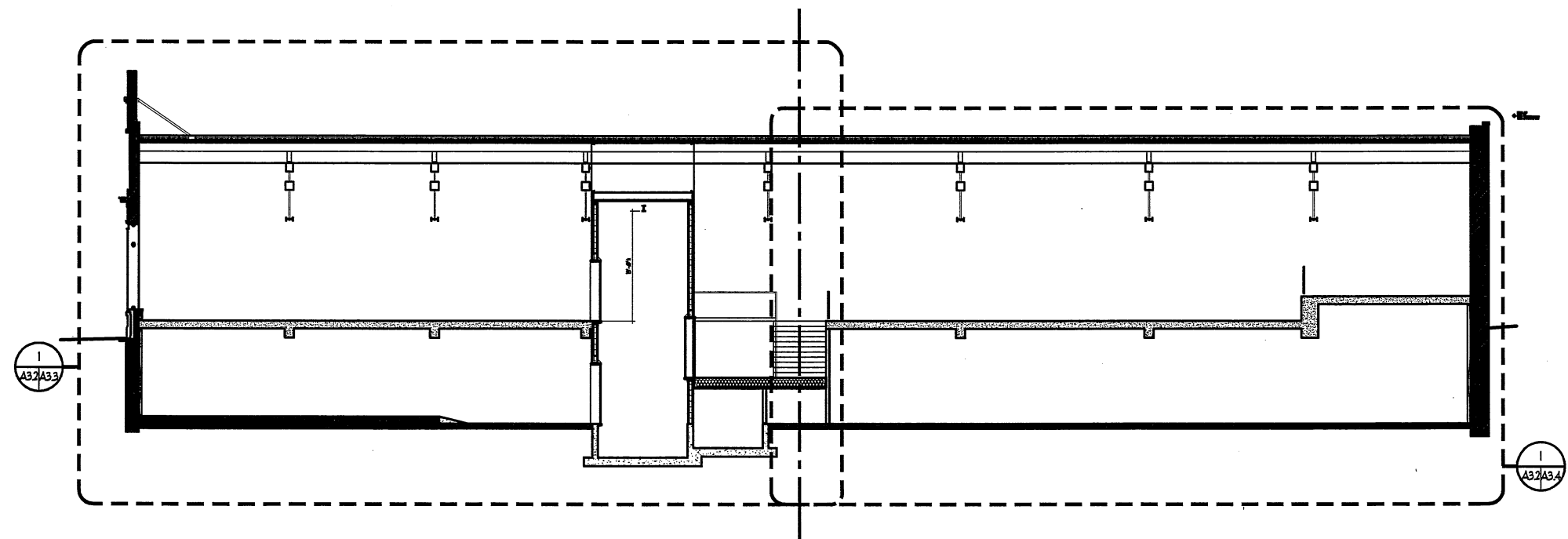
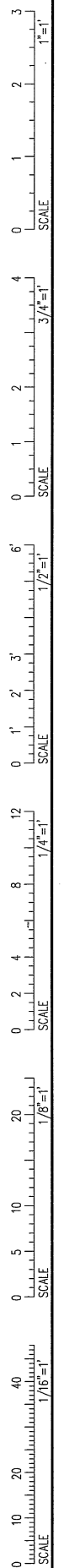


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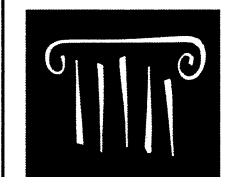
Date Issued September 16, 2016
 Project Number 16201
 Drawing Scale AS NOTED

BUILDING SECTION
 Drawn By JP CH, TS CR
 Checked By LAG
A3.1

BUILDING SECTION
 SCALE: 3/8" = 1'-0"



BUILDING SECTION
 SCALE: 1/8" = 1'-0"



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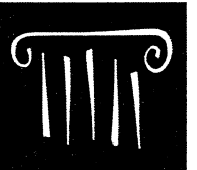
Project Number 16201

Drawing Scale AS NOTED

BUILDING SECTION

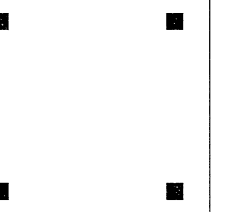
Drawn By
 JP CM
 TS CR
 Checked By
 LAS

A3.2



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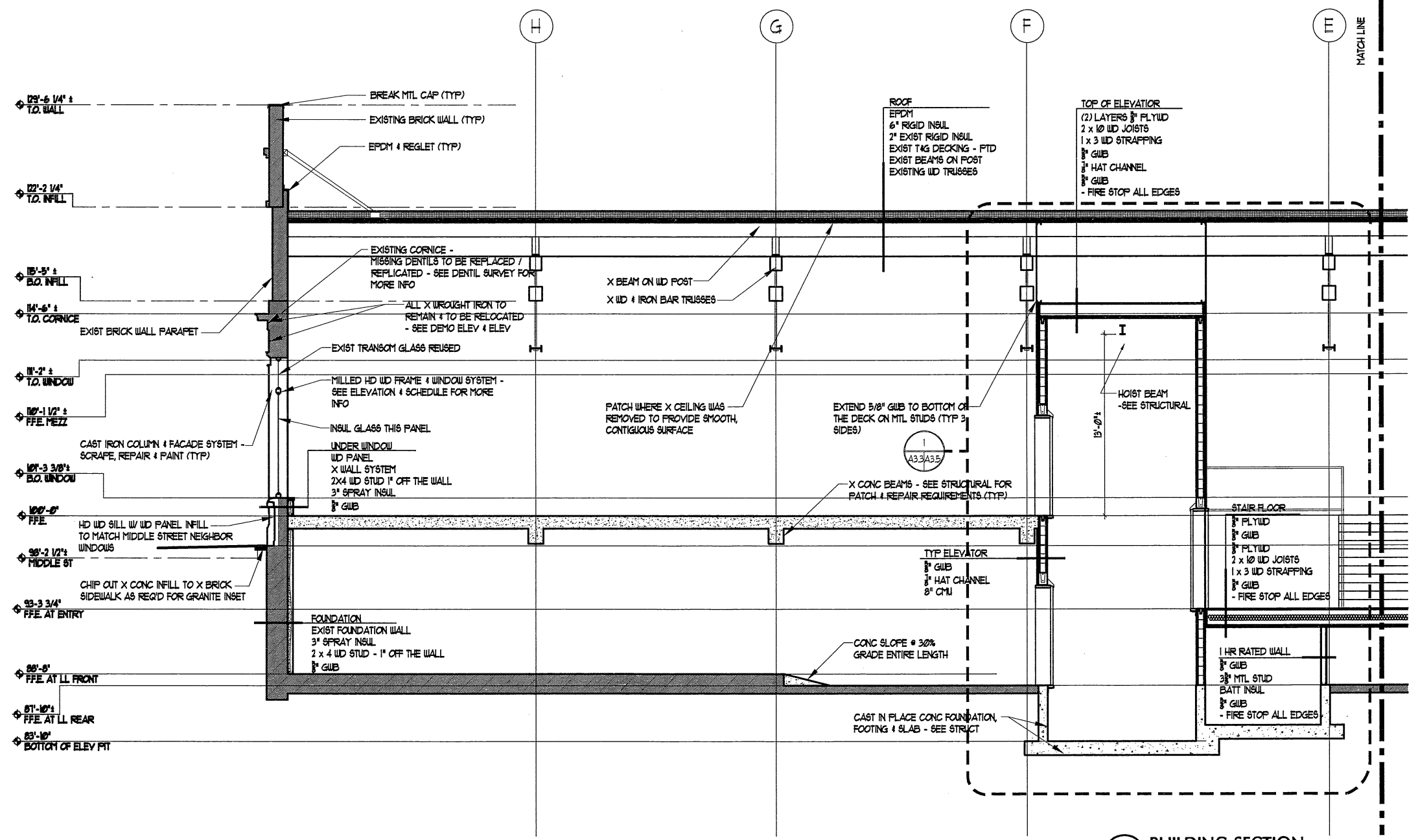
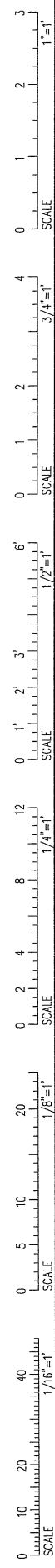
164 Middle St
Portland, Maine

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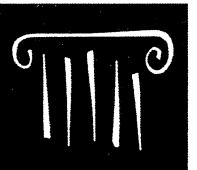
Date Issued: September 16, 2016
Project Number: 16201
Drawing Scale: AS NOTED

BUILDING SECTION

Drawn By: JP CM, TS CR
Checked By: LAS
A3.3

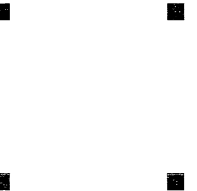


BUILDING SECTION
SCALE: 1/4" = 1'-0"



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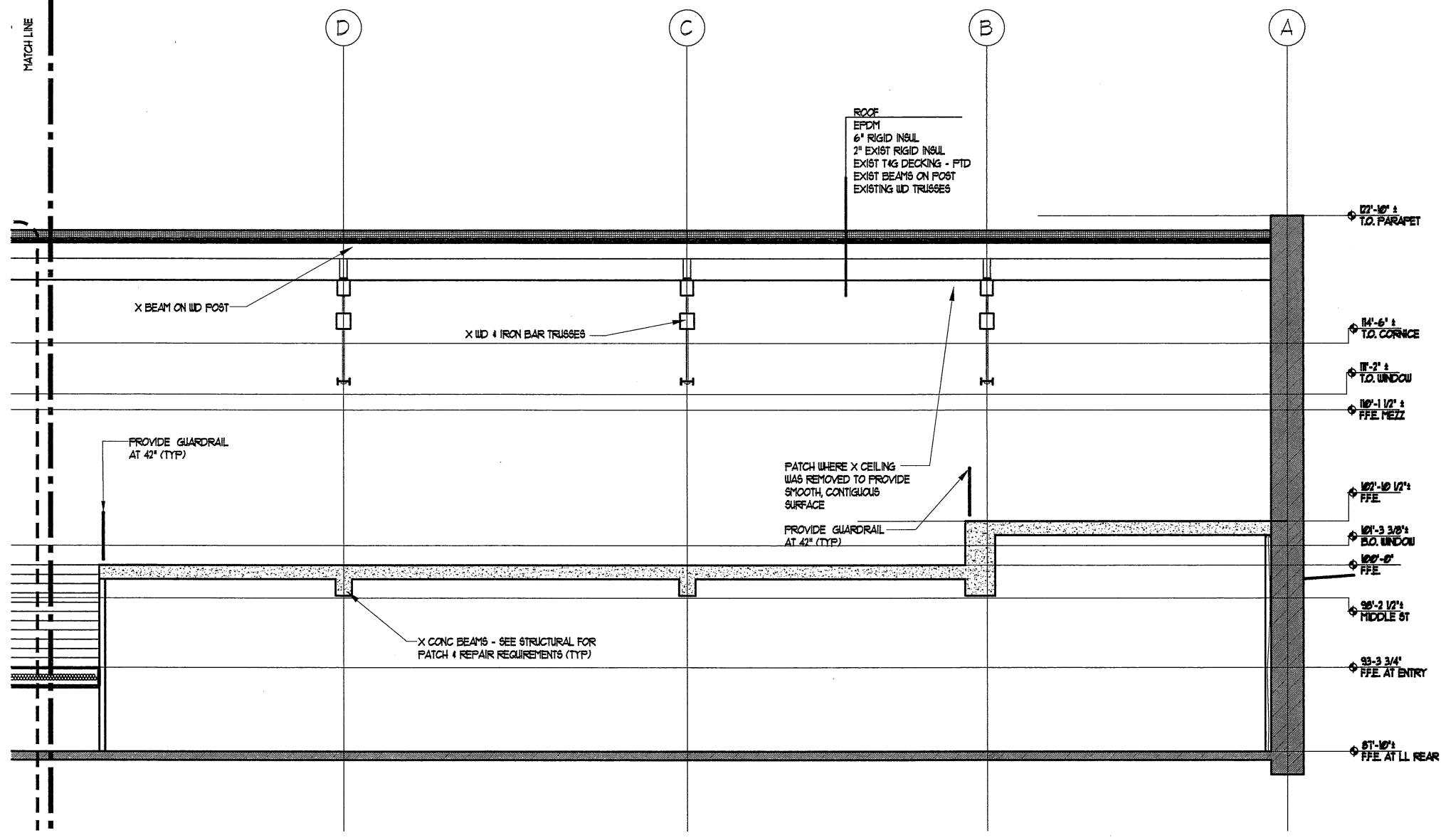
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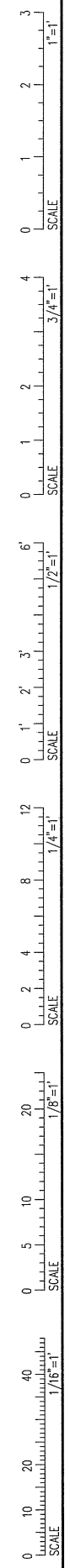
Date Issued: September 16, 2016
Project Number: 16201
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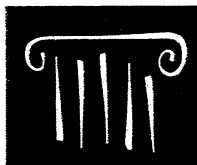
BUILDING SECTION

Drawn By: JP CM, TS CR
Checked By: LAS
A3.4



BUILDING SECTION
SCALE: 1/4" = 1'-0"





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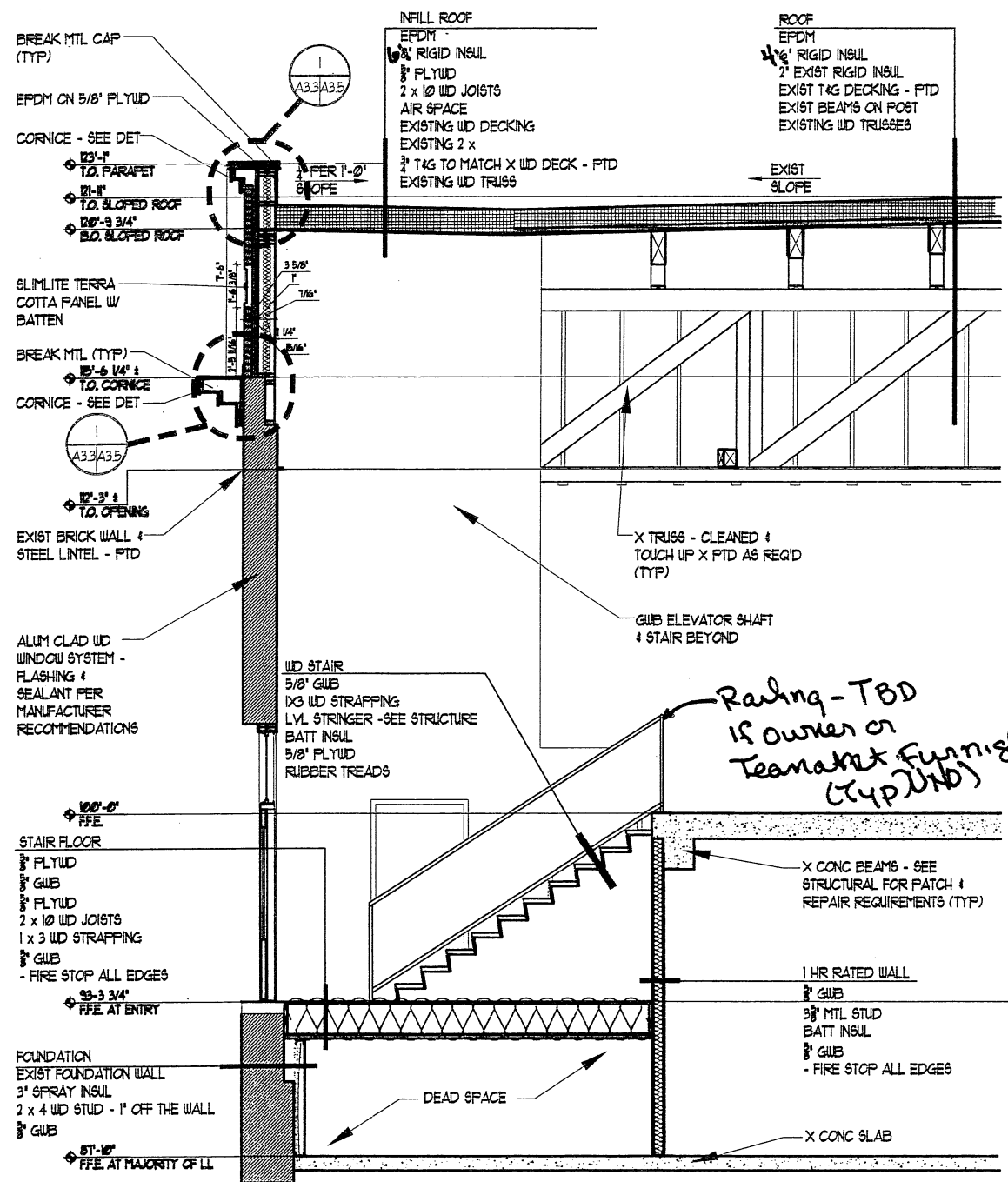
Project Number 16201

Drawing Scale AS NOTED

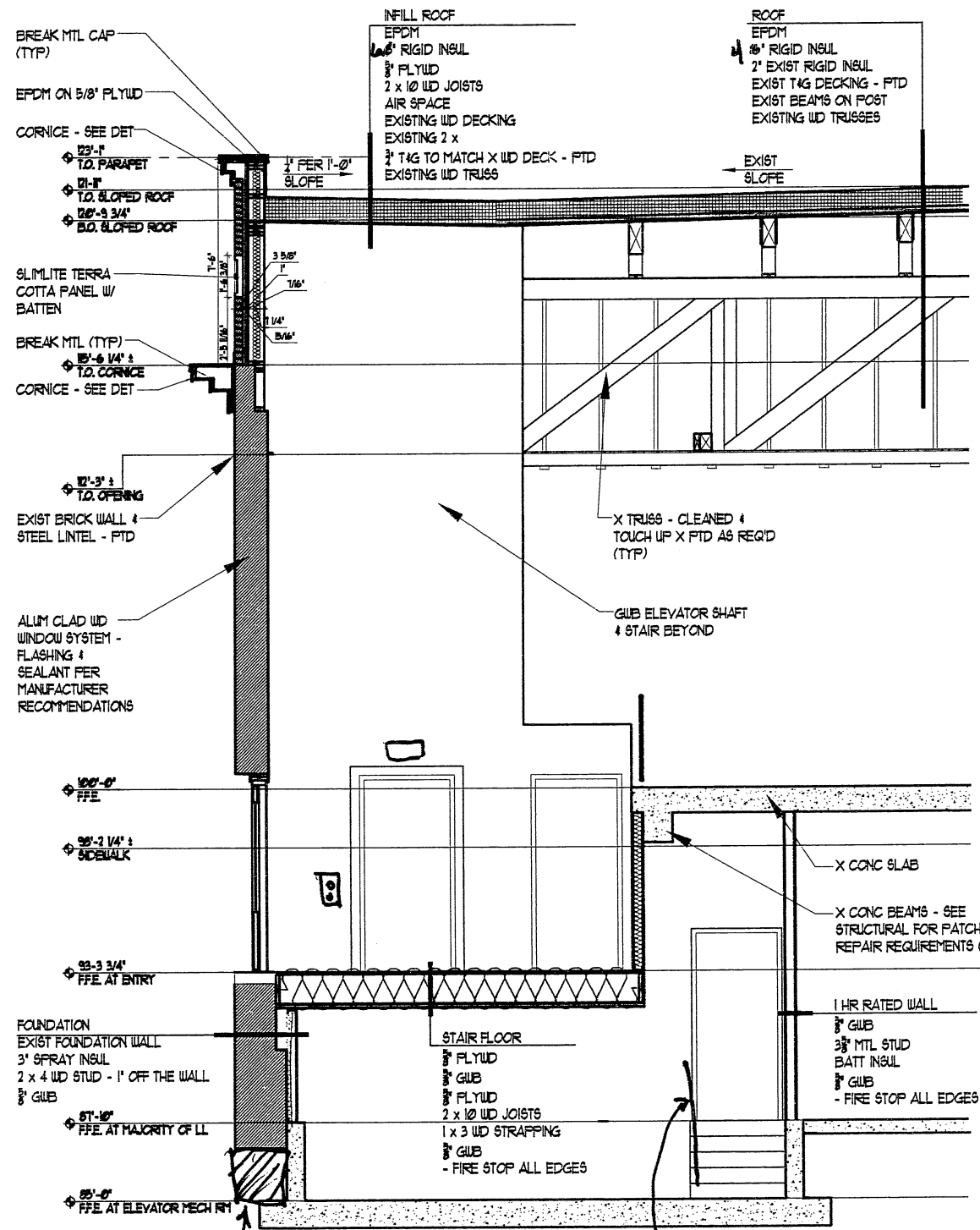
**ELEVATOR
SECTIONS**

Drawn By
JP CM
TB CR
Checked By
LAS

A3.6



2 STAIR SECTION @ SIDE ENTRY
SCALE: 3/8" = 1'-0"

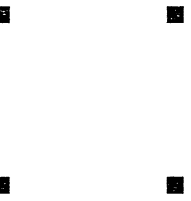


3 ELEVATOR MECH RM SECTION
SCALE: 3/8" = 1'-0"



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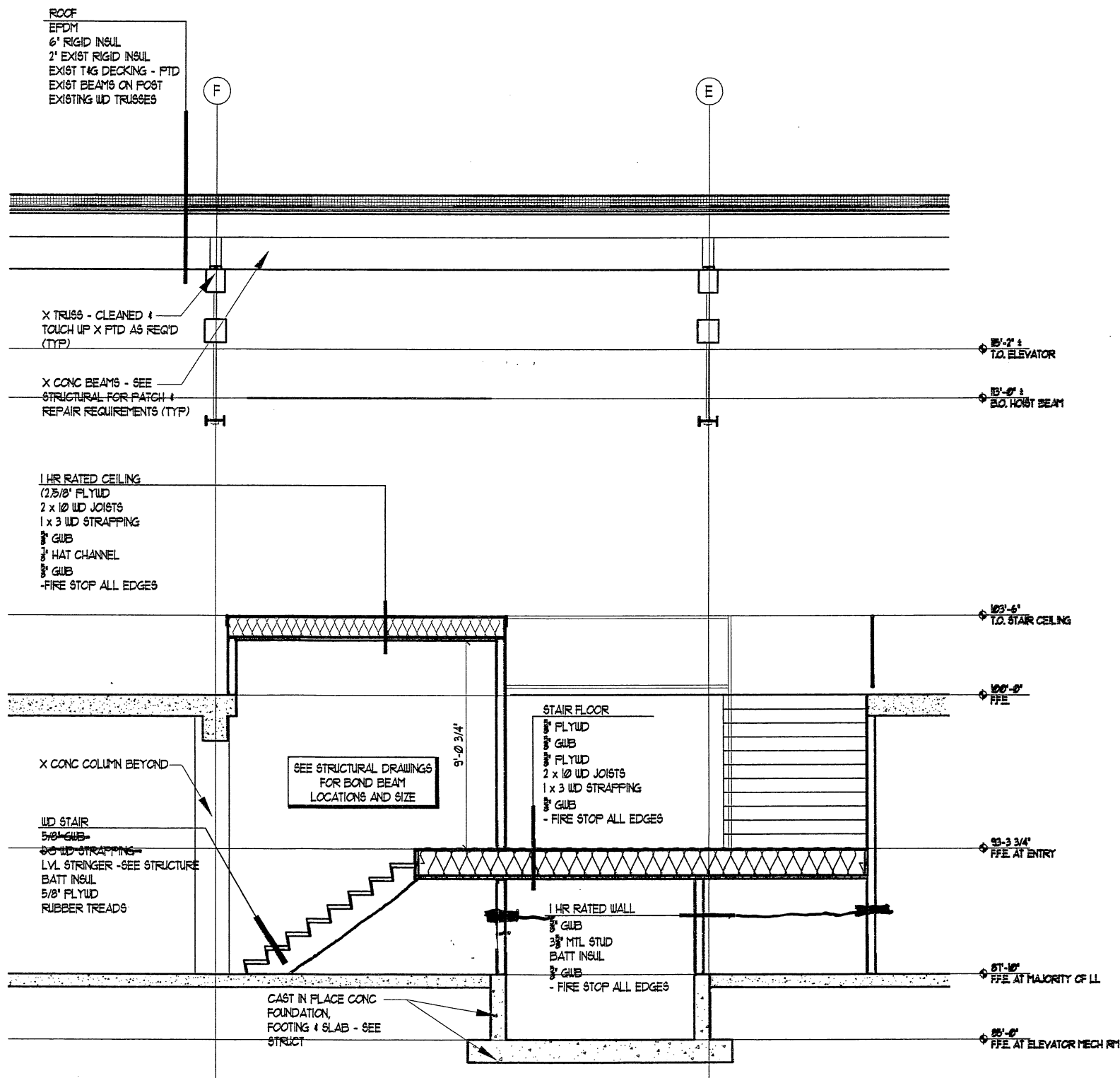
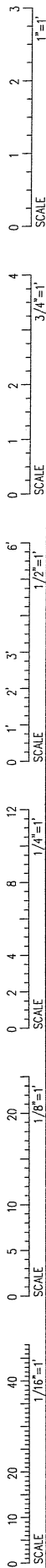
Project Number 162071

Drawing Scale AS NOTED

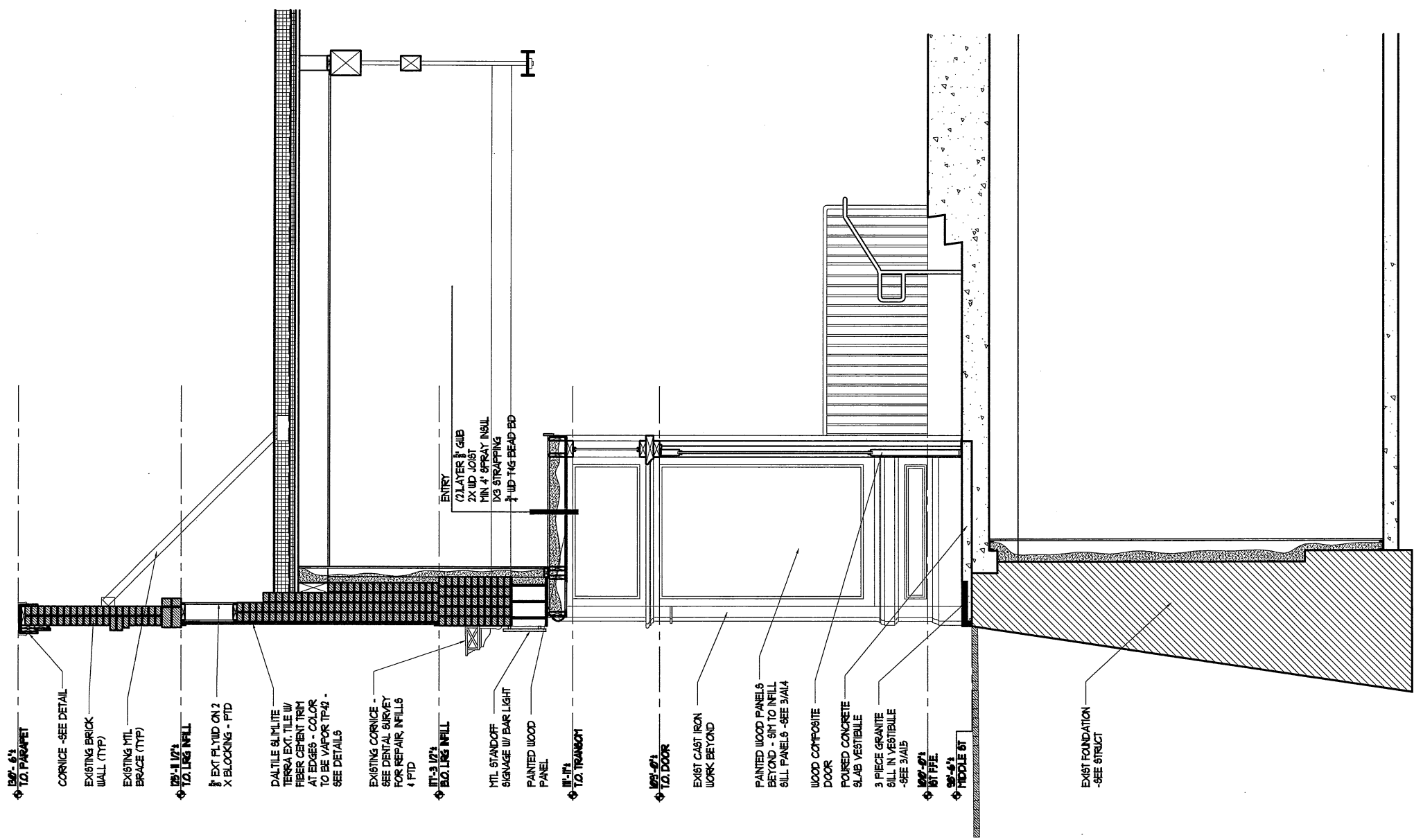
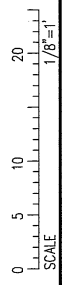
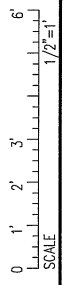
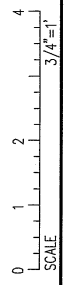
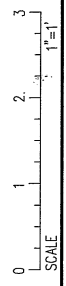
ELEVATOR SECTIONS

Drawn By
JJP CM
T8 CR
Checked By
LAS

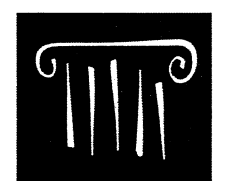
A3.7



STAIR SECTION @ LL STORAGE
 A3.3A3.9 2'-0" SCALE: 3/8" = 1'-0"



WALL SECTION @ FRONT ENTRY
SCALE: 1/2" = 1'-0"



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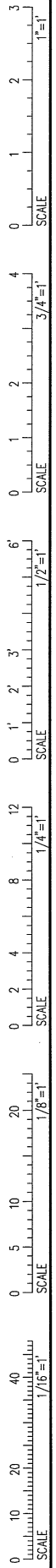
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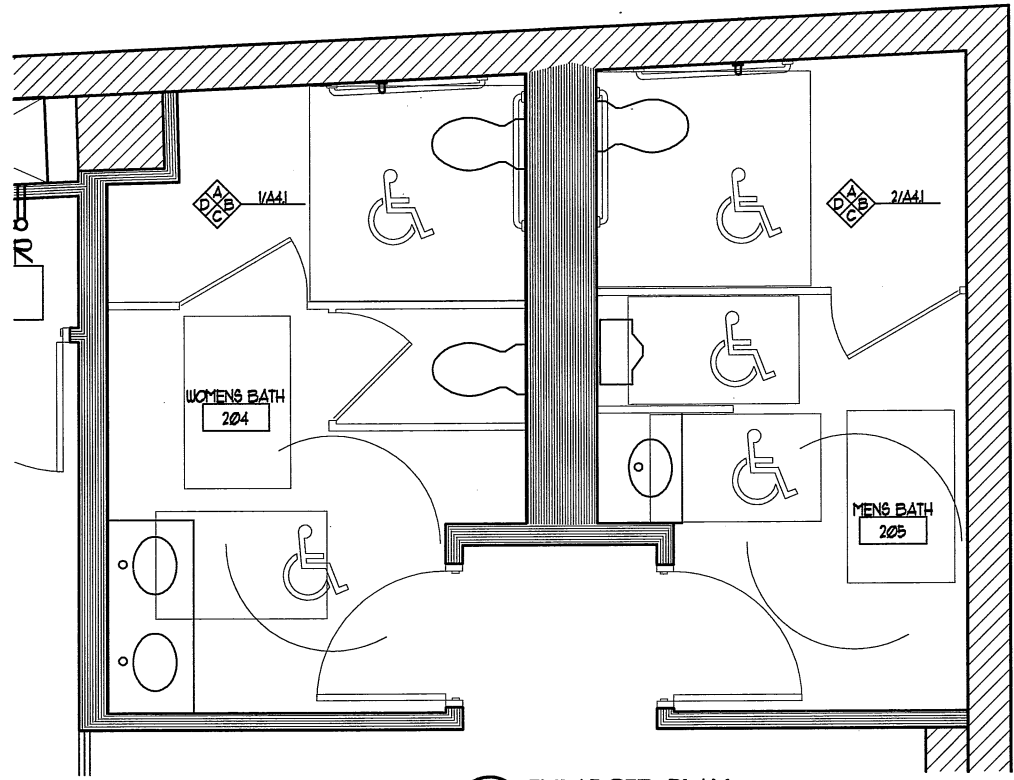
WALL SECTIONS

Drawn By
JP CM
TS CR
Checked By
LAS

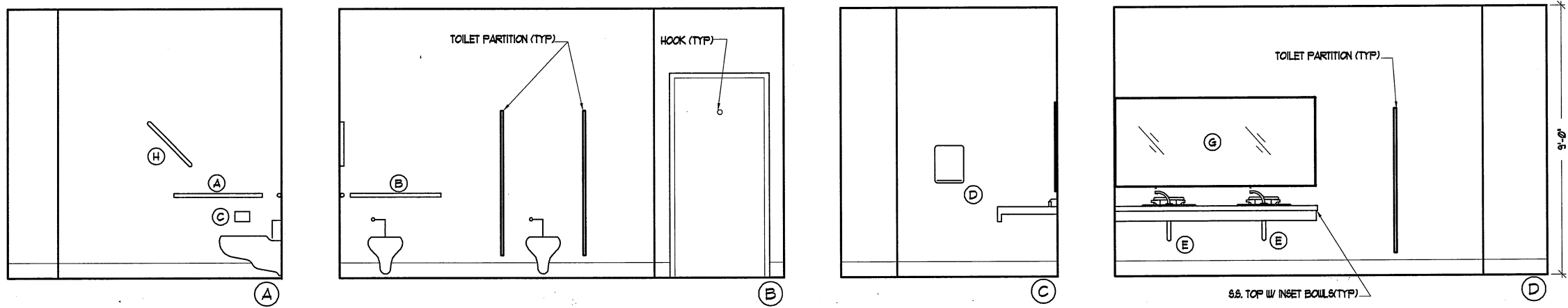
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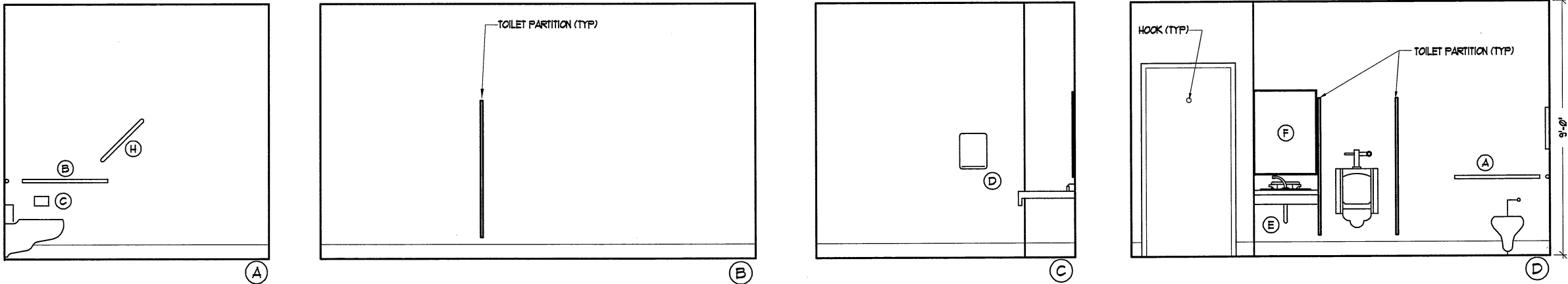
| BATHROOM ACCESSORIES SCHEDULE | | | |
|-------------------------------|---------------------------|------------------|-----------|
| NUMBER | ITEM | MOUNTING HEIGHT | NOTES |
| (A) | 3'-6" 1/2" DIA GRAB BAR | CL # 2'-10" AFF | --- |
| (B) | 3'-0" 1/2" DIA GRAB BAR | CL # 2'-10" AFF | --- |
| (C) | TOILET PAPER DISPENSER | CL # 20" AFF | BY TENANT |
| (D) | PAPER TOWEL DISPENSER | TOUELS # 42" AFF | BY TENANT |
| (E) | LAV. GAIRD | --- | --- |
| (F) | 24" X 36" MIRROR | BOTTOM # 40" AFF | --- |
| (G) | 80" X 36" MIRROR | BOTTOM # 40" AFF | --- |
| (H) | 2'-4" 1/2" DIA GRAB BAR | BOTTOM # 42" AFF | 4B' |



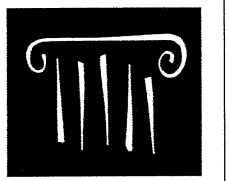
3 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



2 WOMENS BATH INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"



1 MENS BATH INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"



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INTERIOR ELEVATIONS

Drawn By
JP CH
TS CR
Checked By
LAS

A4.1

3
2
1
0
SCALE 1"=1'

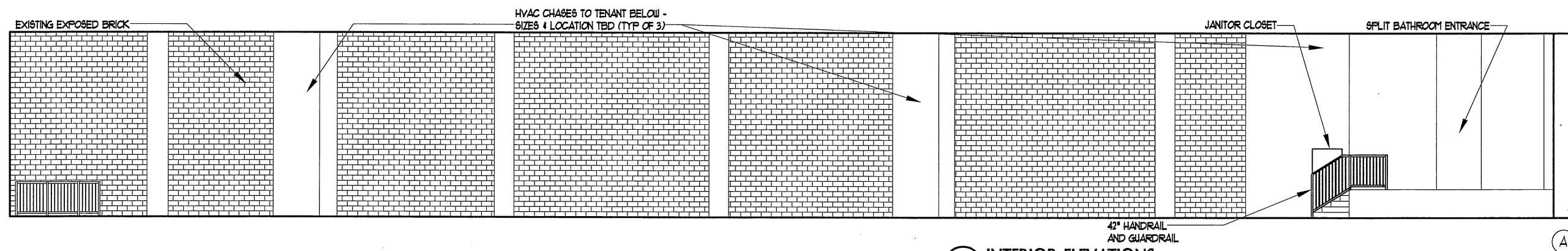
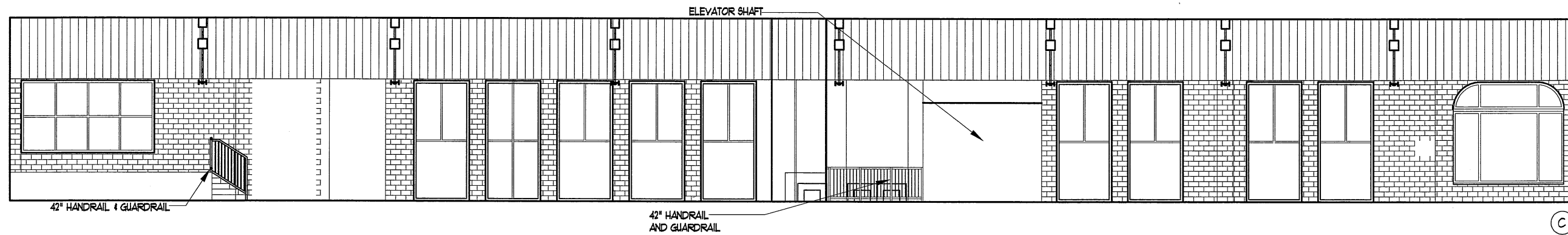
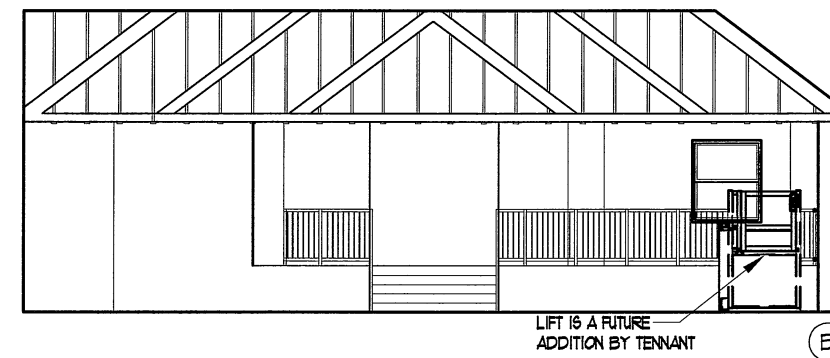
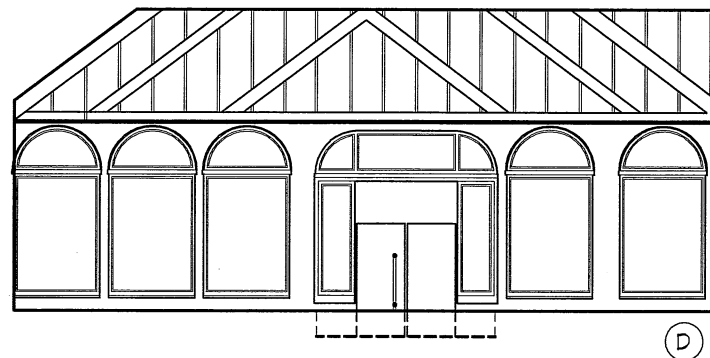
4
2
1
0
SCALE 3/4"=1'

6'
3'
2'
1'
0
SCALE 1/2"=1'

12
8
4
0
SCALE 1/4"=1'

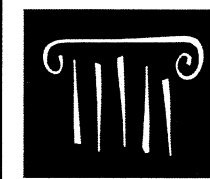
20
10
0
SCALE 1/8"=1'

40
20
0
SCALE 1/16"=1'



1 INTERIOR ELEVATIONS

0 8'-0" SCALE: 3/16" = 1'-0"



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Drawing Scale AS NOTED

INTERIOR ELEVATIONS

Drawn By

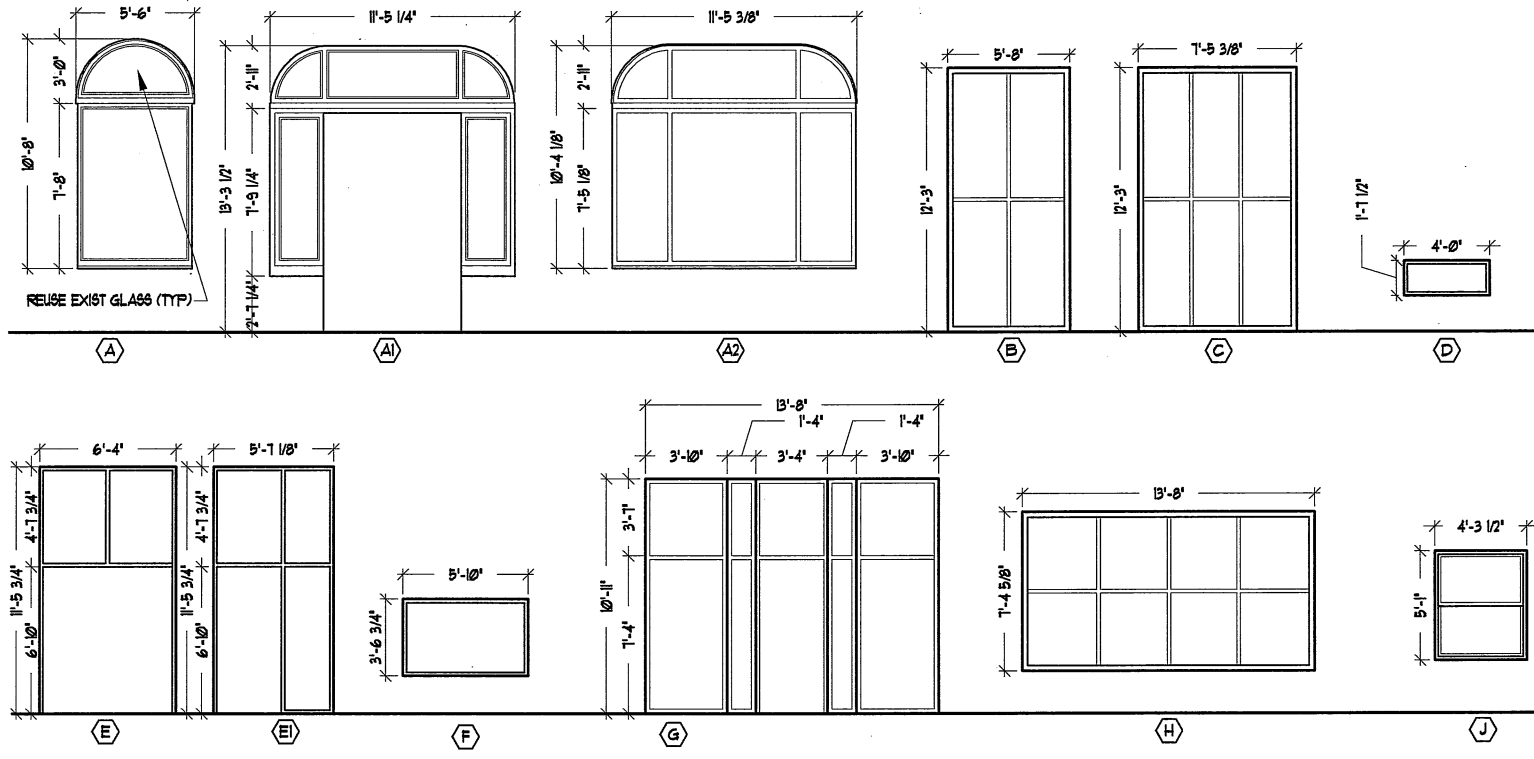
JP CM

TS CR

Checked By

LAS

A4.2



| WINDOW AND BORROWED LIGHT SCHEDULE | | | | | |
|------------------------------------|-------------------------|------|-----------|---------|------|
| TYPE | WINDOW | | OPERATION | DETAILS | |
| | SIZE: W x H | MAT | | HEAD | JAMB |
| (A) | 10'-0" x 5'-6" | WD | FIXED | | |
| (A1) | 11'-5 1/4" x 10'-8 1/4" | WD | FIXED | | |
| (A2) | 11'-5 3/8" x 10'-4 1/8" | WD | FIXED | | |
| (B) | 12'-3" x 5'-8" | ALUM | FIXED | | |
| (C) | 12'-3" x 1'-5 3/8" | ALUM | FIXED | | |
| (D) | 1'-1 1/2" x 4'-0" | ALUM | FIXED | | |
| (E) | 6'-4" x 11'-5 3/4" | ALUM | FIXED | | |
| (E1) | 5'-1 1/8" x 11'-5 3/4" | ALUM | FIXED | | |
| (F) | 5'-10" x 3'-6 3/4" | ALUM | FIXED | | |
| (G) | 13'-8" x 10'-11" | ALUM | FIXED | | |
| (H) | 13'-8" x 1'-4 5/8" | ALUM | FIXED | | |
| (J) | 4'-3 1/2" x 5'-1" | ALUM | FIXED | | |

NOTES:
 1. ALL WINDOWS ARE GOING INTO EXIST OPENINGS & THERE ARE SLIGHT VARIATIONS, CONTRACTOR TO FIELD VERIFY ALL DIMS
 2. REUSE EXIST TRANSOM GLASS AT WINDOW TYPE A
 3. EXCEPT FOR TRANSOM, ALL GLASS TO BE 2 PANE INSULATED GLASS WITH LOW E COATING TO MATCH ALUM WINDOWS

ROOM FINISH SCHEDULE

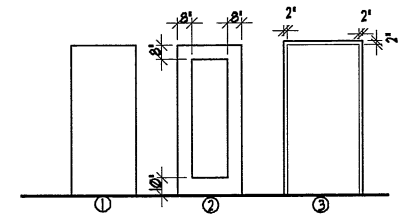
| ROOM NO. | ROOM NAME | FLOOR | BASE | WALL | | | | | | | | CEILING | | | NOTES |
|----------|---------------------|--------|------|----------|--------|----------|--------|----------|--------|----------|--------|--------------|--------|--------|-------|
| | | | | NORTH | | EAST | | SOUTH | | WEST | | MATERIAL | HEIGHT | FINISH | |
| | | | | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH | | | | |
| 001 | STORAGE | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED CONC | | | |
| 002 | RAISED STORAGE | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED CONC | | | |
| 003 | ELEV MACHINE ROOM | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED CONC | | | |
| 004 | HALLWAY | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED CONC | | | |
| 005 | TENANT | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED CONC | | | |
| 100 | ENTRY | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |
| 101 | RETAIL FLOOR | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |
| 102 | STAIR | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |
| 103 | JANITOR | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |
| 104 | RAISED RETAIL FLOOR | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |
| 105 | WOMEN'S BATH | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |
| 106 | MEN'S BATH | X CONC | N/A | GUB | PRIME | GUB | PRIME | GUB | PRIME | GUB | PRIME | EXPOSED DECK | | | |

NOTES:
 1.
 2.
 3.

DOOR SCHEDULE

| NO. | DESCRIPTION | SIZE | DOOR | | | FRAME | NOTES |
|------|-------------------------------|-------------------|------|------|--------|-------|-------|
| | | | MAT | TYPE | RATING | | |
| 003A | STORAGE TO ELEV. MACHINE | 3'-0" x 1'-0" | WD | 1 | 90 MIN | HM | |
| 004A | STORAGE TO HALLWAY | 3'-0" x 1'-0" | WD | 1 | 45 MIN | HM | |
| 004B | HALLWAY TO TENANT | 3'-0" x 1'-0" | WD | 1 | 45 MIN | HM | |
| 004C | HALLWAY TO OUTSIDE | 3'-0" x 1'-0" | HM | 3 | N/A | EXIST | |
| 005A | OUTSIDE TO TENANT | 3'-0" x 1'-0" | ALUM | 2 | N/A | ALUM | |
| 100A | OUTSIDE TO MIDDLE ST. ENTRY | (2) 3'-0" x 1'-0" | WD | 1 | N/A | WD | |
| 101A | OUTSIDE TO MARKET ST. ENTRY | (2) 3'-0" x 1'-0" | ALUM | 2 | N/A | ALUM | |
| 101B | OUTSIDE TO MARKET ST. ENTRY | 3'-0" x 1'-0" | ALUM | 2 | N/A | ALUM | |
| 101C | STAIR TO STORAGE | 3'-0" x 1'-0" | WD | 1 | 90 MIN | HM | |
| 103A | RETAIL TO JANITOR | 3'-0" x 1'-0" | WD | 1 | N/A | HM | |
| 105A | RAISED RETAIL TO WOMEN'S BATH | 3'-0" x 1'-0" | WD | 1 | N/A | HM | |
| 106A | RAISED RETAIL TO MEN'S BATH | 3'-0" x 1'-0" | WD | 1 | N/A | HM | |

NOTES:
 A.
 B.
 C.



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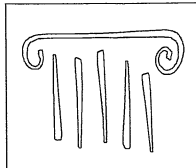
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SCHEDULES

Drawn By JP CH TS CR
 Checked By LAG
A5.1



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164 Middle St.
Portland, Maine

| # | DATE | DESCRIPTION |
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| 1 | 9/16/2016 | DD |
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| | | |

DATE ISSUED SEPTEMBER 9, 2016

PROJECT NUMBER 16207

DRAWING SCALE AS NOTED

SHEET NAME
**MECH. & PLUMB.
ROOF & MEZZ.
DEMOLITION**

DRAWN BY
KFM

CHECKED BY
KFM

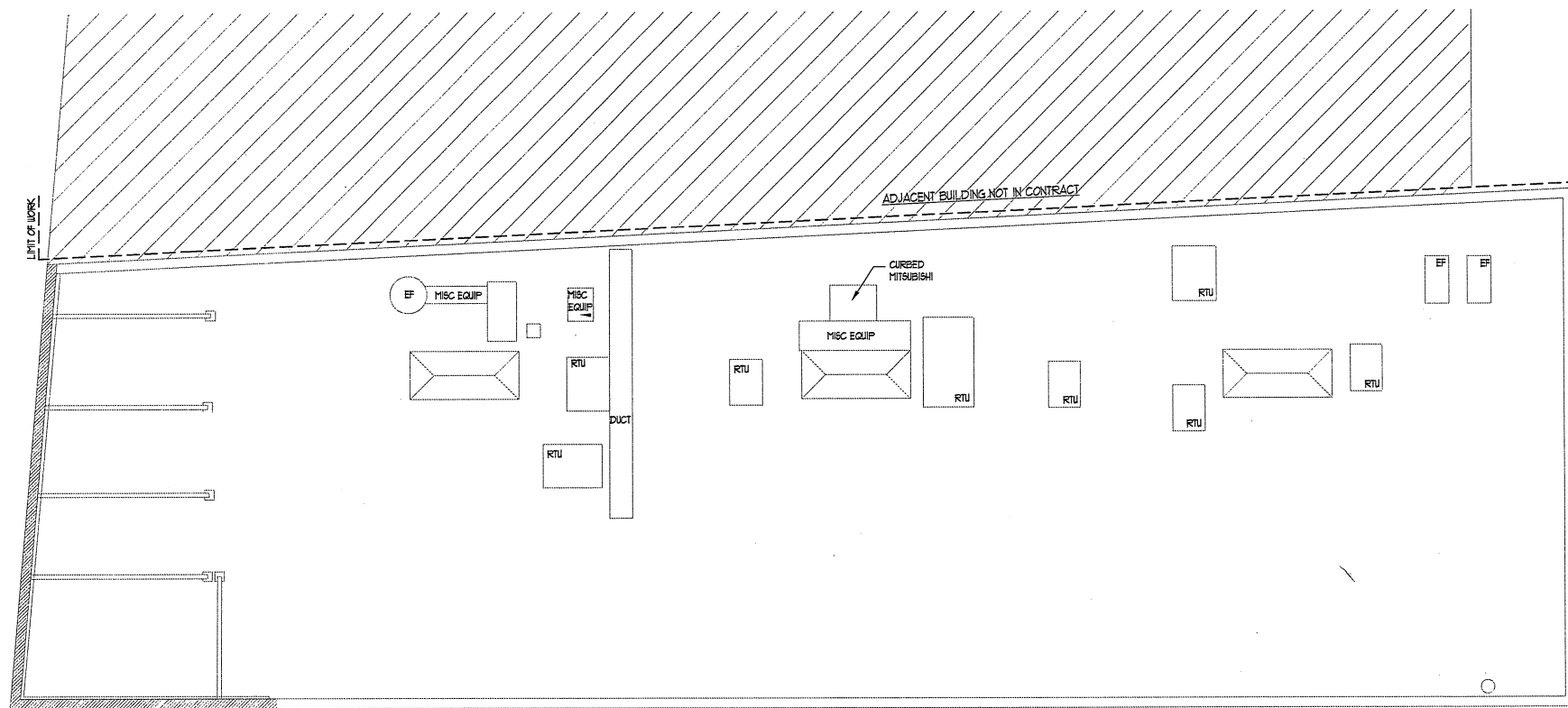
MPD1.0

ROOF DEMOLITION NOTES

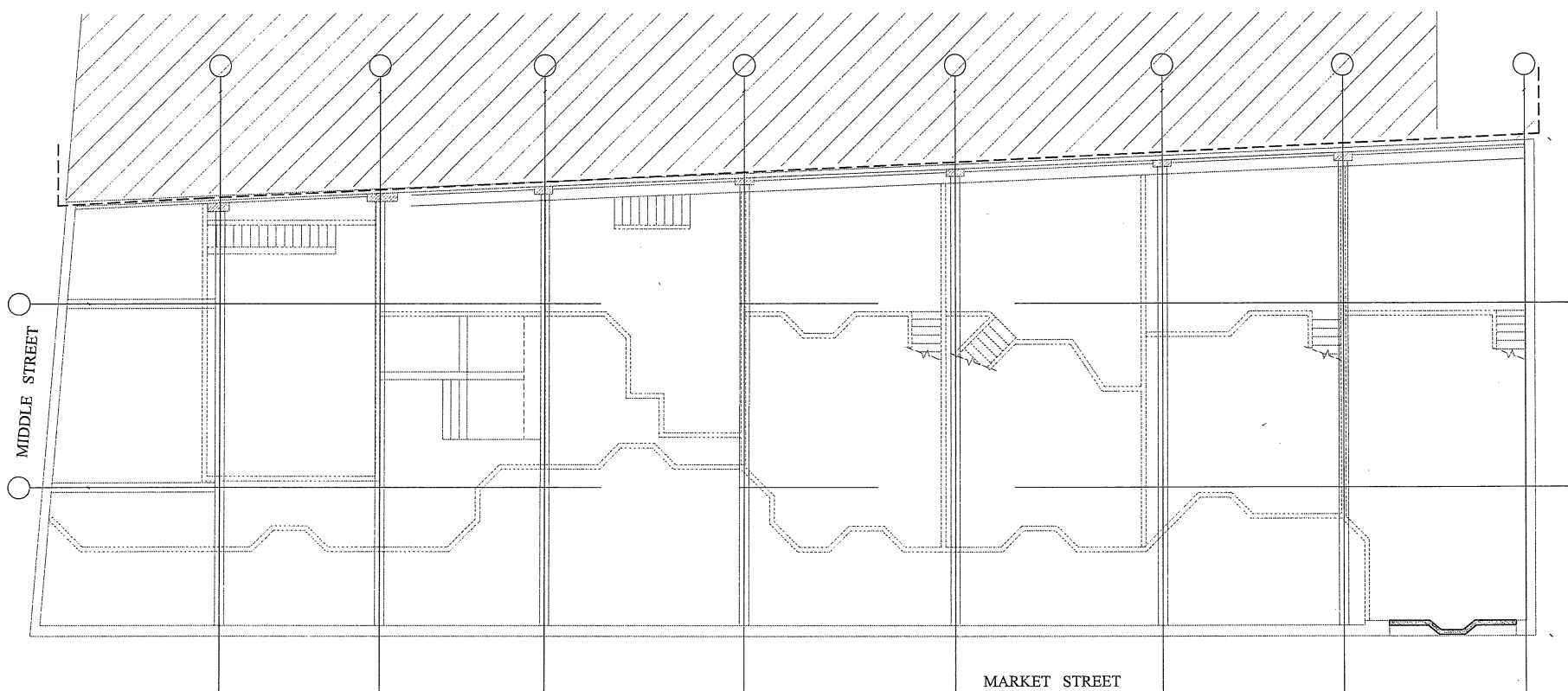
1. All roof-mounted heating, ventilation and air conditioning units are to be removed from the roof.
2. All ductwork and fans are to be removed from the roof.
3. Remove refrigerant from the split system air conditioning units per EPA standards. Solder end caps on the liquid and gas connections for both the indoor and outdoor split systems.
4. All HVAC to be taken to a location indicated by the owner (in the Greater Portland Area).
5. All fans and ductwork to be removed from the jobsite and disposed of.
6. All plumbing vents to be removed and disposed of.

MEZZANINE DEMOLITION NOTES

1. All ductwork to be removed from the jobsite and disposed of per EPA Standards.
2. All plumbing piping and plumbing fixtures to be removed and disposed of including but not limited to:
 - 2.1. Drain, waste and vent piping
 - 2.2. Gas piping
 - 2.3. Storm water piping.
 - 2.4. Domestic hot and cold water piping



1 ROOF MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 MEZZANINE MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

3
2
1
0
SCALE 1"=1'

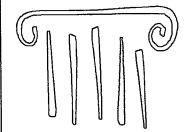
4
3
2
1
0
SCALE 3/4"=1'

6'
5'
4'
3'
2'
1'
0
SCALE 1/2"=1'

12
8
4
0
SCALE 1/4"=1'

20
10
0
SCALE 1/8"=1'

40
20
0
SCALE 1/16"=1'



PORT CITY ARCHITECTURE

65 NEWBURY STREET
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fax: 207.761.2010
info@portcityarch.com

CONSULTANTS

Swiftcurrent Engineering Services Inc.
10 Forest Fall Drive - unit 4B
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contact: Tim Matthews, P.E.
tim@swiftcurrenteng.com

Mechanical Systems Engineers
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(207) 846-9441
contact: Kurt Magnusson, P.E.
kurt@mechanicalsystemseng.com

DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION

NEWPORT DEVELOPMENT ASSOCIATES

25 Bedford Street
Portland, ME
164 Middle St.
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DATE ISSUED SEPTEMBER 9, 2016

PROJECT NUMBER 16207

DRAWING SCALE AS NOTED

SHEET NAME
**MECH. & PLUMB.
FIRST & LOWER.
DEMOLITION**

DRAWN BY
KFM

CHECKED BY
KFM

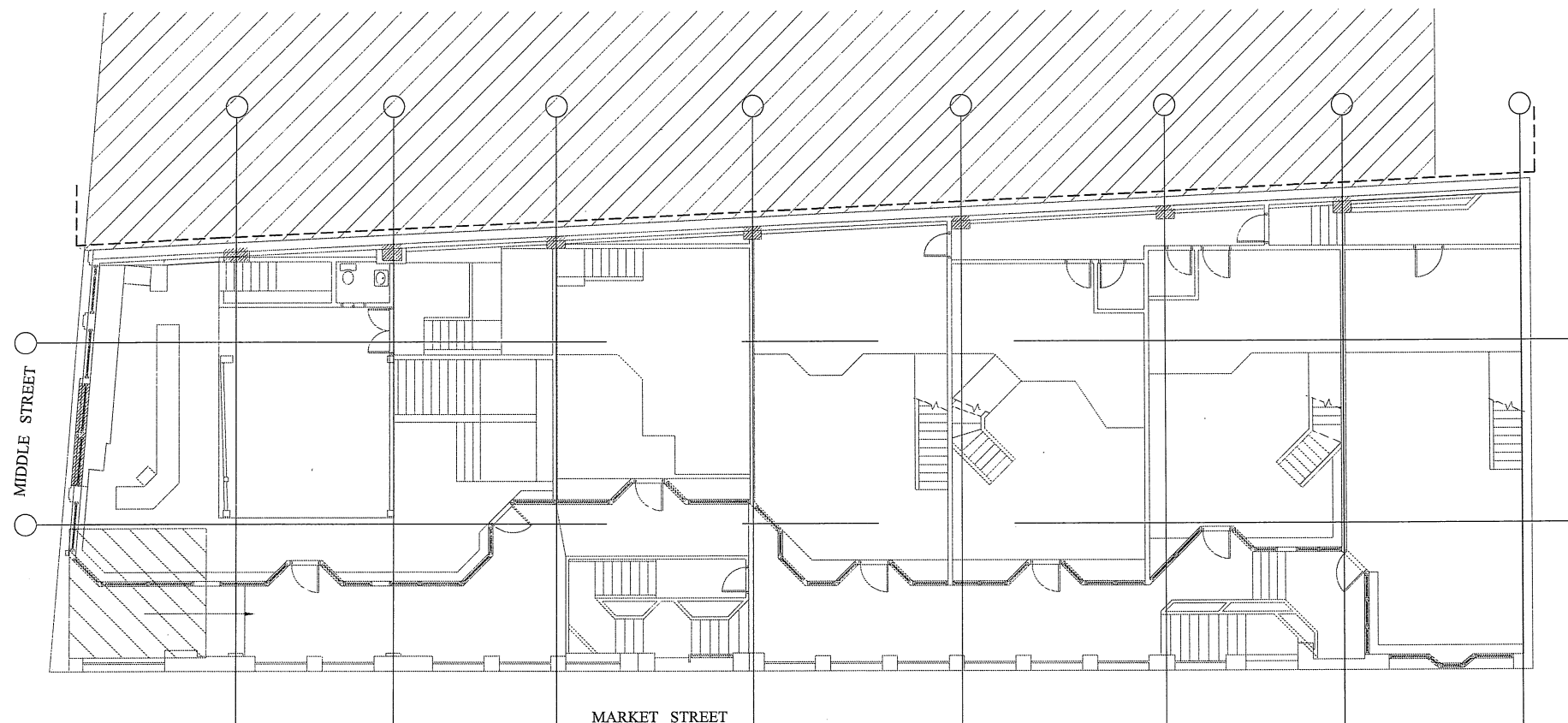
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FIRST FLOOR DEMOLITION NOTES

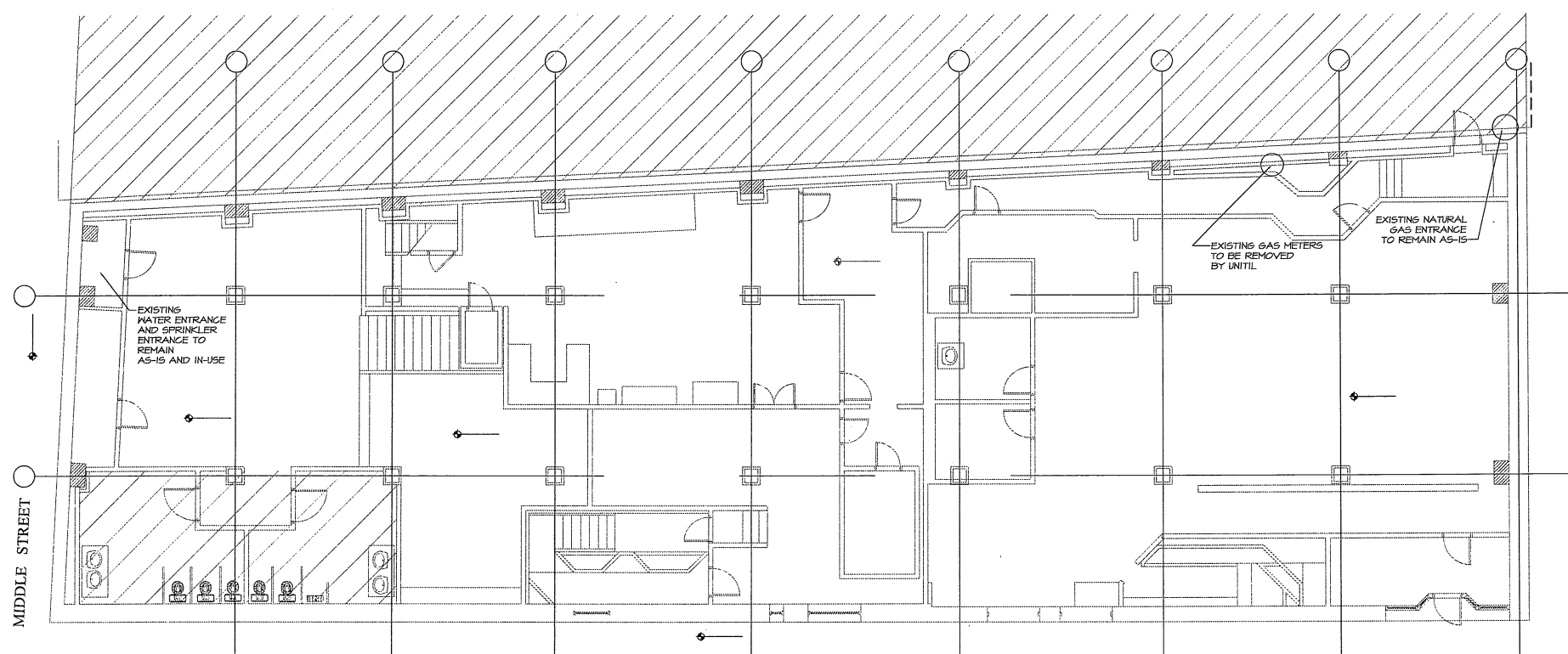
- All ductwork to be removed from the jobsite and disposed of per EPA Standards.
- All plumbing piping and plumbing fixtures to be removed and disposed of including but not limited to
 - Drain, waste and vent piping
 - Gas piping
 - Storm water piping.
 - Domestic hot and cold water piping

LOWER LEVEL DEMOLITION NOTES

- All ductwork to be removed from the jobsite and disposed of per EPA Standards.
- All plumbing piping and plumbing fixtures to be removed and disposed of including but not limited to
 - Drain, waste and vent piping
 - Gas piping
 - Storm water piping.
 - Domestic hot and cold water piping



1 FIRST FLOOR MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 LOWER LEVEL MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

3
2
1
0
SCALE 1"=1'

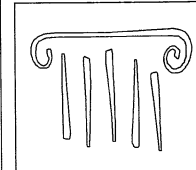
4
3
2
1
0
SCALE 3/4"=1'

6'
3'
2'
1'
0
SCALE 1/2"=1'

12
8
4
0
SCALE 1/4"=1'

20
10
0
SCALE 1/8"=1'

40
20
0
SCALE 1/16"=1'



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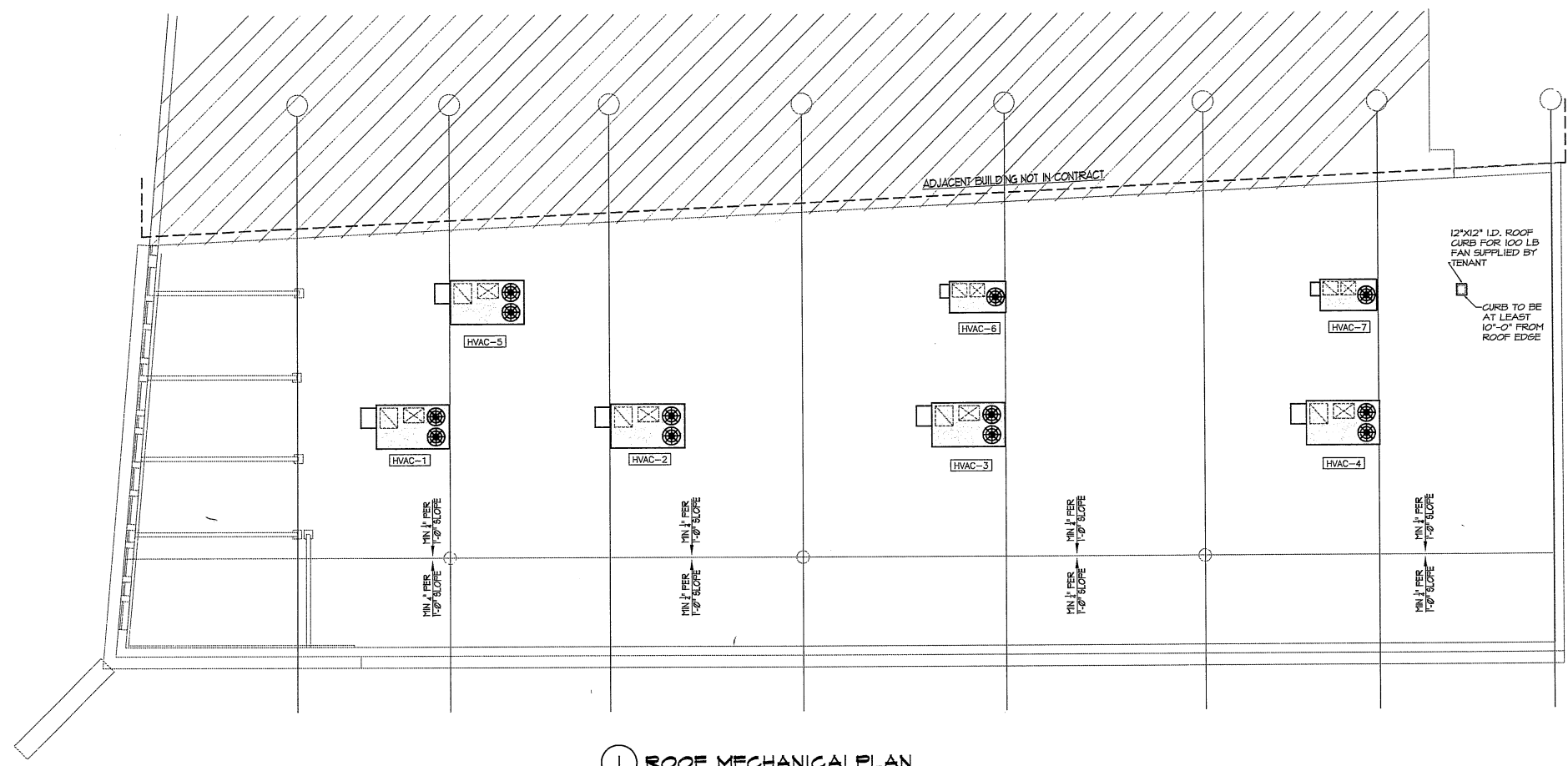
PROJECT NUMBER: 16207

DRAWING SCALE: AS NOTED

SHEET NAME

MECHAICAL ROOF PLAN

Drawn By: KFM
 Checked By: KFM
M1.0



1 ROOF MECHANICAL PLAN
 SCALE: 1/8" = 1'-0"

3
2
1
0
SCALE 1"=1'

4
3
2
1
0
SCALE 3/4"=1'

6'
5'
4'
3'
2'
1'
0
SCALE 1/2"=1'

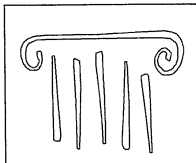
12
8
4
0
SCALE 1/4"=1'

20
10
0
SCALE 1/8"=1'

40
20
0
SCALE 1/16"=1'

| HVAC UNIT SCHEDULE | | | | | | | | | | | | | | | | |
|--------------------|------------------------|--------------|-------|---------|-------------|---------|------|----------|---------|--------|------------|----------|------|-----|-----------|---|
| TAG | MANUFACTURER AND MODEL | NOMINAL SIZE | CFM | COOLING | | | | HEATING | | | | ELECTRIC | | | WEIGHT | REMARKS |
| | | | | TYPE | REFRIGERANT | TOTAL | IEER | FUEL | INPUT | STAGES | EFFICIENCY | POWER | MCA | MOP | | |
| HVAC-1 | LENNOX K6A120H | 10 TONS | 3,800 | DX | 410A | 122 MBH | 13.0 | NAT. GAS | 180 MBH | 2 | 80% | 208/60/3 | 44 | 60 | 1,245 LBS | WITH FACTORY ROOF CURB, ECONOMIZER, POWERED RELIEF, RETURN & SUPPLY AIR SMOKE DETECTOR, THROUGH-THE-CURB ELECTRIC AND GAS. FACTORY POWER DISCONNECT |
| HVAC-2 | LENNOX K6A12H | 7.5 TONS | 3,000 | DX | 410A | 93 MBH | 14.0 | NAT. GAS | 130 MBH | 2 | 80% | 208/60/3 | 44 | 50 | 1,251 LBS | WITH FACTORY ROOF CURB, ECONOMIZER, POWERED RELIEF, RETURN & SUPPLY AIR SMOKE DETECTOR, THROUGH-THE-CURB ELECTRIC AND GAS. FACTORY POWER DISCONNECT |
| HVAC-3 | LENNOX K6A12H | 7.5 TONS | 3,000 | DX | 410A | 93 MBH | 14.0 | NAT. GAS | 130 MBH | 2 | 80% | 208/60/3 | 44 | 50 | 1,251 LBS | WITH FACTORY ROOF CURB, ECONOMIZER, POWERED RELIEF, RETURN & SUPPLY AIR SMOKE DETECTOR, THROUGH-THE-CURB ELECTRIC AND GAS. FACTORY POWER DISCONNECT |
| HVAC-4 | LENNOX K6A12H | 7.5 TONS | 3,000 | DX | 410A | 93 MBH | 14.0 | NAT. GAS | 130 MBH | 2 | 80% | 208/60/3 | 44 | 50 | 1,251 LBS | WITH FACTORY ROOF CURB, ECONOMIZER, POWERED RELIEF, RETURN & SUPPLY AIR SMOKE DETECTOR, THROUGH-THE-CURB ELECTRIC AND GAS. FACTORY POWER DISCONNECT |
| HVAC-5 | LENNOX K6A12H | 7.5 TONS | 3,000 | DX | 410A | 93 MBH | 14.0 | NAT. GAS | 130 MBH | 2 | 80% | 208/60/3 | 44 | 50 | 1,251 LBS | WITH FACTORY ROOF CURB, ECONOMIZER, POWERED RELIEF, RETURN & SUPPLY AIR SMOKE DETECTOR, THROUGH-THE-CURB ELECTRIC AND GAS. FACTORY POWER DISCONNECT |
| HVAC-6 | YORK ZF036NO8A1AAA24 | 3 TONS | 1,200 | DX | 410A | 36 MBH | 13.0 | NAT. GAS | 100 MBH | 1 | 80% | 208/60/1 | 26.7 | 35 | 603 LBS | EXISTING, RELOCATED UNIT WITH ECONOMIZER- PROVIDE NEW FACTORY ROOF CURB |
| HVAC-7 | YORK ZF060N10A2AAA2A | 5 TONS | 1,900 | DX | 410A | 36 MBH | 13.0 | NAT. GAS | 100 MBH | 1 | 80% | 208/60/3 | 21.5 | 35 | 603 LBS | EXISTING, RELOCATED UNIT WITH ECONOMIZER- PROVIDE NEW FACTORY ROOF CURB |

| FAN SCHEDULE | | | | | | | | | |
|--------------|----------------------|---------|-----|------|--------------|-----|------------------|--|---------|
| TAG | MANUFACTURER & MODEL | TYPE | CFM | ESP | ELECTRIC | | REMARKS | REMARKS | REMARKS |
| | | | | | POWER | FLA | | | |
| EF-1 | NITONE GTXEN10 | CEILING | 110 | 0.1" | 115 / 60 / 1 | 0.4 | MAXIMUM 0.7 SONE | POWERED BY HEAT/COOL LINE VOLTAGE THERMOSTAT | |



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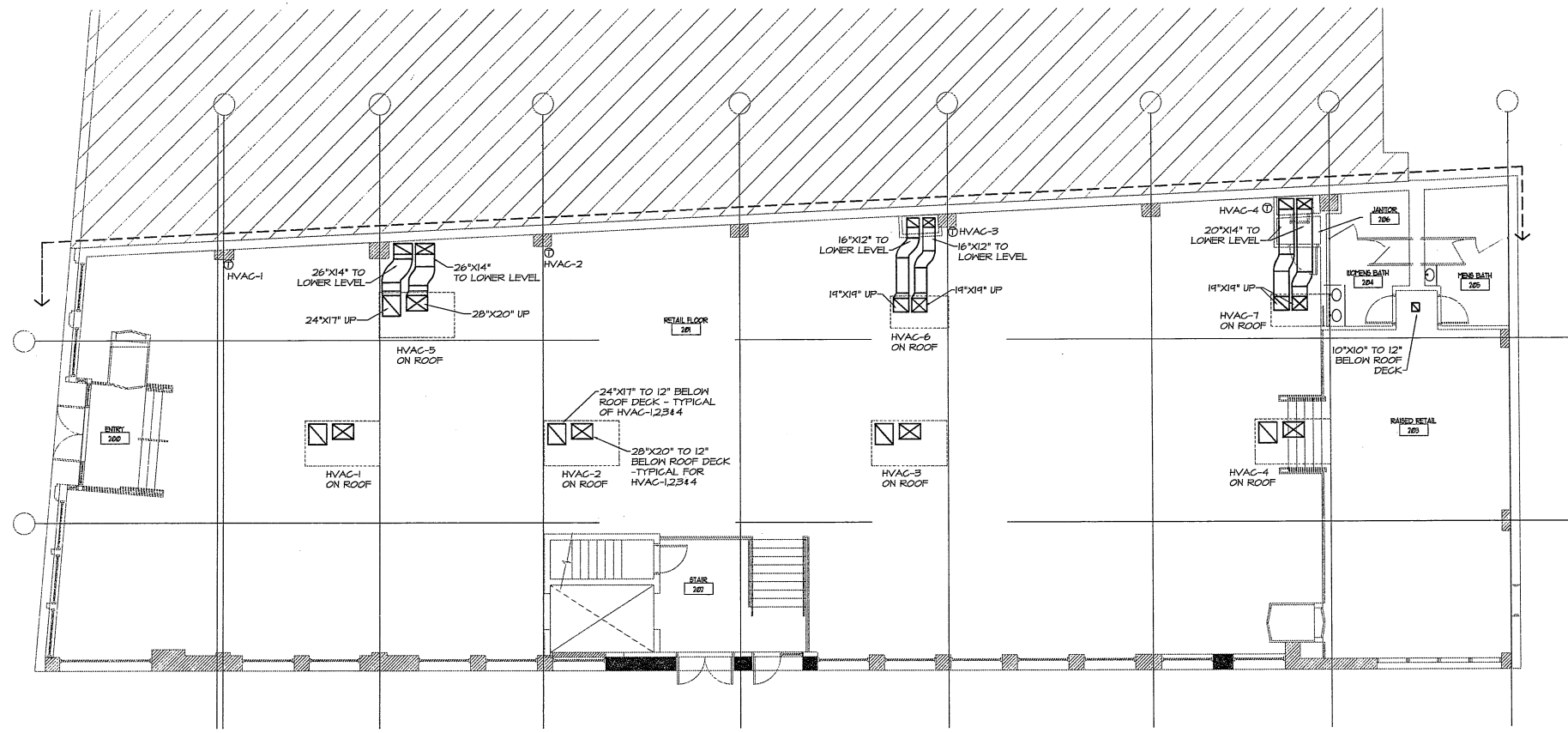
DATE ISSUED: SEPTEMBER 9, 2016

PROJECT NUMBER: 16207

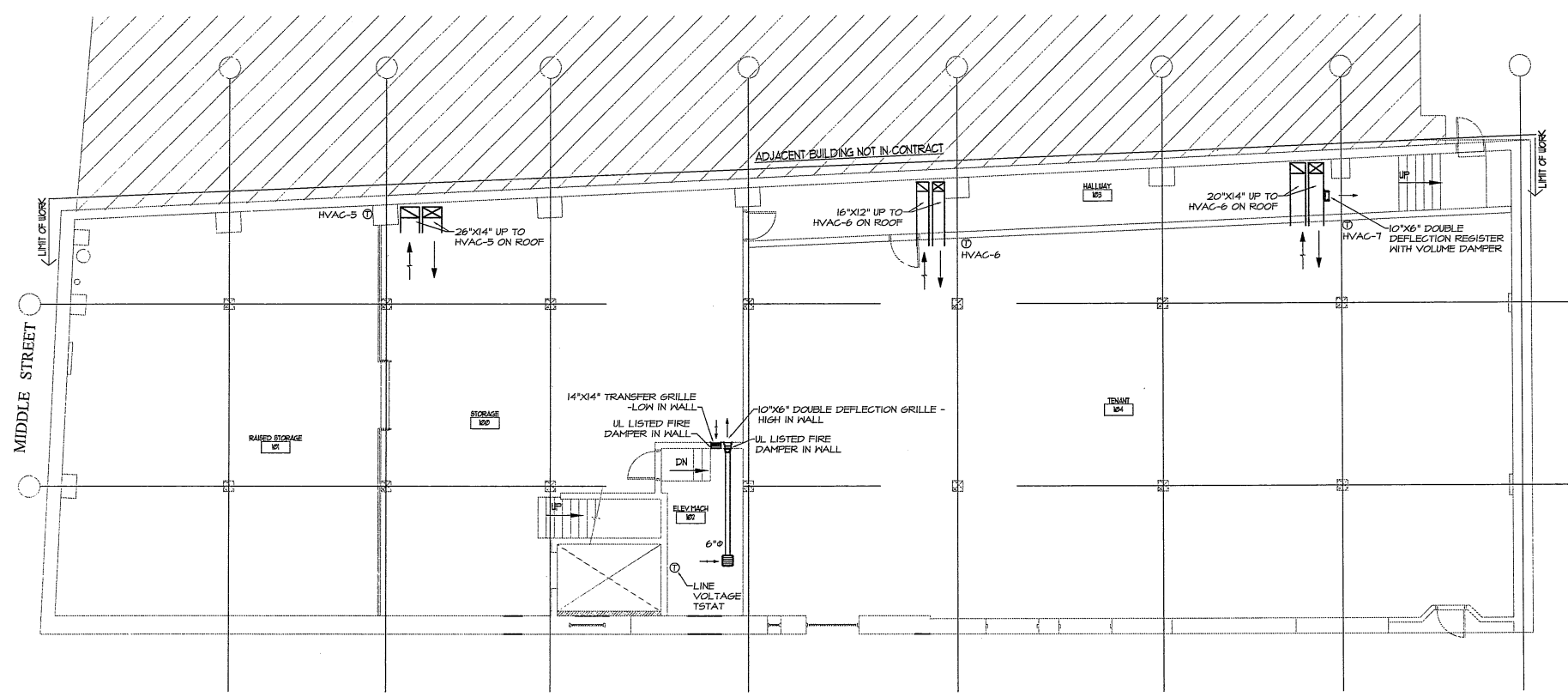
DRAWING SCALE: AS NOTED

SHEET NAME
MECHANICAL FIRST & LOWER PLAN

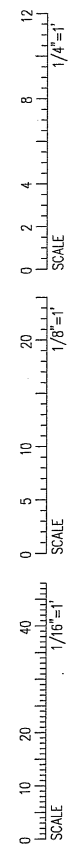
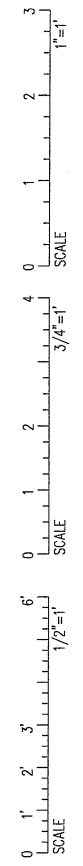
Drawn By: KFM
 Checked By: KFM
M1.1

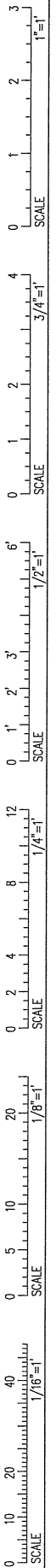


1 FIRST FLOOR MECHANICAL PLAN
 SCALE: 1/8" = 1'-0"



2 LOWER LEVEL MECHANICAL PLAN
 SCALE: 1/8" = 1'-0"





- NOTES:**
- SEE E0.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- KEYED NOTES:**
- REMOVE WIRING AND CONDUIT FOR EQUIPMENT BACK TO PANEL.
 - EXISTING FIRE ALARM PANEL. KEEP FIRE ALARM PANEL POWERED AND INTACT. COORDINATE WHICH SYSTEMS AND DEVICES NEED TO REMAIN ACTIVE DURING THE CONSTRUCTION PERIOD WITH PORTLAND FIRE DEPARTMENT. SERVICE CONTACT: CUNNINGHAM SECURITY SYSTEMS. PHONE: 207-846-3350.
 - EXISTING SECURITY PANEL. KEEP THIS PANEL POWERED AND INTACT. DEMOLITION STATUS OF THIS PANEL IS TO BE DETERMINED WITH THE OWNER.
 - TELEPHONE AND FIBER PUNCHDOWN BLOCKS AND EQUIPMENT RACK. KEEP THIS PANEL POWERED AND INTACT. DEMOLITION STATUS OF THIS PANEL IS TO BE DETERMINED WITH THE OWNER.
 - SUBPANEL FOR TELEPHONE SWITCH LABELLED "MCI WORLDCOM". KEEP THIS PANEL POWERED AND INTACT. DEMOLITION STATUS OF THIS PANEL AND TELEPHONE SWITCH IS TO BE DETERMINED WITH THE OWNER.
 - EXISTING 800 AMP 208/120V 4-WIRE SERVICE AND MAIN BREAKER. KEEP THIS POWER SOURCE INTACT.
 - EXISTING 42-BREAKER PANEL PA. PANEL SHALL BE KEPT INTACT AND POWERED. BREAKER NUMBERS 5, 8, 27 AND 37 CURRENTLY ARE FOR POWER FOR ALARM PANELS, ELECTRIC ROOM LIGHTS, EXIT LIGHTS AND EMERGENCY LIGHTS. DEMOLITION STATUS OF THIS PANEL IS TO BE DETERMINED AFTER DECISIONS REGARDING THE EXISTING FIRE ALARM, TEL/DATA EQUIPMENT AND SECURITY PANEL.
 - DEMOLISH BANK OF 14 EXISTING ELECTRICAL METERS AND THEIR MAIN BREAKERS.
 - EXISTING SPRINKLER SYSTEM. KEEP SPRINKLER SYSTEM POWERED AND INTACT. SERVICE CONTACT: EASTERN FIRE PROTECTION SERVICES. PHONE: 207-784-1507.



Consultants:
 Swiftcurrent Engineering Services, Inc.
 10 Forest Falls Dr. - Unit 4B
 Yarmouth, ME 04096
 (207) 847-9280
 contact Timothy D. Matthews, P.E.
 tim@swiftcurrenteng.com

PERMIT SET
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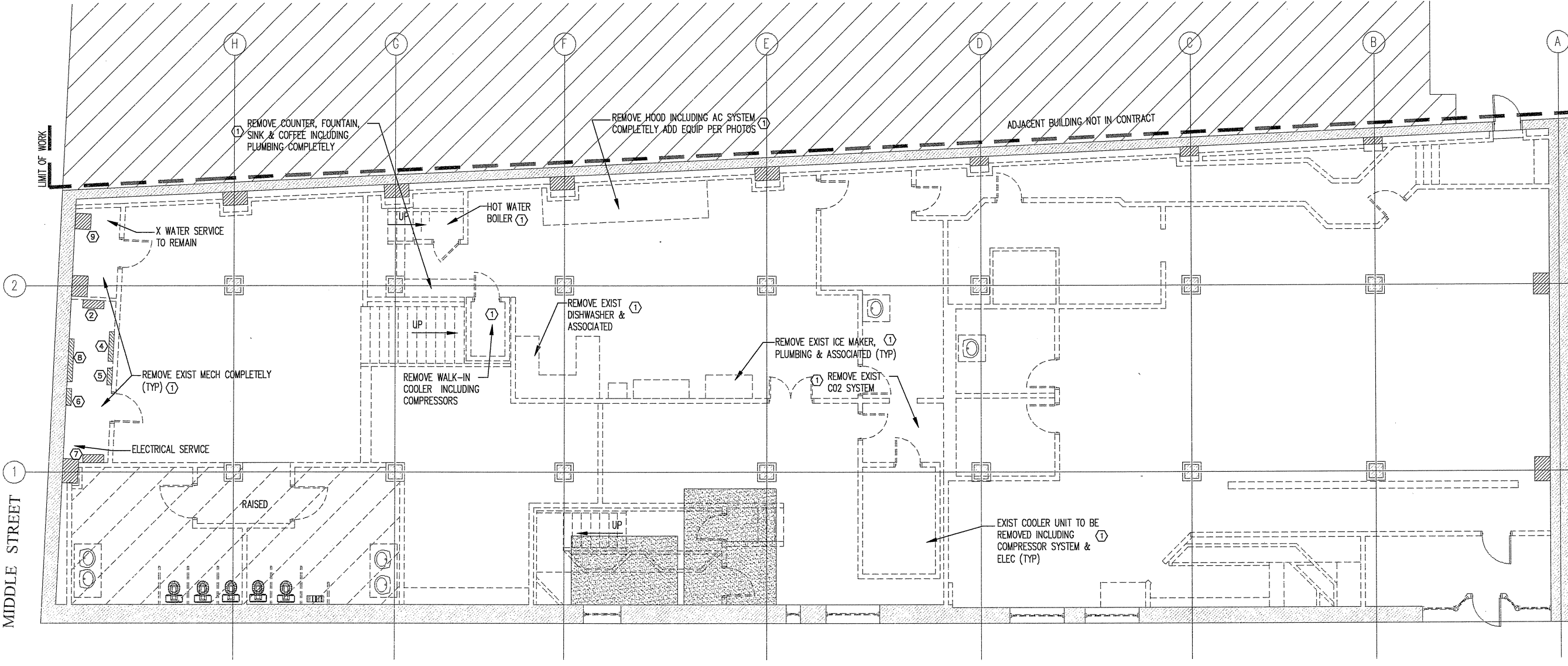
NEWPORT DEVELOPMENT ASSOCIATES
 164 Middle St
 Portland, Maine

| # | DATE | DESCRIPTION |
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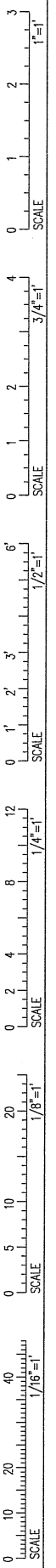
Date Issued September 9th, 2016
 Project Number 16202
 Drawing Scale AS NOTED

ELECTRICAL DEMOLITION PLAN - FIRST FLOOR

Drawn By JMD
 Checked By TDM
ED1.1



1 ELECTRICAL DEMOLITION PLAN - LOWER LEVEL
 SCALE: 3/16"=1'-0"



NOTES:
 1. SEE E0.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:
 ① REMOVE WIRING AND CONDUIT FOR EQUIPMENT BACK TO PANEL.
 ② REMOVE WIRING AND CONDUIT FOR EXISTING SIGN AND EXTERIOR LIGHTING BACK TO PANEL.

PORT CITY ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000

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 tim@swiftcurrenteng.com

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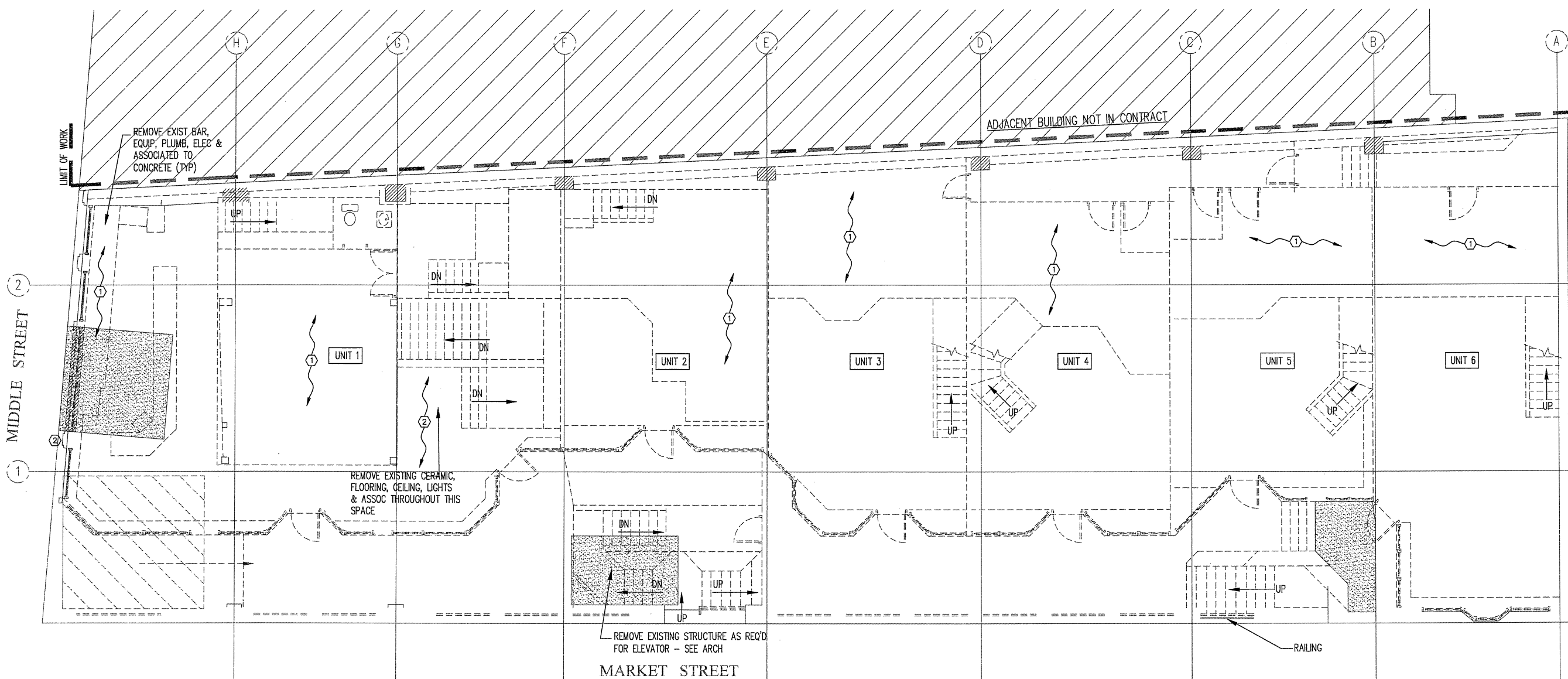
NEWPORT DEVELOPMENT ASSOCIATES
 164 Middle St
 Portland, Maine

| # | DATE | DESCRIPTION |
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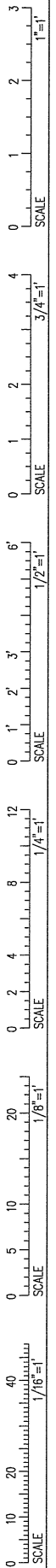
Date Issued September 9th, 2016
 Project Number 16202
 Drawing Scale AS NOTED

ELECTRICAL DEMOLITION PLAN - SECOND FLOOR

Drawn By JMD
 Checked By TDM
ED1.2



① ELECTRICAL DEMOLITION PLAN - FIRST FLOOR
 SCALE: 3/16"=1'-0"



NOTES:
 1. SEE E0.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:
 ① REMOVE WIRING AND CONDUIT FOR EQUIPMENT BACK TO PANEL.

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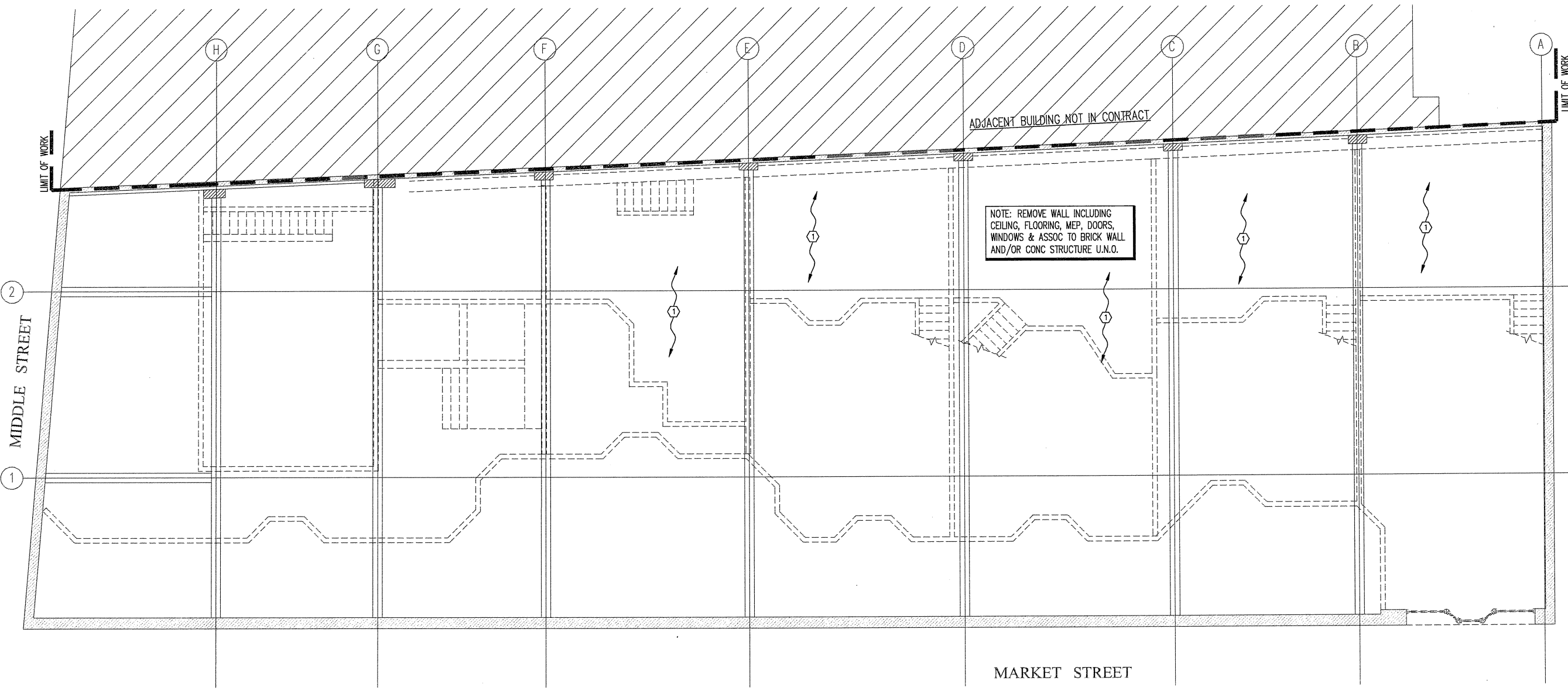
NEWPORT DEVELOPMENT ASSOCIATES
 164 Middle St
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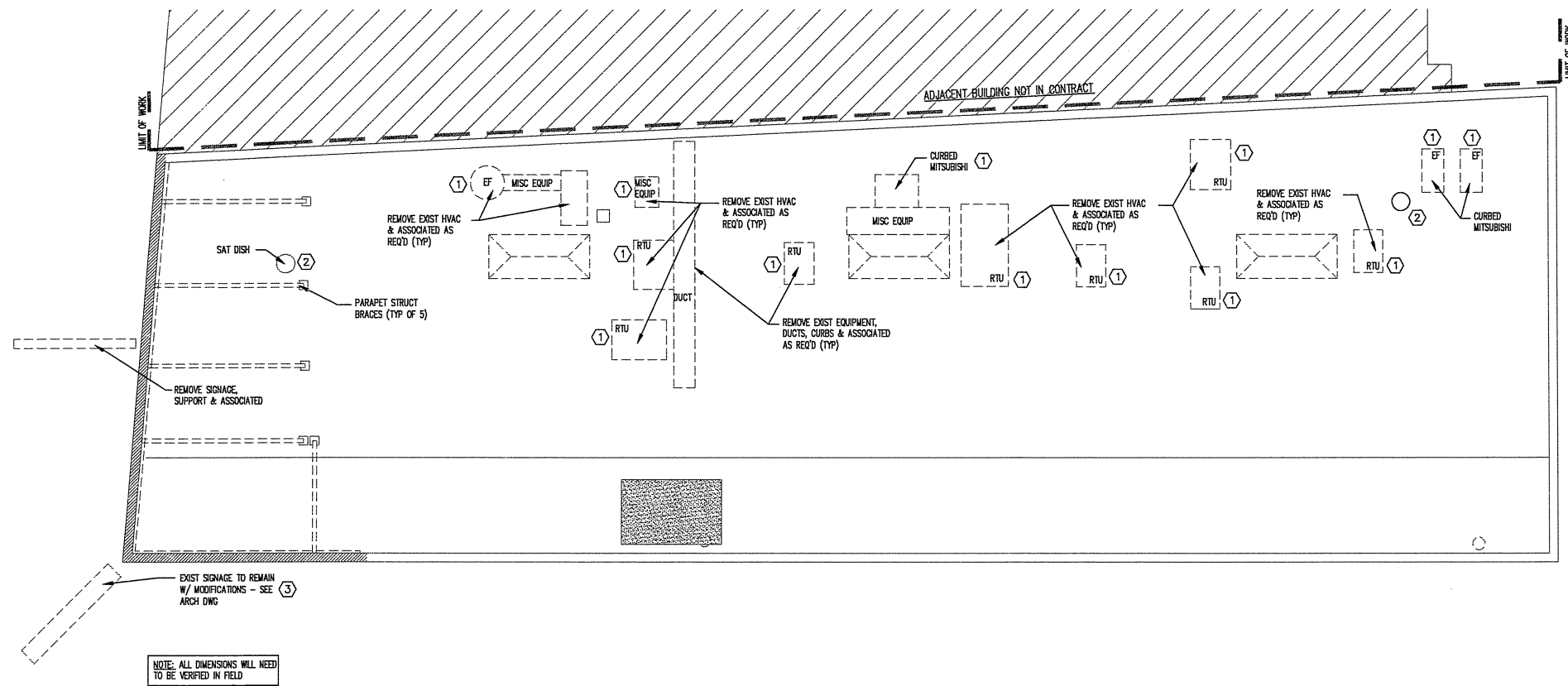
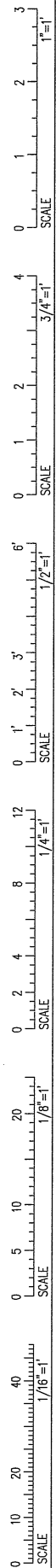
Date Issued September 9th, 2016
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 Drawing Scale AS NOTED

ELECTRICAL DEMOLITION PLAN - MEZZANINE

Drawn By JMD
 Checked By TDM
ED1.3



1 ELECTRICAL DEMOLITION PLAN - MEZZANINE
 SCALE: 3/16"=1'-0"



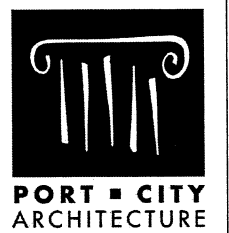
1 ELECTRICAL DEMOLITION PLAN - ROOF PLAN
SCALE: 1/8"=1'-0"

NOTES:

1. SEE E.O.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:

- ① REMOVE ELECTRICAL DISCONNECT, WIRING AND CONDUIT OF ROOFTOP MECHANICAL EQUIPMENT BACK TO POWER PANEL. RETAIN CONDUIT STUBS THROUGH ROOF AND ANY FIRE ALARM CONDUITS FOR FUTURE EQUIPMENT. REMOVE ANY ASSOCIATED DUCT SMOKE DETECTORS AND COORDINATE WITH FIRE ALARM PANEL SERVICE CONTACT: CUNNINGHAM SECURITY SYSTEMS, PHONE (207)-846-3350.
- ② SATELLITE DISH. DETERMINE SOURCE OF OWNERSHIP AND DEMOLISH ACCORDINGLY.
- ③ KEEP POWER FEED TO EXISTING SIGNAGE LOCATION. DISCONNECT AT POWER PANEL AND LABEL FOR RE-USE FOR NEW SIGNAGE.



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NEWPORT DEVELOPMENT ASSOCIATES

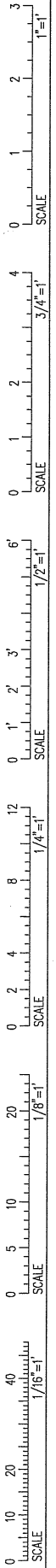
164 Middle St
Portland, Maine

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Date Issued September 9th, 2016
Project Number 16202
Drawing Scale AS NOTED

ELECTRICAL DEMOLITION PLAN - ROOF

Drawn By JMD
Checked By TDM
ED1.4



NOTES:
 1. SEE E.O.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:
 ① DEDICATED ELEVATOR PIT RECEPTACLE.
 ② ELEVATOR SUMP PUMP RECEPTACLE.
 ③ DEDICATED TEL/DATA RECEPTACLE.
 ④ COORDINATE QUANTITY AND LOCATION OF MONITOR MODULES WITH SPRINKLER SYSTEM DESIGNER. PROVIDE AS MANY AS NEEDED TO MONITOR ALL SPRINKLER SWITCHES.

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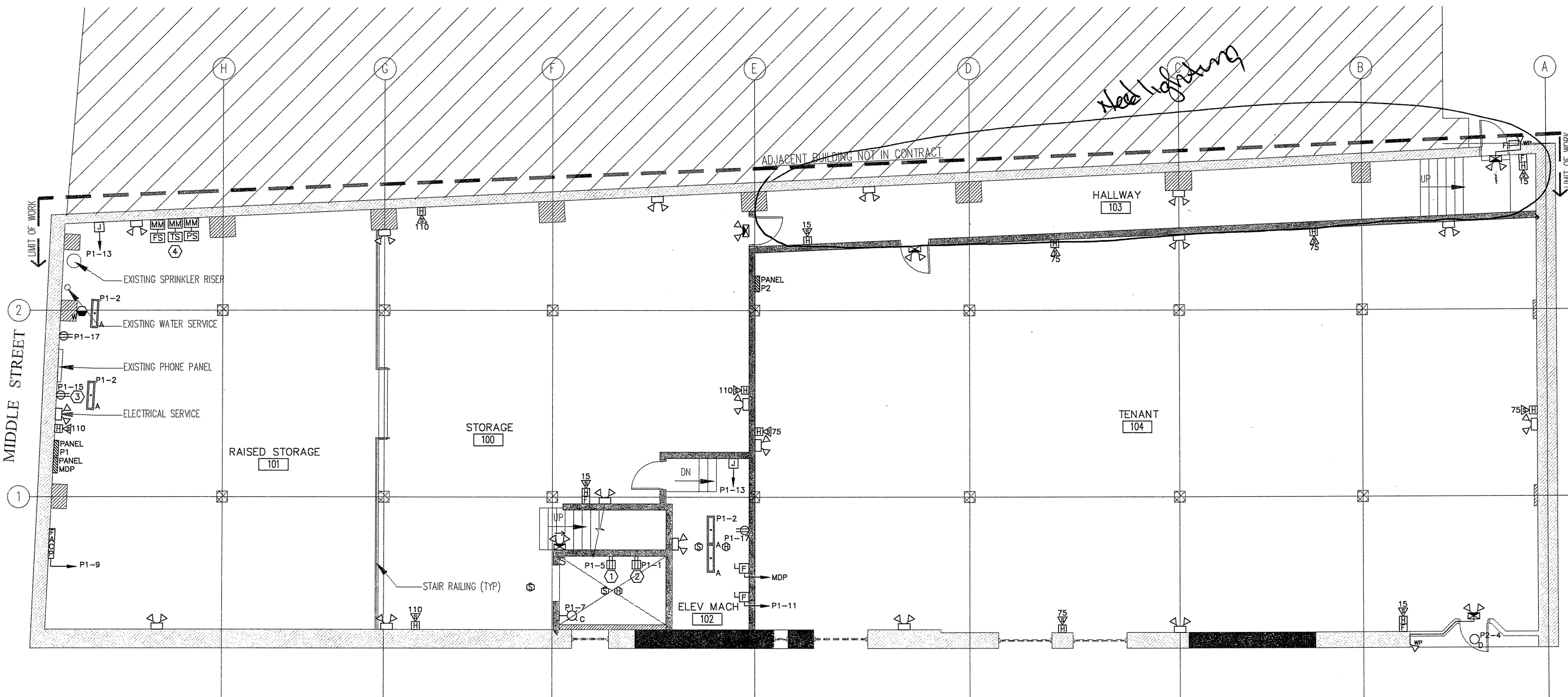
164 Middle St
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Date Issued September 19th, 2016
 Project Number 16202
 Drawing Scale AS NOTED

ELECTRICAL PLAN - FIRST FLOOR

Drawn By JMD
 Checked By TDM
E1.1



1 ELECTRICAL POWER & FIRE ALARM PLAN - LOWER LEVEL
 SCALE: 3/16"=1'-0"



PORT CITY ARCHITECTURE

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Date Issued September 19th, 2016

Project Number 16202

Drawing Scale AS NOTED

ELECTRICAL PLAN - SECOND FLOOR

| | |
|------------|-----|
| Drawn By | JMD |
| Checked By | TDM |

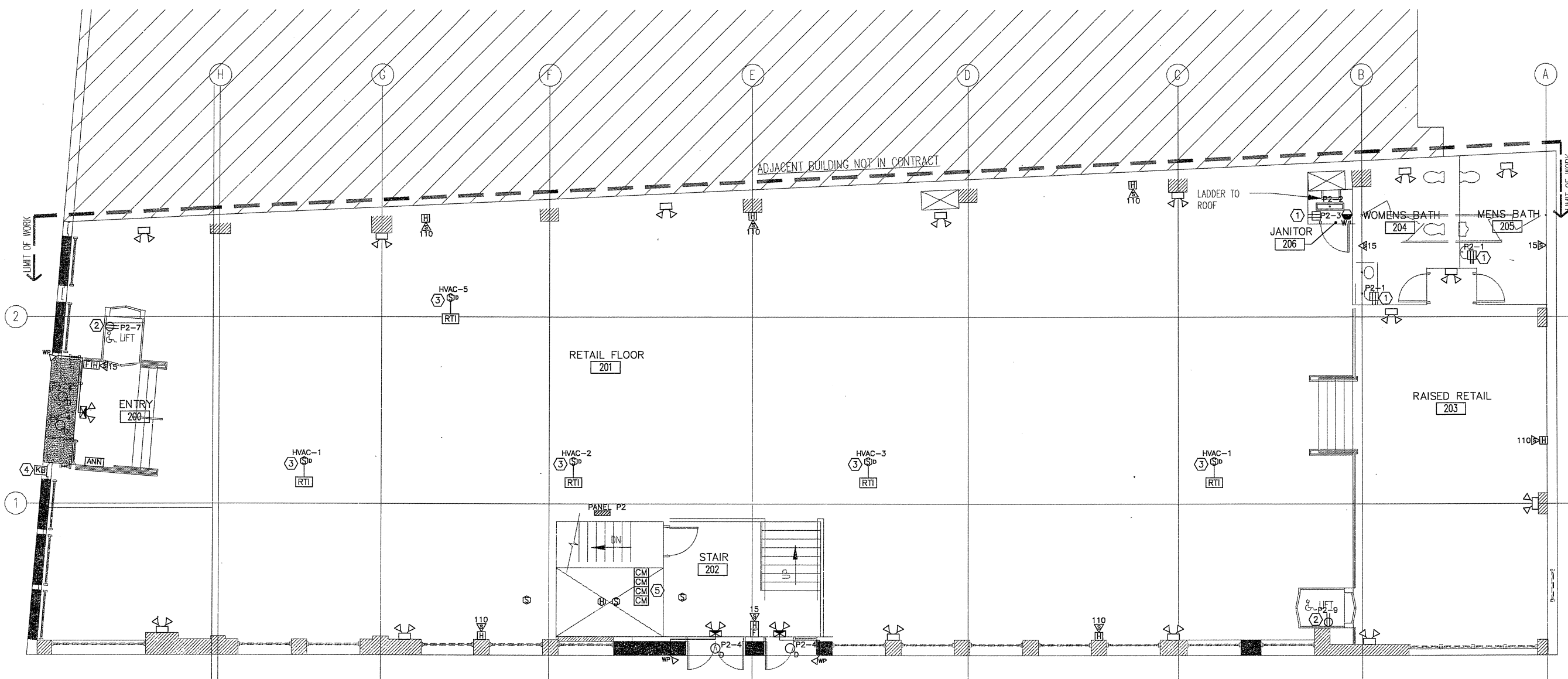
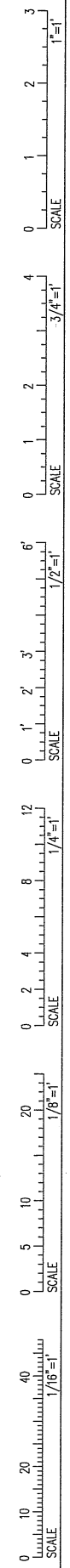
E1.2

NOTES:

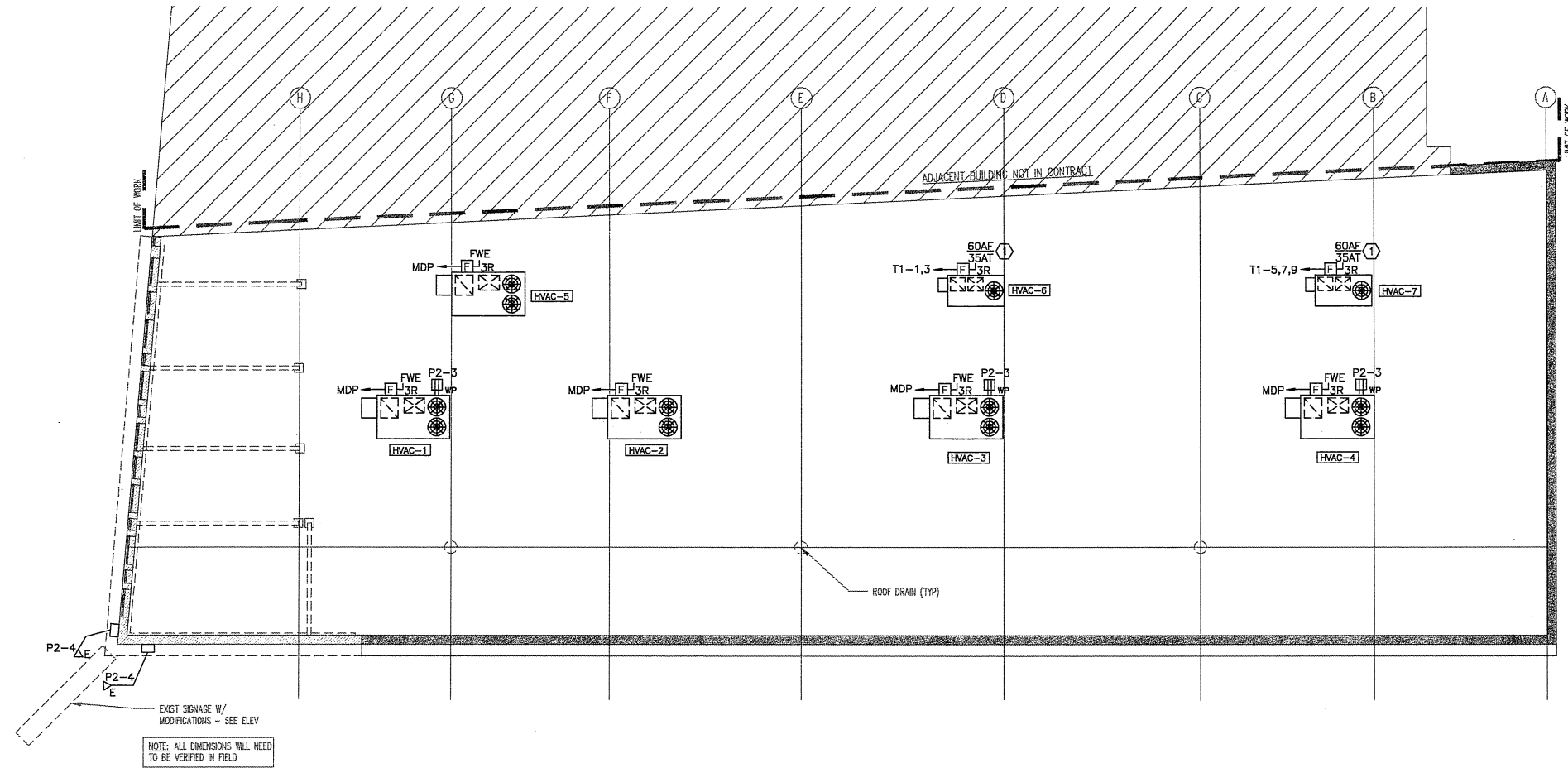
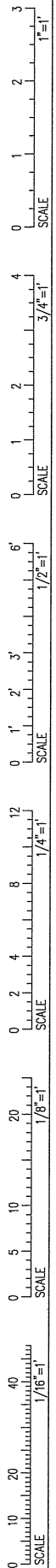
1. SEE E0.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:

- ① MOUNT 42" AFF.
- ② COORDINATE RECEPTACLE MOUNTING AND LIFT POWER REQUIREMENTS WITH LIFT MANUFACTURER.
- ③ CONNECT DUCT SMOKE DETECTOR TO FIRE ALARM PANEL ZONE.
- ④ KNOX BOX. LOCATION TO BE COORDINATED WITH PORTLAND FIRE DEPARTMENT.
- ⑤ FIRE ALARM CONTROL MODULES FOR ELEVATOR CONTROL INTERFACING. LOCATION TO BE DETERMINED.



① ELECTRICAL POWER & FIRE ALARM PLAN - FIRST FLOOR
SCALE: 3/16"=1'-0"



1 ELECTRICAL ROOF PLAN
SCALE: 1/8"=1'-0"

NOTES:
1. SEE E0.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:
① EXISTING DISCONNECT. FIELD-VERIFY FUSE AMPERAGES.

Provide (3) outlets at units



PORT CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000

Consultants:
Swiftcurrent Engineering Services, Inc.
10 Forest Falls Dr. - Unit 4B
Yarmouth, ME 04096
(207) 847-9280
contact Timothy D. Matthews, P.E.
tim@swiftcurrenteng.com

DD SET
NOT FOR CONSTRUCTION

NEWPORT DEVELOPMENT ASSOCIATES

164 Middle St
Portland, Maine

| # | DATE | DESCRIPTION |
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ELECTRICAL ROOF PLAN

Drawn By JMD
Checked By TDM
E1.3

3
2
1
0
SCALE 1"=1'

4
3
2
1
0
SCALE 3/4"=1'

6
3
2
1
0
SCALE 1/2"=1'

12
8
4
2
0
SCALE 1/4"=1'

20
10
0
SCALE 1/8"=1'

40
20
0
SCALE 1/16"=1'

| LIGHTING SCHEDULE | | | | | |
|-------------------|--|-------------------|-----------------------------------|------------------|---|
| TYPE | DESCRIPTION | MANUFACTURER | LAMPS | MOUNTING | NOTES |
| A | 4" LED WRAP AROUND 120V | COLUMBIA LIGHTING | 48W LED 3500K 4700 LUMENS | CEILING SURFACE | MODEL #: LAW4-35ML-EU |
| B | 2' LED WRAPAROUND 120V | COLUMBIA LIGHTING | 25W LED 3500K 2600 LUMENS | CEILING SURFACE | MODEL #: LAW2-35LW-EU |
| C | VAPOR-TIGHT ELEVATOR PIT FIXTURE 120V | HUBBELL LIGHTING | 11W LED 4100K 757 LUMENS | WALL SURFACE | MODEL #: WGL-1 |
| D | 4" LED RECESSED DOWNLIGHT 120V | COOPER LIGHTING | 22.4W LED 3500K 1300 LUMENS | CEILING RECESSED | MODEL #: LD4A-13-D010TE-ERM4A-13-835-4LM1-H-WF |
| E | LED SIGN LIGHT. WITH WIDE BEAM AND 24" STEM LENGTH. 120V | COOPER LIGHTING | 10W LED 3000K 245 LUMENS | WALL MOUNTED | MODEL #: 922-10LED3041-12-BK-SA24 FURNISH REMOTE 12V TRANSFORMER |
| F | LED WALL PACK. BRONZE FINISH. 120V | LUMARK LIGHTING | 18W LED 3500K 1633 LUMENS | WALL SURFACE | MODEL #: XTOR2A |
| C | CEILING MOUNTED DUAL TECHNOLOGY ULTRASONIC AND PASSIVE INFRARED OCCUPANCY SENSOR 120V | HUBBELL | N/A | CEILING SURFACE | MODEL #: OMNIDT500 FURNISH RELAYS/POWER PACKS AS REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION |
| W | WALL MOUNT PASSIVE INFRARED OCCUPANCY SENSOR 120V | HUBBELL | N/A | WALL | MODEL #: LHIRS11 |
| | EMERGENCY BATTERY UNIT 120V | DUAL-LITE | 2W LED | WALL SURFACE | MODEL #: EV4D-02L |
| WP | WEATHER PROOF REMOTE HEAD. WHITE FINISH. 120V | DUAL-LITE | (2) 1W LED | WALL SURFACE | MODEL #: EVO-D-W |
| | LED EXIT SIGN EMERGENCY BATTERY UNIT COMBINATION WITH REMOTE CAPACITY 120V | DUAL-LITE | (2) 1W LED | CEILING SURFACE | MODEL #: EVCU-R-W-D4 |
| | LED EXIT SIGN EMERGENCY BATTERY UNIT 120V | DUAL-LITE | 2W LED | CEILING SURFACE | MODEL #: EVEU-R-W |

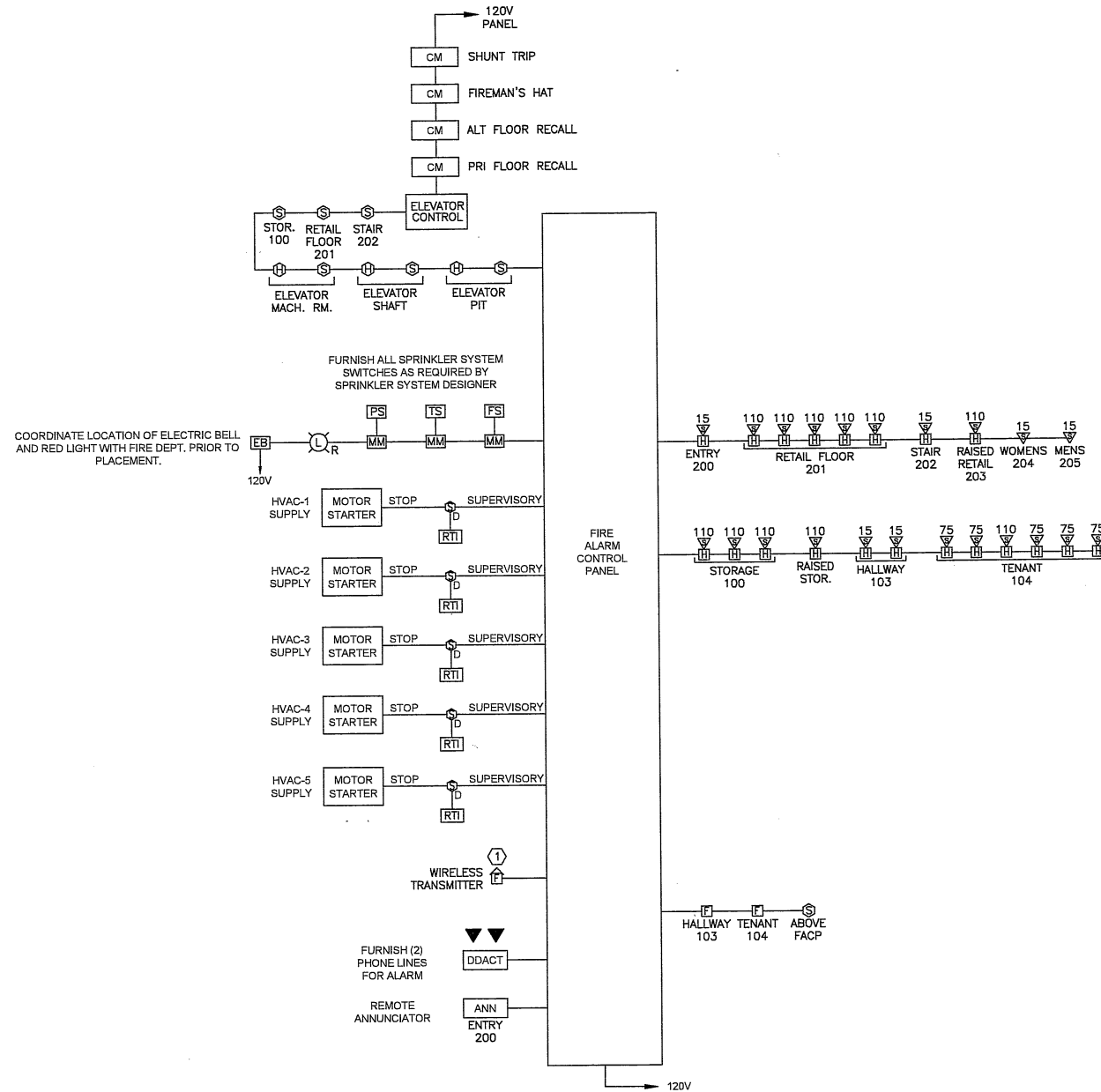
1 LIGHTING SCHEDULE

NOTES:

1. SEE E.O.0 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.

KEYED NOTES:

① CONTRACTOR TO FURNISH AES WIRELES TRANSMITTER MODEL 7788, 12V/ 7AH STANDBY BATTERY, 1640 PLUG-IN TRANSFORMER. SENTROL TAMPER SWITCH TO ALLOW SERVICING WITHOUT SENDING SYSTEM INTO ALARM. SYSTEM COORDINATE WITH DICK ANDREWS, PORTLAND FIRE DEPARTMENT.



2 FIRE ALARM RISER DIAGRAM



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ELECTRICAL LIGHTING SCHEDULE & FIRE ALARM RISER DIAGRAM

Drawn By JMD
Checked By TDM
E1.5