

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that \* 164 REALTY LLC

Located At 160 MIDDLE ST

Job ID: 2011-05-1009-ALTCOMM

CBL: 029 - - O - 002 - 001 - - - - -

has permission to Do Interior non-structural Renvoations to Restaurant Formerly Seabago Brewing provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

*[Signature]* 5/23/11  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-05-1009-ALTCOMM

Located At: 160 MIDDLE

CBL: 029 - - O - 002 - 001 - - - - -

## Conditions of Approval:

### **Zoning**

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
4. This property shall remain a restaurant use. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. Interior finish shall have a Class A or B rating.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including gas/pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
4. Approval of City license is subject to health inspections per the Food Code.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close in electrical, plumbing and framing
  2. Final inspection at completion of work, including health inspection of new establishment

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1009-ALTCOMM	Date Applied: 5/3/2011	CBL: 029 - - O - 002 - 001 - - - - -	
Location of Construction: 164 MIDDLE STREET	Owner Name: 164 REALTY LLC	Owner Address: PO BOX 800 YARMOUTH, ME - MAINE 04096	Phone: 846-4800
Business Name:	Contractor Name: owner	Contractor Address:	Phone:
Lessee/Buyer's Name: Restaurant (was Sebago Brewery)	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Restaurant	Proposed Use: Same: Restaurant - to repaint, repair and recover all interior surfaces - remove interior windows & non bearing partitions- other alterations	Cost of Work: \$18,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A-2 Type:
Proposed Project Description: 164 Middle St - alterations		Signature: <i>Bjawalet</i> (58)	Signature: <i>JMB</i> 5/23/11
Permit Taken By: Lannie		Pedestrian Activities District (P.A.D.)	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>05/12/11</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><i>within</i></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>any exterior work requires a separate review &amp; approval</i></p>
	<p><b>CERTIFICATION</b></p>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>164 Middle St (FORMERLY SEBAGO'S)</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>29</u> Block# <u>0</u> Lot# <u>2</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>164 REALTY, LLC</u> Address <u>PO Box 800</u> City, State & Zip <u>YARMOUTH ME 04096</u>	Telephone: <u>207-846-4800</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$418,000</u> C of O Fee: \$ Total Fee: \$ <u>300</u>
Current legal use (i.e. single family) <u>RESTAURANT</u>	Number of Residential Units <u>1</u>	LSH/F
If vacant, what was the previous use?		
Proposed Specific use: <u>RESTAURANT</u>		
Is property part of a subdivision? <u>No</u>	If yes, please name	
Project description: <u>REPAIR, REPAIR, RECOVER all INTERIOR SURFACES EXCEPT FLOOR and glass. REMOVE WINDOW SEATS &amp; NON BEARING PARTITIONS. STARTED BAR and make path</u>		
Contractor's name: <u>ADA COMPLIANT; REPLACE LIGHTING FIXTURES; and</u>		
Address: <u>OWNER</u> install pipe for gas fireplace		
City, State & Zip _____ Telephone: _____		
Who should we contact when the permit is ready: <u>OWNER</u> Telephone: <u>846-4800</u>		
Mailing address: <u>PO Box 800 YARMOUTH, ME 04096.</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

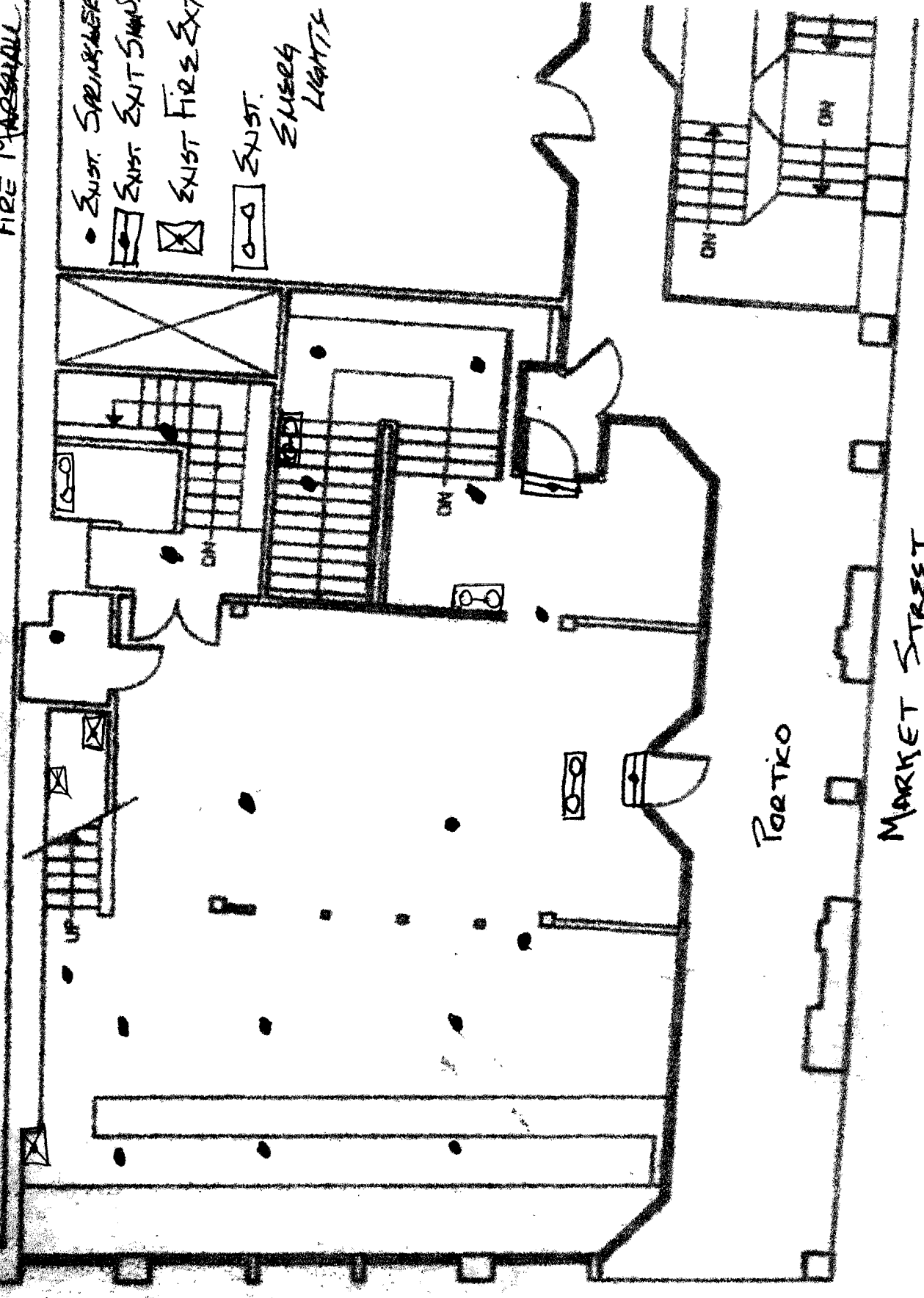
RECEIVED  
MAY 23 2011  
Dept. of Building Inspections  
City of Portland, Maine

Signature: [Signature] Date: 5/22/11

This is not a permit; you may not commence ANY work until the permit is issued

Dept  
FIRE MARSHALL

- EXIST. SPRINKLERS
- ◻ EXIST. EXIT SIGNS
- ◻ EXIST. FIRE EXT.
- ◻ EXIST. ENERGY LIGHTS

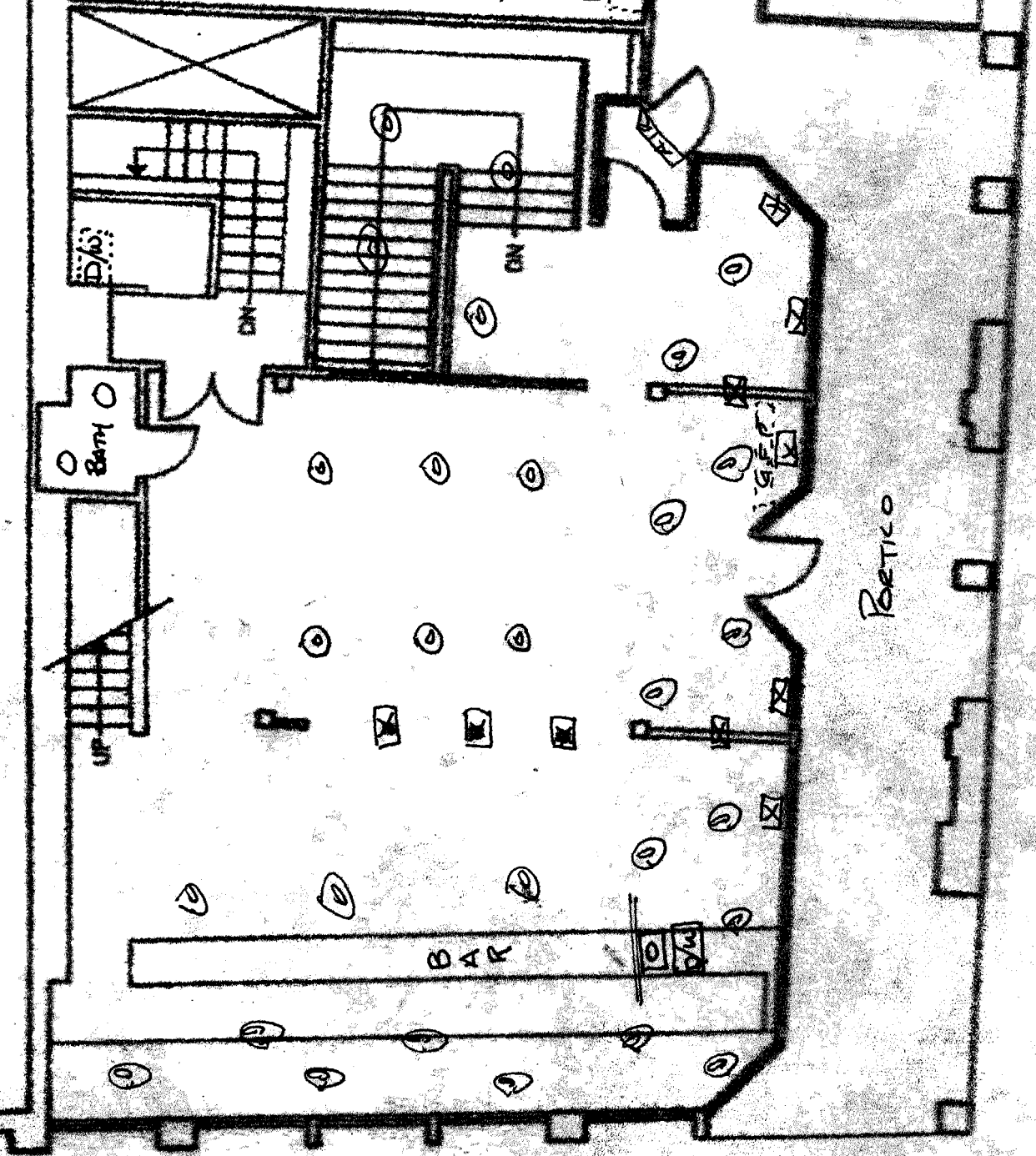


OWNER: 164 REALTY, LLC 846-4800  
 M. MASTRONARDI  
 PO BOX 800  
 VACATION DUDDY

164 Middle Street ("SEAGOS")

Building Permit

- KEY**
- Upgrade Bath fixtures: ADA
  - Shorten Bar by 8'-10" & re-face
  - ⊗ Remove seats & non-bearing posts & benches
  - ⊙ Install new lights to replace old (est 24)
  - D/W Relocate dishwasher
  - AIR Install AirVent
  - GFP Ramping
  - Future gas fireplace



Middle St

Market Street

104 Middle Street (SEA405)

Owner: 164 Realty, LLC

M. MASTRONARDI  
 PO Box 800  
 New York, NY 10008  
 212 480 4800

6-2-11

NOT READY TO  
OPEN. Contractors still  
working. Tools everywhere  
ceiling still has to  
be patched and painted, loose  
wires everywhere. Stated  
to owner to call us  
back when he is  
ready to open + serve  
food

NUB