

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0579	Issue Date: JUN 24 2005	CBL: N024001
<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED </div>		
Owner Address: 9 COMMERCIAL ST	Phone: 2076428998	
Contractor Address: 34 Spear Road Standish	Phone: 2076428998	
Permit Type: Signs - Permanent	<div style="border: 2px solid black; padding: 5px; text-align: center;"> CITY OF PORTLAND </div>	
	Zone: B-3	

Location of Construction: 9 COMMERCIAL ST	Owner Name: SALT OF THE EARTH INC
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Business Name:	Contractor Name: Signs by Custom Fabrication
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Lessee/Buyer's Name	Phone:
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Past Use:	Proposed Use: Commercial/ install 2'4'x16' Signs 60% opaque
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Proposed Project Description: install 2'4'x16' Signs 60% opaque
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Permit Fee: \$193.00	Cost of Work: \$193.00	(CEO District): 1
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>P</i> Type: <i>Sign</i> <i>IBC 2003</i> Signature: <i>JMB 6/23/05</i>
Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 05/12/2005	Zoning Approval
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Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK 5/19/05</i> Date: _____	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>to DA</i> <i>D. Andrews</i> <i>6/16/05</i> Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0579	Date Applied For: 05/12/2005	CBL: 029 N024001
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Location of Construction: 9 COMMERCIAL ST	Owner Name: SALT OF THE EARTH INC	Owner Address: 9 COMMERCIAL ST	Phone:
Business Name:	Contractor Name: Signs by Custom Fabrication	Contractor Address: 34 Spear Road Standish	Phone (207) 642-8998
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Commercial/ install 2- 4'x16' Signs 60% opaque	Proposed Project Description: install 2- 4'x16' Signs 60% opaque
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Dept: Historical **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 06/16/2005**Note:** **Ok to Issue:**

- 1) * Approval based on revised proposal, dated 6/15/05, Each sign shall measure 24" x 13'. Sign on front facade to be centered vertically within upper wood panel.

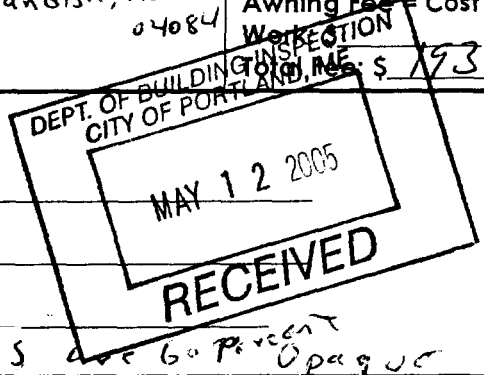
Dept: Zoning **Status:** Approved **Reviewer-** Marge Schmuckal **Approval Date:** 05/19/2005**Note:** **Ok to Issue:** **Dept:** Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 06/23/2005**Note:** **Ok to Issue:**

- 1) Signage Installation to comply with Chapter 31 of the IBC 2003 building code.

Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>9 Commercial St</u>		
Total Square Footage of Proposed Structure <u>two 4'x16' signs</u>		Square Footage of Lot <u>7,500</u>
Tax Assessor's Chart, Block & Lot Chart# <u>29</u> Block# <u>N</u> Lot# <u>24</u>	Owner: <u>Art Bannister</u>	Telephone: <u>772-2155</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Signs By Custom Fabrication</u> <u>34 Spear Rd Standish, ME</u> <u>04084</u> <u>642-8998</u>	per s.f. plus \$30.00/\$65.00 for H.D. signage = Total Fee: \$ <u>128 + 65</u> Awning Fee = Cost Of Work Section Total Fee: \$ <u>193.00</u>
Current use: <u>Commercial business</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: <u>2 4'x16' & 4'x16' signs are 60 Percent opaque</u>		
Contractor's name, address & telephone: <u>Signs By Custom Fabrication 34 Spear Rd Standish, ME 04084 642-8998</u>		
Whom should we contact when the permit is ready: <u>John Langis</u>		
Mailing address: <u>34 Spear Rd Standish, ME 04084</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A STOP WORK ORDER will be Issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Signature of applicant: <u>John Langis</u>	Date: <u>5/3/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.

SIGNAGE/AWNING PRE-APPLICATION QUESTIONNAIRE

PLEASE COMPLETE ALL INFORMATION

ADDRESS: 9 Commercial St ZONE: B3

CBL: _____

SINGLE TENANT LOT? YES NO _____ MULTI TENANT LOT? YES _____ NO _____

MORE THAN ONE SIGN TOTAL WITH PROPOSED SIGN? YES NO _____

TENANT/ALLOCATED BUILDING SPACE FRONTAGE (FEET):

Length: 96' x 2' 192' Height: 18'

INFORMATION ON PROPOSED SIGN(S):

FREESTANDING (e.g., pole) SIGN? YES _____ NO DIMENSIONS PROPOSED: _____

BLDG. WALL SIGN? (attached to bldg) YES NO _____ DIMENSIONS PROPOSED: 2 - 4' x 16' Signs

INFORMATION ON ALREADY EXISTING AND PERMITTED SIGN(S):

FREESTANDING (e.g., pole) SIGN? YES _____ NO _____ DIMENSIONS: _____

BLDG. WALL SIGN (attached to bldg)? YES NO _____ DIMENSIONS: One 1' x 16' and one 21" x 10'

AWNING? YES _____ NO _____ DIMENSIONS: 1 x 16 = 16'

LOT FRONTAGE (FEET): _____ 1.75 x 10 = 17.5'

AWNING YES _____ NO _____ IS AWNING BACKLIT? YES _____ NO _____

HEIGHT OF AWNING: _____ LENGTH OF AWNING: _____ DEPTH: _____

IS THERE ANY COMMUNICATION, MESSAGE, TRADEMARK OR SYMBOL ON IT? YES _____ NO _____

IF YES, TOTAL S.F. OF PANELS WITH COMMUNICATIONS/MESSAGE/TRADEMARK/SYMBOL? _____ s.f.

A SITE SKETCH AND BUILDING SKETCH SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED MUST BE PROVIDED. SKETCHES AND/OR PICTURES OF PROPOSED SIGNAGE ARE ALSO REQUIRED.

SIGNATURE OF APPLICANT: John Pungia DATE: 5/3/05

****FOR OFFICE USE ONLY****



Approved version

6/16/05

to be removed

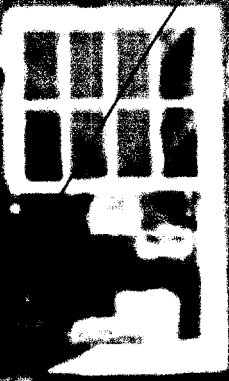
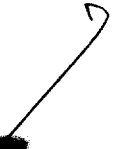


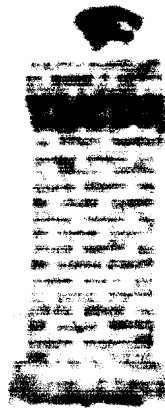
VERMONT CASTINGS

Finest Hearth & Home



*Approved version
6/16/05*





VERMONT CASTINGS

**Finest
Hearth**



old sign underneath
(Vermaut CASTING
is being removed
per sign Guy
5/19/05)



**Finest
Hearth**

**Finest
Hearth**

→ staying? - No
will be removed
per sign guy
5/19/05





'x16'

3/8"

Sign

Anchor Bolts

Sign

4'

Aluminum

Angle Frame

Building

Building



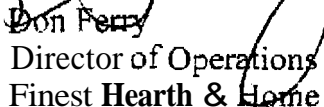


May 10, 2005

Dear John Langis,

This letter is **to** inform you that as **the** tenant of 9 Commercial St., Portland, 11 Main St., Topsham, and 1929 Lisbon St., Lewiston, the **landlord's** have **given** Finest Hearth & Home permission to **make** any **leasehold** improvements **including** new signs for any of their locations. The **landlord** for both Portland **and** Topsham is Arthur Banister and **the** landlord for our Lewiston location is Raymond Manocchio. The improvement **and** sign stipulations are written into each of **the** **perspective** leases. If you **have** any questions **please** contact me at 207-622-6040 or **my** cell number is 207- 807-8432.

Warmest regards,


Don Ferry
Director of Operations
Finest **Hearth & Home**
359 **Riverside** Dr.
Augusta, ME 04330

ACORD CERTIFICATE OF LIABILITY INSURANCE DATE MM/DD/YYYY: 05/11/2005

PRODUCER (207) 873-5101 FAX (207) 873-5784 CHM Agency, Inc 51 Main Street P O. Box 649 Waterville, ME 04903-0649		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Pure Warm, Inc. DBA. The Finest Kind Attn Art Banister 9 Woodcrest Rd Cape Elizabeth, ME 04107		INSURERS AFFORDING COVERAGE INSURER A Hanover Insurance Co INSURER B INSURER C INSURER D INSURER E	NAIC # 22292

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> JOB	ZHP7600389	07/30/2004	07/30/2005	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED EQUIPMENT (per occurrence) \$ 100,000 MED EXP (any one person) \$ 5,000 PERSONAL & ADJ INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/PROP AG \$ 2,000,000
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HOEL AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (E&A accident) \$ OCCUR - FLOOR (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ALL AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ ADD \$
A		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE HI STATE \$	UHP7595373	07/30/2004	07/30/2005	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ \$ 5,000,000 \$ \$
		WORKERS COMPENSATION AND EMPLOYERS LIABILITY ALL PROPRIETOR/PARTNER EXECUTIVE OFFICER/MEMBER EXECUTIVE (not described under SPECIAL PROVISIONS below)				<input type="checkbox"/> STATUTE <input type="checkbox"/> OTHER (SEE LIMITS) (SEE POLICY) E&L EACH ACCIDENT \$ E&L DISCARD - CA EMPLOYED \$ E&L DISEASE - POLICY LIMIT \$
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 Property located at 7-9 Commercial Street Portland, ME

CERTIFICATE HOLDER City of Portland Portland, ME 04101	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES AUTHORIZED REPRESENTATIVE James Sanborn
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 029 N 024